



REGULAR COUNCIL MEETING AGENDA

Monday, April 8, 2019
7:00 P.M.
Council Chambers, Langley City Hall
20399 Douglas Crescent

	Pages
1. <u>ADOPTION OF AGENDA</u>	
a. Adoption of the April 8, 2019 Regular Agenda	
2. <u>COMMITTEE OF THE WHOLE</u>	
a. Development Permit No. 15-18 20427, 20437, 20445, 20453, 20463 Park Avenue Proposed new six (6) storey, 93-unit condominium development, consisting of 82 strata apartments and 11 strata townhouse units <i>Presentation from Lukas Wykpis of Keystone Architecture</i>	1
3. <u>ADOPTION OF THE MINUTES</u>	
a. Regular Meeting Minutes from March 25, 2019	47
b. Special (Pre-Closed) Meeting Minutes from March 25, 2019	58
4. <u>BUSINESS ARISING FROM COMMITTEE OF THE WHOLE</u>	
a. Development Permit No. 15-18 20427, 20437, 20445, 20453, 20463 Park Avenue Proposed new six (6) storey, 93-unit condominium development, consisting of 82 strata apartments and 11 strata townhouse units.	60
5. <u>DELEGATIONS</u>	
a. Langley Memorial Hospital Foundation Kate Ludlam, Director, Fundraising and Donor Relations	107
b. Georgia Damianos 19897 56 Avenue - Additional Parking Request	108

- c. New Westminster & District Labour Council
Sharla Mauger

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6. MAYOR'S REPORT

- a. Upcoming Meetings
Regular Council Meeting – April 29, 2019
Regular Council Meeting – May 13, 2019
- b. Library Happenings - Councillor Martin
- c. Engineering Update
Rick Bomhof, Director of Engineering, Parks and Environment
- d. Earth Day - Monday, April 22 - Mayor van den Broek
- e. 2019 BC Mayors' Caucus - Mayor van den Broek

7. BYLAWS

- a. Bylaw 3102 - Tax Rate Bylaw
First, second and third reading of a bylaw to levy property value taxes for municipal purposes for the year 2019.

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8. ADMINISTRATIVE REPORTS

- a. Resurfacing of Douglas Park Tennis Court to Incorporate Pickle Ball Courts

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9. NEW AND UNFINISHED BUSINESS

- a. Motions/Notices of Motion
- b. Correspondence
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10. ADJOURNMENT



ADVISORY PLANNING COMMISSION REPORT

To: **Advisory Planning Commission**

Subject **Development Permit Application DP 15-18**

From: Development Services & Economic
Development Department

File #: 6620.00
Doc #:

Date: September 27, 2018

COMMITTEE RECOMMENDATION:

THAT Development Permit Application DP 15-18 to accommodate a 6 Storey 93 unit strata development, consisting of 82 strata condominium apartments and 11 strata townhouse units, located at 20427, 20437, 20445, 20453, 20463 Park Avenue be approved subject to execution of a Development Servicing Agreement in compliance with the conditions outlined in the Director of Development Services & Economic Development report.

PURPOSE OF REPORT:

To consider a Development Permit Application by Concost Management Inc. to accommodate a 6 Storey, 93 unit strata development, consisting of 82 strata condominium apartments and 11 strata townhouse units.

POLICY:

The subject property is zoned C1 Downtown Commercial Zone in Zoning Bylaw No. 2100 and designated Downtown Commercial in the Official Community Plan. All lands designated Downtown Commercial are subject to a Development Permit to address building form and character.

COMMENTS/ANALYSIS:

Background Information:

Applicant:	Concost Management Inc.
Owner:	1137126 B.C. Ltd.
Civic Addresses:	20427, 20437, 20445, 20453, 20463 – Park Avenue
Legal Description:	Lots 10, 11, 12, 13: Except: Part Dedicated Road On Plan 87219, District Lot 36, Group 2, New Westminster District Plan 9350, Lot 1, District Lot 36, Group 2, New Westminster District Plan 87219, Portion of Closed Road (294.7 m ²) shown on Plan EPP80213
Site Area:	1.025 Acres
Lot Coverage:	42%
Total Parking Required:	145 spaces, including 19 visitor spaces
Total Parking Provided:	152 spaces, including 26 visitor spaces
Existing Zoning:	C1 Downtown Commercial Zone
Proposed Zoning:	C1 Downtown Commercial Zone
OCP Designation:	Downtown Commercial
Variances Requested:	None
Development Cost Charges:	\$1,210,417.25 (Includes 5 SF DCC Credit - \$122,872.50)
Community Amenity Charge:	\$186,000

Engineering Requirements:

These requirements have been issued to reflect the application for development of a proposed **93 Unit Condominium/Townhouse Development at 20427-20453 Park Avenue**, which may be subject to change upon receipt of updated development plans to the City.

The City's Zoning Bylaw, 1996, #2100 has requirements concerning landscaping for buffer zonings, parking and loading areas, and garbage and recycling containers, all of which applies to this design.

A) The developer is responsible for the following work which shall be designed and approved by a Professional Engineer:

1. Implement erosion and sediment control measures designed and approved by a qualified professional in accordance with the City of Langley Watercourse Protection Bylaw #2518.
2. The condition of the existing pavement on Park Avenue and the laneway north of Park Avenue shall be assessed by the developer's engineer. Pavements shall be adequate for an expected road life of 20 years under the expected traffic conditions for the class of road. Road construction and asphalt overlay designs shall be based on the analysis of the results of Benkelman Beam tests and test holes carried out on the existing road which is to be upgraded. If the pavement is inadequate it shall be remediated to centerline for the length of the developments frontage.
3. Design and construct a half-width laneway north of Park Ave. along the property frontage to the City of Langley's standard drawing (SDR 007).
4. Existing sidewalk to be removed and replaced for the development frontage along Park Ave., complete with a utility strip between the existing curb and the new sidewalk. Sidewalk shall be as per the Downtown Realm of Influence standard as outlined in the Downtown Master Plan. Park Avenue is classified as a "Greenway Street" and has additional standards outlined in the Downtown Master Plan.
5. Install two convex traffic visibility mirrors in the rear lane at the Serenade underground parking structure exit/entrance for both east and west visibility.
6. Eliminate the existing overhead hydro/tel wiring and poles along the entire development frontage by replacing with underground hydro/tel infrastructure.
7. Existing ornamental street lighting fronting the site along Park Avenue shall be upgraded to current City of Langley standards as per the Downtown Master Plan.
8. Conduct a water flow test and provide fire flow calculations by a Professional Engineer to determine if the existing water network is adequate for fire flows. Replacement of the existing watermain may be necessary to achieve the necessary pressure and flows to conform to Fire

Underwriters Survey (FUS) "Water Supply for a Public Fire Protection, a Guide to Recommended Practice, 1995".

9. New C71P fire hydrant may be required. Hydrant locations must approved by the city of Langley's Engineering and Fire Departments.
10. New water, sanitary and storm sewer service connections are required. The developer's engineer will determine the appropriate main tie in locations and size the connections for the necessary capacity. The capacity of the existing water and sewer mains shall be assessed and any upgrades required to service the site shall be designed and installed at the Developer's expense. All existing services to be capped at the main by City forces at the developer's expense
11. A stormwater management plan for the site is required. Rainwater management measures used on site shall limit the release rate to mitigate flooding and environmental impacts as detailed in the Subdivision and Development Bylaw.
12. The site layout shall be designed by a civil engineer to ensure that the parking and access layout meets minimum design standards, including setbacks from property lines. Appropriate turning templates should be used to prove parking stalls and drive-aisles are accessible by the design vehicle.

B) The developer is required to deposit the following bonding and connection fees:

1. The City would require a Security Deposit of 110% based on the estimated construction costs of installing civil works, as approved by the Director of Engineering, Parks and Environment.
2. The City would require inspection and administration fees in accordance to the Subdivision Bylaw based on a percentage of the estimated construction costs. (See Schedule A – General Requirement - GR5.1 for details).
3. A deposit for a storm, sanitary and water connection is required, which will be determined after detailed civil engineering drawings are submitted, sealed by a Professional Engineer.
4. The City requires a \$20,000 bond for the installation of a water meter to current standards.

NOTE: Deposits for utility services or connections are estimates only. The actual cost incurred for the work will be charged. The City will provide the

developer with an estimate of connections costs, and the Developer will declare in writing that the estimate is acceptable.

C) The developer is required to adhere to the following conditions:

1. Underground hydro and telephone, and cable services to the development site are required.
2. All survey costs and registration of documents with the Land Titles Office are the responsibility of the developer/owner.
3. A water meter is required to be installed outside in a vault at property line in accordance to the City's water meter specifications at the developer's cost. A double detector check valve assembly is required to be installed outside away from any structure in a vault as per the City's specifications.
4. An approved backflow prevention assembly must be installed on the domestic water connection immediately upon entering the building to provide premise isolation.
5. A "Stormceptor" or equivalent oil separator is required for all surface parking areas, and is to drain into the storm sewer.
6. A complete set of "as-built" drawings sealed by a Professional Engineer shall be submitted to the City after completion of the works. Digital drawing files in .pdf and .dwg format shall also be submitted.
7. Since boulevard space is limited, the developer shall incorporate street trees and landscaping in the setback area adjacent to the sidewalk in accordance with the City of Langley's Official Community Plan Bylaw, 2005, No. 2600 and Street Tree Program, November, 1999 manual.
8. Stormwater run-off generated on the site shall not impact adjacent properties, or roadways.
9. Garbage and recycling enclosures shall be accommodated on the site and be designed to meet Metro Vancouver's "Technical Specifications for Recycling and Garbage Amenities in Multi-family and Commercial Developments - June 2015 Update"

Discussion:

The applicant is proposing to redevelop five existing single family residential properties with a contemporary 6-storey, 93-unit strata development, consisting of 82 strata condominium apartments and 11 strata townhouse units. In addition, the City has executed a Road Closure

and Sale Agreement with the owner, for the surplus lane right of way adjacent to the subject properties.

The subject development is the last of four projects intended for a master planned multi-family development that begun in the early 1990's. *James Court*, an 86-unit condominium apartment was completed in 1995, as the first phase of the development. Subsequently, *The Place On Park Avenue*, a 37-unit condominium was completed in 2017. *The Legacy On Park Avenue*, a 69-unit condominium is currently under construction, and scheduled for completion in 2020.

The development site is part of the Park Avenue Special Design District in the Downtown Master Plan intended to create a higher amenity residential area in proximity to Douglas Park. The applicant's plans address the Park Avenue guidelines with respect to building form and character and in keeping with the other Park Avenue multi-family residential projects.

Access to the underground parkade for tenant parking and convenient surface parking for visitors, is located off of the rear lane. The proposed condominium apartment offers a wide range of suites, ranging from 590 ft² to 1,596 ft² to meet the needs of a variety of homeowners. The proposed two-storey townhouse units range in size from 1,281ft² to 1,564 ft² . A wide variety of architectural elements and colors are incorporated into the contemporary building design, including cement board hardie panelling, brick, aluminum faced composite panels, aluminium/glass deck railing, contribute to the architectural form and character of the building.

The proposed development benefited from a Crime Prevention Through Environmental Design (CPTED) review by a qualified consultant whose recommendations were incorporated into the plans.

Fire Department Comments:

Langley City Fire-Rescue Service has reviewed the attached plans and provided preliminary comments to the applicant. The department will review, and make further comment, as the project continues to the building permit design stage.

Advisory Planning Commission:

In accordance with Development Application Procedures Bylaw No. 2488, the subject applications will be reviewed by the Advisory Planning Commission at the October 10, 2018 meeting. A copy of the APC minutes will be presented to Langley City Council at the October 29, 2018 Regular Council meeting.

BUDGET IMPLICATIONS:

In accordance with Bylaw No. 2482, the proposed development would contribute \$850,506.00 to City Development Cost Charge accounts and \$186,000 in Community Amenity Charges.

ALTERNATIVES:

1. Require changes to the applicant's proposal.

Prepared by:



Gerald Minchuk, MCIP
Director of Development Services & Economic Development

Concurrence:



Rick Bomhof, P.Eng.
Director of Engineering, Parks & Environment

Concurrence:



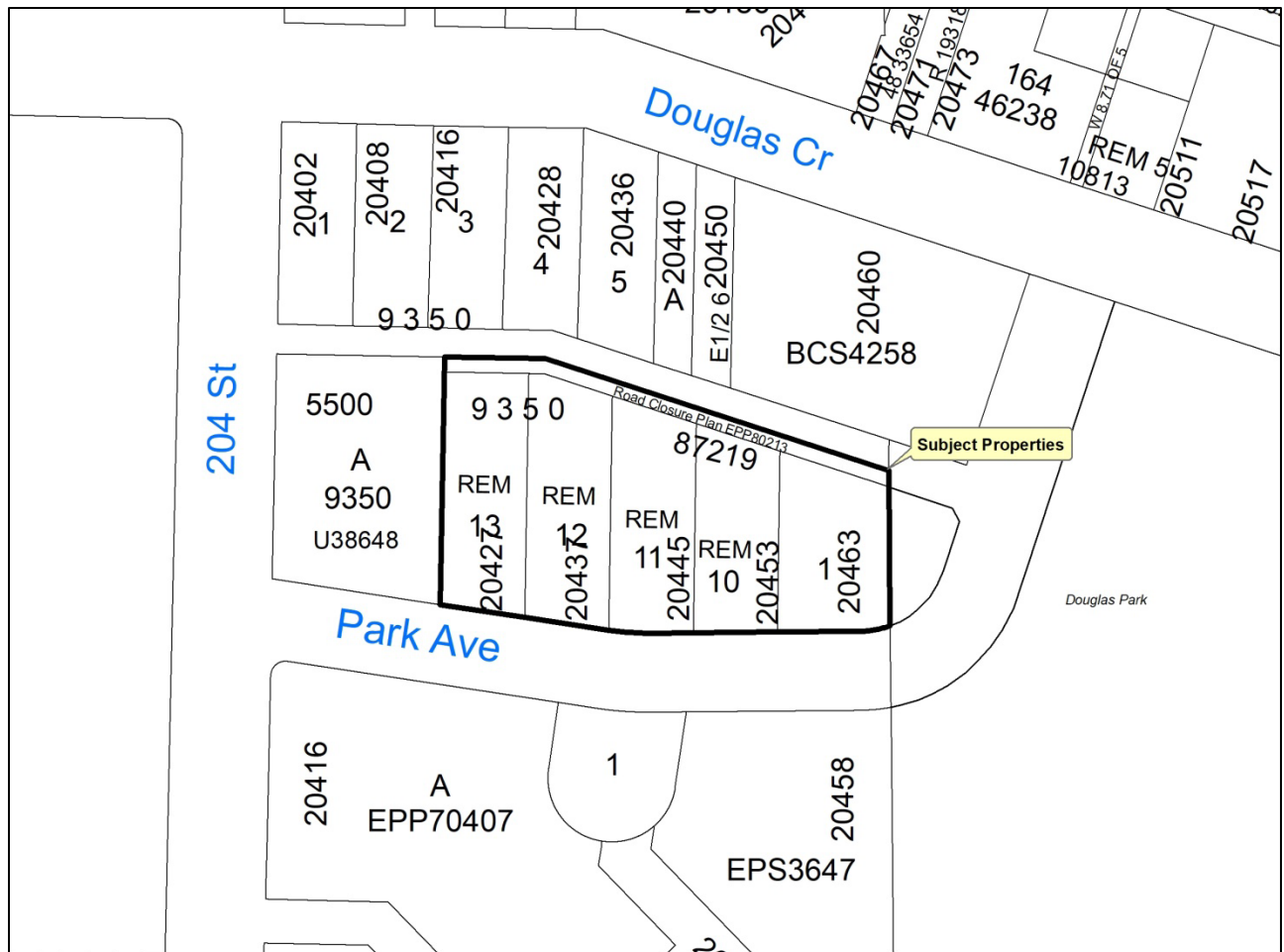
Rory Thompson, Fire Chief

CITY OF
LANGLEY



DEVELOPMENT PERMIT APPLICATION DP 15-18

Civic Address: 20427, 20437, 20445, 20453, 20463 Park Avenue
Legal Description: Lots 10, 11, 12, 13 Except: Part Dedicated Road on Plan 87219, District Lot 36, Group 2, New Westminster District, Plan 9350; Lot 1, District Lot 36, Group 2, New Westminster District, Plan 87219; Portion of Closed Road (294.7 m²) Shown on Plan EPP80213.
Applicant: Concost Management Inc.
Owner: 1137126 B.C. Ltd.





sheet schedule

SD0.01	COVER PAGE	SD2.07	UNIT PLANS
SD1.01	PROJECT DATA	SD2.08	UNIT PLANS
SD1.02	CONTEXT PLANS	SD2.09	UNIT PLANS
SD1.20	SITE PLAN	SD2.10	UNIT PLANS
SD1.21	SITE SECTIONS	SD3.01	P1 LEVEL PLAN
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SD1.34	3D MASSING PERSPECTIVES	SD3.03	2nd LEVEL PLAN
SD1.35	3D MASSING PERSPECTIVE	SD3.04	3rd LEVEL PLAN
SD1.36	3D MASSING PERSPECTIVE	SD3.05	4th LEVEL PLAN
SD2.01	UNIT PLANS	SD3.06	5th LEVEL PLAN
SD2.02	UNIT PLANS	SD3.07	6th LEVEL PLAN
SD2.03	UNIT PLANS	SD3.08	ROOF LEVEL PLAN
SD2.04	UNIT PLANS	SD4.01	BUILDING ELEVATIONS
SD2.05	UNIT PLANS	SD4.02	BUILDING ELEVATIONS
SD2.06	UNIT PLANS		

the concosts group

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CONCOSTS BOARDWALK APARTMENTS

PARK AVENUE, LANGLEY B.C.

COVER PAGE

SCALE:

ISSUED FOR DEVELOPMENT PERMIT

09/24/18 REVISION #
CITY OF LANGLEY FILE #
PROJECT NUMBER: 18-105

SD0.01

0.1. project data

PROJECT:	BOARDWALK CONDOS (RESIDENTIAL)
EXISTING ZONING:	C1 - DOWNTOWN COMMERCIAL ZONE
CIVIC ADDRESS:	PARK AVENUE, LANGLEY, B.C.
LEGAL DESCRIPTION:	
VARIANCES APPLIED FOR:	
BYLAW EXEMPTIONS:	
MAXIMUM BUILDING HEIGHT:	
MINIMUM BUILDING ELEVATION:	
TOTAL SITE AREA (EXISTING PROPERTY LINE)	41,499 S.F. (3.85171 S.M.) (0.952 ACRES)...
TOTAL ADDED AREA (ADDITIONAL LANE AREA)	3,172 S.F. (294.73 S.M.) (0.073 ACRES)
TOTAL SITE AREA (NEW PROPERTY LINE)	44,631 S.F. (4,146.44 S.M.) (1.025 ACRES)
GROSS FAR:	94,609 S.F. (RESIDENTIAL) + 2,362 S.F. (AMENITY SPACE) + 13,534 S.F. (CIRCULATION) = 110,505 S.F. / 44,631 S.F. = 2.48
LOT COVERAGE GROSS:	18,422 S.F. / 44,631 S.F. = 41.3%
BUILDING HEIGHT:	6 STOREY (71'-11 1/2")

0.2. parking

REQUIRED (BYLAW REQUIREMENT)	UNITS	FACTOR	TOTAL	TOTAL
TENANT (1 BED, 2 BED)	75	*1.2	90	
TENANT (3 BED)	7	*2	14	
TENANT (TOWNHOUSE)	11	*2	22	
VISITOR	93	*0.2	19	
TOTAL STALLS			145	145
PROVIDED	SMALL CAR	H/C	EV	TOTAL
TENANT (P1 FLOOR)	50	4	2	126
VISITOR (1ST FLOOR)	10	4		26
TOTAL STALLS	60	8	2	152
TOTAL STALLS				152
BIKE PARKING REQUIRED (BYLAW REQUIREMENT)	UNITS	FACTOR	TOTAL	TOTAL
BIKE STALLS (RESIDENT / UNIT)	93	*0.5	47	
BIKE STALLS (VISITOR / BLDG)	1	*6	6	
TOTAL STALLS			53	53
BIKE PARKING PROVIDED				
BIKE STALLS (RESIDENT / PARKADE)			47	
BIKE STALLS (VISITOR)			6	
TOTAL STALLS			53	53

NOTE: 1. NI = NOT INCLUDED IN TOTALS

0.3. unit count

RESIDENTIAL				TOTAL
1 BED	14	15.1%	14	
2 BED	61	65.6%	61	
3 BED	7	7.5%	7	
TOWNHOUSE	11	11.8%	11	
TOTAL UNITS	93	100%	93	

NOTE: ADAP = ADAPTABLE DWELLING UNIT
NOTE: ALL NON-GROUND ORIENTED UNITS HAVE PRIVATE DECKS PROVIDED (MIN 50 S.F. EACH)

0.4. unit floor area summary

UNIT TYPE	BEDROOMS	1ST	2ND	3RD	4TH	5TH	6TH	TOTAL	AREA	TOTAL AREA
A	1 BED				1			2	629 S.F.	1,258 S.F.
A1	1 BED	1	1	1	1	1	1	6	590 S.F. (X1) / 587 S.F. (X1) / 583 S.F. (X4)	3,509 S.F.
A2	1 BED			1				2	629 S.F. (X1) / 595 S.F. (X1)	1,224 S.F.
A3	1 BED			1	1	1	1	4	587 S.F.	2,348 S.F.
B	3 BED	1	1	3	3	3	3	14	872 S.F. (X10) / 865 S.F. (X4)	12,180 S.F.
B1	2 BED			1	1	1	1	4	933 S.F. (X3) / 901 S.F. (X1)	3,700 S.F.
B1b	2 BED			1	1	1	1	4	933 S.F. (X3) / 895 S.F. (X1)	3,694 S.F.
B2	2 BED			1	1	1	1	4	899 S.F.	3,596 S.F.
B3	2 BED	1	1	1	1	1	1	6	881 S.F.	5,286 S.F.
B4	2 BED	1	1	1	1	1	1	6	1,015 S.F.	6,090 S.F.
B5	2 BED	1						1	976 S.F.	976 S.F.
B6	2 BED			1	1	1	1	4	916 S.F.	3,664 S.F.
B6b	2 BED			1	1	1	1	4	910 S.F.	3,640 S.F.
B7	2 BED + FLEX	1	1					2	1,228 S.F.	2,456 S.F.
B8	2 BED + FLEX				1		1	2	1,212 S.F. (X1) / 1,170 S.F. (X1)	2,382 S.F.
B9	2 BED + FLEX			1	1	1	1	4	1,070 S.F.	4,280 S.F.
B10	2 BED + FLEX		1	1	1	1	1	5	1,596 S.F.	7,980 S.F.
B11	2 BED + FLEX	1						1	1,072 S.F.	1,072 S.F.
C1	3 BED			1				2	1,212 S.F.	2,424 S.F.
C2	3 BED		1	1	1	1	1	5	1,419 S.F.	7,095 S.F.
TH1	3 BED + FLEX	1						1	724 S.F. (L1) + 701 S.F. (L2)	1,425 S.F.
TH2	3 BED	1						1	625 S.F. (L1) + 656 S.F. (L2)	1,281 S.F.
TH3	3 BED + FLEX	1						1	682 S.F. (L1) + 687 S.F. (L2)	1,369 S.F.
TH4	3 BED + FLEX	1						1	695 S.F. (L1) + 699 S.F. (L2)	1,394 S.F.
TH5	3 BED + FLEX	1						1	780 S.F. (L1) + 784 S.F. (L2)	1,564 S.F.
TH6	3 BED + FLEX	1						1	720 S.F. (L1) + 724 S.F. (L2)	1,444 S.F.
TH7	3 BED + FLEX	1						1	738 S.F. (L1) + 742 S.F. (L2)	1,480 S.F.
TH8	3 BED + FLEX	1						1	738 S.F. (L1) + 742 S.F. (L2)	1,480 S.F.
TH9	3 BED + FLEX	1						1	725 S.F. (L1) + 730 S.F. (L2)	1,455 S.F.
TH10	3 BED + FLEX	1						1	668 S.F. (L1) + 685 S.F. (L2)	1,353 S.F.
TH11	3 BED + FLEX	1						1	759 S.F. (L1) + 751 S.F. (L2)	1,510 S.F.
TOTAL		18	7	17	17	17	17	93		94,609 S.F.

NOTE: ADAP = ADAPTABLE UNITS

NOTE: ALL NON-GROUND ORIENTED UNITS HAVE PRIVATE DECKS PROVIDED (MIN 50 S.F. EACH)

0.5. building floor area

RESIDENTIAL			TOTAL
1ST	14,487 S.F.	1,346 S.M.	14,487 S.F.
2ND	15,500 S.F.	1,440 S.M.	15,500 S.F.
3RD	16,192 S.F.	1,504 S.M.	16,192 S.F.
4TH	16,192 S.F.	1,504 S.M.	16,192 S.F.
5TH	16,192 S.F.	1,504 S.M.	16,192 S.F.
6TH	16,046 S.F.	1,491 S.M.	16,046 S.F.
TOTAL	94,609 S.F.	8,789 S.M.	94,609 S.F.
PARKADE			
P1	39,895 S.F.		
1ST	8,815 S.F.		
TOTAL	48,710 S.F.		48,710 S.F.
GRAND TOTAL			143,339 S.F.
INDOOR AMENITY			
REQUIRED (BYLAW REQUIREMENT)	FACTOR	UNITS	
	24.76 S.F./UNIT	93	2,303 S.F.
	2.3 S.M./UNIT		213.9 S.M.
PROVIDED			
1ST	1,135 S.F.	105 S.M.	1,135 S.F.
2ND	1,227 S.F.	114 S.M.	1,227 S.F.
TOTAL	2,362 S.F.	219 S.M.	2,362 S.F.
CIRCULATION			
1ST	2,800 S.F.	260 S.M.	2,800 S.F.
2ND	2,150 S.F.	200 S.M.	2,150 S.F.
3RD	2,146 S.F.	199.3 S.M.	2,146 S.F.
4TH	2,146 S.F.	199.3 S.M.	2,146 S.F.
5TH	2,146 S.F.	199.3 S.M.	2,146 S.F.
6TH	2,146 S.F.	199.3 S.M.	2,146 S.F.
TOTAL	13,534 S.F.	1,257 S.M.	13,534 S.F.
FLOOR AREA SUMMARY			
EFFICIENCY	86 %		86 %
GROSS BLDG AREA	110,505 S.F.	10,266 S.M.	110,505 S.F.
NET UNIT AREA	94,609 S.F.	8,789 S.M.	94,609 S.F.
NET CIRCULATION AREA	13,534 S.F.	1,257 S.M.	13,534 S.F.
INDOOR AMENITY	2,362 S.F.	219 S.M.	2,362 S.F.

NOTE: NI = NOT INCLUDED IN TOTALS



looking north east



looking north west



looking south west



context plan

1" = 200'-0"



satellite plan



keystonearch.ca

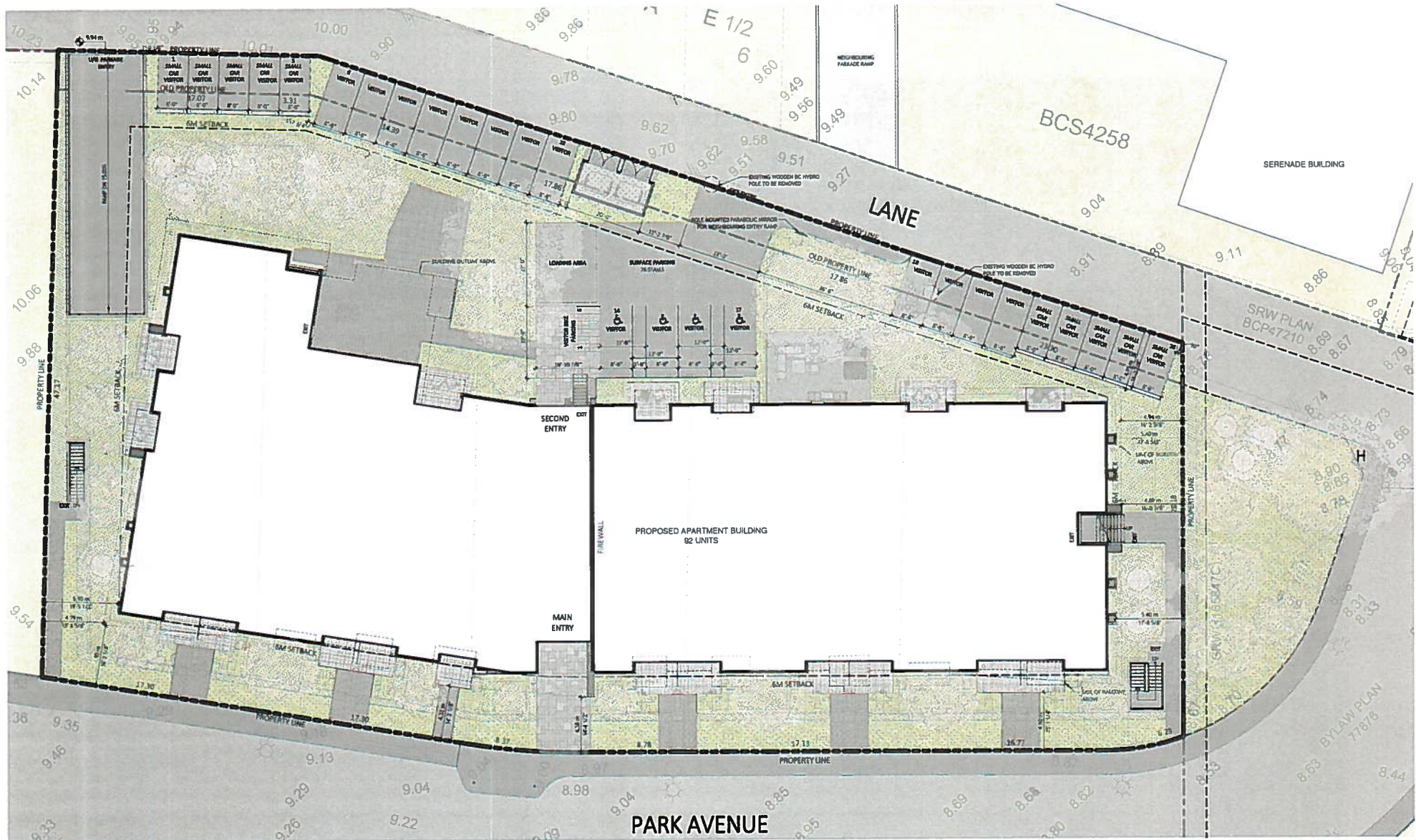
CONCOSTS BOARDWALK APARTMENTS
PARK AVENUE, LANGLEY B.C.

CONTEXT PLANS
SCALE 1" = 200'-0"



ISSUED FOR DEVELOPMENT PERMIT
09/24/18 REVISION #
CITY OF LANGLEY FILE #
PROJECT NUMBER 18-105

SD1.02



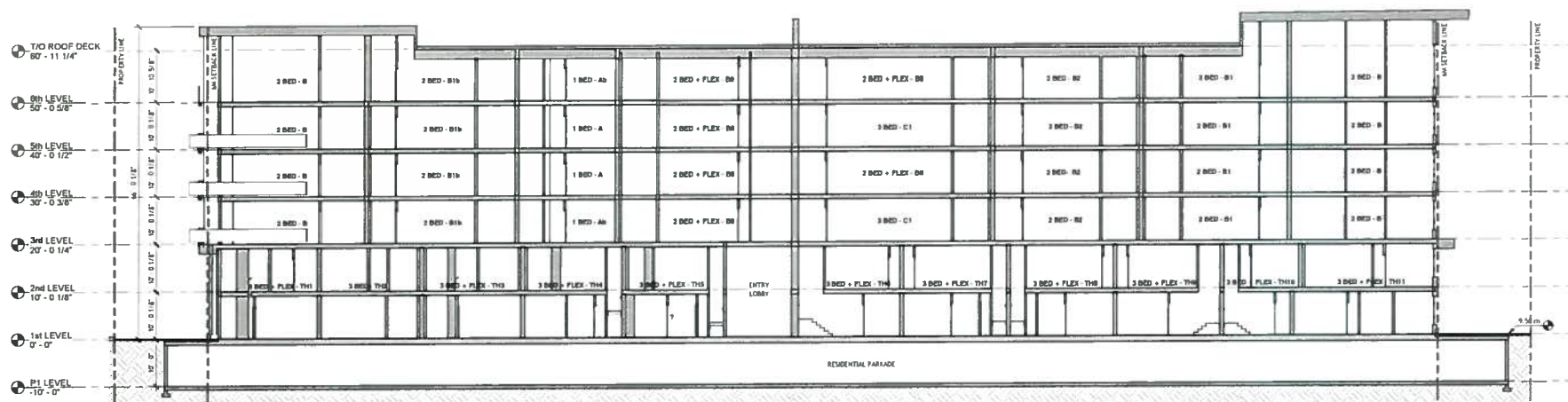
CONCOSTS BOARDWALK APARTMENTS
PARK AVENUE, LANGLEY B.C.

SITE PLAN
SCALE 3/32" = 1'-0"

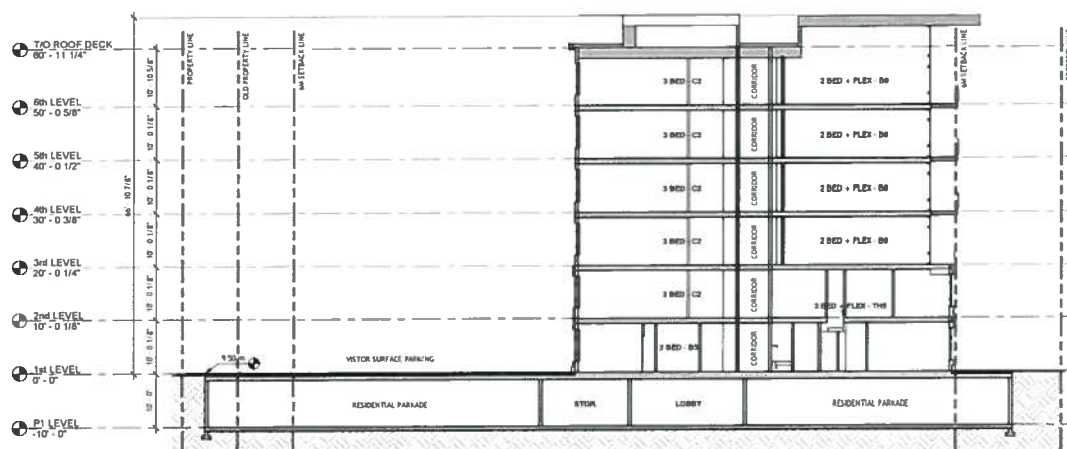


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CITY OF LANGLEY FILE #
PROJECT NUMBER 19-105

SD1.20



site section a

 $3/32" \times 1'-0"$ 

site section b

$$3/3.5^* = 1.5^*$$


CONCOSTS BOARDWALK APARTMENTS
PARK AVENUE, LANGLEY B.C.

SITE SECTIONS

SCALE 3/32" = 1'-0"

ISSUED FOR DEVELOPMENT PERMIT

09/24/18 REVISION #
CITY OF LANGLEY FILE #
PROJECT NUMBER 18-105

SD1.21



CONCOSTS BOARDWALK APARTMENTS
PARK AVENUE, LANGLEY B.C.

3D MASSING PERSPECTIVE
SCALE: 1/125

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09/24/18 REVISION #
CITY OF LANGLEY FILE #
PROJECT NUMBER: 13-105

SD1.33



CONCOSTS BOARDWALK APARTMENTS
PARK AVENUE, LANGLEY B.C.

3D MASSING PERSPECTIVES
SCALE: N.T.S.

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09/24/18 REVISION #
CITY OF LANGLEY FILE #
PROJECT NUMBER 15-105

SD1.34



CONCOSTS BOARDWALK APARTMENTS
PARK AVENUE, LANGLEY B.C.

3D MASSING PERSPECTIVE
SCALE: N.T.S.

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CITY OF LANGLEY FILE #
PROJECT NUMBER: 19-105

SD1.35



CONCOSTS BOARDWALK APARTMENTS
PARK AVENUE, LANGLEY B.C.

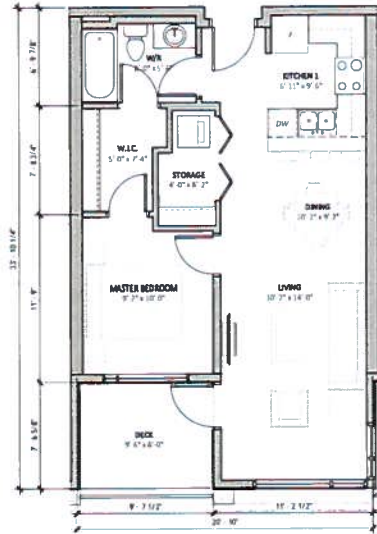
3D MASSING PERSPECTIVE
SCALE: N.T.S.

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09/24/18 REVISION #
CITY OF LANGLEY FILE #
PROJECT NUMBER 18-105

SD1.36

unit A

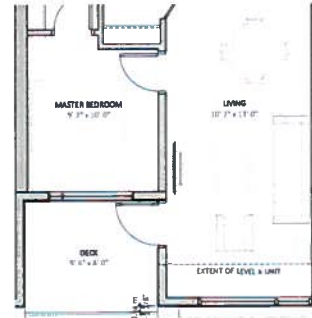
1/4" = 1'-0"
1 BED - 629 SF
OF UNITS - 2



unit Ab

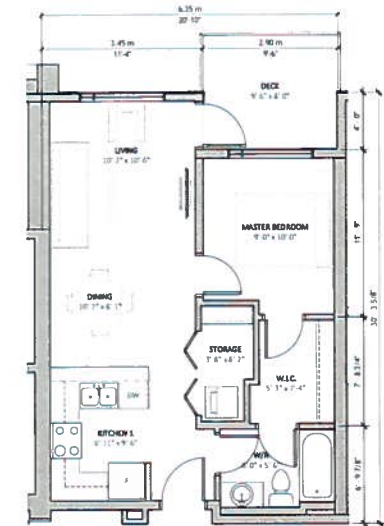
1/4" = 1'-0"
1 BED - 595-629 SF
OF UNITS - 2

UNIT MATCHES UNIT A
OTHER THAN WHAT IS SHOWN



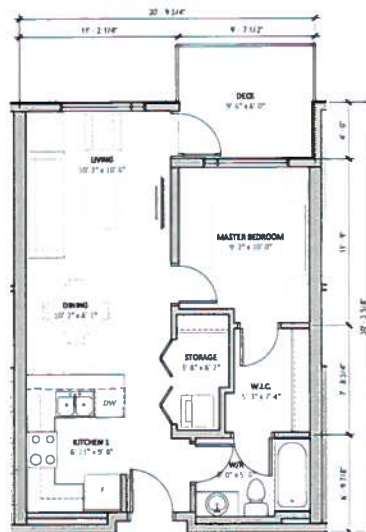
unit A1

1/4" = 1'-0"
1 BED - 583-587 SF
OF UNITS - 6



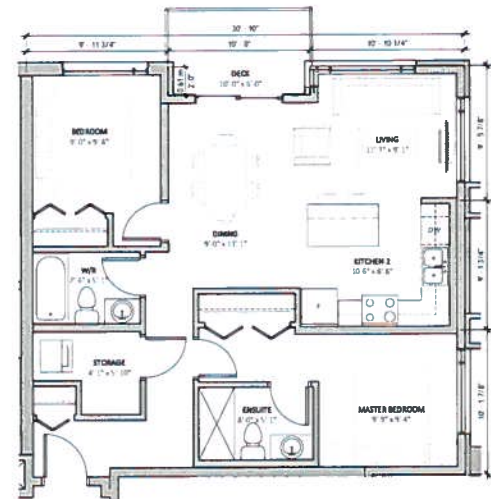
unit A3

1/4" = 1'-0"
1 BED - 587 SF
OF UNITS - 4



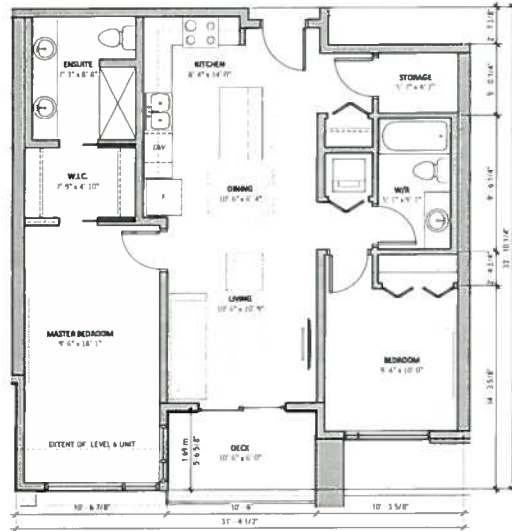
unit B

1/4" = 1'-0"
2 BED - 865-872 SF
OF UNITS - 14

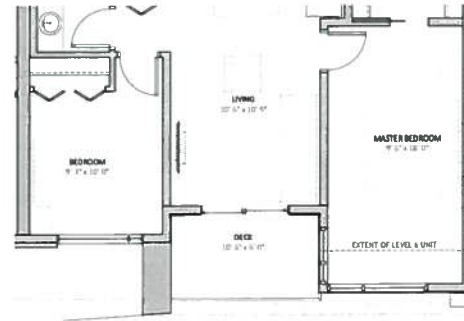


unit B1

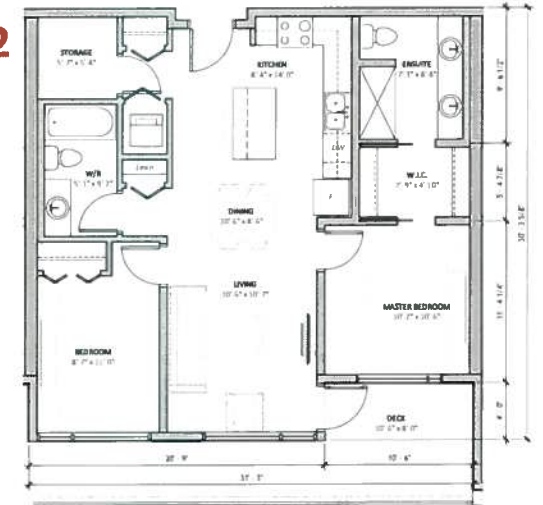
1/4" = 1'-0"

2 BED - 901-933 SF
OF UNITS - 4**unit B1b**

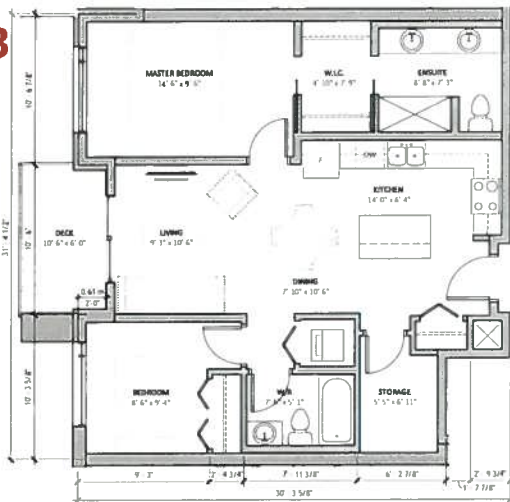
1/4" = 1'-0"

2 BED - 895-933 SF
OF UNITS - 4UNIT MATCHES UNIT B1
OTHER THAN WHAT IS SHOWN**unit B2**

1/4" = 1'-0"

2 BED - 890 SF
OF UNITS - 4**unit B3**

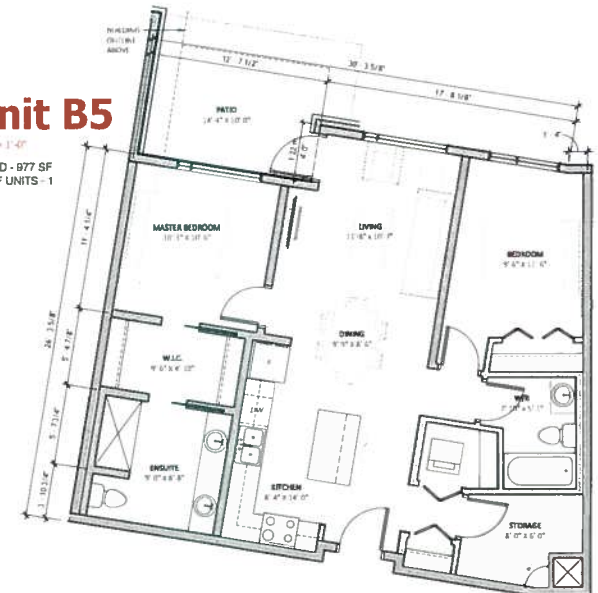
1/4" = 1'-0"

2 BED - 861 SF
OF UNITS - 6**unit B4**

1/4" = 1'-0"

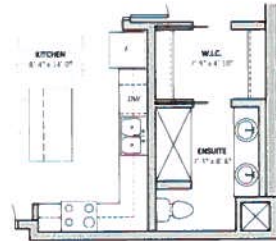
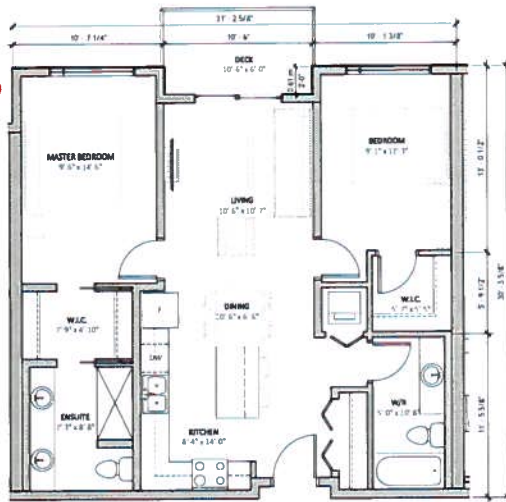
2 BED - 1015 SF
OF UNITS - 6**unit B5**

1/4" = 1'-0"

2 BED - 977 SF
OF UNITS - 1

unit B6

1/4" = 1'-0"
2 BED - 916 SF
OF UNITS - 4



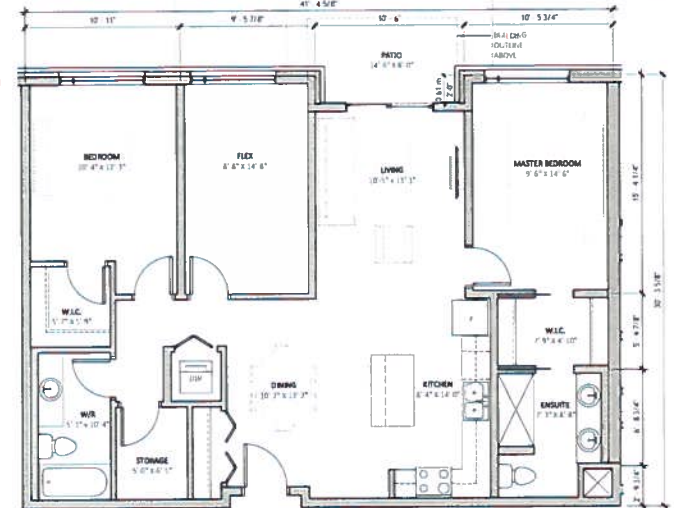
UNIT MATCHES UNIT C
OTHER THAN WHAT IS SHOWN

unit B6b

1/4" = 1'-0"
2 BED - 910 SF
OF UNITS - 4

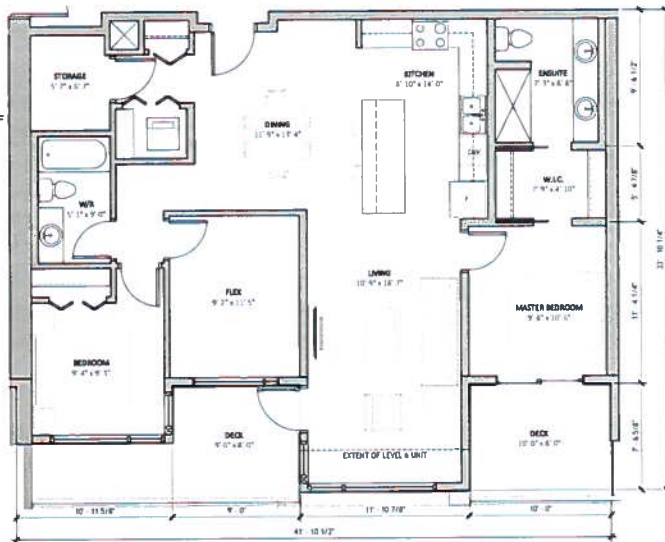
unit B7

1/4" = 1'-0"
2 BED + FLEX - 1226 SF
OF UNITS - 2



unit B8

1/4" = 1'-0"
2 BED + FLEX - 1170-1212 SF
OF UNITS - 2



unit B9

1/4" = 1'-0"
2 BED + FLEX - 1070 SF
OF UNITS - 4



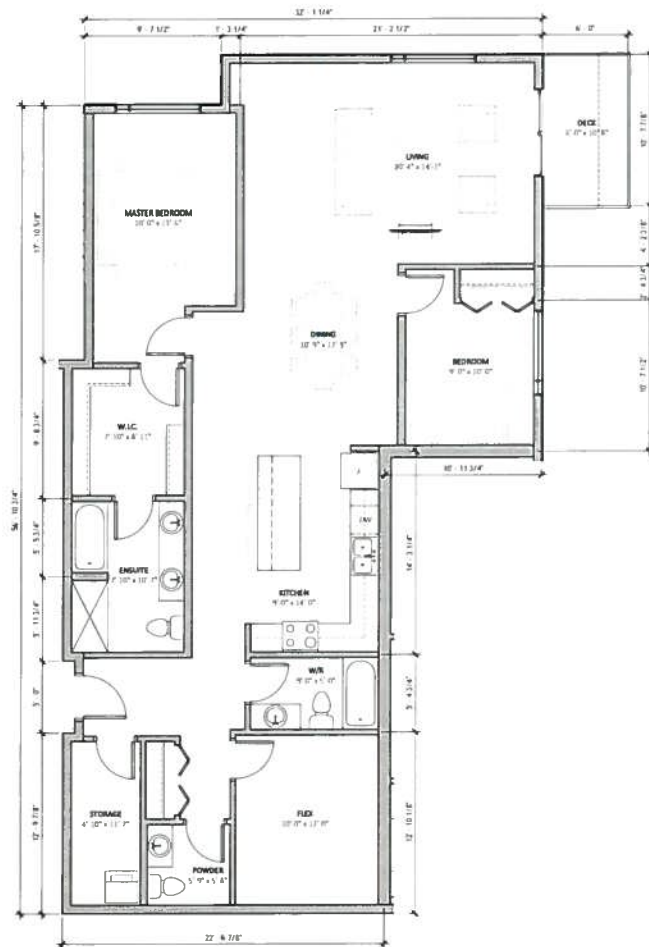
CONCOSTS BOARDWALK APARTMENTS
PARK AVENUE, LANGLEY B.C.

UNIT PLANS
SCALE 1/4" = 1'-0"

ISSUED FOR DEVELOPMENT PERMIT

09/24/18 REVISION #
CITY OF LANGLEY FILE #
PROJECT NUMBER: 18-105

SD2.03



unit B10

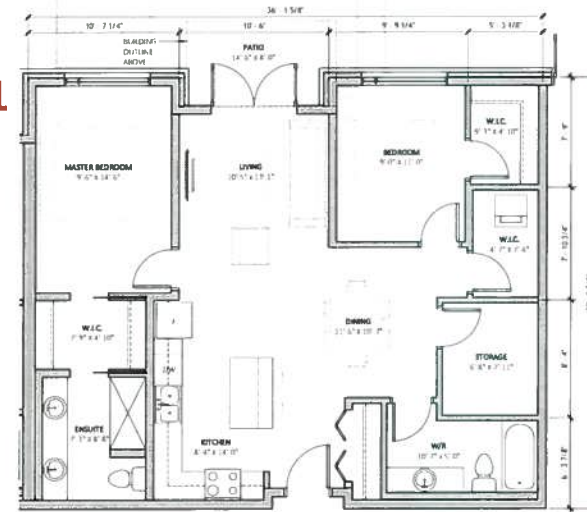
1/4" = 1'-0"

2 BED + FLEX - 1586 SF
OF UNITS - 5

unit B11

1/4" = 1'-0"

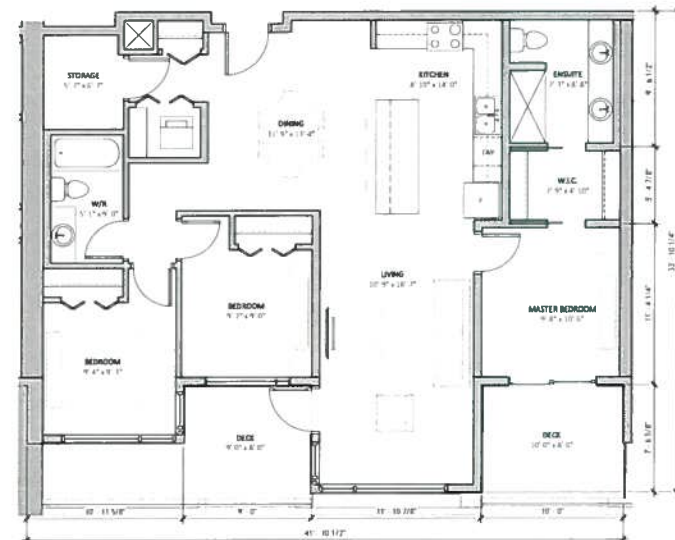
2 BED + FLEX - 1072 SF
OF UNITS - 1

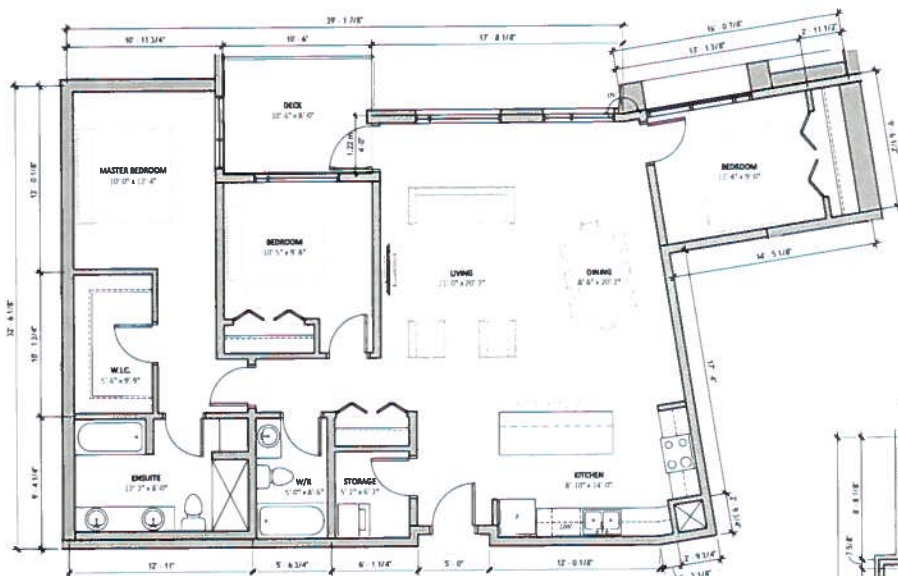


unit C1

1/4" = 1'-0"

3 BED - 1212 SF
OF UNITS - 2

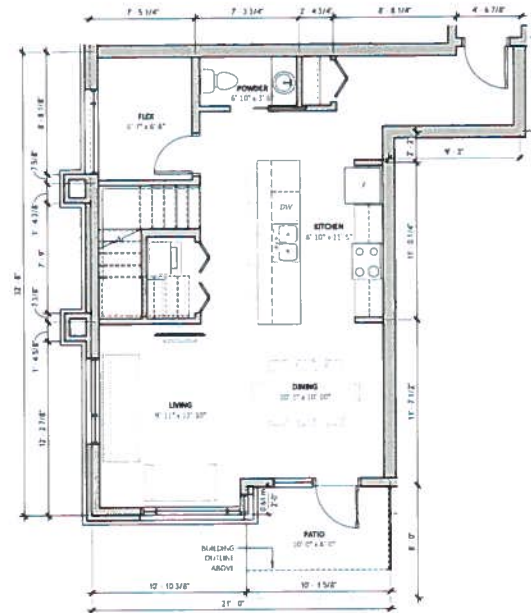




unit C2

1/4" = 1'-0"

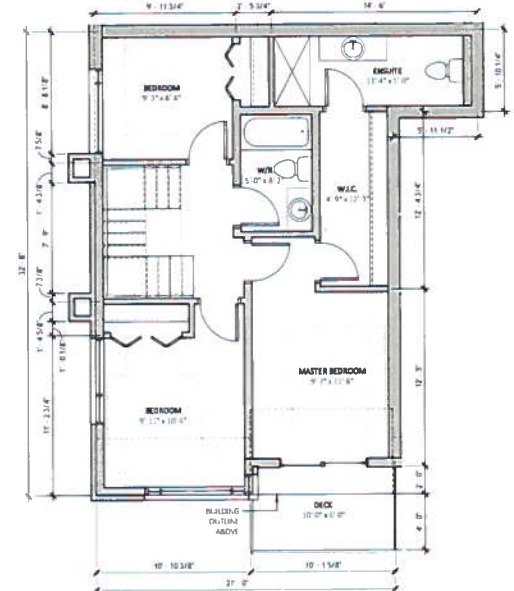
3 BED - 1410 SF
OF UNITS - 5



unit TH1 (L1)

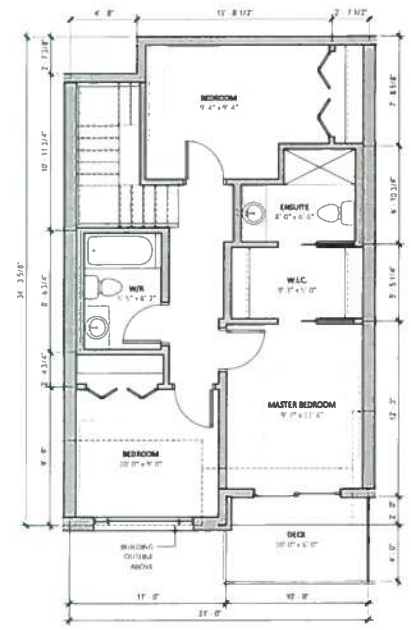
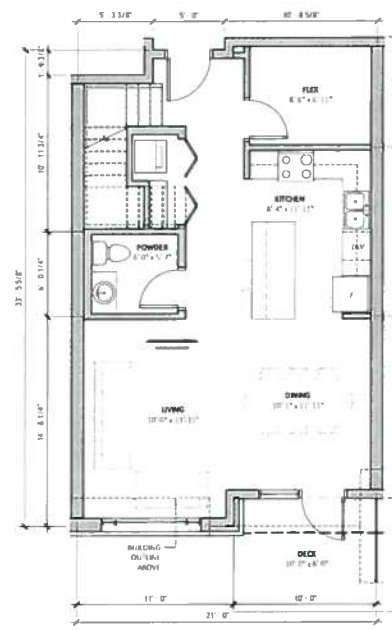
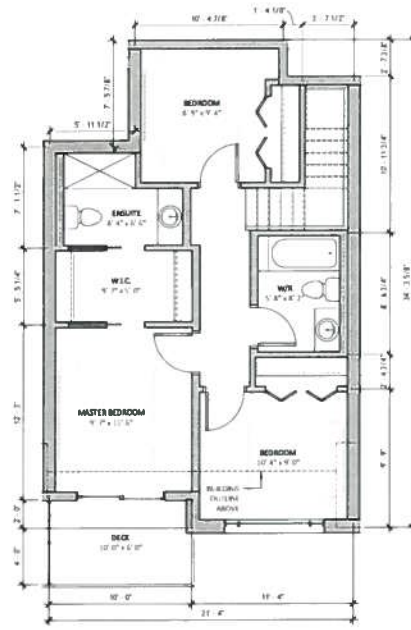
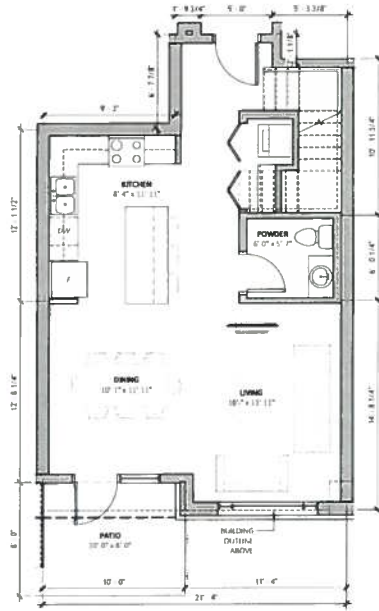
1/4" = 1'-0"

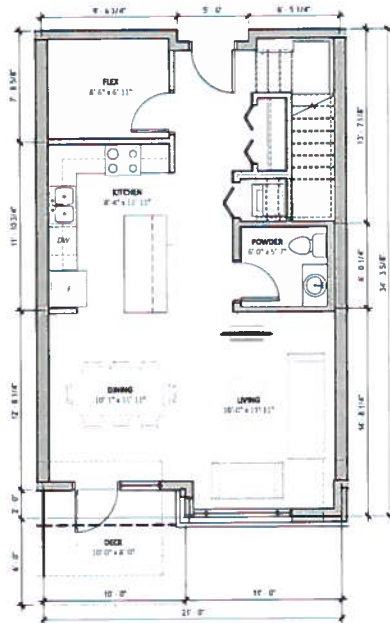
3 BED + FLEX
L1: 724 SF / L2: 701 SF
TOTAL: 1425 SF
OF UNITS - 1



unit TH1 (L2)

1/4" = 1'-0"

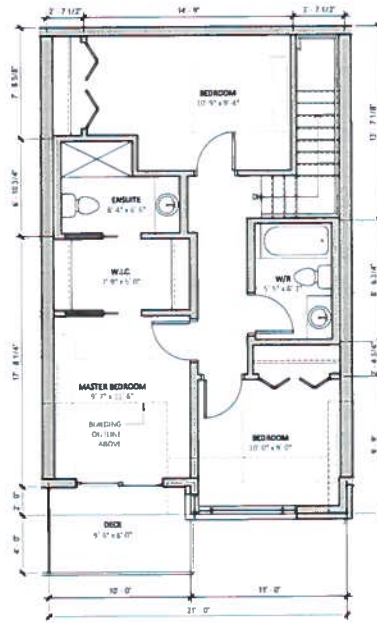




unit TH4 (L1)

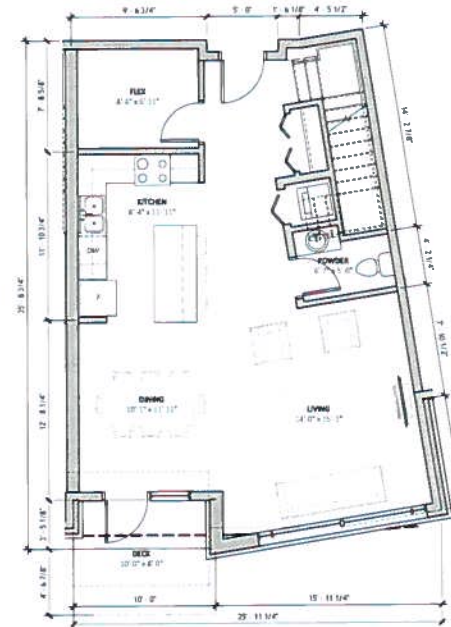
1/4" = 1'-0"

3 BED + FLEX
L1: 695 SF / L2: 699 SF
TOTAL 1394 SF
OF UNITS - 1



unit TH4 (L2)

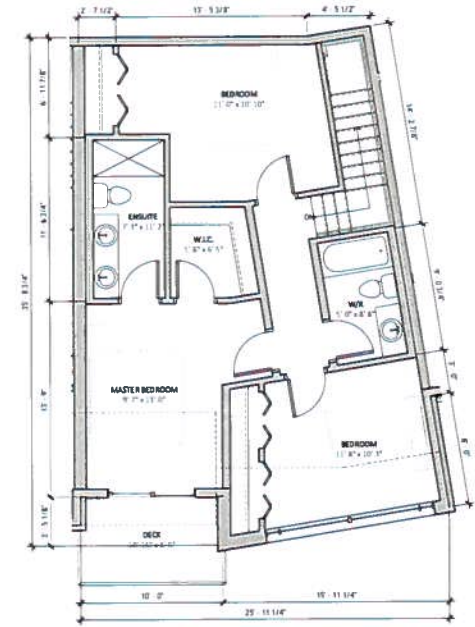
1/4" = 1'-0"



unit TH5 (L1)

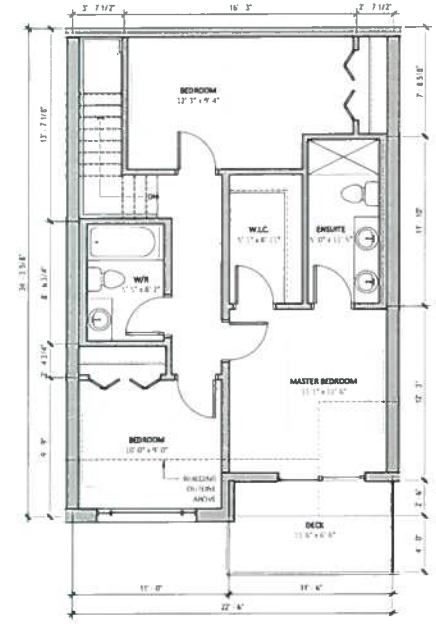
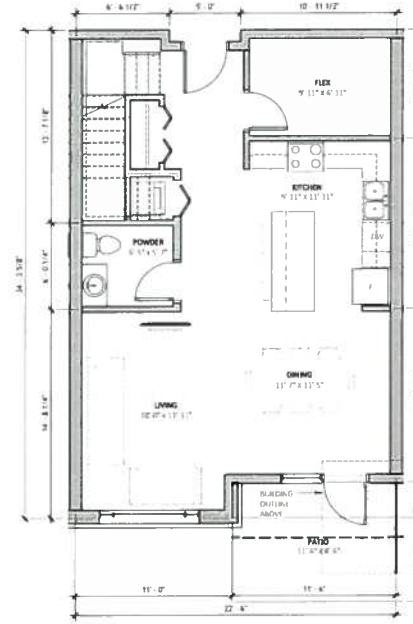
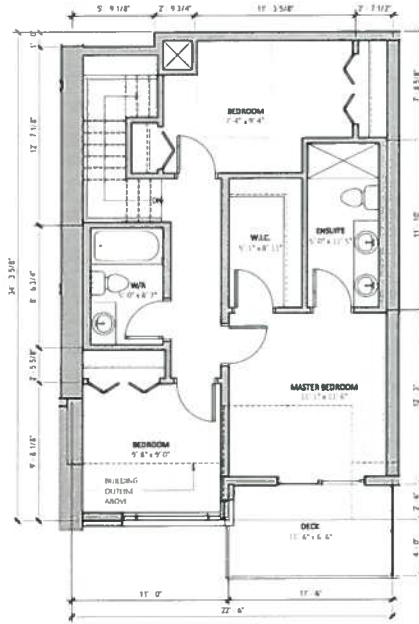
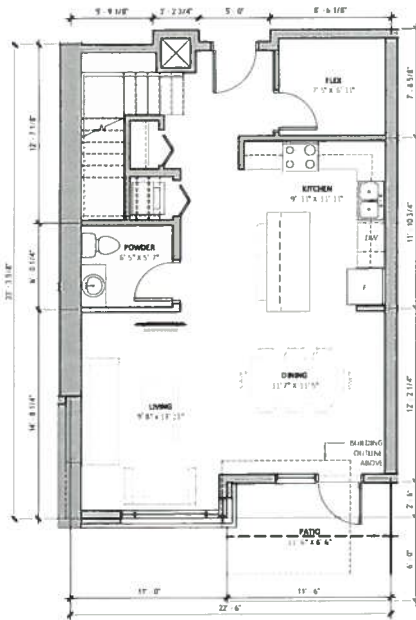
1/4" = 1'-0"

3 BED + FLEX
L1: 780 SF / L2: 784 SF
TOTAL 1564 SF
OF UNITS - 1



unit TH5 (L2)

1/4" = 1'-0"



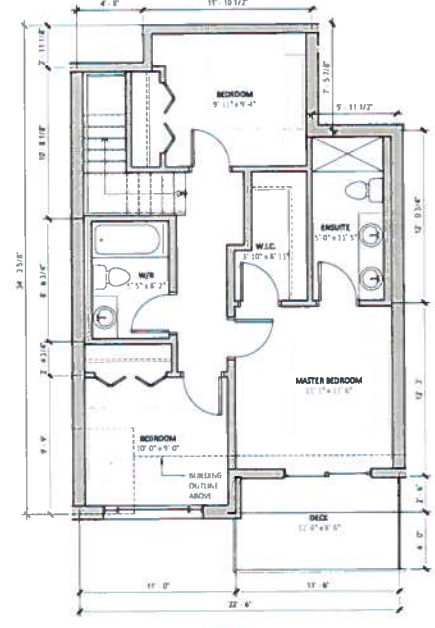
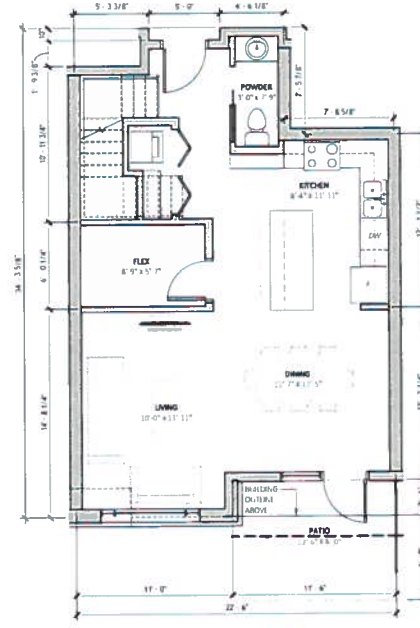
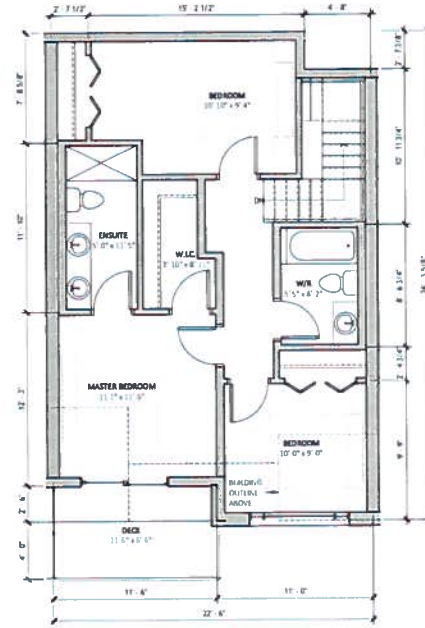
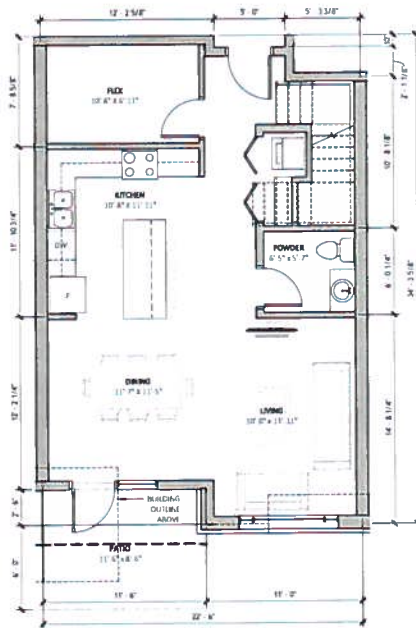
CONCASTS BOARDWALK APARTMENTS
PARK AVENUE, LANGLEY B.C.

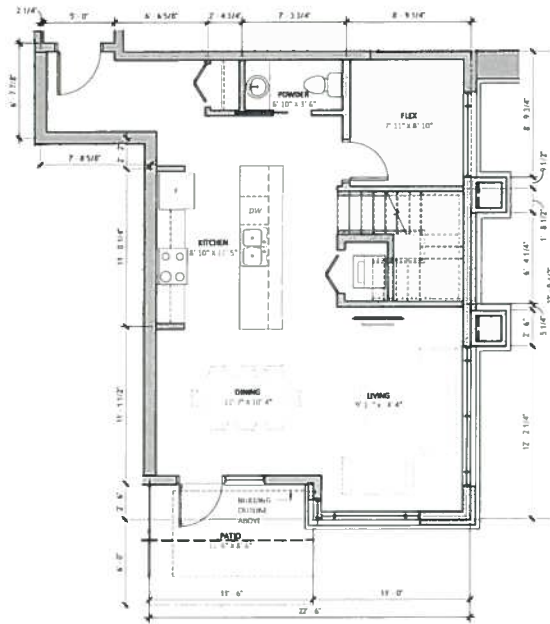
UNIT PLANS
SCALE 1/4" = 1'-0"

ISSUED FOR DEVELOPMENT PERMIT

09/24/19 REVISION #
CITY OF LANGLEY FILE #
PROJECT NUMBER: 19-105

SD2.08

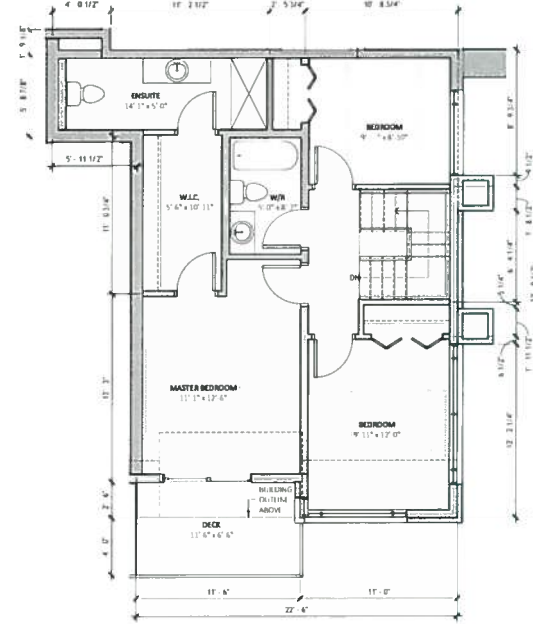




unit TH11 (L1)

1/4" = 1'-0"

3 BED + FLEX
L1: 750 SF / L2: 751 SF
TOTAL 1510 SF
OF UNITS - 1



unit TH11 (L2)

1/4" = 1'-0"



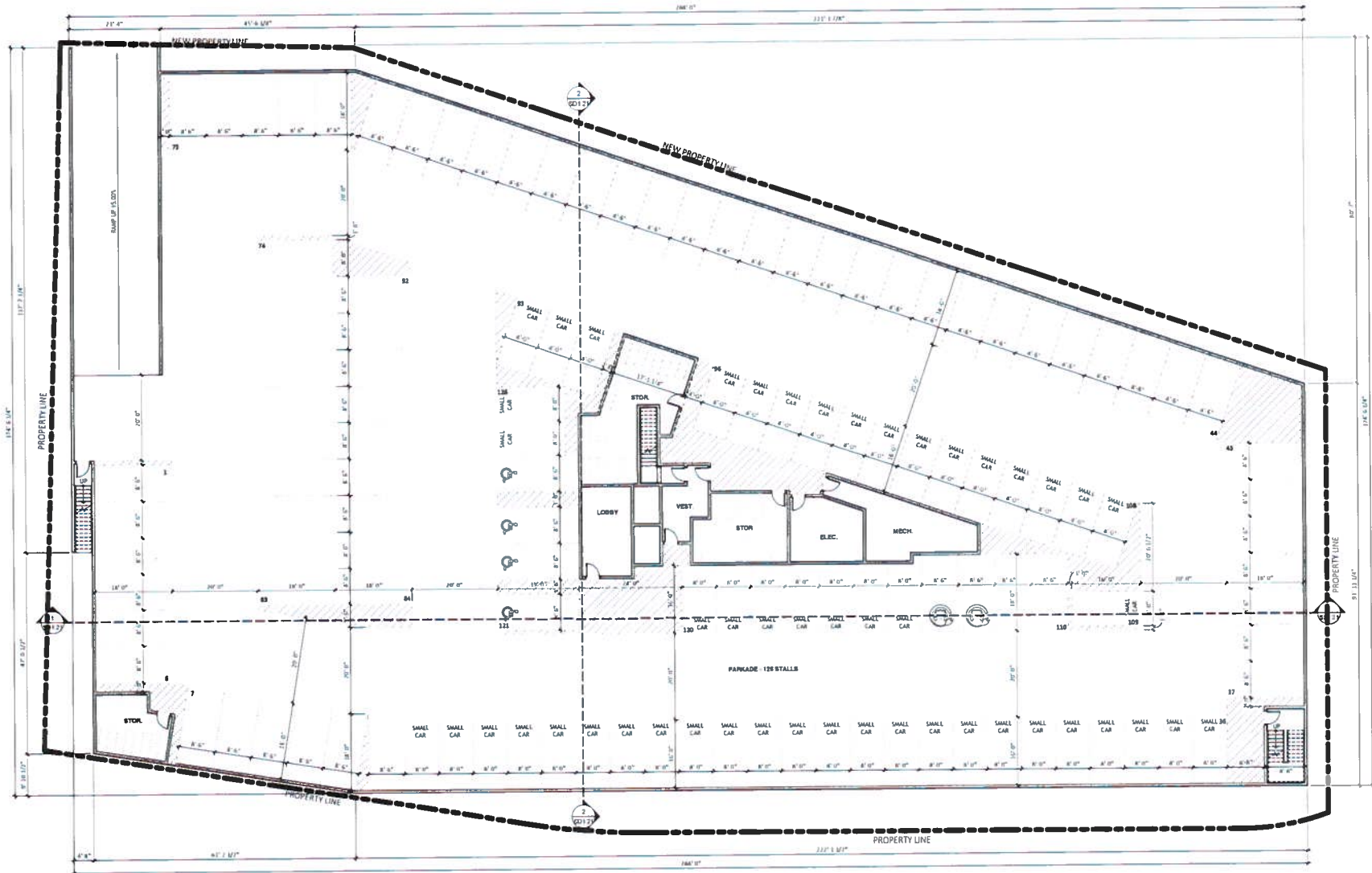
CONCOSTS BOARDWALK APARTMENTS
PARK AVENUE, LANGLEY B.C.

UNIT PLANS
SCALE 1/4" = 1'-0"

ISSUED FOR DEVELOPMENT PERMIT

09/24/18 REVISION #
CITY OF LANGLEY FILE #
PROJECT NUMBER 19-105

SD2.10



parkade level plan

3/32" = 1'-0"



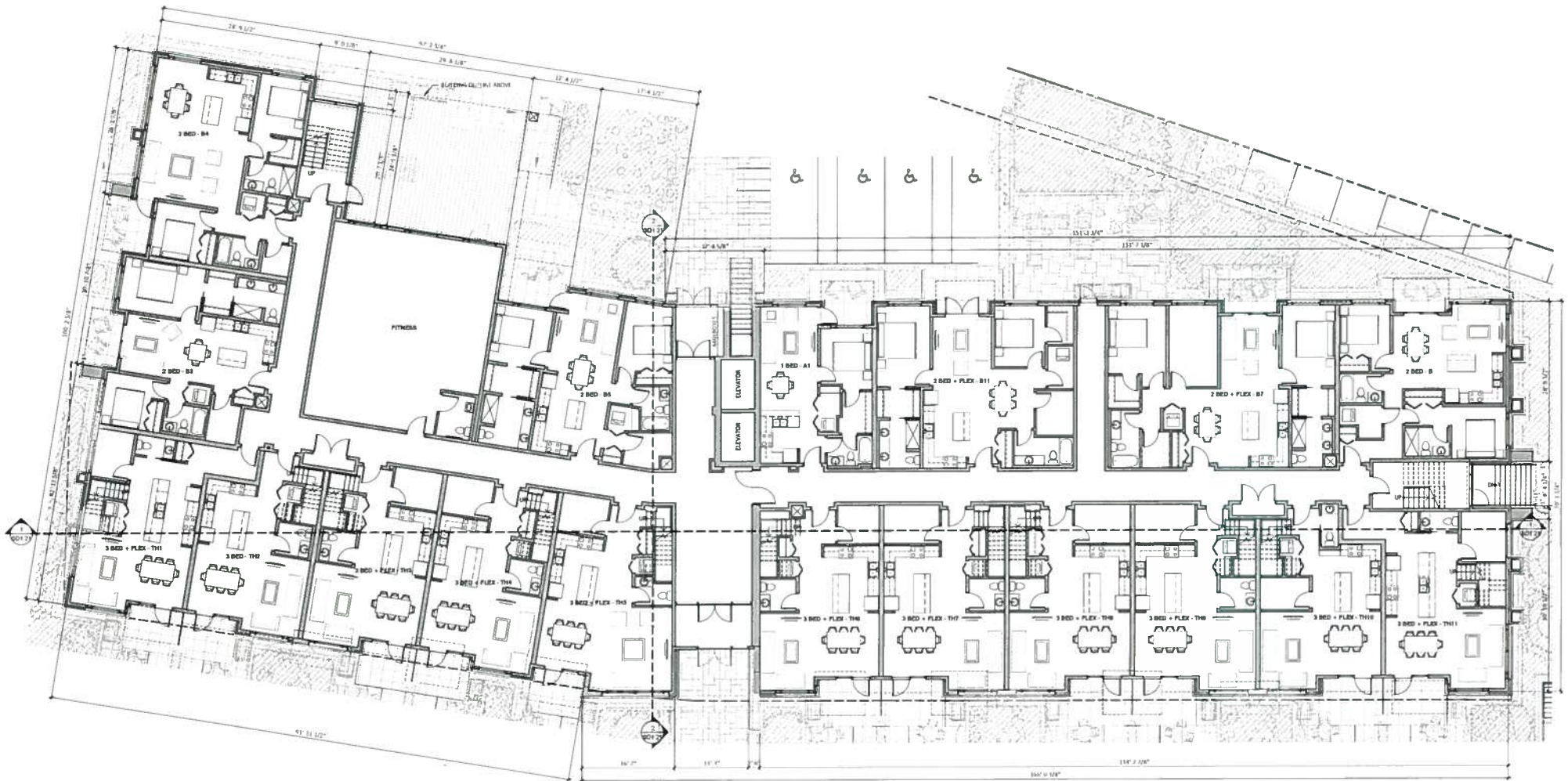
CONCOSTS BOARDWALK APARTMENTS
PARK AVENUE, LANGLEY B.C.

P1 LEVEL PLAN
SCALE 3/32" = 1'-0"



ISSUED FOR DEVELOPMENT PERMIT
09/24/19 REVISION #
CITY OF LANGLEY FILE #
PROJECT NUMBER: 18-105

SD3.01



1st level plan

1/8" = 1'-0"



keystonesearch.ca

CONCOSTS BOARDWALK APARTMENTS
PARK AVENUE, LANGLEY B.C.

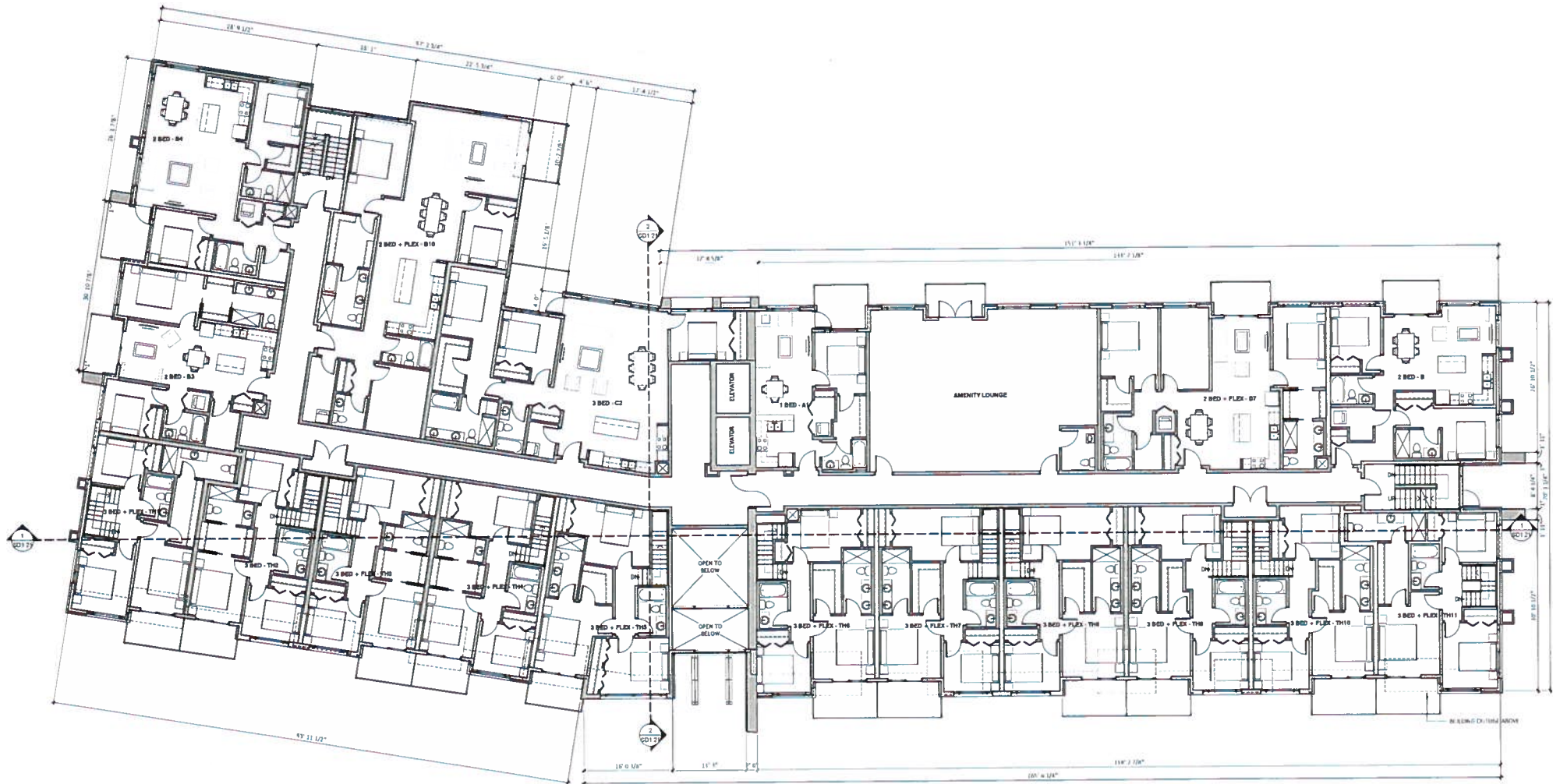
1st LEVEL PLAN
SCALE 1/8" = 1'-0"



ISSUED FOR DEVELOPMENT PERMIT

09/24/18 REVISION #
CITY OF LANGLEY FILE #
PROJECT NUMBER: 19-105

SD3.02



2nd level plan

1/8" = 1'-0"



CONCOSTS BOARDWALK APARTMENTS
PARK AVENUE, LANGLEY B.C.

2nd LEVEL PLAN
SCALE 1/8" = 1'-0"



ISSUED FOR DEVELOPMENT PERMIT

09/24/18 REVISION #
CITY OF LANGLEY FILE #
PROJECT NUMBER: 18-105

SD3.03



3rd level plan

1/8" = 1'-0"



keytonearch.ca

CONCOSTS BOARDWALK APARTMENTS
PARK AVENUE, LANGLEY B.C.

3rd LEVEL PLAN
SCALE 1/8" = 1'-0"



ISSUED FOR DEVELOPMENT PERMIT

09/24/18 REVISION #
CITY OF LANGLEY FILE #
PROJECT NUMBER 18-105

SD3.04



4th level plan

1/8" = 1'-0"



CONCOSTS BOARDWALK APARTMENTS
PARK AVENUE, LANGLEY B.C.

4th LEVEL PLAN
SCALE 1/8" = 1'-0"



ISSUED FOR DEVELOPMENT PERMIT
09/24/18 REVISION #
QTY OF LAYSHEET FILE #
PROJECT NUMBER 18-105

SD3.05



5th level plan

1/8" = 1'-0"



CONCOSTS BOARDWALK APARTMENTS
PARK AVENUE, LANGLEY B.C.

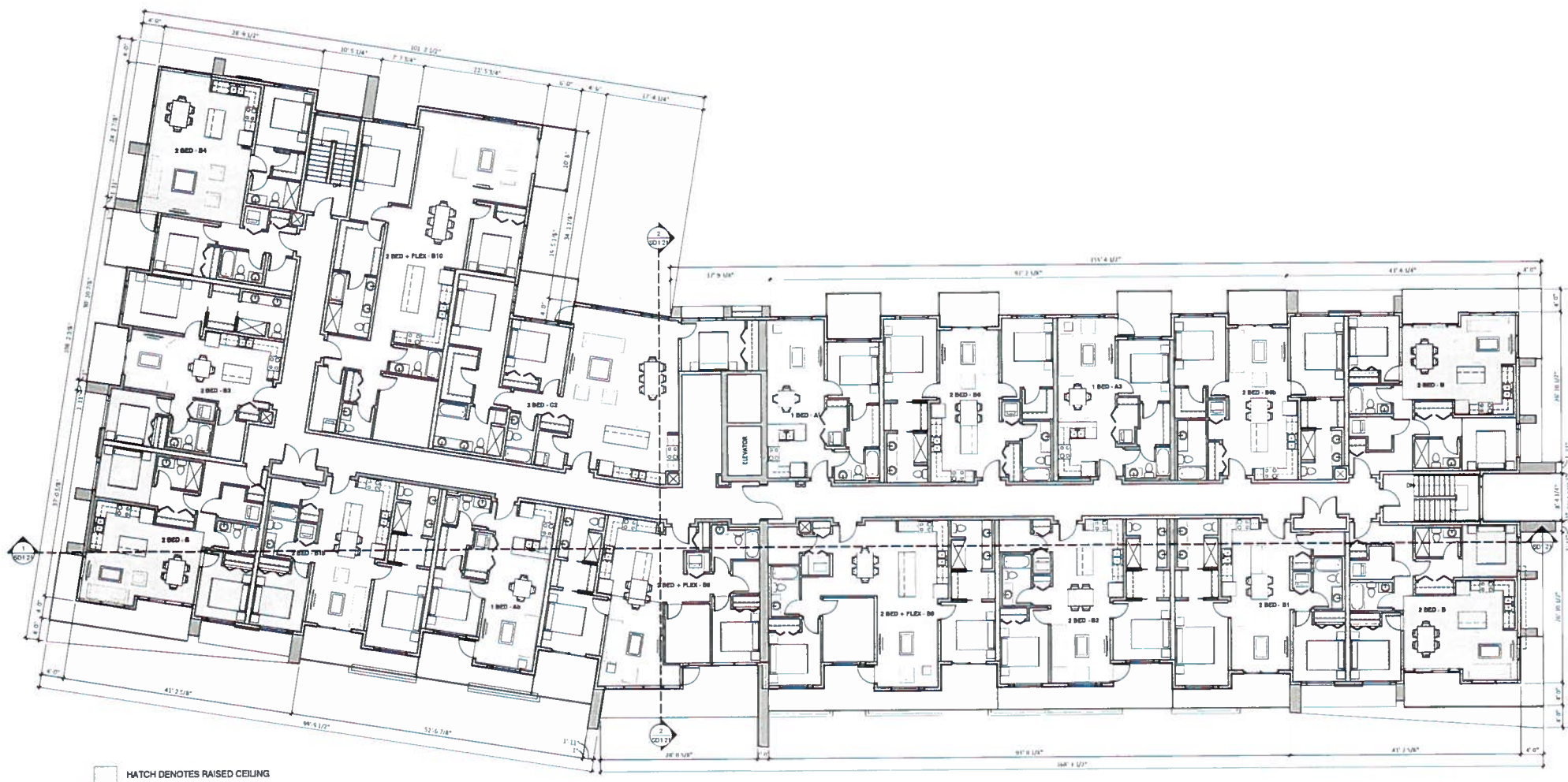
5th LEVEL PLAN
SCALE 1/8" = 1'-0"



ISSUED FOR DEVELOPMENT PERMIT

09/24/18 REVISION #
CITY OF LANGLEY FILE #
PROJECT NUMBER 19-105

SD3.06



6th level plan

 $\frac{1}{6}'' = 1.0''$ 

CONCOSTS BOARDWALK APARTMENTS

PARK AVENUE, LANGLEY B.C.

6th LEVEL PLAN

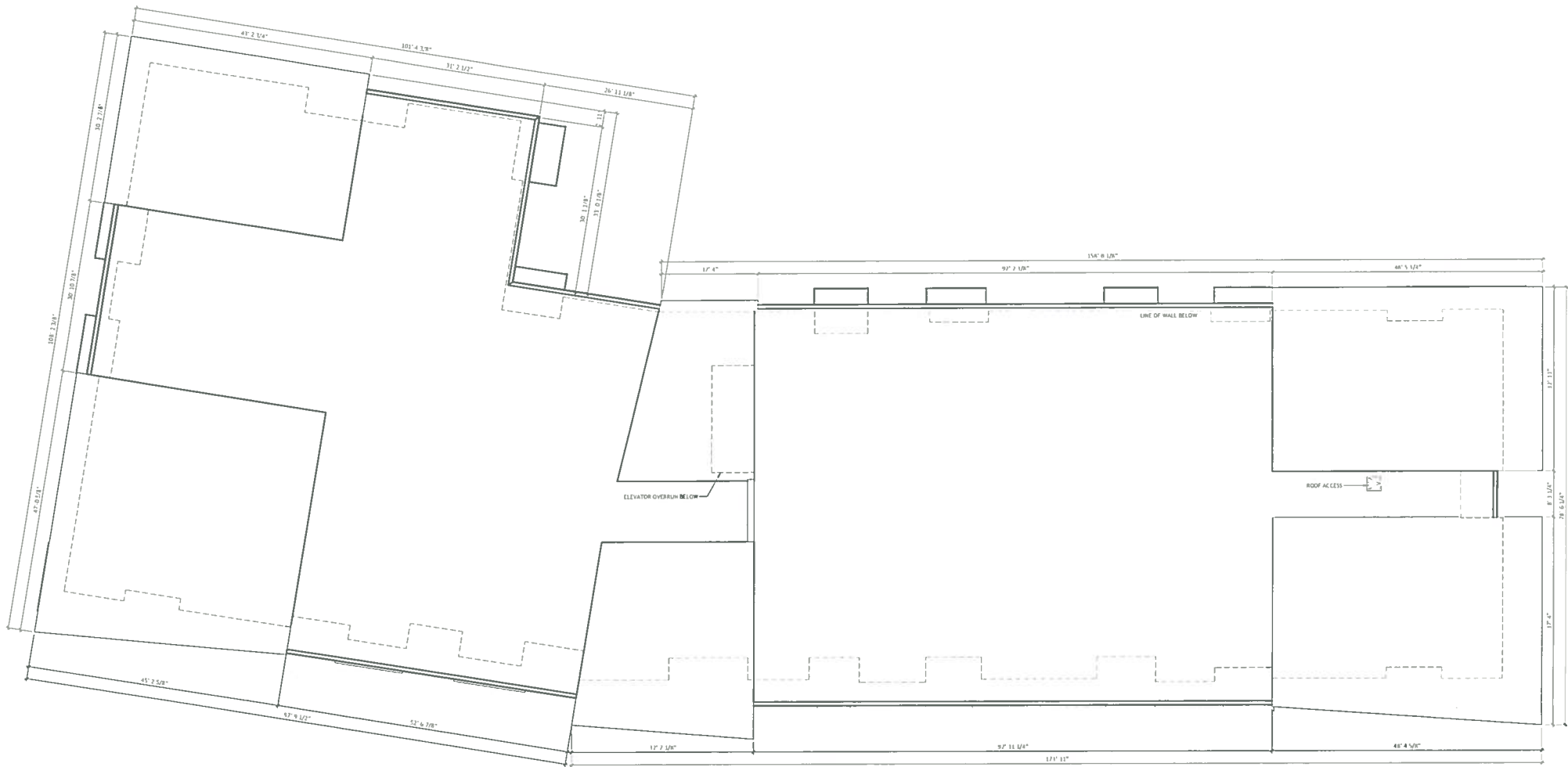
SCALE 1/8" = 1'-0"



ISSUED FOR DEVELOPMENT PERMIT

09/24/18 REVISION #
CITY OF LANGLEY FILE #
PROJECT NUMBER: 18-105

SD3.07



roof level plan

1/5" = 1'-0"



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CONCOSTS BOARDWALK APARTMENTS

PARK AVENUE, LANGLEY B.C

ROOF LEVEL PLAN

SCALE 1/8" = 1'-0"



ISSUED FOR DEVELOPMENT PERMIT

09/24/18 REVISION #
CITY OF LANGLEY FILE #
PROJECT NUMBER 19-105

SD3.08



material legend

1. CEMENT BOARD SMOOTH PANEL SIDING (EWS) (FRONT ALL) (REVEALS)
2. CEMENT BOARD SMOOTH PANEL SIDING (EWS) (FRONT ALL) (REVEALS)
3. CEMENT BOARD SMOOTH PANEL SIDING (EWS) (FRONT ALL) (REVEALS)
4. CEMENT BOARD SMOOTH PANEL SIDING (EWS) (FRONT ALL) (REVEALS)
5. CEMENT BOARD SMOOTH PANEL SIDING (EWS) (FRONT ALL) (REVEALS)
6. TERRAZZO PANEL
7. FACE BRICK
8. FACE BRICK
9. EXTERIOR GLAZING (GLASS COATING)
10. WINDOW VINYL
11. SLIDING PATIO DOOR VINYL
12. ALUMINUM CLAD SYSTEM
13. ALUMINUM CLAD SYSTEM
14. STEEL GLASS COMMERCIAL ENTRANCE CANOPY
15. EXTERIOR ALUMINUM CLAD SYSTEM
16. CONCRETE WALL
17. EXTERIOR METAL DOOR
18. ALUMINUM METAL PANEL
19. ALUMINUM METAL PANEL



material legend

- [illegible]



CONCOSTS BOARDWALK APARTMENTS
PARK AVENUE, LANGLEY B.C.

BUILDING ELEVATIONS

SCALE As indicated

ISSUED FOR DEVELOPMENT PERMIT

09/24/18 REVISION #
CITY OF LANGLEY FILE #
PROJECT NUMBER: 18-105

SD4.02

2335 Boardwalk

Issued for Development Permit

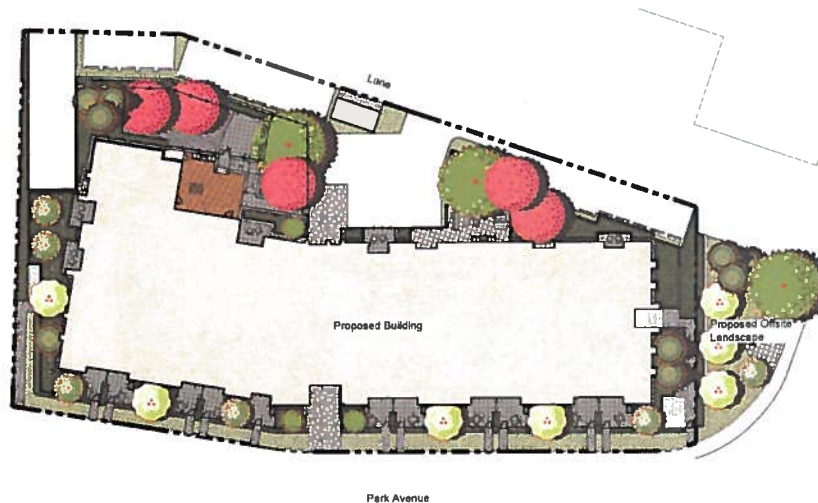
van der Zalm + associates inc.
Landscape Architecture
Landscape Design • Civil Engineering
Landscape Architecture
Suite 100 10100 Avenue 100 100 100 100
Langley, British Columbia V3A 1A1
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www.vdz.ca



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van der Zalm + associates inc. Project Landscape Architects Suite 100 - 20177 87th Avenue Langley, British Columbia V3M 4B6 T: 604 548 0824 F: 604 548 0824 Primary project contact: Travis Martin t.martin@vdz.ca T: 604 548 0824	Concoasts Project Owner 200 5436 Burne Rd. Unit 100 V3J 3J1 P: 604 522 9077	Keystone Architecture Project Building Architect 110 2881 Garden Street Abbotsford BC V2T 4K1 P: 604 850 0577 or 604 853 1536 ext 735 T: 604 850 348 4039 e: keystone@keystonearch.ca
Alternate contacts (on-site survey) Mark van der Zalm Principal Landscape Architect mark@vdz.ca T: 604 548 0824	Legal Address and Description: Plan NWP0550 Lot 12 Plan NWP0550 Lot 11 Plan NWP0550 Lot 10 Plan NWP0719 Lot 1	

Sheet List Table

Sheet Number	Sheet Title
L-01	COVER SHEET
L-02	SITE PLAN
L-03	PLANTING PLAN
L-04	OFF-SITE SITE PLAN
LD-01	DETAILS
LD-02	DETAILS
LD-03	DETAILS



1 SITE PLAN OVERVIEW
Scale: 1:300



2 LOCATION MAP
Scale: 1:750

No.	By	Description	Date
1	LJ	Issued for DP	Sept 24, 2018
2	LJ	Issued for DP	Sept 14, 2018
3	LJ	Issued for DP	Aug 2, 2017
4	LJ	Issued for Review	July 19, 2018
REVISIONS TABLE FOR DRAWINGS Copyright reserved. This drawing and design are the property of van der Zalm + associates inc. and may not be reproduced or used for other projects without permission.			
No.	By	Description	Date
REVISIONS TABLE FOR SHEET Project: Boardwalk Condos Location: Park Avenue, Langley, BC Drawn: LJ Checked: TM Approved: MVZC Original Sheet Size: 24"x36" Scale: AS SHOWN			

Drawing Title: COVER SHEET
 Drawing # V02 Project # DP2018-27
 Drawing # L-01



TREE SCHEDULE ONSITE				
SYMBOL	NOTATIONAL NAME / COMMON NAME	QTY	SIZE	QTY
	Amelanchier (Serviceberry) - Small dark blue	500	400	1
	Amelanchier (Serviceberry) - Small dark blue	500	400	1
	Amelanchier (Serviceberry) - Small dark blue	500	400	1
	Amelanchier (Serviceberry) - Small dark blue	500	400	1
	Amelanchier (Serviceberry) - Small dark blue	500	400	1
	Amelanchier (Serviceberry) - Small dark blue	500	400	1
	Amelanchier (Serviceberry) - Small dark blue	500	400	1
	Amelanchier (Serviceberry) - Small dark blue	500	400	1
	Amelanchier (Serviceberry) - Small dark blue	500	400	1
	Amelanchier (Serviceberry) - Small dark blue	500	400	1

HARDSCAPE MATERIALS		
KEY	REF	DESCRIPTION
	1	Concrete
	2	Gravel
	3	Asphalt
	4	Brick
	5	Stone
	6	Wood
	7	Plastic
	8	Steel
	9	Aluminum
	10	Copper

FENCING		
KEY	REF	DESCRIPTION
	1	Concrete
	2	Gravel
	3	Asphalt
	4	Brick
	5	Stone
	6	Wood
	7	Plastic
	8	Steel
	9	Aluminum
	10	Copper

SOFTSCAPE MATERIALS		
KEY	REF	DESCRIPTION
	1	Concrete
	2	Gravel
	3	Asphalt
	4	Brick
	5	Stone
	6	Wood
	7	Plastic
	8	Steel
	9	Aluminum
	10	Copper

van der Zalm + associates inc.
Landscape Architecture
2017 2018 2019
2020 2021 2022
2023 2024 2025
2026 2027 2028
2029 2030 2031
2032 2033 2034
2035 2036 2037
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2041 2042 2043
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REVISIONS TABLE FOR DRAWINGS

Project: _____

Boardwalk Condos

Park Avenue,
London, EC

Drawn:  Blamp: 

TM	
Approved:	Control Sheet Size:

Scale
1:150

1148 J. Neurosci., September 24, 2008 • 28(39):1143–1150

Drawing #: **L-03**

[illegible]

1. All plant material and the installation of plant material shall meet or exceed the standards required by the Canadian Landscape Standard (current edition)
2. Topsoil supplied shall be from a reputable source. A full analysis of the growing medium will be required at the contractor's expense, submit to landscape consultant for approval.
3. Amend growing medium per soil analysis recommendations prior to spreading on site. Rejected growing medium shall be removed off site immediately at the landscape contractors expense
4. Growing medium depths for planting as follows
 - a. Shrubs 450mm
 - b. Soil 150mm
 - c. Tree pits 1000mm with 300mm (below root ball)
5. 1" musm compost must be installed in all shrub planting areas
6. All lands/clear areas to be planted



Key Map (NITE)

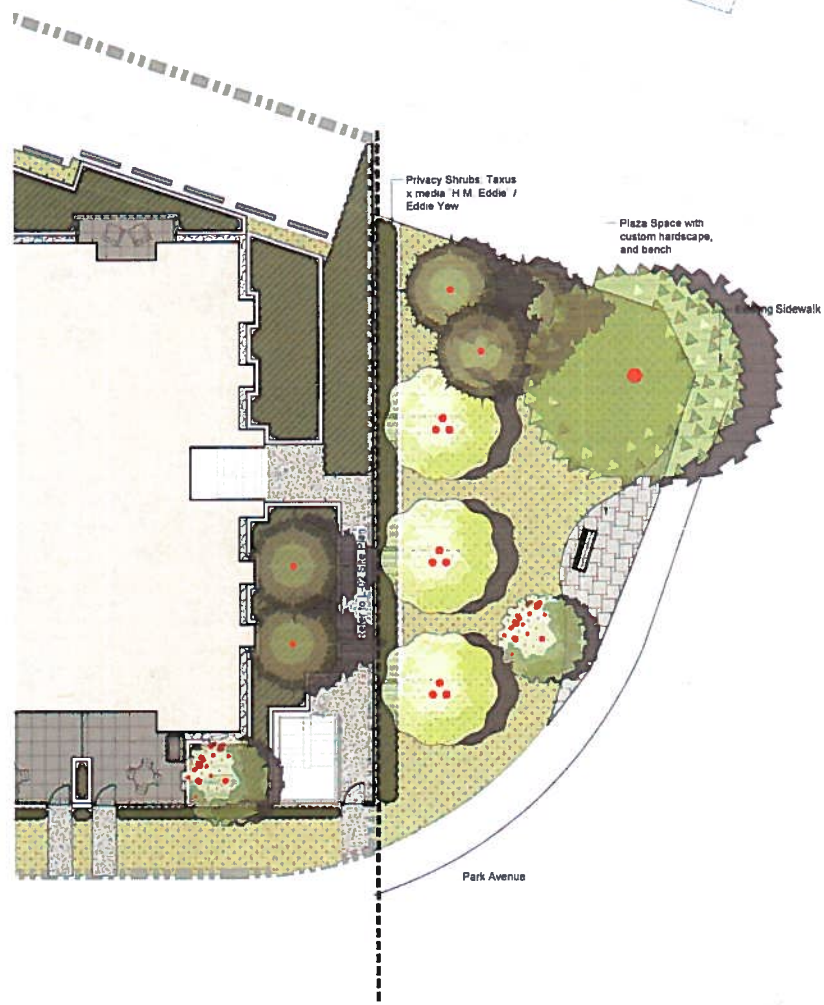


OFFSITE HARDSCAPE MATERIALS

KEY	REF	DESCRIPTION
	4.8 LD-01	CONCRETE SIDEWALK
	5 LD-02	CONCRETE PAVERS Pattern: solid Depth: 40mm Color: Natural and Charcoal Size: 18x18x40mm

SOFTSCAPE MATERIALS

KEY	REF	DESCRIPTION
	500	See Critical Landscape Notes for Species



TREE SCHEDULE OFFSITE

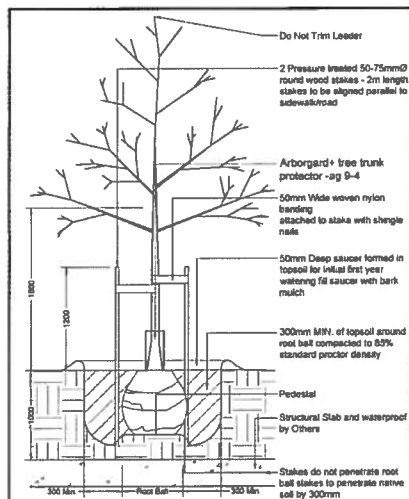
TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	QTY
	Acer palmatum 'Sango Kaku' / Coral Bark Maple	B&B	6cm	1
	Chionanthus virginicus / White Fringetree	B&B, Multi-stem, min. 3 leader	4cm	3
	Fraxinus americana 'Autumn Purple' / Autumn Purple Ash	B&B	6cm	1
	Pinus contorta 'Contorta' / Shore Pine	B&B		3

PLANT SCHEDULE OFFSITE

SHRUBS	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
	Taxus x media 'H.M. Eddie' / Eddie Yew	1.5 m tall	750mm	32

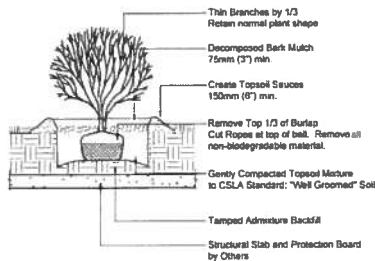
1 OFFSITE PLAN OPTION 1
Scale: 1:100



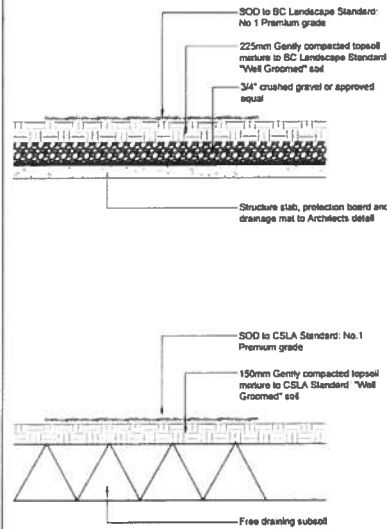


- NOTES:
1. Sack/burlap to be loosened and dropped to the bottom of the planting hole, all string, twine, etc to be removed.
 2. All wire baskets shall have the top 1/3 of the wire removed prior to planting.
 3. All trees shall be single stem.

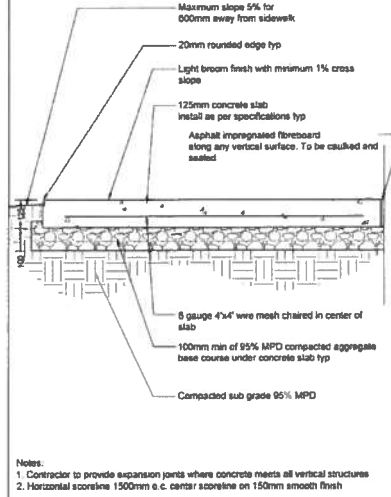
1 TREE PLANTING ON SLAB
Scale 1:25



2 SHRUB PLANTING ON SLAB
Scale 1:25

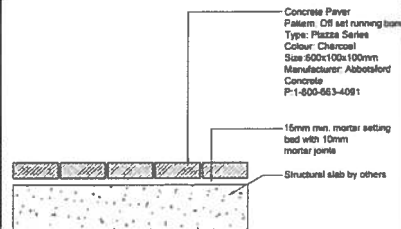


3 GROUNDCOVER ON SLAB
Scale 1:25

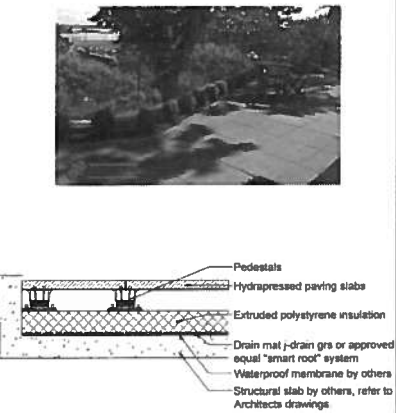


- Notes:
1. Contractor to provide expansion joints where concrete meets all vertical structures
 2. Horizontal scoreline 1500mm e.c. center scoreline on 150mm smooth finish

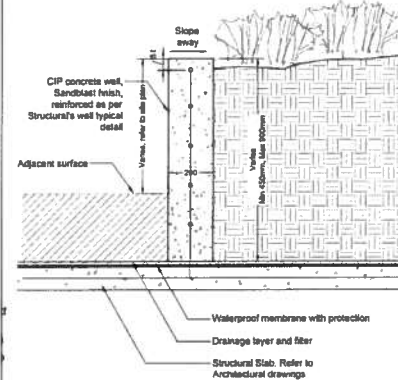
4 CONCRETE SIDEWALK ON GRADE
Scale 1:10



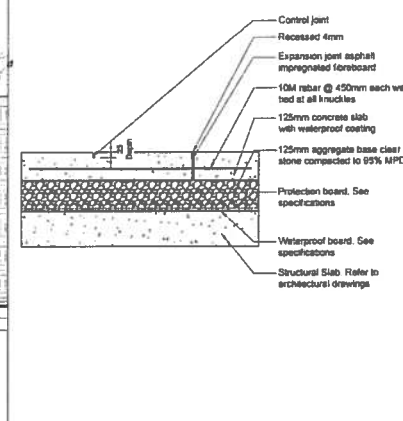
5 PAVERS WITH MORTAR
Scale 1:10



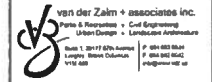
6 HYDRAPRESSED SLAB
Scale 1:10



7 CONCRETE RETAINING WALL
Scale 1:10



8 CONCRETE SIDEWALK ON SLAB
Scale 1:10



No.	By	Description	Date
4	LJ	Issued for CP	Sept 24, 2010
3	LJ	Issued for CP	Sept 14, 2010
2	LJ	Issued for CP	Aug 3, 2010
1	LJ	Issued for Review	July 13, 2010
REVISIONS TABLE FOR DRAWINGS			
* Contractor to provide expansion joints where concrete meets all vertical structures			
REVISIONS TABLE FOR SHEET			
Project: Boardwalk Condos			
Location: Park Avenue, Langley, BC			
Drawn	Stamp		
LJ			
Checked			
TM			
Approved			
MYDZ			
Scale:	Original Sheet Size 24"x36"		
AS SHOWN			

Drawing Title: DETAILS
V02 Project # DP2018-27
Drawing # LD-01



Manufacturer: Equiparc
 Model: Delta Table
 Mount: Surface Mount

1 OUTDOOR TABLE
 Scale: NTS



Manufacturer: Equiparc
 Model: Delta Bike Rack
 Mount: Surface Mount

2 BIKE RACK
 Scale: NTS



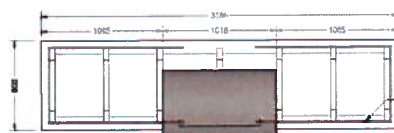
Manufacturer: Equiparc
 Model: Delta Bench EP 1950
 Mount: Surface Mount

3 BENCH
 Scale: NTS

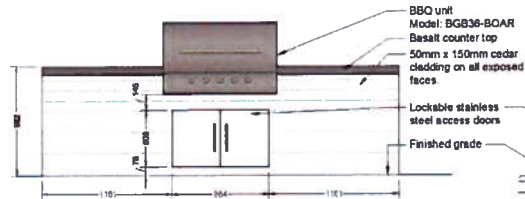


Manufacturer: Equiparc
 Model: Delta Garbage
 Mount: Surface Mount

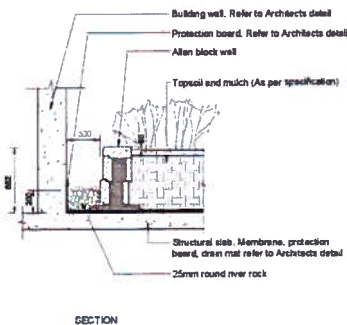
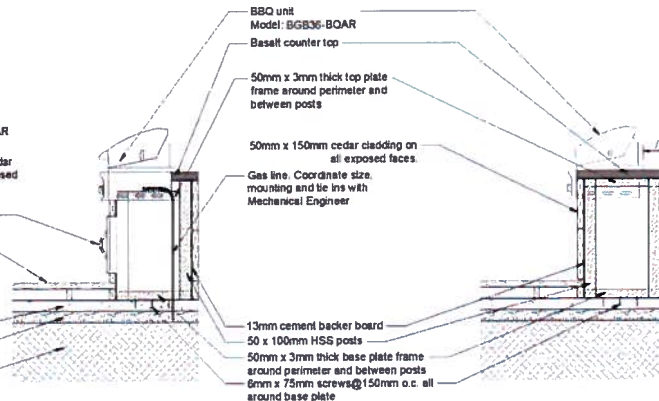
4 TRASH RECEPTACLE
 Scale: NTS



- Notes:
1. Contractor to verify BBQ dimensions prior to construction of BBQ enclosure.
 2. Contractor to submit shop drawings for approval.
 3. BBQ grill to be installed per manufacturers specifications.
 4. Gas line to be coordinated with Mechanical Engineer and to meet BBQ manufacturers specifications.
 5. BBQ Unit model BGB36-BQAR by Fisher & Paykel, or approved equal.



100mm concrete slab
 100mm clear stone
 compacted to 95% MPD
 Styrofoam void form, refer
 to Architects drawings



6 DRIP STRIP ON SLAB
 Scale: 1:20

No.	Rev.	Description	Date
1	1	ISSUED FOR CIP	May 24, 2018
2	1	ISSUED FOR CIP	May 24, 2018
3	1	ISSUED FOR CIP	Aug 9, 2018
4	1	ISSUED FOR CIP	July 19, 2018
5	1	ISSUED FOR CIP	July 19, 2018

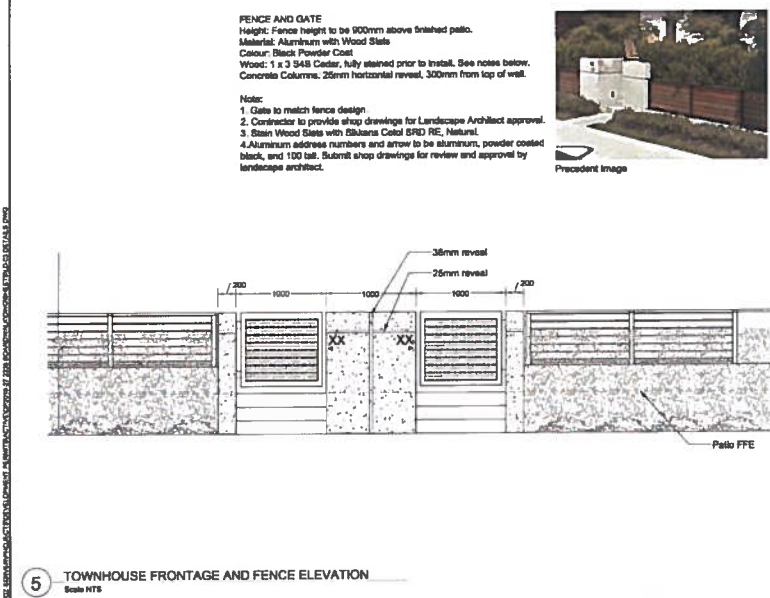
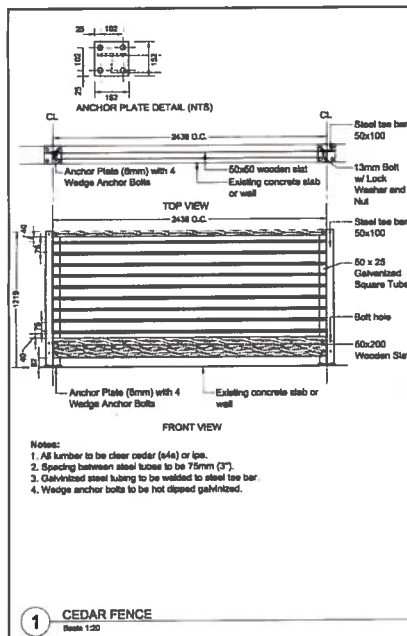
No.	Rev.	Description	Date
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4	1	ISSUED FOR CIP	July 19, 2018
5	1	ISSUED FOR CIP	July 19, 2018

Drawing Title
 DETAILS

VDZ Project #
 DP2018-27

Drawing #
 LD-02



4	LJ	Revised for DP	Sept 24, 2019
5	LJ	Revised for DP	Sept 14, 2019
6	LJ	Revised for DP	Aug 8, 2019
7	LJ	Revised for Planter	July 19, 2019

No.	By	Description	Date
1	LJ	Revised for DP	Sept 24, 2019
2	LJ	Revised for DP	Sept 14, 2019
3	LJ	Revised for DP	Aug 8, 2019
4	LJ	Revised for Planter	July 19, 2019

No.	By	Description	Date
1	LJ	Revised for DP	Sept 24, 2019
2	LJ	Revised for DP	Sept 14, 2019
3	LJ	Revised for DP	Aug 8, 2019
4	LJ	Revised for Planter	July 19, 2019

No.	By	Description	Date
1	LJ	Revised for DP	Sept 24, 2019
2	LJ	Revised for DP	Sept 14, 2019
3	LJ	Revised for DP	Aug 8, 2019
4	LJ	Revised for Planter	July 19, 2019

No.	By	Description	Date
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3	LJ	Revised for DP	Aug 8, 2019
4	LJ	Revised for Planter	July 19, 2019

No.	By	Description	Date
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3	LJ	Revised for DP	Aug 8, 2019
4	LJ	Revised for Planter	July 19, 2019

No.	By	Description	Date
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2	LJ	Revised for DP	Sept 14, 2019
3	LJ	Revised for DP	Aug 8, 2019
4	LJ	Revised for Planter	July 19, 2019

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3	LJ	Revised for DP	Aug 8, 2019
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No.	By	Description	Date
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No.	By	Description	Date
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No.	By	Description	Date
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Paula Kusack

From: All of Oils <glenn@allofoils.com>
Sent: April 1, 2019 12:55 PM
To: Roy Beddow
Cc: Rick Bomhof; Paula Kusack
Subject: Re: Development Permit Application No. DP-15-18

Thank you very much,

Glenn Pineau
All of Oils, Wholesome Oils & Vinegars
604-510-6655
www.allofoils.com

On Apr 1, 2019, at 12:36 PM, Roy Beddow <rbeddow@langleycity.ca> wrote:

Glenn:

Thank you for your message below concerning the subject development application. The applicant has provided the City with a Traffic Management Plan for the construction of the proposed development. In accordance with that plan, the lane will be kept open and the applicant advises that "there will a flag-person controlling the rear lane whenever construction traffic is present allowing controlled access to the rear of the business on Douglas Crescent as well as for the residents of The Serenade."

For your information.

Regards.

RMB

ROY M. BEDDOW, MCIP, RPP
DEPUTY DIRECTOR OF DEVELOPMENT SERVICES & ECONOMIC DEVELOPMENT

City Hall, 20399 Douglas Crescent, Langley, BC V3A 4B3
P 604.514.2817 F 604.514.2322 E rbeddow@langleycity.ca



From: All of Oils <glenn@allofoils.com>
Sent: March 29, 2019 1:33 PM
To: WebInfo <webinfo@langleycity.ca>
Cc: [REDACTED]
Subject: Re: Development Permit Application No. DP-15-18

Hello,

Since our driveway and delivery zone backs on to the alley between Douglas Crescent and Park Ave, (20450 Douglas Cres.) we are concerned that the construction process may interfere with our ability to receive shipments for our business. Please confirm that at no time will this alley be blocked for truck access.

Thanks,

Glenn Pineau
All of Oils, Wholesome Oils & Vinegars
604-510-6655
www.allofoils.com



MINUTES OF A REGULAR COUNCIL MEETING

Monday, March 25, 2019

7:00 p.m.

**Council Chambers, Langley City Hall
20399 Douglas Crescent**

Present: Mayor van den Broek
Councillor Albrecht
Councillor James
Councillor Martin
Councillor Pachal
Councillor Storteboom
Councillor Wallace

Staff Present: F. Cheung, Chief Administrative Officer
R. Beddow, Deputy Director of Development Services and
Economic Development
R. Bomhof, Director of Engineering, Parks and Environment
K. Hilton, Director of Recreation, Culture and Community
Services
D. Leite, Director of Corporate Services
K. Kenney, Corporate Officer

1. ADOPTION OF AGENDA

- a. Adoption of the March 25, 2019 Regular Agenda

MOVED BY Councillor Martin

SECONDED BY Councillor James

THAT the March 25, 2019 agenda be adopted as circulated.

CARRIED

2. ADOPTION OF THE MINUTES

- a. Regular Meeting Minutes from March 11, 2019

MOVED BY Councillor Pachal
SECONDED BY Councillor Albrecht

THAT the minutes of the regular meeting held on March 11, 2019 be adopted as circulated.

CARRIED

- b. Special (Pre-Closed) Meeting Minutes from March 11, 2019

MOVED BY Councillor James
SECONDED BY Councillor Wallace

THAT the minutes of the special (pre-closed) meeting held on March 11, 2019 be adopted as circulated.

CARRIED

3. DELEGATIONS

- a. Child Care Issues in Langley City

Sharon Gregson, Coalition of Childcare Advocates of BC introduced Alicia Rempel, Coordinator, Langley Children's Committee and Susan Harney, Coalition of Childcare Advocates of BC and provided a presentation on childcare issues in Langley, highlighting the following:

- Lack of access for BC families;
- Unaffordable for families;
- Early Development Instrument;
- Vulnerability rates in Langley;
- Family earner comparison 1976 and 2014;
- \$10aDay Plan highlights;
- Early care and learning in Education Ministry;
- Economists are new allies;
- What about Quebec;
- Socio-economic impact analysis;
- 2 million supporters and growing;
- Political support;
- Federal Liberal Government;
- Child Care BC;
- New affordability for families;
- New Licensed spaces;

- New quality investments;
- \$10 a day prototypes;
- Advocacy continues;
- Support \$10aDay Campaign;
- Text “SIGN” to 604-670-4911

MOVED BY Councillor Albrecht
SECONDED BY Mayor van den Broek

THAT Council indicates support for the \$10aDay Child Care Plan for BC.

CARRIED

b. George Massey Construction Project

Lina Halwani, Project Director, South Coast Region, Ministry of Transportation and Infrastructure, provided an update on the George Massey construction project, highlighting the following:

- Project purpose and target schedule
 - Better alignment with regional plans:
 - Establish goals and objectives
 - Identify and preliminary review of options
 - Prepare a business case for selected option
 - Engage with and consider the preferences of:
 - Local and regional governments
 - First Nations
 - Communities, stakeholders and the general public
 - Continued progress in addressing need:
 - Immediate tunnel and roadworks (*start summer 2019*)
 - Interim improvements (*tender ready target: summer 2020*)
 - Immediate and Interim Improvements
 - Immediate:
 - Safety improvements at tunnel and approaches
 - Summer 2019
 - Interim Improvements:
 - Steveston Highway
 - Delta area
 - Tender-ready by Fall 2020
- Draft Project goals and principles
 - Preliminary Principles: what we're hearing
 - Alignment with regional plans
 - Safety
 - Reliability

- Connectivity
- Preliminary Goal Areas: what we're hearing
 - Support sustainability of South of Fraser Communities
 - Facilitate increased share of sustainable modes of transport
 - Enhance regional goods movement and commerce
 - Support a healthy environment
- Preliminary Objectives - Goal #1 - *Support sustainability of South of Fraser Communities*
 - Improve safety for all modes of travel
 - Improve access to residential, commercial, educational and employment centres
 - Manage congestion on the corridor
 - Respect the cultural values of communities
 - Enhance connections between communities
 - Minimize impacts to agricultural land
 - Acknowledge the sense of urgency to move forward
- Preliminary Objectives - Goal #2 - *Facilitate increased share of sustainable modes of transport*
 - Enhance transit convenience and facilitate future expansion
 - Provide safe and convenient options for pedestrians and cyclists
 - Encourage higher occupancy modes of travel
- Preliminary Objectives - Goal #3 - *Enhance regional goods movement and commerce*
 - Improve reliability of travel for business and regional goods movements
 - Enrich the B.C. tourism industry
 - Protect the Fraser River for fishing and transportation
- Preliminary Objectives - Goal #4 - *Support a healthy environment*
 - Minimise loss of habitat for fish, wildlife, birds and marine mammals,
 - Improve habitat quality and protect water quality
 - Enhance land- and marine-based recreation
 - Reduce greenhouse gas emissions and other air contaminants
- Next steps
 - Langley input to principles, goals and objectives
 - Continue Phase 1 meetings
 - Upcoming regional meetings:
 - TransLink Joint Planning Committee (April 5)
 - Finance and Intergovernment Committee (April 10)
 - Mayors Council (April 25)
 - Metro Vancouver Board (April 26)

- Finalize goals and objectives
- Work with region to develop and evaluate options
- Updates to Council/Committee in subsequent phases

Council provided feedback to Ms. Halwani as follows:

- Cost of original bridge was \$3.5 billion as compared to cost for SkyTrain line to Langley estimated to be \$2.9 billion;
- As indicated in 2011 TransLink Trip Survey, only 5% of trips go between Surrey, North and South Delta and Richmond, and in Langley City that's 2%. As over 80% of trips are within North Delta, Surrey and Langley, in terms of how to get the best value, it's important that those internal trips are served in the best possible way;
- Read Mayors Councils' Decongestion Report;
- Look at impact tolling has had on Port Mann crossing and what the pre and post traffic levels were with congestion pricing;
- Proposed deepening of Fraser River to increase intensive ship traffic could have marine safety and environment impacts;
- 10 lane bridge is counterproductive to reducing green-house gas emissions;
- Fiscal accountability should be a top objective of the project.

4. MAYOR'S REPORT

a. Upcoming Meetings

Regular Council Meeting – April 8, 2019
Regular Council Meeting – April 29, 2019

b. Metro Vancouver Update - Mayor van den Broek

The first Council of Councils of the new year took place on Saturday, February 23 featuring an overview on Metro Vancouver followed by joint updates from Metro Vancouver's Committee Chairs, and General Managers and on regional functions

Disposing of Used Gypsum

A special program has been created for residents to dispose of used gypsum which is also known as drywall, gyproc, wallboard or plasterboard.

Emotive

Metro Vancouver celebrated its busiest season ever for its [Emotive: The Electric Vehicle Experience](#) campaign in 2018. Emotive is a community outreach campaign founded in 2014 by Metro Vancouver, the cities of Surrey and Vancouver, Fraser Basin Council and the Province of B.C. -- aims to raise awareness about plug-in electric vehicles (EVs) in B.C. The campaign is delivered province-wide, both online and in-person at community events and will continue to do so into 2019

Water services bolstered south of the Fraser

Metro Vancouver is constructing new water mains, reservoirs and pump stations south of the Fraser River to meet the needs of the growing population and continue the delivery of clean, safe drinking water across the region.

Over the next decade, more than 23 kilometres of new water mains will be built in the cities of Surrey and Delta, along with several in-system storage reservoirs and pump stations, which will help to ensure the reliable delivery of drinking water from our watersheds to member jurisdictions for distribution to homes and businesses.

Think Thrice before throwing out your clothes

Metro Vancouver has launched a new waste reduction campaign, *Think Thrice About Your Clothes*, in an effort to curb the staggering amount of clothing thrown out across the region. Last year, Metro Vancouver residents threw out more than 44 million pounds of textiles, equivalent to the weight of 44 t-shirts per person. As consumers, we buy three times more clothing than we did in the 1980s yet we keep them for less time. The campaign offers three ways to help residents avoid clothing waste: reduce, repair, and re-use

Go to Metrovancouver.org for this and even more information.

c. Recreation Update

Kim Hilton, Director of Recreation, Culture and Community Services provided an update on upcoming activities as follows:

Special Events:

- Spring Day Camp – Ages 5 - 12 years
- Screenagers, Growing Up in the Digital Age, award winning film – April 29 and May 2
- 57th Annual Langley Walk – May 5, 2019

- Tri-It Triathlon – June 9, 2019

Programs:

- Spring/Summer edition of Recreation Guide is now available
- Choose to Move – Ages 65+
- Youth Night & Teen Time – Grades 6 – 12
- Tai Chi Yang Style – Ages 18+
- Cookie Monster Preschool registration – for 2019/2020 preschool year
- Restorative Yoga – Ages 14+
- Gentle Yoga – Ages 14+
- Basketball & Open Gym – Grades 6 - 12

d. Discover Langley City - Councillor Albrecht

“Spin to Win” wheel opportunity through DLC

DLC has purchased a spin-to-win wheel and that we are looking for businesses to offer up prizes (discounts, gift with purchase, buy one, get one half-off etc.) to fill the 24 paddles. This will be used at events throughout our community.

Administration

Our Marketing Intern has completed his time with DLC and is now off on an adventure in Europe. We will be seeking a short-term replacement for the immediate future. The details of this employment will be dependent on DLC being successful in getting a Canada Summer Jobs grant.

We continue to reach out to the community and identify restaurants to be added to our inventory of intriguing and well rated dining establishments to be featured in our marketing of Langley City.

Marketing

The February events calendar was emailed to 58 recipients, with a 49% opening rate.

WestCoastFood

Our partnership with WestCoastFood is moving forward with our first meeting of the cooperative marketing group being held in Coquitlam. The budget for the program is approximately \$215,000 which includes an investment from the partner communities, Destination BC and Destination Canada.

This is an almost exclusively online promotion with a very successful website and social media strategy. This program has (and continues to be) invested in the Washington State market, BC Market and California. In 2019/2020, WestCoastFood hopes to expand into Alberta.

We have begun asking our partners to provide us with information, as well as to support the program through their websites and social media.

Beautiful Vancouver Explorer

This is a specialty tour bus company that is looking for new product to offer their guests. They are looking for a “film location tour”. We were able to provide them with a list of movies and TV shows filmed in Langley City, as well as provide ideas to entertain visitors should they make Langley City a part of the tour. These are early scouting stages and we hope this will be realized in bus tours to the City.

Pickleball Tournament

We met with the organizers of the Charity Pickleball Tournament hosted by the Langley Area Pickleball Dinkers. We will be supporting the event with a cooperative marketing sponsorship as well as assisting with social media marketing.

The organizers are expecting approximately 300 people to the tournament, and we want to encourage overnight visitors by promoting the event outside of the community.

Marketing Brand Strategy

DLC has been working with Renee Creative on a marketing brand strategy that will be formally announced at the DLC AGM in May. In preparation for the launch of this program, we have been working on cataloguing our restaurants and attractions, a very time consuming and detail demanding process. The results will provide a resource that the hotels have been asking for, as well as more comprehensive marketing materials to benefit the City.

Bus tour is it to look at filming locations? Answer there is a tour that goes to various locations in BC and we were added onto that tour.

e. Sources Langley Food Bank - Mayor van den Broek

One of our community partners needs your help. Sources Langley Food Bank, which has been providing support to our community since 2015 and serves more than 650 families each week, has to move from its location on 200th Street by April 30. They desperately need a new home.

Sources Langley Food Bank doesn't just provide food to those in need in our community, there is an advocate on-site to assist people with housing, income supports, mental health and more. It supports other community partners including Ishtar Women's Resource Society, the Langley Youth Hub, Langley School District Foundation and several schools' breakfast and backpack programs.

I am calling on our other community partners and property owners to help this needed resource stay in the Langleys. Sources Langley Food Bank is looking for a space that is 4,000 to 6,000 sq. ft., has a warehouse, and a storefront for distribution and some parking. They can pay rent and they are a good neighbour. They are looking for at least a three year lease and have a monthly budget of \$3,500 to \$6,000. If you have a suitable site for lease in the City or the Township of Langley, Sources Langley Food Bank needs to hear from you. You can contact them directly at 604-542-7593 or contact my office and my staff will put you in touch with them.

Let's help them continue to provide food and needed resources to Langley families.

5. BYLAWS

- a. Bylaw 3098 - Zoning Amendment and Development Permit No. 19-18

First and second reading of a bylaw to rezone properties located at 19920, 19930, 19940, 19950, 19960, 19970 55A Avenue to accommodate a 4 storey, 80-unit condominium development.

MOVED BY Councillor Pachal
SECONDED BY Councillor Storteboom

THAT the bylaw cited as the "Zoning Bylaw 1996, No. 2100 Amendment No. 161, 2019, No. 3098" be read a first time.

THAT the bylaw cited as the "Zoning Bylaw 1996, No. 2100 Amendment No. 161, 2019, No. 3098" be read a second time.

BEFORE THE QUESTION WAS CALLED Councillor Storteboom, Chair of the Advisory Planning Commission, advised that the developer had made revisions to the proposed development in response to recommendations of the Advisory Planning Commission.

THE QUESTION WAS CALLED and the motion was

CARRIED

6. ADMINISTRATIVE REPORTS

- a. Community Profile Update

Roy Beddows, Deputy Director of Development Services and Economic Development advised that every five years staff undertake an update to the City's Community Profile, a document that is provided to investors and the general public to promote investment in City of Langley businesses and development and as a place to live. The updated Community Profile reflects current Canada Census information.

MOVED BY Councillor Martin
SECONDED BY Councillor James

THAT the updated Community Profile be received for information.

BEFORE THE QUESTION WAS CALLED in response to a question from a member of Council, staff advised that the document is available in electronic format on the City's website and will be promoted through social media.

THE QUESTION WAS CALLED and the motion was

CARRIED

7. NEW AND UNFINISHED BUSINESS

- a. Motions/Notices of Motion
- b. Correspondence
 - 1. TNI Network

Permission to conduct door-to-door canvassing for 3 weeks per client, in 2019 for the following:

- BC Children's Hospital
- Red Cross
- Plan International
- World Vision
- World Wildlife Fund

MOVED BY Councillor Pachal
SECONDED BY Councillor James

THAT TNI Network be authorized to conduct door-to-door canvassing on behalf of Plan International, World Vision, Red Cross, BC Children's Hospital and World Wildlife Fund up to (3) three weeks per organization, per calendar year in 2019.

CARRIED

- 2. Downtown Langley Business Association

Proliferation of Tattoo Shops and Spas in Downtown Langley

There was unanimous consent of Council to refer the correspondence from the Downtown Langley Business Association date March 19, 2019 regarding "Proliferation of Tattoo Shops and

Spas in Downtown Langley” to staff for review and recommendations.

3. New Westminster & District Labour Council

Day of Mourning for Workers Killed and Injured on the Job - April 28, 2019

The Mayor noted that each year the City holds a flag raising ceremony at City Hall in recognition of the Day of Mourning for Workers Killed and Injured on the Job. This year’s ceremony will be held at 11:00 am on April 26 and members of the public are welcome to attend.

4. Stacey Wakelin, Founder, B.C Families for Inclusivity

Conversion Therapy Ban Request

There was unanimous consent of Council to refer the correspondence from B.C Families for Inclusivity dated December 21, 2018 regarding “Conversion Therapy Ban Request” to staff for review and recommendations.

c. New Business

8. **ADJOURNMENT**

MOVED BY Councillor Pachal
SECONDED BY Councillor Albrecht

THAT the meeting adjourn at 7:46 p.m.

CARRIED

MAYOR

CORPORATE OFFICER



**MINUTES OF A SPECIAL (PRE-CLOSED)
COUNCIL MEETING**

**Monday, March 25, 2019
5:30 p.m.
CKF Boardroom, Langley City Hall
20399 Douglas Crescent**

Present: Mayor van den Broek
Councillor Albrecht
Councillor James
Councillor Martin
Councillor Pachal
Councillor Storteboom
Councillor Wallace

Staff Present: F. Cheung, Chief Administrative Officer
R. Beddow, Deputy Director of Development Services and
Economic Development
R. Bomhof, Director of Engineering, Parks and Environment
K. Hilton, Director of Recreation, Culture and Community
Services
D. Leite, Director of Corporate Services
K. Kenney, Corporate Officer

1. MOTION TO HOLD A CLOSED MEETING

MOVED BY Councillor Wallace
SECONDED BY Councillor Albrecht

THAT the Council Meeting immediately following this meeting be closed to the public as the subject matter being considered relates to items which comply with the following closed meeting criteria specified in Section 90 of the *Community Charter*.

(2)(b) the consideration of information received and held in confidence relating to negotiations between the municipality and a provincial government or the federal government or both, or between a provincial government or the federal government or both and a third party.

CARRIED

2. **ADJOURNMENT**

MOVED BY Councillor Albrecht
SECONDED BY Councillor James

THAT the Special (pre-closed) Council meeting adjourn at 5:31pm.

CARRIED

MAYOR

CORPORATE OFFICER



CITY OF LANGLEY

MOTION

Development Permit No. 15-18

THAT Development Permit Application DP 15-18 to accommodate a 6 Storey 93 unit strata development, consisting of 82 strata condominium apartments and 11 strata townhouse units, located at 20427, 20437, 20445, 20453, 20463 Park Avenue be approved subject to execution of a Development Servicing Agreement in compliance with the conditions outlined in the Director of Development Services & Economic Development report.



ADVISORY PLANNING COMMISSION REPORT

To: **Advisory Planning Commission**

Subject **Development Permit Application DP 15-18**

From: Development Services & Economic
Development Department

File #: 6620.00
Doc #:

Date: September 27, 2018

COMMITTEE RECOMMENDATION:

THAT Development Permit Application DP 15-18 to accommodate a 6 Storey 93 unit strata development, consisting of 82 strata condominium apartments and 11 strata townhouse units, located at 20427, 20437, 20445, 20453, 20463 Park Avenue be approved subject to execution of a Development Servicing Agreement in compliance with the conditions outlined in the Director of Development Services & Economic Development report.

PURPOSE OF REPORT:

To consider a Development Permit Application by Concost Management Inc. to accommodate a 6 Storey, 93 unit strata development, consisting of 82 strata condominium apartments and 11 strata townhouse units.

POLICY:

The subject property is zoned C1 Downtown Commercial Zone in Zoning Bylaw No. 2100 and designated Downtown Commercial in the Official Community Plan. All lands designated Downtown Commercial are subject to a Development Permit to address building form and character.

COMMENTS/ANALYSIS:

Background Information:

Applicant:	Concost Management Inc.
Owner:	1137126 B.C. Ltd.
Civic Addresses:	20427, 20437, 20445, 20453, 20463 – Park Avenue
Legal Description:	Lots 10, 11, 12, 13: Except: Part Dedicated Road On Plan 87219, District Lot 36, Group 2, New Westminster District Plan 9350, Lot 1, District Lot 36, Group 2, New Westminster District Plan 87219, Portion of Closed Road (294.7 m ²) shown on Plan EPP80213
Site Area:	1.025 Acres
Lot Coverage:	42%
Total Parking Required:	145 spaces, including 19 visitor spaces
Total Parking Provided:	152 spaces, including 26 visitor spaces
Existing Zoning:	C1 Downtown Commercial Zone
Proposed Zoning:	C1 Downtown Commercial Zone
OCP Designation:	Downtown Commercial
Variances Requested:	None
Development Cost	\$1,210,417.25 (Includes 5 SF DCC Credit -
Charges:	\$122,872.50)
Community Amenity	\$186,000
Charge:	

Engineering Requirements:

These requirements have been issued to reflect the application for development of a proposed **93 Unit Condominium/Townhouse Development at 20427-20453 Park Avenue**, which may be subject to change upon receipt of updated development plans to the City.

The City's Zoning Bylaw, 1996, #2100 has requirements concerning landscaping for buffer zonings, parking and loading areas, and garbage and recycling containers, all of which applies to this design.

A) The developer is responsible for the following work which shall be designed and approved by a Professional Engineer:

1. Implement erosion and sediment control measures designed and approved by a qualified professional in accordance with the City of Langley Watercourse Protection Bylaw #2518.
2. The condition of the existing pavement on Park Avenue and the laneway north of Park Avenue shall be assessed by the developer's engineer. Pavements shall be adequate for an expected road life of 20 years under the expected traffic conditions for the class of road. Road construction and asphalt overlay designs shall be based on the analysis of the results of Benkelman Beam tests and test holes carried out on the existing road which is to be upgraded. If the pavement is inadequate it shall be remediated to centerline for the length of the developments frontage.
3. Design and construct a half-width laneway north of Park Ave. along the property frontage to the City of Langley's standard drawing (SDR 007).
4. Existing sidewalk to be removed and replaced for the development frontage along Park Ave., complete with a utility strip between the existing curb and the new sidewalk. Sidewalk shall be as per the Downtown Realm of Influence standard as outlined in the Downtown Master Plan. Park Avenue is classified as a "Greenway Street" and has additional standards outlined in the Downtown Master Plan.
5. Install two convex traffic visibility mirrors in the rear lane at the Serenade underground parking structure exit/entrance for both east and west visibility.
6. Eliminate the existing overhead hydro/tel wiring and poles along the entire development frontage by replacing with underground hydro/tel infrastructure.
7. Existing ornamental street lighting fronting the site along Park Avenue shall be upgraded to current City of Langley standards as per the Downtown Master Plan.
8. Conduct a water flow test and provide fire flow calculations by a Professional Engineer to determine if the existing water network is adequate for fire flows. Replacement of the existing watermain may be necessary to achieve the necessary pressure and flows to conform to Fire

Underwriters Survey (FUS) "Water Supply for a Public Fire Protection, a Guide to Recommended Practice, 1995".

9. New C71P fire hydrant may be required. Hydrant locations must approved by the city of Langley's Engineering and Fire Departments.
10. New water, sanitary and storm sewer service connections are required. The developer's engineer will determine the appropriate main tie in locations and size the connections for the necessary capacity. The capacity of the existing water and sewer mains shall be assessed and any upgrades required to service the site shall be designed and installed at the Developer's expense. All existing services to be capped at the main by City forces at the developer's expense
11. A stormwater management plan for the site is required. Rainwater management measures used on site shall limit the release rate to mitigate flooding and environmental impacts as detailed in the Subdivision and Development Bylaw.
12. The site layout shall be designed by a civil engineer to ensure that the parking and access layout meets minimum design standards, including setbacks from property lines. Appropriate turning templates should be used to prove parking stalls and drive-aisles are accessible by the design vehicle.

B) The developer is required to deposit the following bonding and connection fees:

1. The City would require a Security Deposit of 110% based on the estimated construction costs of installing civil works, as approved by the Director of Engineering, Parks and Environment.
2. The City would require inspection and administration fees in accordance to the Subdivision Bylaw based on a percentage of the estimated construction costs. (See Schedule A – General Requirement - GR5.1 for details).
3. A deposit for a storm, sanitary and water connection is required, which will be determined after detailed civil engineering drawings are submitted, sealed by a Professional Engineer.
4. The City requires a \$20,000 bond for the installation of a water meter to current standards.

NOTE: Deposits for utility services or connections are estimates only. The actual cost incurred for the work will be charged. The City will provide the

developer with an estimate of connections costs, and the Developer will declare in writing that the estimate is acceptable.

C) The developer is required to adhere to the following conditions:

1. Underground hydro and telephone, and cable services to the development site are required.
2. All survey costs and registration of documents with the Land Titles Office are the responsibility of the developer/owner.
3. A water meter is required to be installed outside in a vault at property line in accordance to the City's water meter specifications at the developer's cost. A double detector check valve assembly is required to be installed outside away from any structure in a vault as per the City's specifications.
4. An approved backflow prevention assembly must be installed on the domestic water connection immediately upon entering the building to provide premise isolation.
5. A "Stormceptor" or equivalent oil separator is required for all surface parking areas, and is to drain into the storm sewer.
6. A complete set of "as-built" drawings sealed by a Professional Engineer shall be submitted to the City after completion of the works. Digital drawing files in .pdf and .dwg format shall also be submitted.
7. Since boulevard space is limited, the developer shall incorporate street trees and landscaping in the setback area adjacent to the sidewalk in accordance with the City of Langley's Official Community Plan Bylaw, 2005, No. 2600 and Street Tree Program, November, 1999 manual.
8. Stormwater run-off generated on the site shall not impact adjacent properties, or roadways.
9. Garbage and recycling enclosures shall be accommodated on the site and be designed to meet Metro Vancouver's "Technical Specifications for Recycling and Garbage Amenities in Multi-family and Commercial Developments - June 2015 Update"

Discussion:

The applicant is proposing to redevelop five existing single family residential properties with a contemporary 6-storey, 93-unit strata development, consisting of 82 strata condominium apartments and 11 strata townhouse units. In addition, the City has executed a Road Closure

and Sale Agreement with the owner, for the surplus lane right of way adjacent to the subject properties.

The subject development is the last of four projects intended for a master planned multi-family development that begun in the early 1990's. *James Court*, an 86-unit condominium apartment was completed in 1995, as the first phase of the development. Subsequently, *The Place On Park Avenue*, a 37-unit condominium was completed in 2017. *The Legacy On Park Avenue*, a 69-unit condominium is currently under construction, and scheduled for completion in 2020.

The development site is part of the Park Avenue Special Design District in the Downtown Master Plan intended to create a higher amenity residential area in proximity to Douglas Park. The applicant's plans address the Park Avenue guidelines with respect to building form and character and in keeping with the other Park Avenue multi-family residential projects.

Access to the underground parkade for tenant parking and convenient surface parking for visitors, is located off of the rear lane. The proposed condominium apartment offers a wide range of suites, ranging from 590 ft² to 1,596 ft² to meet the needs of a variety of homeowners. The proposed two-storey townhouse units range in size from 1,281ft² to 1,564 ft² . A wide variety of architectural elements and colors are incorporated into the contemporary building design, including cement board hardie panelling, brick, aluminum faced composite panels, aluminium/glass deck railing, contribute to the architectural form and character of the building.

The proposed development benefited from a Crime Prevention Through Environmental Design (CPTED) review by a qualified consultant whose recommendations were incorporated into the plans.

Fire Department Comments:

Langley City Fire-Rescue Service has reviewed the attached plans and provided preliminary comments to the applicant. The department will review, and make further comment, as the project continues to the building permit design stage.

Advisory Planning Commission:

In accordance with Development Application Procedures Bylaw No. 2488, the subject applications will be reviewed by the Advisory Planning Commission at the October 10, 2018 meeting. A copy of the APC minutes will be presented to Langley City Council at the October 29, 2018 Regular Council meeting.

BUDGET IMPLICATIONS:

In accordance with Bylaw No. 2482, the proposed development would contribute \$850,506.00 to City Development Cost Charge accounts and \$186,000 in Community Amenity Charges.

ALTERNATIVES:

1. Require changes to the applicant's proposal.

Prepared by:



Gerald Minchuk, MCIP
Director of Development Services & Economic Development

Concurrence:



Rick Bomhof, P.Eng.
Director of Engineering, Parks &
Environment

Concurrence:



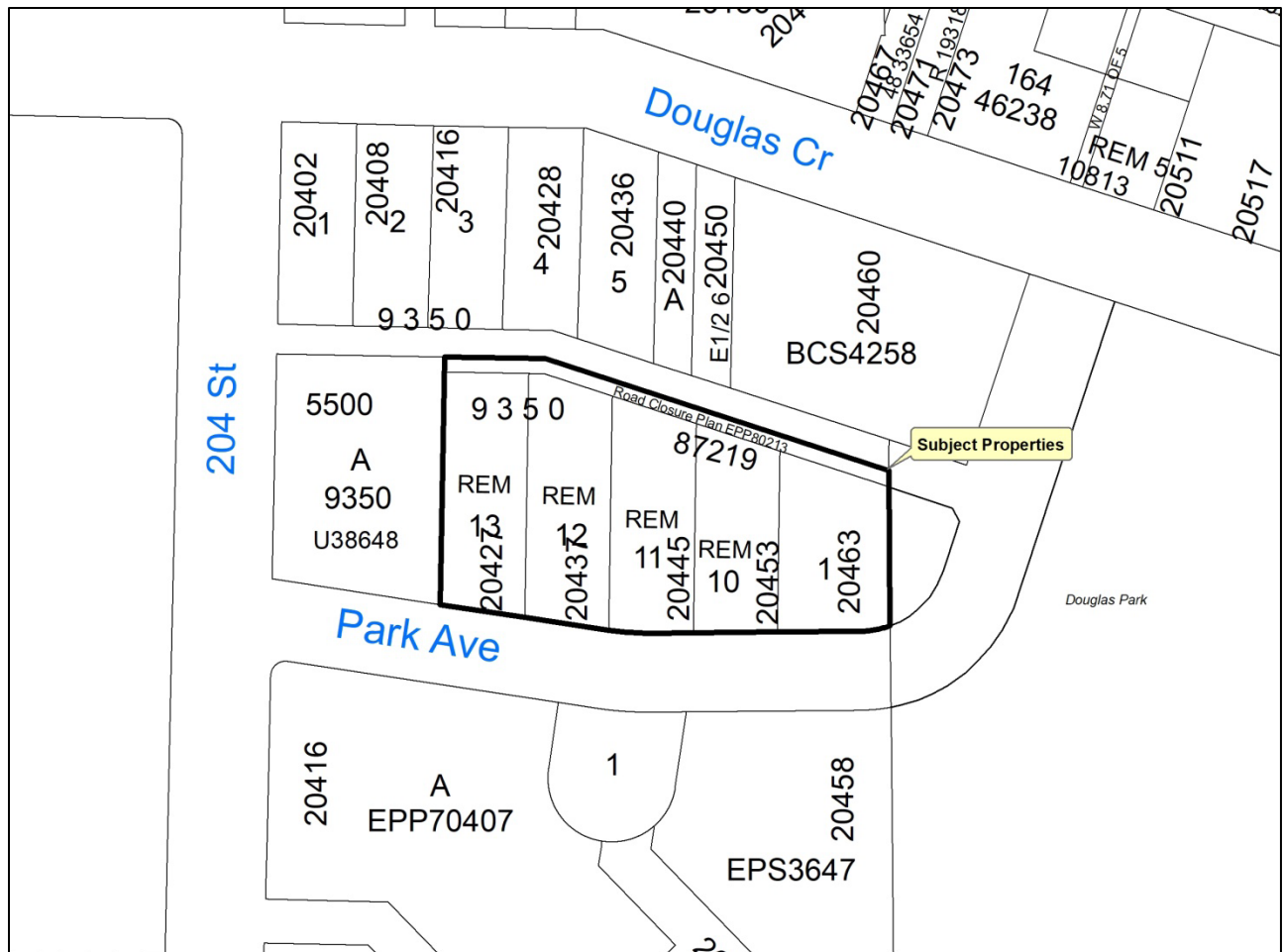
Rory Thompson, Fire Chief

CITY OF
LANGLEY



DEVELOPMENT PERMIT APPLICATION DP 15-18

Civic Address: 20427, 20437, 20445, 20453, 20463 Park Avenue
Legal Description: Lots 10, 11, 12, 13 Except: Part Dedicated Road on Plan 87219, District Lot 36, Group 2, New Westminster District, Plan 9350; Lot 1, District Lot 36, Group 2, New Westminster District, Plan 87219; Portion of Closed Road (294.7 m²) Shown on Plan EPP80213.
Applicant: Concost Management Inc.
Owner: 1137126 B.C. Ltd.





sheet schedule

SD0.01	COVER PAGE	SD2.07	UNIT PLANS
SD1.01	PROJECT DATA	SD2.08	UNIT PLANS
SD1.02	CONTEXT PLANS	SD2.09	UNIT PLANS
SD1.20	SITE PLAN	SD2.10	UNIT PLANS
SD1.21	SITE SECTIONS	SD3.01	P1 LEVEL PLAN
SD1.33	3D MASSING PERSPECTIVE	SD3.02	1st LEVEL PLAN
SD1.34	3D MASSING PERSPECTIVES	SD3.03	2nd LEVEL PLAN
SD1.35	3D MASSING PERSPECTIVE	SD3.04	3rd LEVEL PLAN
SD1.36	3D MASSING PERSPECTIVE	SD3.05	4th LEVEL PLAN
SD2.01	UNIT PLANS	SD3.06	5th LEVEL PLAN
SD2.02	UNIT PLANS	SD3.07	6th LEVEL PLAN
SD2.03	UNIT PLANS	SD3.08	ROOF LEVEL PLAN
SD2.04	UNIT PLANS	SD4.01	BUILDING ELEVATIONS
SD2.05	UNIT PLANS	SD4.02	BUILDING ELEVATIONS
SD2.06	UNIT PLANS		

the concosts group

T 604 522 9977 | 202 5489 byrne road
F 604 568 3410 | burnaby, bc v5j 3j1

keystone architecture & planning ltd.

T 604 850 0577 | 300 - 33131 south fraser way
F 1 855 398 4578 | abbotsford, bc v2s 2b1



CONCOSTS BOARDWALK APARTMENTS

PARK AVENUE, LANGLEY B.C.

COVER PAGE

SCALE:

ISSUED FOR DEVELOPMENT PERMIT

09/24/18 REVISION #
CITY OF LANGLEY FILE #
PROJECT NUMBER: 18-105

SD0.01

0.1. project data

PROJECT:	BOARDWALK CONDOS (RESIDENTIAL)
EXISTING ZONING:	C1 - DOWNTOWN COMMERCIAL ZONE
CIVIC ADDRESS:	PARK AVENUE, LANGLEY, B.C.
LEGAL DESCRIPTION:	
VARIANCES APPLIED FOR:	
BYLAW EXEMPTIONS:	
MAXIMUM BUILDING HEIGHT:	
MINIMUM BUILDING ELEVATION:	
TOTAL SITE AREA (EXISTING PROPERTY LINE)	41,499 S.F. (3.85171 S.M.) (0.952 ACRES)...
TOTAL ADDED AREA (ADDITIONAL LANE AREA)	3,172 S.F. (294.73 S.M.) (0.073 ACRES)
TOTAL SITE AREA (NEW PROPERTY LINE)	44,631 S.F. (4,146.44 S.M.) (1.025 ACRES)
GROSS FAR:	94,609 S.F. (RESIDENTIAL) + 2,362 S.F. (AMENITY SPACE) + 13,534 S.F. (CIRCULATION) = 110,505 S.F. / 44,631 S.F. = 2.48
LOT COVERAGE GROSS:	18,422 S.F. / 44,631 S.F. = 41.3%
BUILDING HEIGHT:	6 STOREY (71'-11 1/2')

0.2. parking

REQUIRED (BYLAW REQUIREMENT)	UNITS	FACTOR	TOTAL	TOTAL
TENANT (1 BED, 2 BED)	75	*1.2	90	
TENANT (3 BED)	7	*2	14	
TENANT (TOWNHOUSE)	11	*2	22	
VISITOR	93	*0.2	19	
TOTAL STALLS			145	145
PROVIDED	SMALL CAR	H/C	EV	TOTAL
TENANT (P1 FLOOR)	50	4	2	126
VISITOR (1ST FLOOR)	10	4		26
TOTAL STALLS	60	8	2	152
BIKE PARKING REQUIRED (BYLAW REQUIREMENT)	UNITS	FACTOR	TOTAL	
BIKE STALLS (RESIDENT / UNIT)	93	*0.5	47	47
BIKE STALLS (VISITOR / BLDG)	1	*6	6	53
TOTAL STALLS			53	
BIKE PARKING PROVIDED			47	47
BIKE STALLS (RESIDENT / PARKADE)			6	6
BIKE STALLS (VISITOR)			53	53
TOTAL STALLS			53	53

NOTE: 1. NI = NOT INCLUDED IN TOTALS

0.3. unit count

RESIDENTIAL				TOTAL
1 BED	14	15.1 %	14	
2 BED	61	65.6 %	61	
3 BED	7	7.5 %	7	
TOWNHOUSE	11	11.8 %	11	
TOTAL UNITS	93	100 %	93	

NOTE: ADAP = ADAPTABLE DWELLING UNIT
NOTE: ALL NON-GROUND ORIENTED UNITS HAVE PRIVATE DECKS PROVIDED (MIN 50 S.F. EACH)

0.4. unit floor area summary

UNIT TYPE	BEDROOMS	1ST	2ND	3RD	4TH	5TH	6TH	TOTAL	AREA	TOTAL AREA
A	1 BED				1			2	629 S.F.	1,258 S.F.
A1	1 BED	1	1	1	1	1	1	6	590 S.F. (X1) / 587 S.F. (X1) / 583 S.F. (X4)	3,509 S.F.
A2	1 BED			1				2	629 S.F. (X1) / 595 S.F. (X1)	1,224 S.F.
A3	1 BED			1	1	1	1	4	587 S.F.	2,348 S.F.
B	3 BED	1	1	3	3	3	3	14	872 S.F. (X10) / 865 S.F. (X4)	12,180 S.F.
B1	2 BED			1	1	1	1	4	933 S.F. (X3) / 901 S.F. (X1)	3,700 S.F.
B1b	2 BED			1	1	1	1	4	933 S.F. (X3) / 895 S.F. (X1)	3,694 S.F.
B2	2 BED			1	1	1	1	4	899 S.F.	3,596 S.F.
B3	2 BED	1	1	1	1	1	1	6	881 S.F.	5,286 S.F.
B4	2 BED	1	1	1	1	1	1	6	1,015 S.F.	6,090 S.F.
B5	2 BED	1						1	976 S.F.	976 S.F.
B6	2 BED			1	1	1	1	4	916 S.F.	3,664 S.F.
B6b	2 BED			1	1	1	1	4	910 S.F.	3,640 S.F.
B7	2 BED + FLEX	1	1					2	1,228 S.F.	2,456 S.F.
B8	2 BED + FLEX				1		1	2	1,212 S.F. (X1) / 1,170 S.F. (X1)	2,382 S.F.
B9	2 BED + FLEX			1	1	1	1	4	1,070 S.F.	4,280 S.F.
B10	2 BED + FLEX		1	1	1	1	1	5	1,596 S.F.	7,980 S.F.
B11	2 BED + FLEX	1						1	1,072 S.F.	1,072 S.F.
C1	3 BED			1				2	1,212 S.F.	2,424 S.F.
C2	3 BED		1	1	1	1	1	5	1,419 S.F.	7,095 S.F.
TH1	3 BED + FLEX	1						1	724 S.F. (L1) + 701 S.F. (L2)	1,425 S.F.
TH2	3 BED	1						1	625 S.F. (L1) + 656 S.F. (L2)	1,281 S.F.
TH3	3 BED + FLEX	1						1	682 S.F. (L1) + 687 S.F. (L2)	1,369 S.F.
TH4	3 BED + FLEX	1						1	695 S.F. (L1) + 699 S.F. (L2)	1,394 S.F.
TH5	3 BED + FLEX	1						1	780 S.F. (L1) + 784 S.F. (L2)	1,564 S.F.
TH6	3 BED + FLEX	1						1	720 S.F. (L1) + 724 S.F. (L2)	1,444 S.F.
TH7	3 BED + FLEX	1						1	738 S.F. (L1) + 742 S.F. (L2)	1,480 S.F.
TH8	3 BED + FLEX	1						1	738 S.F. (L1) + 742 S.F. (L2)	1,480 S.F.
TH9	3 BED + FLEX	1						1	725 S.F. (L1) + 730 S.F. (L2)	1,455 S.F.
TH10	3 BED + FLEX	1						1	668 S.F. (L1) + 685 S.F. (L2)	1,353 S.F.
TH11	3 BED + FLEX	1						1	759 S.F. (L1) + 751 S.F. (L2)	1,510 S.F.
TOTAL		18	7	17	17	17	17	93		94,609 S.F.

NOTE: ADAP = ADAPTABLE UNITS

NOTE: ALL NON-GROUND ORIENTED UNITS HAVE PRIVATE DECKS PROVIDED (MIN 50 S.F. EACH)

0.5. building floor area

RESIDENTIAL			TOTAL
1ST	14,487 S.F.	1,346 S.M.	14,487 S.F.
2ND	15,500 S.F.	1,440 S.M.	15,500 S.F.
3RD	16,192 S.F.	1,504 S.M.	16,192 S.F.
4TH	16,192 S.F.	1,504 S.M.	16,192 S.F.
5TH	16,192 S.F.	1,504 S.M.	16,192 S.F.
6TH	16,046 S.F.	1,491 S.M.	16,046 S.F.
TOTAL	94,609 S.F.	8,789 S.M.	94,609 S.F.
PARKADE			
P1	39,895 S.F.		
1ST	8,815 S.F.		
TOTAL	48,710 S.F.		48,710 S.F.
GRAND TOTAL			143,339 S.F.
INDOOR AMENITY			
REQUIRED (BYLAW REQUIREMENT)	FACTOR	UNITS	
	24.76 S.F./UNIT	93	2,303 S.F.
	2.3 S.M./UNIT		213.9 S.M.
PROVIDED			
1ST	1,135 S.F.	105 S.M.	1,135 S.F.
2ND	1,227 S.F.	114 S.M.	1,227 S.F.
TOTAL	2,362 S.F.	219 S.M.	2,362 S.F.
CIRCULATION			
1ST	2,800 S.F.	260 S.M.	2,800 S.F.
2ND	2,150 S.F.	200 S.M.	2,150 S.F.
3RD	2,146 S.F.	199 S.M.	2,146 S.F.
4TH	2,146 S.F.	199 S.M.	2,146 S.F.
5TH	2,146 S.F.	199 S.M.	2,146 S.F.
6TH	2,146 S.F.	199 S.M.	2,146 S.F.
TOTAL	13,534 S.F.	1,257 S.M.	13,534 S.F.
FLOOR AREA SUMMARY			
EFFICIENCY	86 %		86 %
GROSS BLDG AREA	110,505 S.F.	10,266 S.M.	110,505 S.F.
NET UNIT AREA	94,609 S.F.	8,789 S.M.	94,609 S.F.
NET CIRCULATION AREA	13,534 S.F.	1,257 S.M.	13,534 S.F.
INDOOR AMENITY	2,362 S.F.	219 S.M.	2,362 S.F.

NOTE: NI = NOT INCLUDED IN TOTALS



looking north east



looking north west



looking south west



context plan

1" = 200'-0"



satellite plan



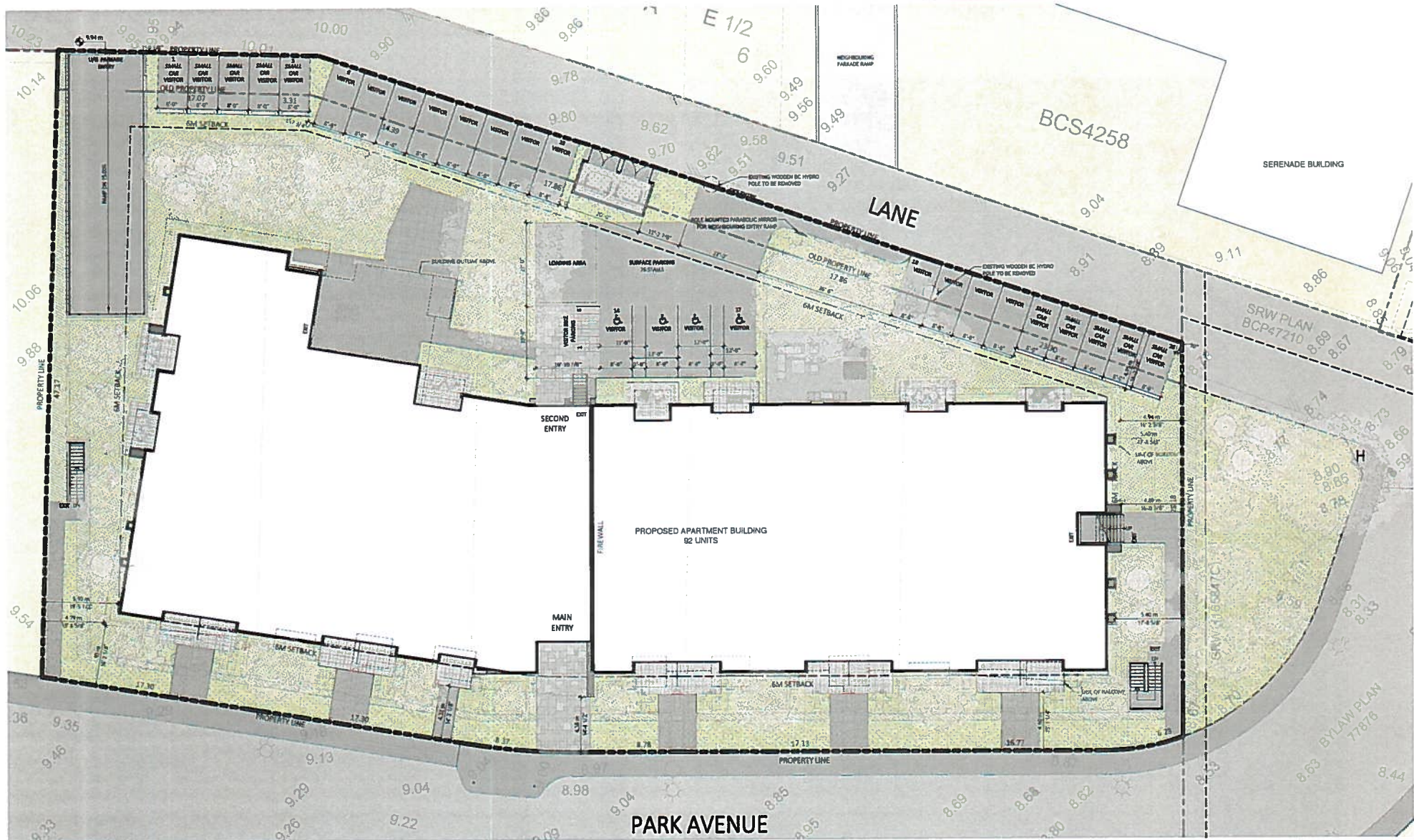
CONCOSTS BOARDWALK APARTMENTS
PARK AVENUE, LANGLEY B.C.

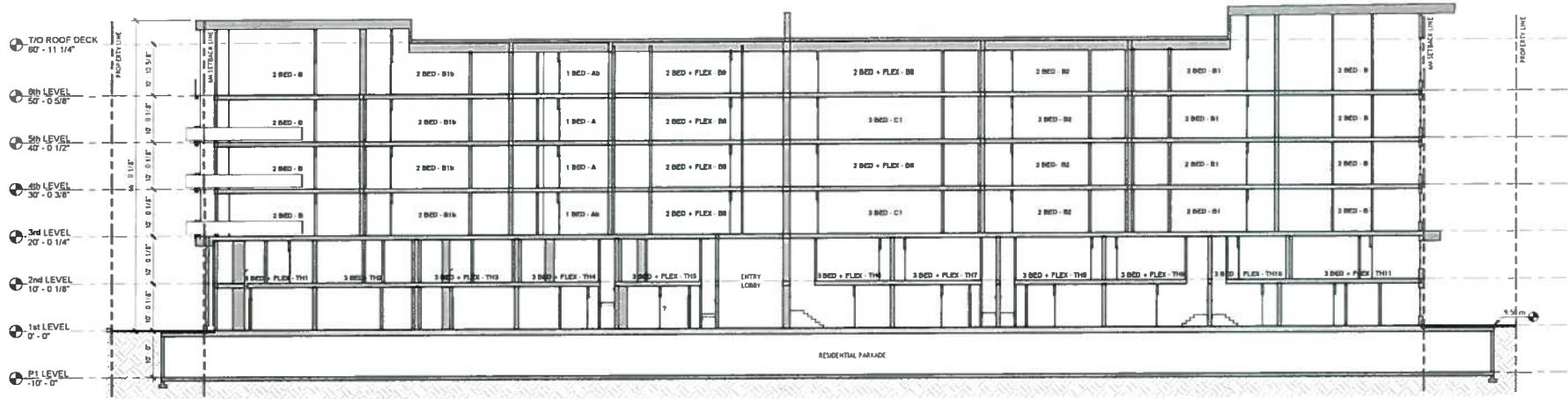
CONTEXT PLANS
SCALE 1" = 200'-0"



ISSUED FOR DEVELOPMENT PERMIT
09/24/18 REVISION #
CITY OF LANGLEY FILE #
PROJECT NUMBER 18-105

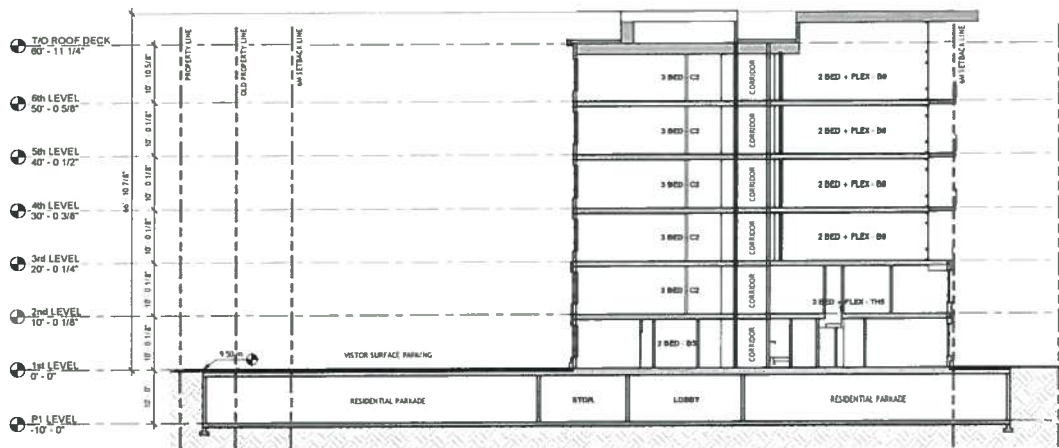
SD1.02





site section a

3/32" = 1'-0"



site section b

3/32" = 1'-0"



CONCOSTS BOARDWALK APARTMENTS
PARK AVENUE, LANGLEY B.C.

SITE SECTIONS
SCALE 3/32" = 1'-0"

ISSUED FOR DEVELOPMENT PERMIT

09/24/18 REVISION #
CITY OF LANGLEY FILE #
PROJECT NUMBER 18-105

SD1.21



CONCOSTS BOARDWALK APARTMENTS
PARK AVENUE, LANGLEY B.C.

3D MASSING PERSPECTIVE
SCALE: 1/125

ISSUED FOR DEVELOPMENT PERMIT
09/24/18 REVISION #
CITY OF LANGLEY FILE #
PROJECT NUMBER: 13-105

SD1.33



CONCOASTS BOARDWALK APARTMENTS
PARK AVENUE, LANGLEY B.C.

3D MASSING PERSPECTIVES
SCALE: N.T.S.

ISSUED FOR DEVELOPMENT PERMIT
09/24/18 REVISION #
CITY OF LANGLEY FILE #
PROJECT NUMBER 15-105

SD1.34



CONCOSTS BOARDWALK APARTMENTS
PARK AVENUE, LANGLEY B.C.

3D MASSING PERSPECTIVE
SCALE: N.T.S.

ISSUED FOR DEVELOPMENT PERMIT
09/24/19 REVISION #
CITY OF LANGLEY FILE #
PROJECT NUMBER: 19-105

SD1.35



CONCOSTS BOARDWALK APARTMENTS
PARK AVENUE, LANGLEY B.C.

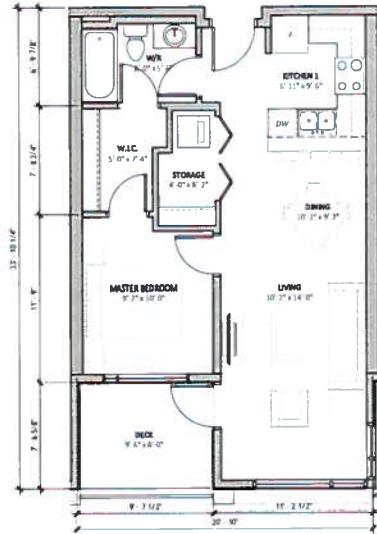
3D MASSING PERSPECTIVE
SCALE: N.T.S.

ISSUED FOR DEVELOPMENT PERMIT
09/24/18 REVISION #
CITY OF LANGLEY FILE #
PROJECT NUMBER 18-105

SD1.36

unit A

1/4" = 1'-0"
1 BED - 629 SF
OF UNITS - 2



unit Ab

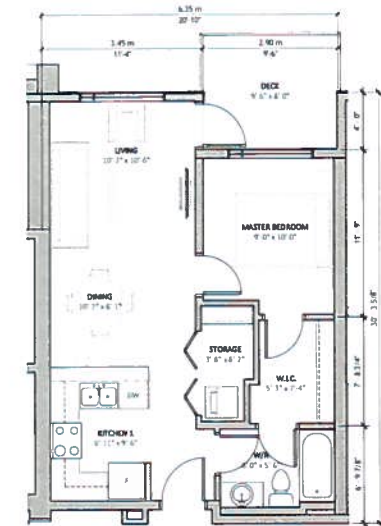
1/4" = 1'-0"
1 BED - 595-629 SF
OF UNITS - 2

UNIT MATCHES UNIT A
OTHER THAN WHAT IS SHOWN



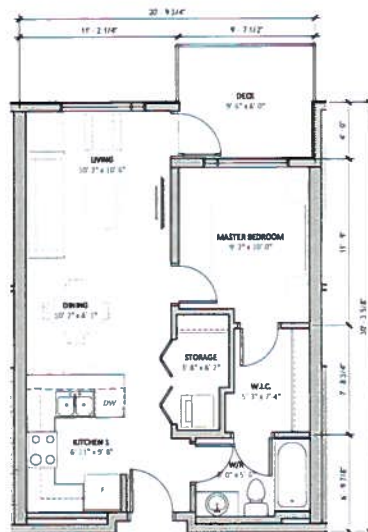
unit A1

1/4" = 1'-0"
1 BED - 583-587 SF
OF UNITS - 6



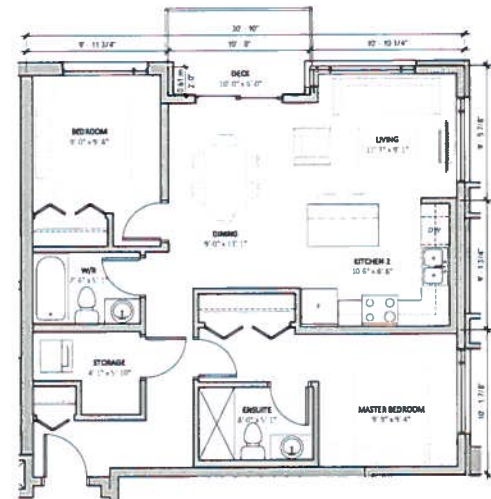
unit A3

1/4" = 1'-0"
1 BED - 587 SF
OF UNITS - 4



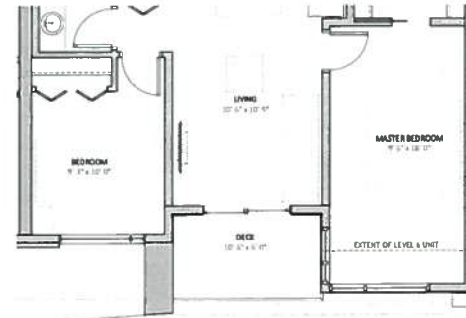
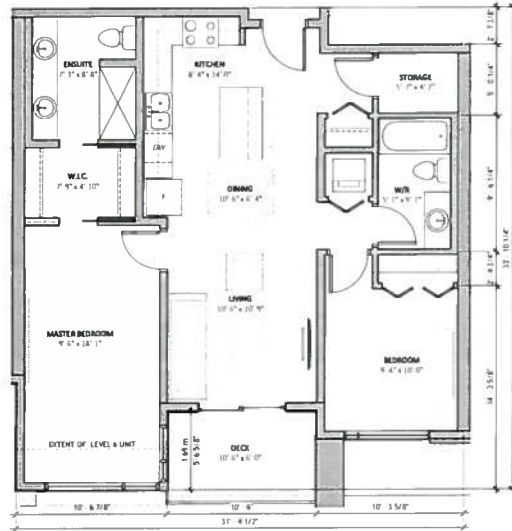
unit B

1/4" = 1'-0"
2 BED - 865-872 SF
OF UNITS - 14



unit B1

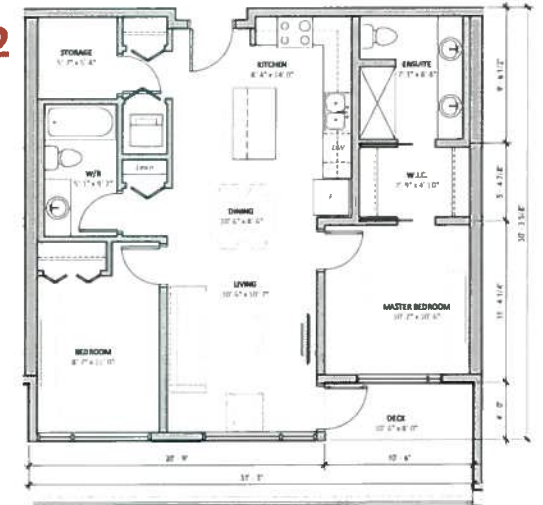
1/4" = 1'-0"

2 BED - 901-933 SF
OF UNITS - 4**unit B1b**

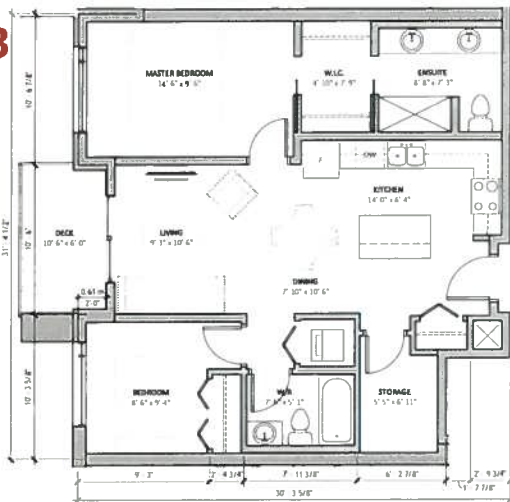
1/4" = 1'-0"

2 BED - 895-933 SF
OF UNITS - 4UNIT MATCHES UNIT B1
OTHER THAN WHAT IS SHOWN**unit B2**

1/4" = 1'-0"

2 BED - 890 SF
OF UNITS - 4**unit B3**

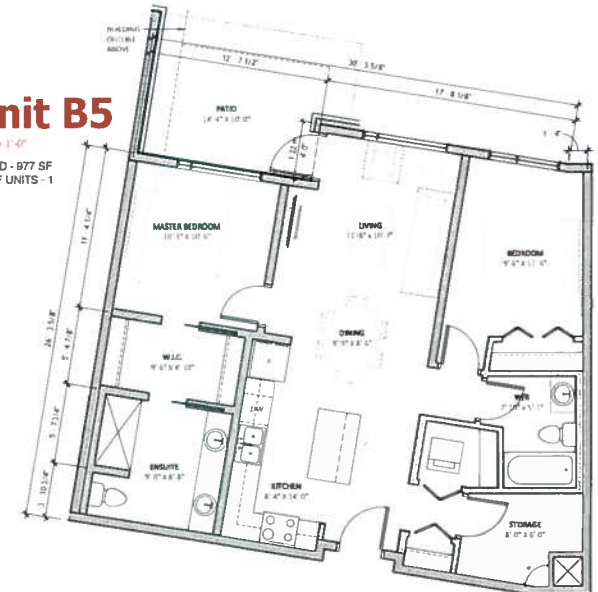
1/4" = 1'-0"

2 BED - 861 SF
OF UNITS - 6**unit B4**

1/4" = 1'-0"

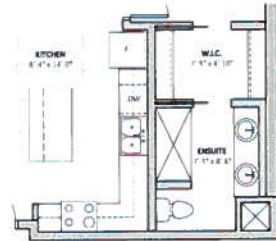
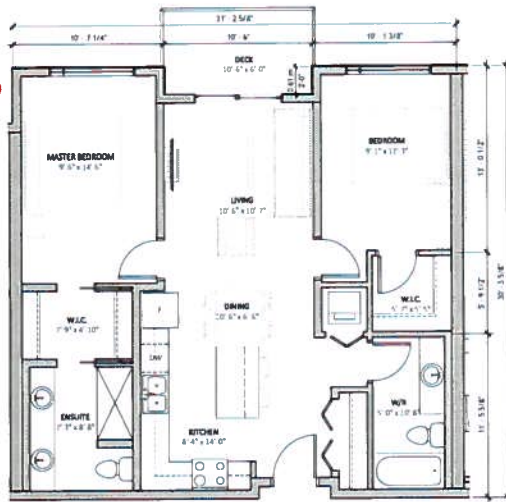
2 BED - 1015 SF
OF UNITS - 6**unit B5**

1/4" = 1'-0"

2 BED - 877 SF
OF UNITS - 1

unit B6

1/4" = 1'-0"
2 BED - 916 SF
OF UNITS - 4



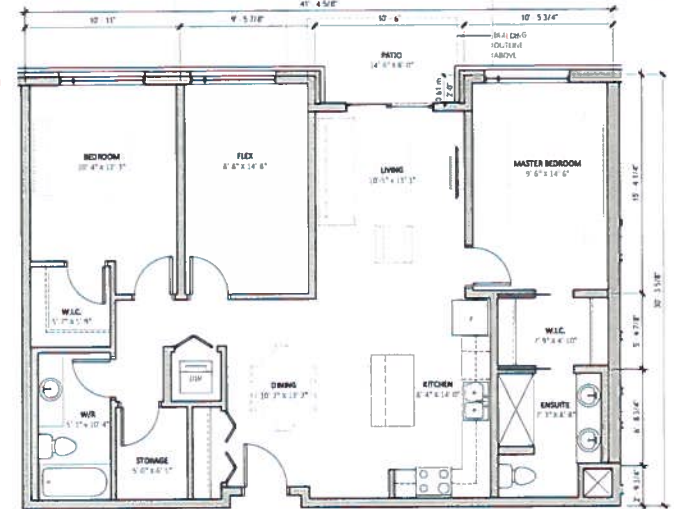
UNIT MATCHES UNIT C
OTHER THAN WHAT IS SHOWN

unit B6b

1/4" = 1'-0"
2 BED - 910 SF
OF UNITS - 4

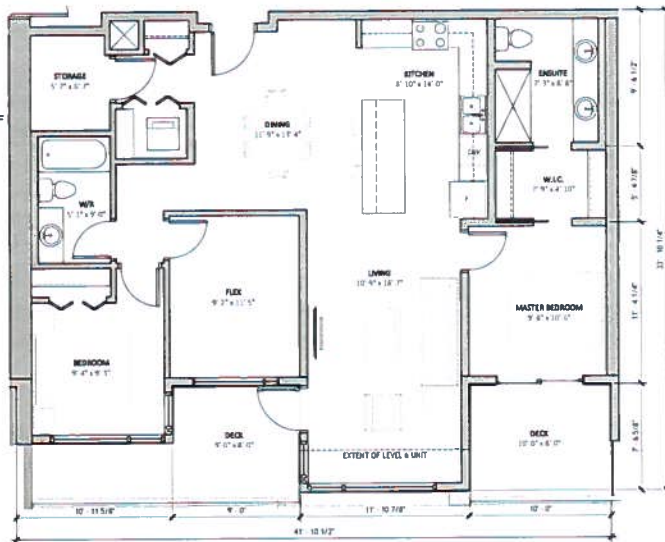
unit B7

1/4" = 1'-0"
2 BED + FLEX - 1226 SF
OF UNITS - 2



unit B8

1/4" = 1'-0"
2 BED + FLEX - 1170-1212 SF
OF UNITS - 2



unit B9

1/4" = 1'-0"
2 BED + FLEX - 1070 SF
OF UNITS - 4



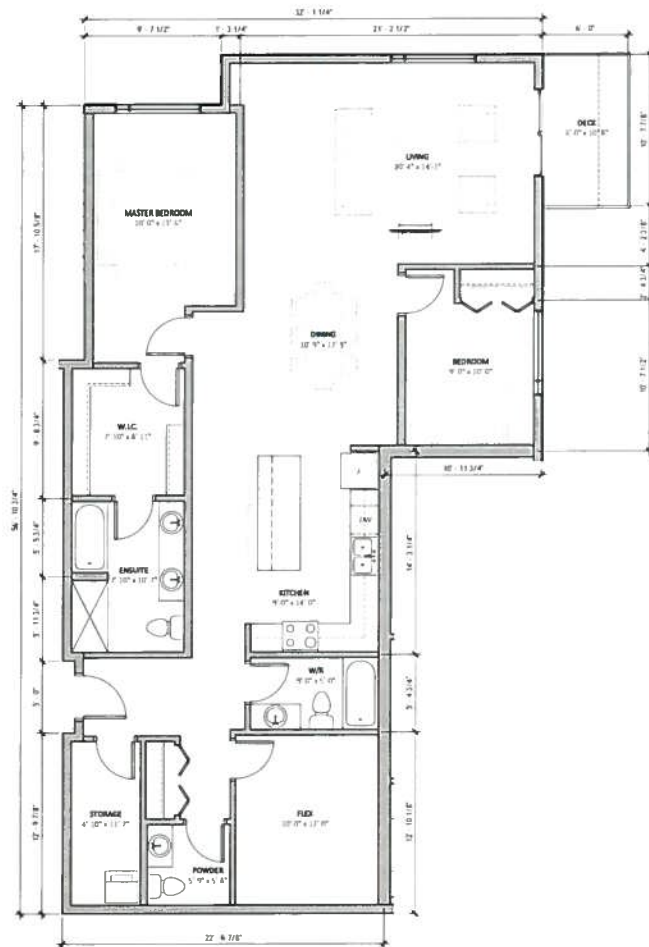
CONCOSTS BOARDWALK APARTMENTS
PARK AVENUE, LANGLEY B.C.

UNIT PLANS
SCALE 1/4" = 1'-0"

ISSUED FOR DEVELOPMENT PERMIT

09/24/18 REVISION #
CITY OF LANGLEY FILE #
PROJECT NUMBER: 18-105

SD2.03



unit B10

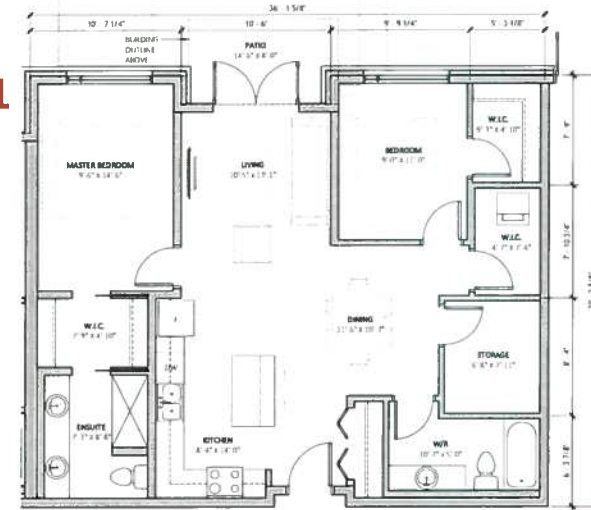
1/4" = 1'-0"

2 BED + FLEX - 1586 SF
OF UNITS - 5

unit B11

1/4" = 1'-0"

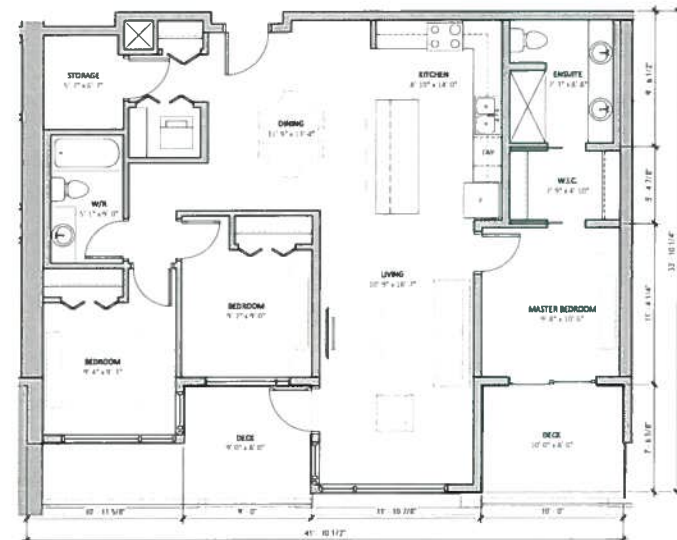
2 BED + FLEX - 1072 SF
OF UNITS - 1



unit C1

1/4" = 1'-0"

3 BED - 1212 SF
OF UNITS - 2



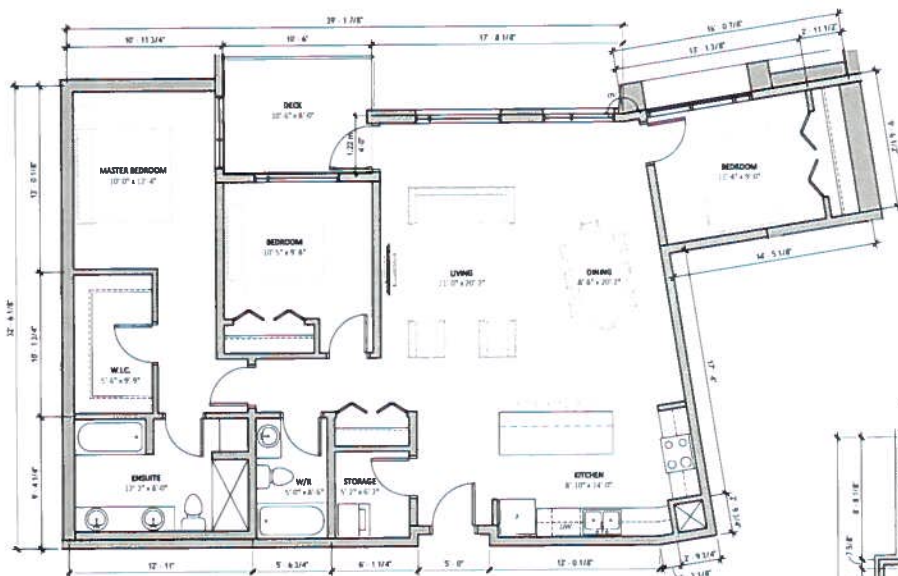
CONCOSTS BOARDWALK APARTMENTS
PARK AVENUE, LANGLEY B.C.

UNIT PLANS
SCALE 1/4" = 1'-0"

ISSUED FOR DEVELOPMENT PERMIT

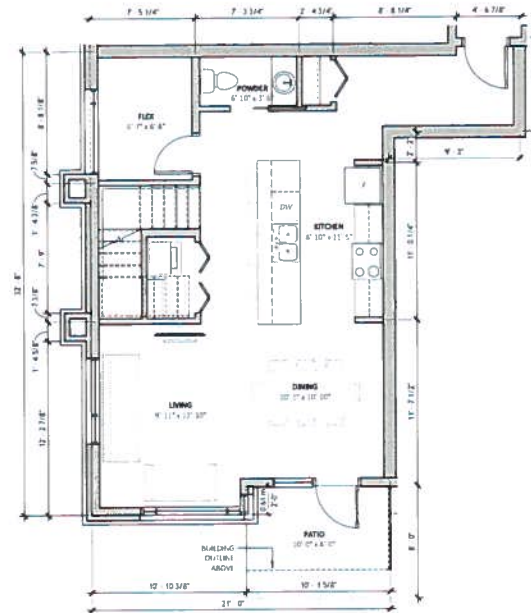
09/24/19 REVISION #
CITY OF LANGLEY FILE #
PROJECT NUMBER 19-105

SD2.04



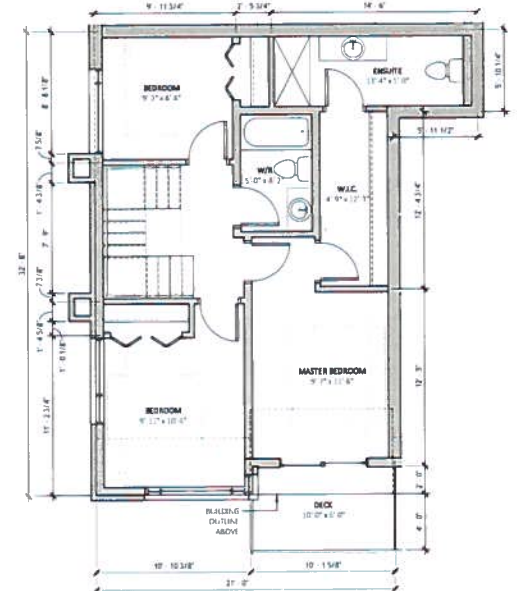
unit C2

1/4" = 1'-0"
3 BED - 1410 SF
OF UNITS - 5



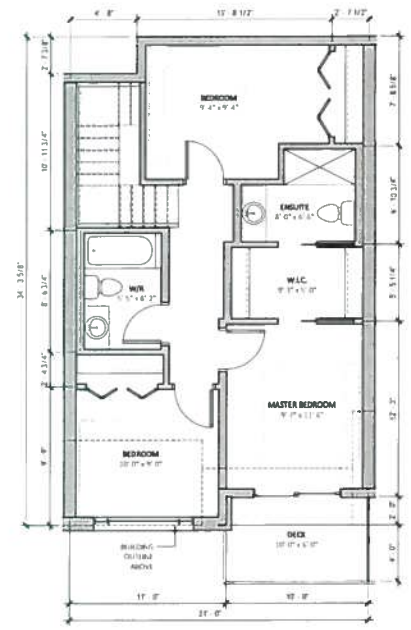
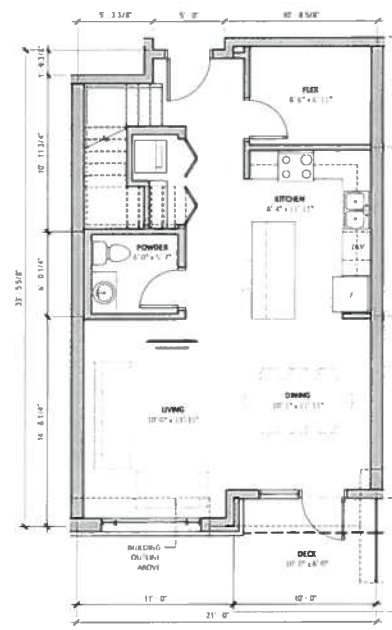
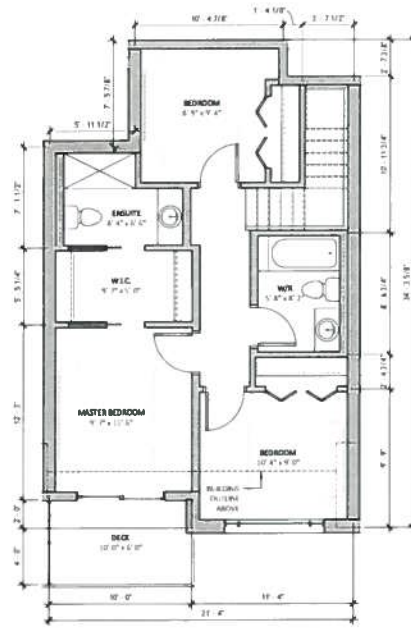
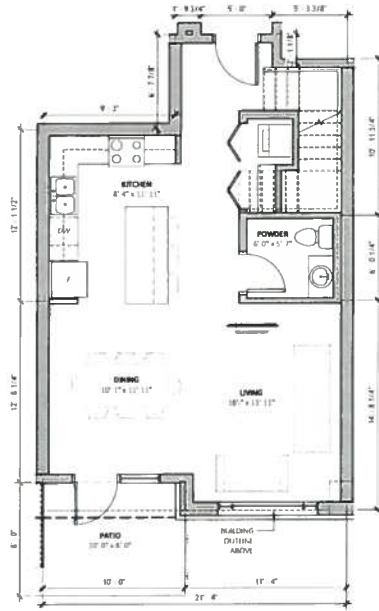
unit TH1 (L1)

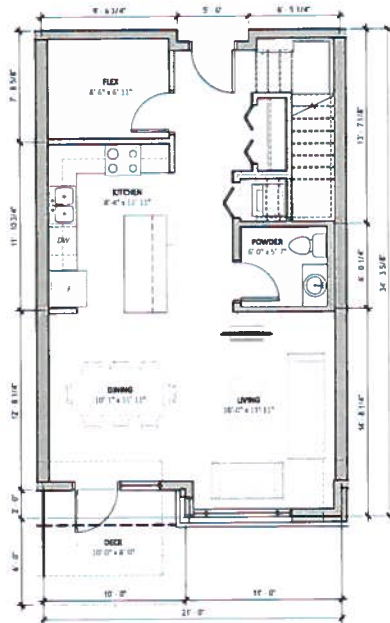
1/4" = 1'-0"
3 BED + FLEX
L1: 724 SF / L2: 701 SF
TOTAL: 1425 SF
OF UNITS - 1



unit TH1 (L2)

1/4" = 1'-0"

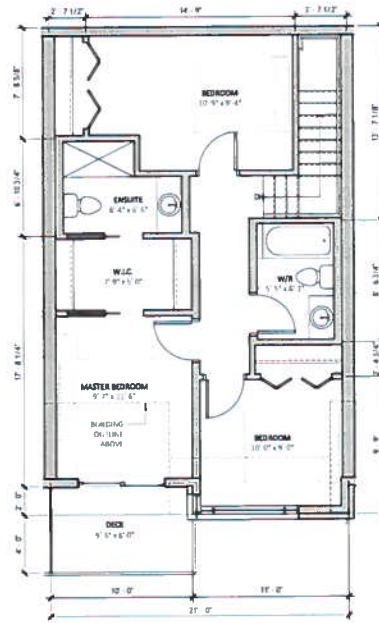




unit TH4 (L1)

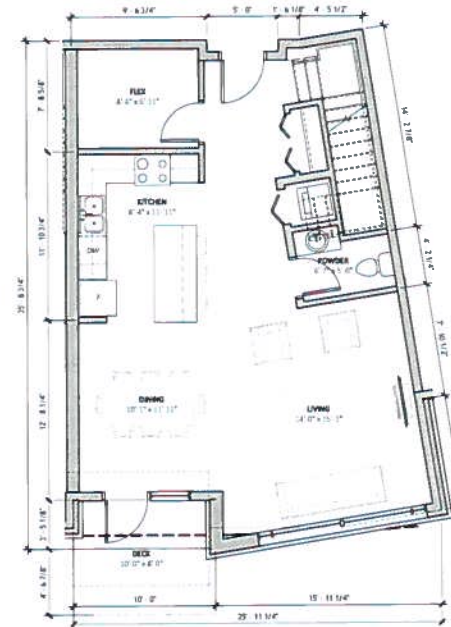
1/4" = 1'-0"

3 BED + FLEX
L1: 695 SF / L2: 699 SF
TOTAL 1394 SF
OF UNITS - 1



unit TH4 (L2)

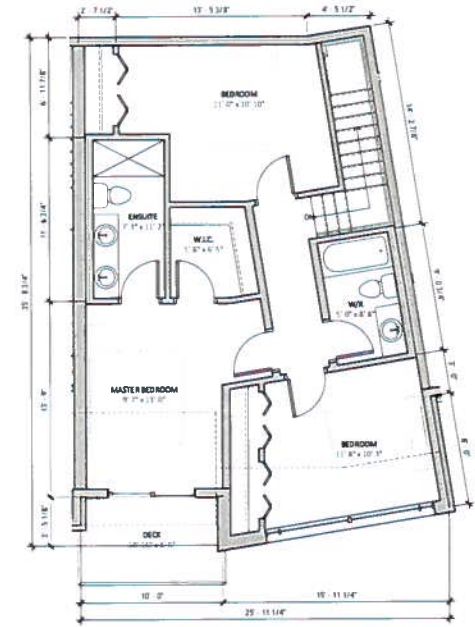
1/4" = 1'-0"



unit TH5 (L1)

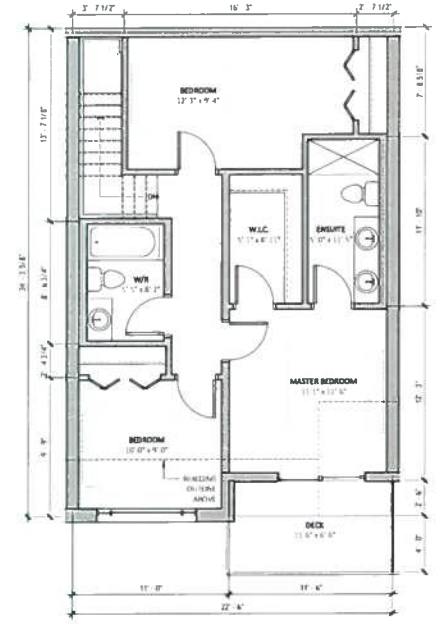
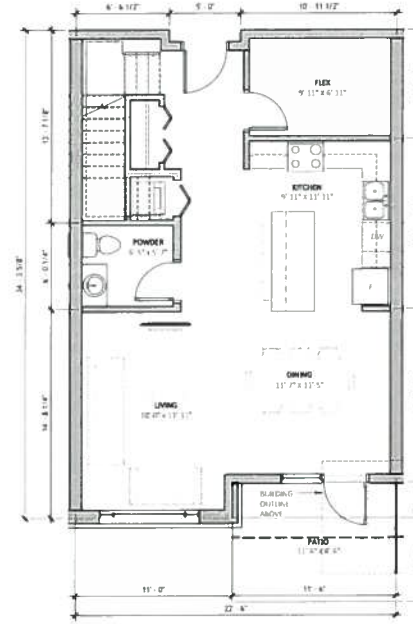
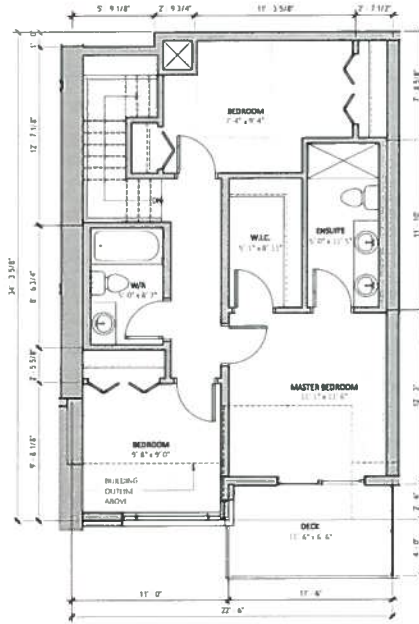
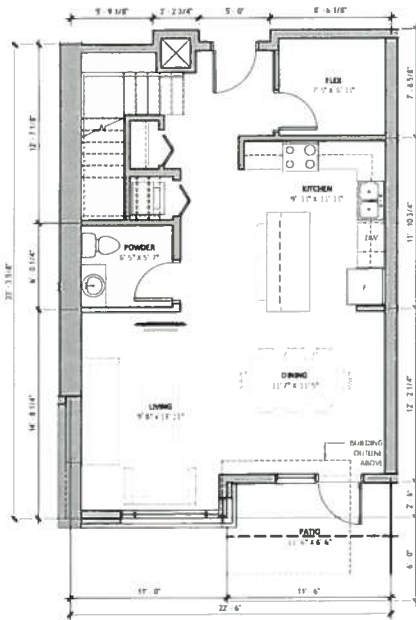
1/4" = 1'-0"

3 BED + FLEX
L1: 780 SF / L2: 784 SF
TOTAL 1564 SF
OF UNITS - 1



unit TH5 (L2)

1/4" = 1'-0"



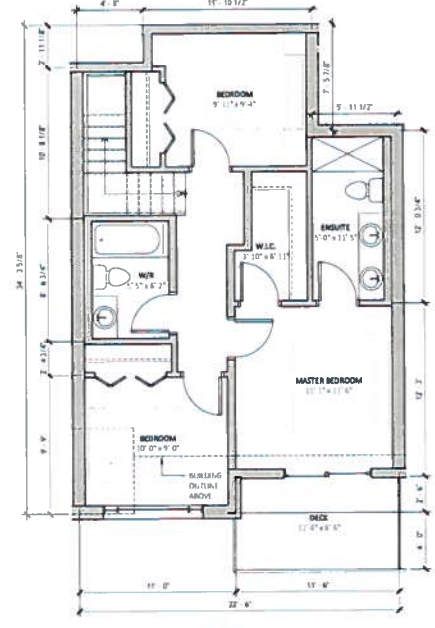
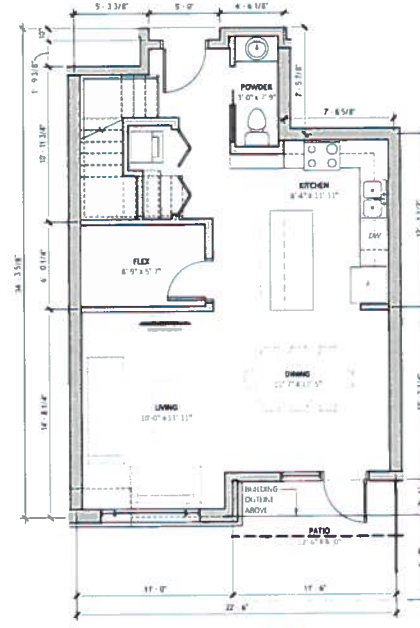
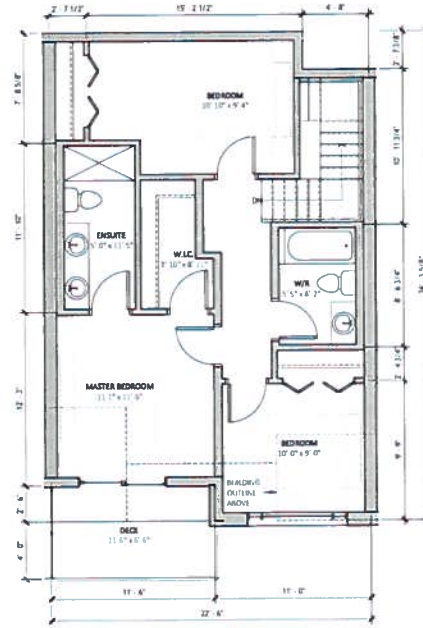
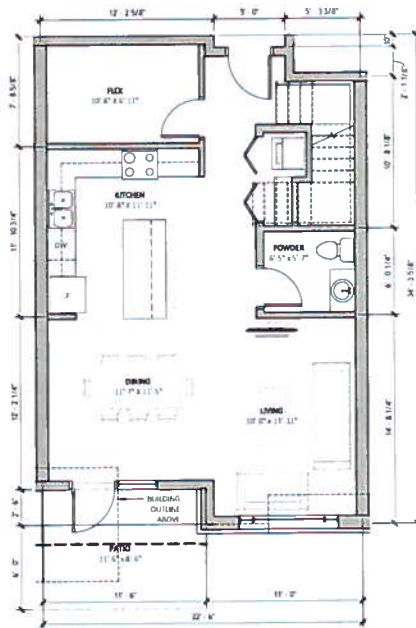
CONCASTS BOARDWALK APARTMENTS
PARK AVENUE, LANGLEY B.C.

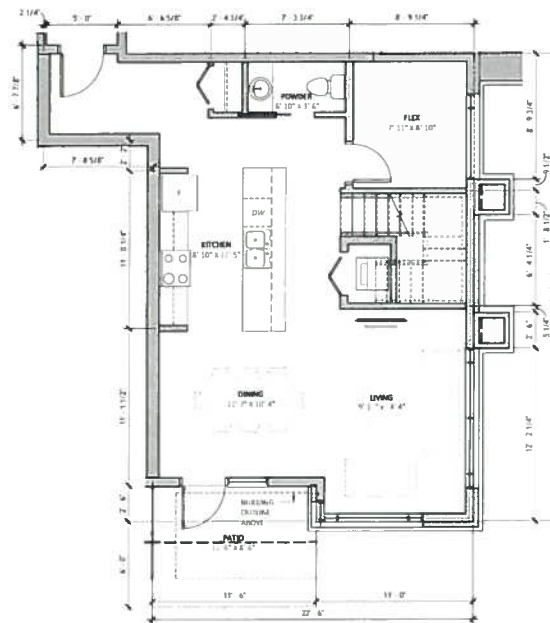
UNIT PLANS
SCALE 1/4" = 1'-0"

ISSUED FOR DEVELOPMENT PERMIT

09/24/19 REVISION #
CITY OF LANGLEY FILE #
PROJECT NUMBER: 19-105

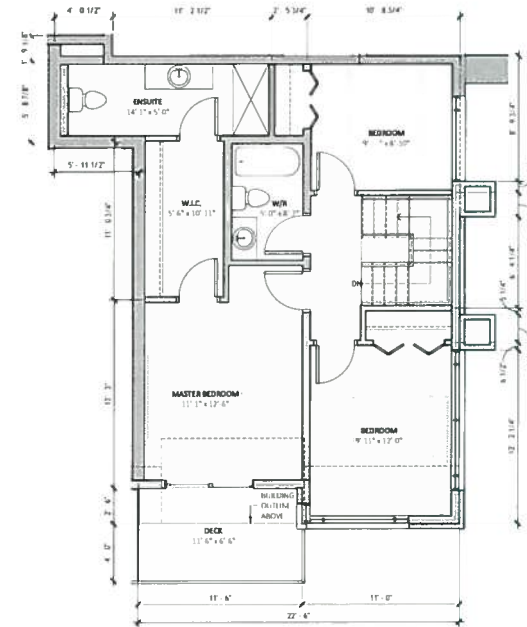
SD2.08





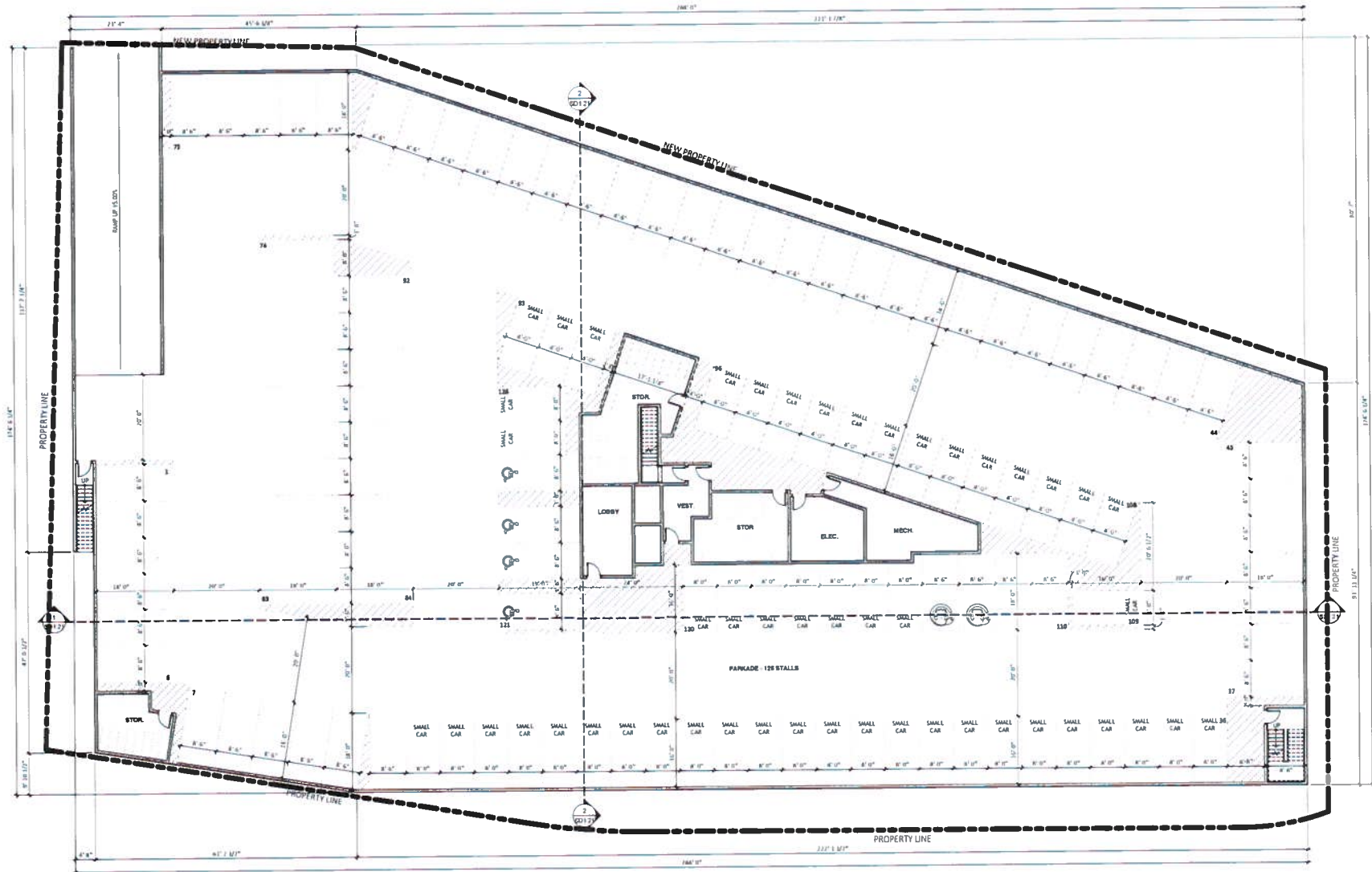
unit TH11 (L1)

3 BED + FLEX
L1: 750 SF / L2: 751 SF
TOTAL: 1510 SF
OF UNITS = 1



unit TH11 (L2)

$$1/4^{\circ} = 150^{\circ}$$



parkade level plan

3/32" = 1'-0"



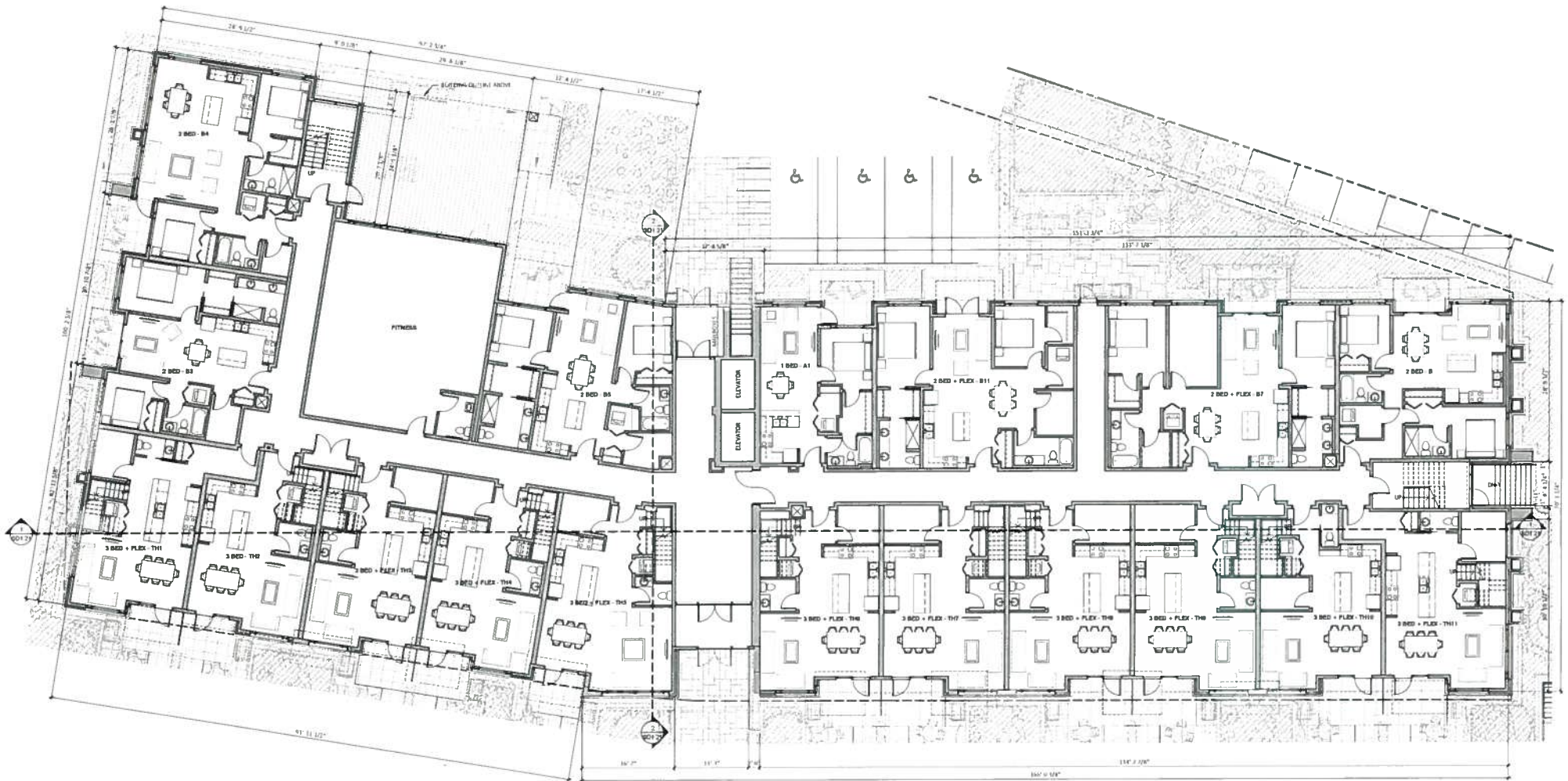
CONCOSTS BOARDWALK APARTMENTS
PARK AVENUE, LANGLEY B.C.

P1 LEVEL PLAN
SCALE 3/32" = 1'-0"



ISSUED FOR DEVELOPMENT PERMIT
09/24/19 REVISION #
CITY OF LANGLEY FILE #
PROJECT NUMBER: 18-105

SD3.01



1st level plan

1/8" = 1'-0"



keystonerearch.ca

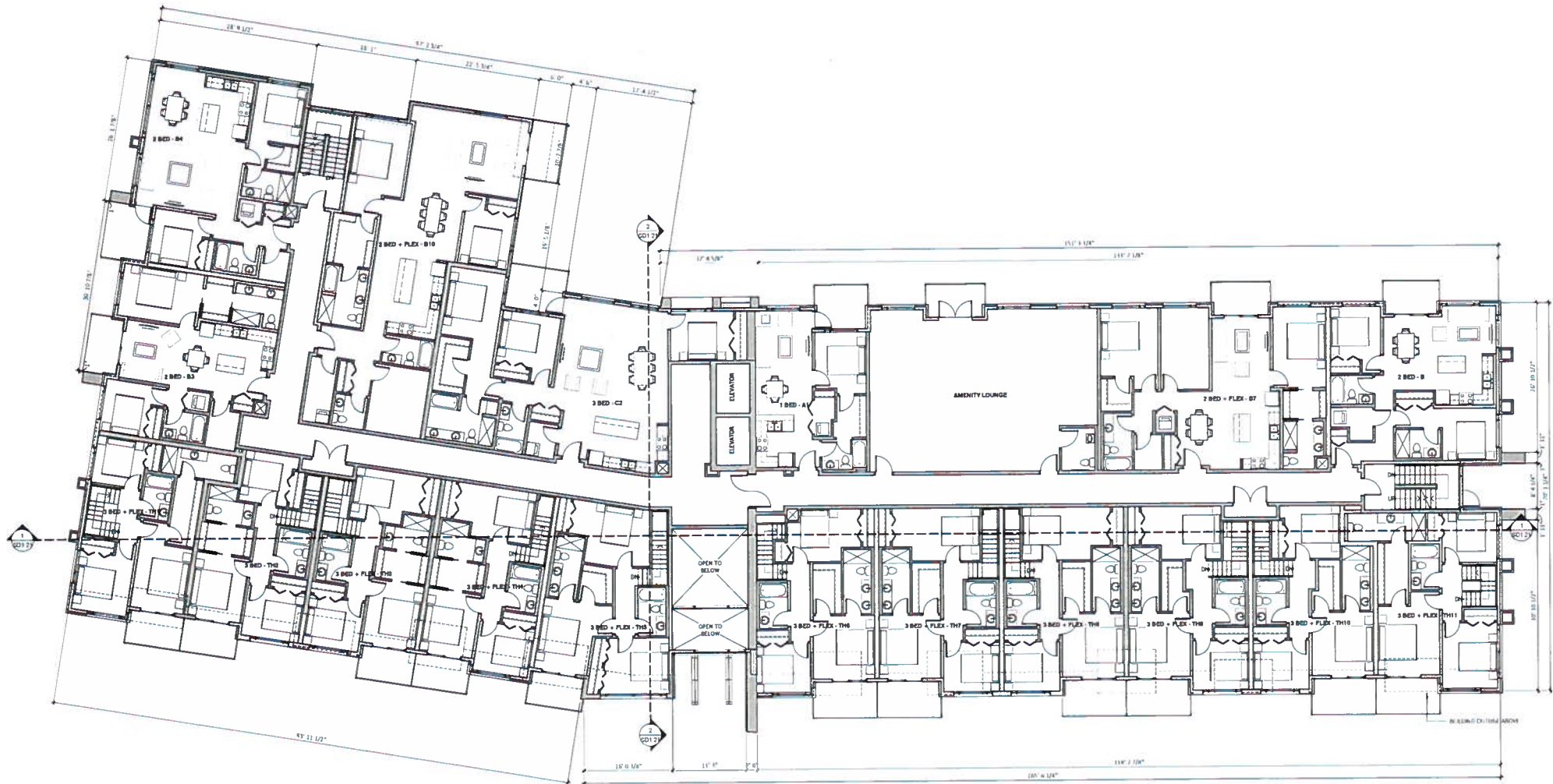
CONCOSTS BOARDWALK APARTMENTS
PARK AVENUE, LANGLEY B.C.

1st LEVEL PLAN
SCALE 1/8" = 1'-0"



ISSUED FOR DEVELOPMENT PERMIT
09/24/18 REVISION #
CITY OF LANGLEY FILE #
PROJECT NUMBER: 19-105

SD3.02



2nd level plan

1/8" = 1'-0"



CONCOSTS BOARDWALK APARTMENTS
PARK AVENUE, LANGLEY B.C.

2nd LEVEL PLAN
SCALE 1/8" = 1'-0"



ISSUED FOR DEVELOPMENT PERMIT

09/24/18 REVISION #
CITY OF LANGLEY FILE #
PROJECT NUMBER: 18-105

SD3.03



3rd level plan

 $1/R^* = 1.0^\circ$ 

CONCOSTS BOARDWALK APARTMENTS
PARK AVENUE, LANGLEY B.C.

3rd LEVEL PLAN

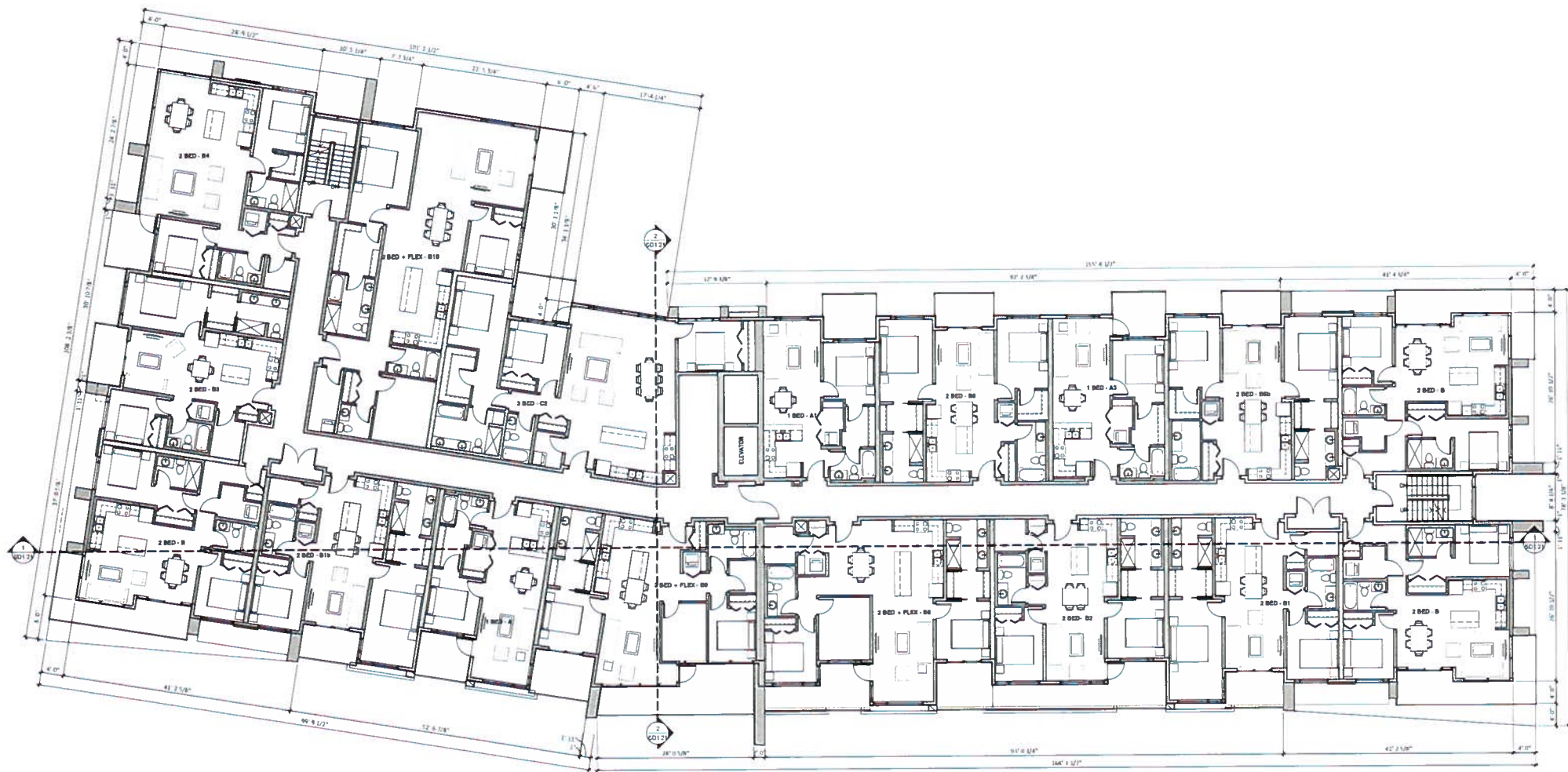
SCALE 1/8" = 1'-0"



ISSUED FOR DEVELOPMENT PERMIT

09/24/18 REVISION #
CITY OF LANGLEY FILE #
PROJECT NUMBER 18-105

SD3.04



4th level plan

1/8" = 1'-0"



CONCOSTS BOARDWALK APARTMENTS
PARK AVENUE, LANGLEY B.C.

4th LEVEL PLAN
SCALE 1/8" = 1'-0"



ISSUED FOR DEVELOPMENT PERMIT

09/24/18 REVISION #
QTY OF LAYSLEY FILE #
PROJECT NUMBER 18-105

SD3.05



5th level plan

1/8" = 1'-0"



CONCOSTS BOARDWALK APARTMENTS
PARK AVENUE, LANGLEY B.C.

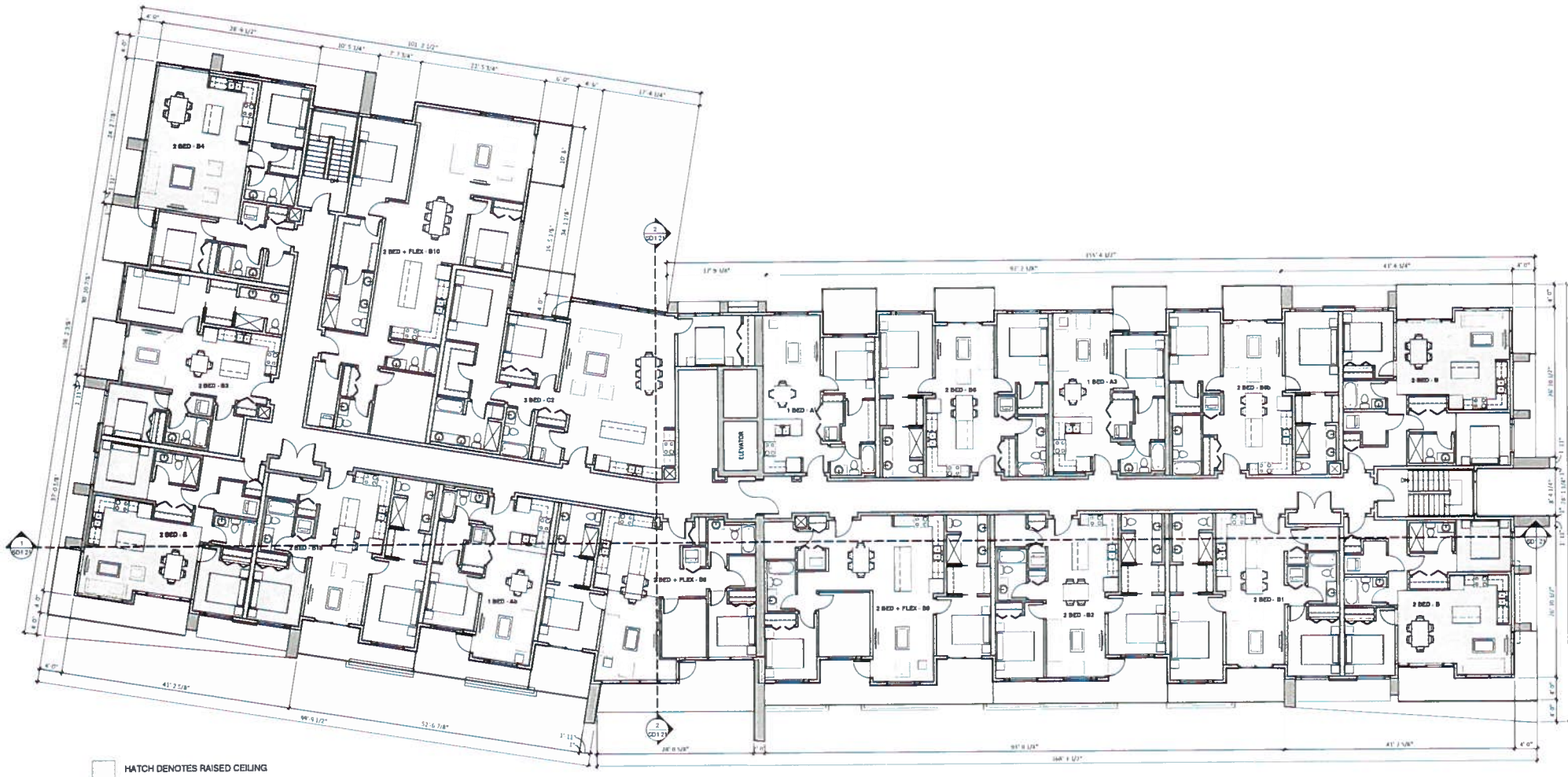
5th LEVEL PLAN
SCALE 1/8" = 1'-0"



ISSUED FOR DEVELOPMENT PERMIT

09/24/18 REVISION #
CITY OF LANGLEY FILE #
PROJECT NUMBER 19-105

SD3.06



6th level plan

 $\frac{1}{8}'' = 1.0''$ 

CONCOSTS BOARDWALK APARTMENTS

PARK AVENUE, LANGLEY B.C.

6th LEVEL PLAN

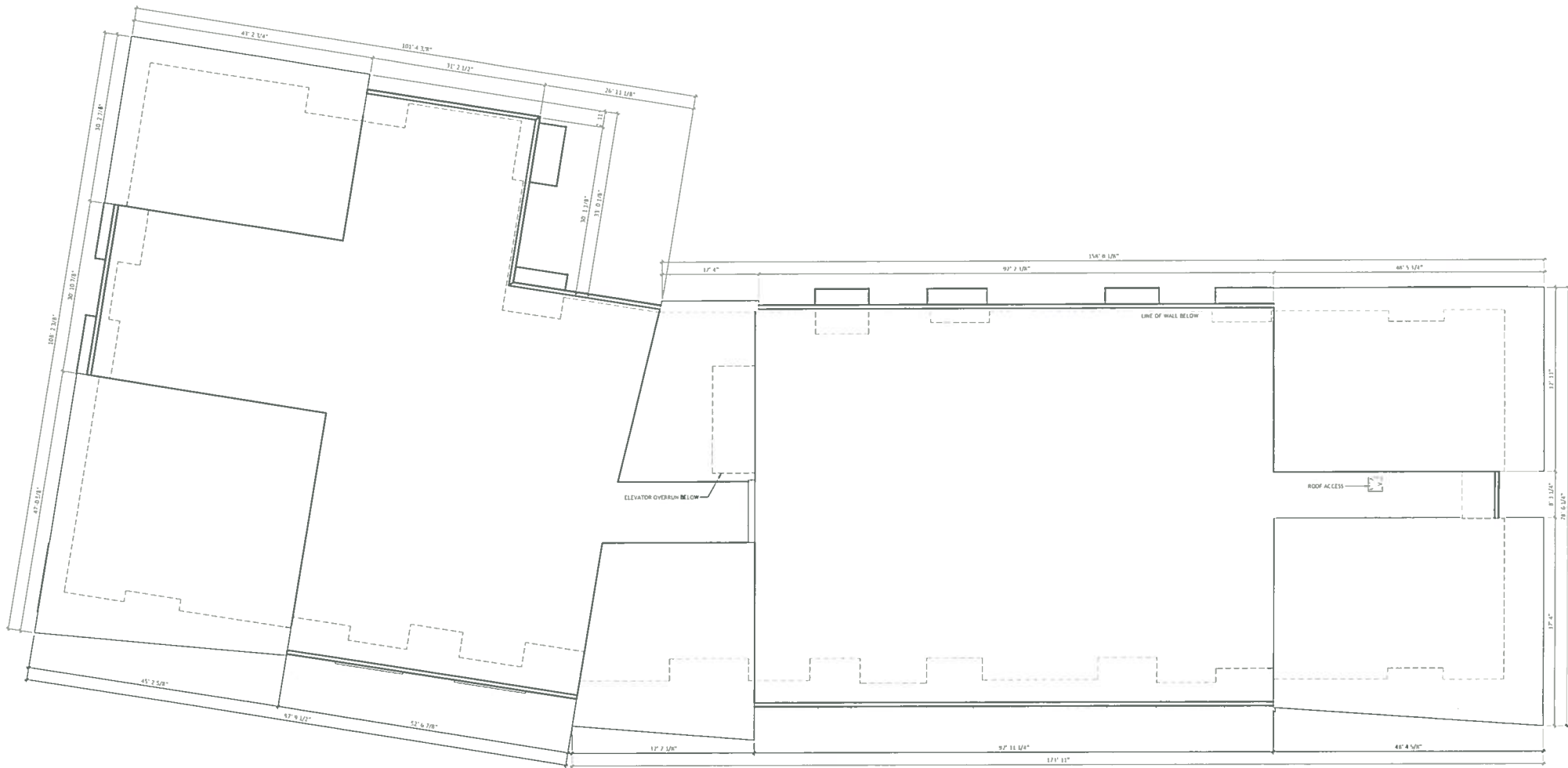
SCALE 1/8" = 1'-0"



ISSUED FOR DEVELOPMENT PERMIT

09/24/19 REVISION #
CITY OF LANGLEY FILE #
PROJECT NUMBER: 19-105

SD3.07



roof level plan

1/5" = 1'-0"



CONCOSTS BOARDWALK APARTMENTS
PARK AVENUE, LANGLEY B.C.

ROOF LEVEL PLAN
SCALE 1/8" = 1'-0"



ISSUED FOR DEVELOPMENT PERMIT

09/24/18 REVISION #
CITY OF LANGLEY FILE #
PROJECT NUMBER 19-105

SD3.08



material legend

- 1 CEMENT BOARD SMOOTH PANEL SIDING (EWS) (FRONT ALL) (REVEALS)
- 2 CEMENT BOARD SMOOTH PANEL SIDING (EWS) (FRONT ALL) (REVEALS)
- 3 CEMENT BOARD SMOOTH PANEL SIDING (EWS) (FRONT ALL) (REVEALS)
- 4 CEMENT BOARD SMOOTH PANEL SIDING (EWS) (FRONT ALL) (REVEALS)
- 5 CEMENT BOARD SMOOTH PANEL SIDING (EWS) (FRONT ALL) (REVEALS)
- 6 TERRAZZO PANEL
- 7 FACE BRICK
- 8 FACE BRICK
- 9 EXTERIOR GLAZING (GLASS COATING)
- 10 WINDOW VINYL
- 11 WINDOW PAINT DOOR VINYL
- 12 ALUMINUM CLAD SYSTEM
- 13 ALUMINUM CLAD SYSTEM
- 14 STEEL CLAD SYSTEM (FRONT CANOPY)
- 15 EXTERIOR ALUMINUM CLAD SYSTEM
- 16 CONCRETE WALL
- 17 EXTERIOR METAL DOOR
- 18 ALUMINUM METAL PANEL
- 19 ALUMINUM METAL PANEL



material legend

1. CEMENT BOARD (SMOOTH PANEL) SMOKE (W/ASS TRIM ALUM. REVERSED)
"JAUNE HANCHE" COLOUR: BROWN GRAY
2. CEMENT BOARD (SMOOTH PANEL) SMOKE (W/ASS TRIM ALUM. REVERSED)
"JAUNE HANCHE" COLOUR: PEARL GRAY
3. CEMENT BOARD (SMOOTH PANEL) SMOKE (W/ASS TRIM ALUM. REVERSED)
"JAUNE HANCHE" COLOUR: ARTISTE WHITE
4. CEMENT BOARD (SMOOTH PANEL) SMOKE (W/ASS TRIM ALUM. REVERSED)
"JAUNE HANCHE" COLOUR: MONTERIE TAILPE
5. TERRAZZO (FLOOR)
6. FACE BRICK
"MULTI-MATERIAL" COLOUR: TROUVÉ / TEXTURE: "ARTISAN"
MORTAR COLOUR: LIGHT GRAY
7. FACE BRICK
"MULTI-MATERIAL" COLOUR: "WHITE", TEXTURE: "MISSION"
MORTAR COLOUR: LIGHT GRAY
8. (H/STAIN) (SALOON) (STUCK COATING)
"STUCK" COLOUR: "GRAY"
COLOUR MATCHED TO "JAUNE HANCHE" MOUNT GRAY/STAIN VARIATION
9. WINDOW FRAME
COLOUR: "BLACK" (STAIN) / WHITE (STAIN)
10. WINDOW FRAME
COLOUR: "BLACK" (STAIN) / WHITE (STAIN)
11. ALUMINUM (CL) / EXTERIOR RAILING
COLOUR: "BLACK"
12. ALUMINUM (CL) / EXTERIOR RAILING
COLOUR: "BLACK"
13. ALUMINUM (CL) / EXTERIOR RAILING
COLOUR: "BLACK"
14. ALUMINUM (CL) / EXTERIOR RAILING
COLOUR: "BLACK"
15. ALUMINUM (CL) / EXTERIOR RAILING
COLOUR: "BLACK"
16. ALUMINUM (CL) / EXTERIOR RAILING
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17. ALUMINUM (CL) / EXTERIOR RAILING
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18. ALUMINUM (CL) / EXTERIOR RAILING
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19. ALUMINUM (CL) / EXTERIOR RAILING
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20. ALUMINUM (CL) / EXTERIOR RAILING
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33. ALUMINUM (CL) / EXTERIOR RAILING
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34. ALUMINUM (CL) / EXTERIOR RAILING
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COLOUR: "BLACK"
36. ALUMINUM (CL) / EXTERIOR RAILING
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37. ALUMINUM (CL) / EXTERIOR RAILING
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COLOUR: "BLACK"
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COLOUR: "BLACK"
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COLOUR: "BLACK"
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COLOUR: "BLACK"
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COLOUR: "BLACK"
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COLOUR: "BLACK"
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COLOUR: "BLACK"
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COLOUR: "BLACK"
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COLOUR: "BLACK"
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COLOUR: "BLACK"
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COLOUR: "BLACK"
49. ALUMINUM (CL) / EXTERIOR RAILING
COLOUR: "BLACK"
50. ALUMINUM (CL) / EXTERIOR RAILING
COLOUR: "BLACK"
51. ALUMINUM (CL) / EXTERIOR RAILING
COLOUR: "BLACK"
52. ALUMINUM (CL) / EXTERIOR RAILING
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COLOUR: "BLACK"

2335 Boardwalk

Issued for Development Permit

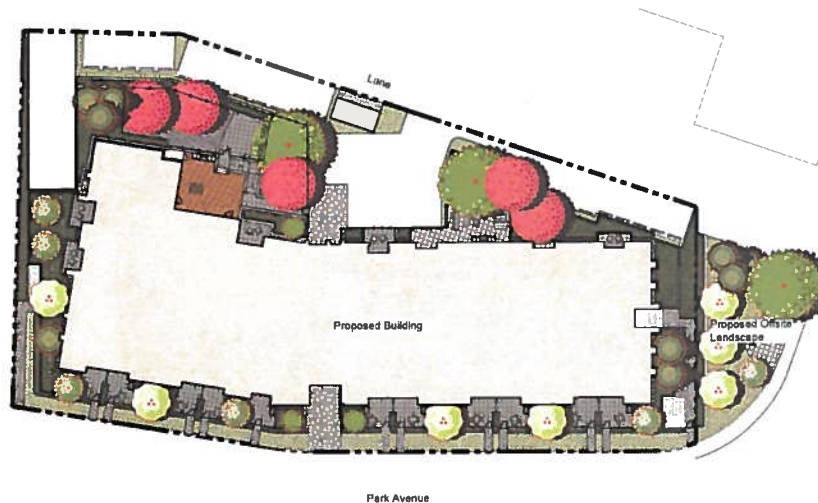
van der Zalm + associates inc.
Landscape Architecture
Landscape Design • Civil Engineering
Landscape Architecture
Suite 100 10100 Avenue 100 100 100 100
Langley, British Columbia V3A 1A1
Tel: 604 548 0824 Fax: 604 548 0824
www.vdz.ca



Contact Information	Other Key Contacts:	
van der Zalm + associates inc. Project Landscape Architects Suite 100 - 20177 87th Avenue Langley, British Columbia V3M 4B6 T: 604 548 0824 F: 604 548 0824 Primary project contact: Travis Martin t.martin@vdz.ca T: 604 548 0824	Concoasts Project Owner 200 5436 Burne Rd. Unit 100 V3J 3J1 P: 604 522 9277	Keystone Architecture Project Building Architect 110 2881 Garden Street Abbotsford BC V2T 4K1 P: 604 850 0577 or 604 853 1536 ext 733 T: 604 850 348 4039 e: keystone@keystonearch.ca
Legal Address and Description: Plan NWP0550 Lot 12 Plan NWP0550 Lot 11 Plan NWP0550 Lot 10 Plan NWP0719 Lot 1		

Sheet List Table

Sheet Number	Sheet Title
L-01	COVER SHEET
L-02	SITE PLAN
L-03	PLANTING PLAN
L-04	OFF-SITE SITE PLAN
LD-01	DETAILS
LD-02	DETAILS
LD-03	DETAILS



1 SITE PLAN OVERVIEW
Scale: 1:300



2 LOCATION MAP
Scale: 1:750

No.	By	Description	Date
1	LJ	Issued for DP	Sept 24, 2018
2	LJ	Issued for DP	Sept 14, 2018
3	LJ	Issued for DP	Aug 2, 2017
4	LJ	Issued for Review	July 19, 2018
REVISIONS TABLE FOR DRAWINGS Copyright reserved. This drawing and design are the property of van der Zalm + associates inc. and may not be reproduced or used for other projects without permission.			
No.	By	Description	Date
REVISIONS TABLE FOR SHEET Project: Boardwalk Condos Location: Park Avenue, Langley, BC Drawn: LJ Checked: TM Approved: MVDC Original Sheet Size: 24"x36" Scale: AS SHOWN			

Drawing Title
COVER SHEET
NORTH
VDZ Project #
DP2018-27
Drawing #
L-01



Drawing #.

L-03

[illegible]

- 1 All plant material and the installation of plant material shall meet or exceed the standards required by the Canadian Landscape Standard (current or future).
- 2 Topsoil supplied shall be from a reputable source. A full analysis of the growing medium will be required at the contractor's expense, submit to landscape consultant for approval.
- 3 Any growing medium per soil analysis recommendations prior to spreading on site. Rejects growing medium shall be removed off site immediately at the landscape contractors expense
- 4 Growing medium depths for planting as follows:
 - a Shrub 450mm
 - b Seed 150mm
 - c Tree pits 1000mm with 300mm (below root ball)
- 5 1" minus compost mulch to be installed in all shrub planting areas
- 6 All landscaped areas to be irrigated



Key Map (NITE)

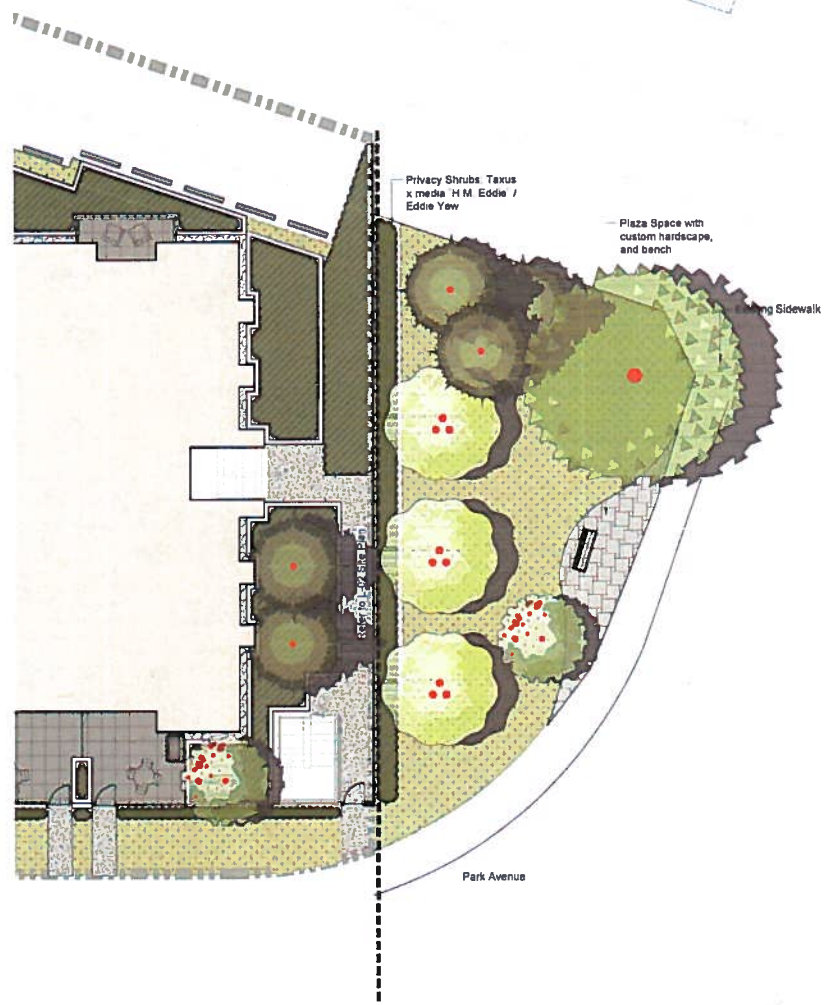


OFFSITE HARDSCAPE MATERIALS

KEY	REF	DESCRIPTION
	4.8 LD-01	CONCRETE SIDEWALK
	5 LD-02	CONCRETE PAVERS Pattern: solid Depth: 40mm Color: Natural and Charcoal Size: 16x16x40mm

SOFTSCAPE MATERIALS

KEY	REF	DESCRIPTION
	S00	See Critical Landscape Notes for Species



TREE SCHEDULE OFFSITE

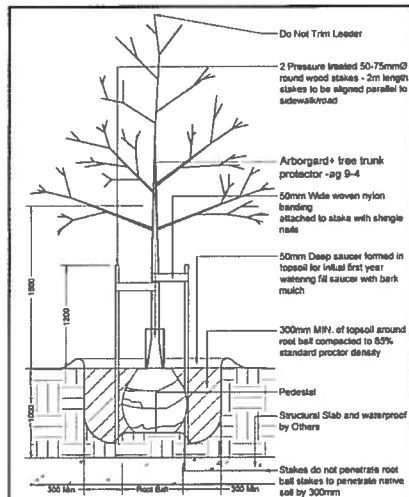
TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	QTY
	Acer palmatum 'Sango Kaku' / Coral Bark Maple	B&B	6cm	1
	Chionanthus virginicus / White Fringetree	B&B, Multi-stem, min. 3 leader	4cm	3
	Fraxinus americana 'Autumn Purple' / Autumn Purple Ash	B&B	6cm	1
	Pinus contorta 'Contorta' / Shore Pine	B&B		3

PLANT SCHEDULE OFFSITE

SHRUBS	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
	Taxus x media 'H.M. Eddie' / Eddie Yew	1.5 m tall	750mm	32

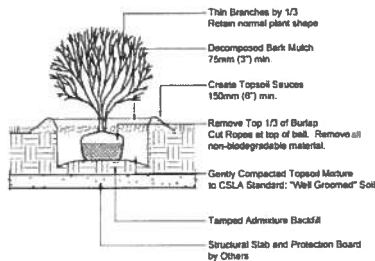
1 OFFSITE PLAN OPTION 1
Scale: 1:100



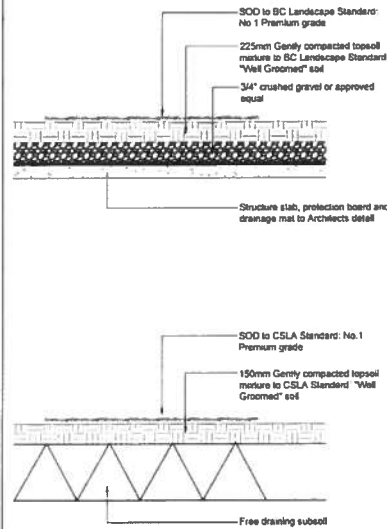


- NOTES:
1. Sack/burlap to be loosened and dropped to the bottom of the planting hole, all string, twine, etc to be removed.
 2. All wire baskets shall have the top 1/3 of the wire removed prior to planting.
 3. All trees shall be single stem.

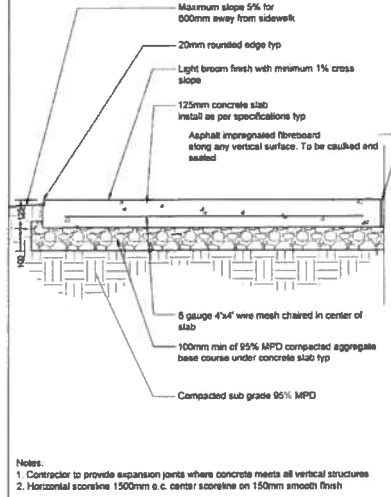
1 TREE PLANTING ON SLAB
Scale 1:25



2 SHRUB PLANTING ON SLAB
Scale 1:25

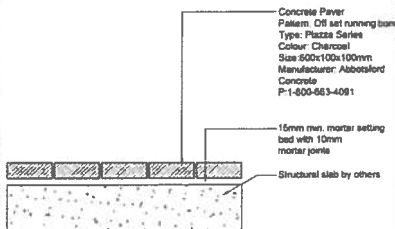


3 GROUNDCOVER ON SLAB
Scale 1:25

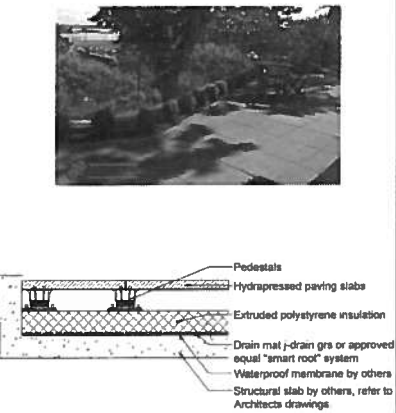


- Notes:
1. Contractor to provide expansion joints where concrete meets all vertical structures
 2. Horizontal scoreline 1500mm e.c. center scoreline on 150mm smooth finish

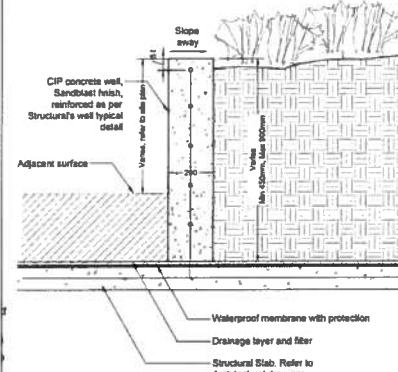
4 CONCRETE SIDEWALK ON GRADE
Scale 1:10



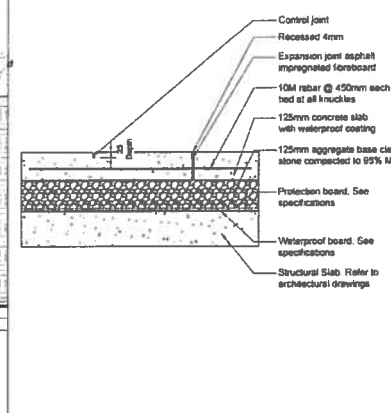
5 PAVERS WITH MORTAR
Scale 1:10



6 HYDRAPRESSED SLAB
Scale 1:10



7 CONCRETE RETAINING WALL
Scale 1:10



8 CONCRETE SIDEWALK ON SLAB
Scale 1:10

von der Zalm + associates inc.
VZ Associates Inc. • Civil Engineering
Urban Design • Landscape Architecture
Suite 1, 2011 16th Avenue • 604-480-8844
Langley, British Columbia • P 604-480-8844
VZ 010

No.	By	Description	Date
4	LJ	Issued for CP	Sept 24, 2010
3	LJ	Issued for CP	Sept 14, 2010
2	LJ	Issued for CP	Aug 3, 2010
1	LJ	Issued for Review	July 13, 2010
REVISIONS TABLE FOR DRAWINGS			
* Engineer's approval. This drawing and design is the property of VZ Associates Inc. and may not be reproduced or used for other projects without permission.			
REVISIONS TABLE FOR SHEET			
Project: Boardwalk Condos			
Location: Park Avenue, Langley, BC			
Drawn	Stamp		
LJ			
Checked			
TM			
Approved			
MYDZ			
Scale:	Original Sheet Size 24"x36"		
AS SHOWN			

Drawing Title: DETAILS
V02 Project # DP2018-27
Drawing # LD-01



Manufacturer: Equiparc
 Model: Delta Table
 Mount: Surface Mount

1 OUTDOOR TABLE
 Scale: NTS



Manufacturer: Equiparc
 Model: Delta Bike Rack
 Mount: Surface Mount

2 BIKE RACK
 Scale: NTS



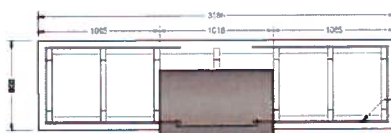
Manufacturer: Equiparc
 Model: Delta Bench EP 1950
 Mount: Surface Mount

3 BENCH
 Scale: NTS

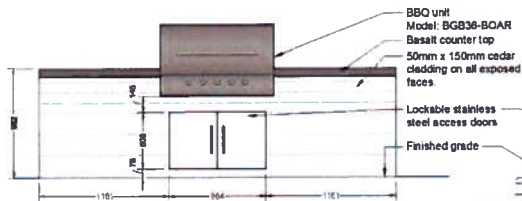


Manufacturer: Equiparc
 Model: Delta Garbage
 Mount: Surface Mount

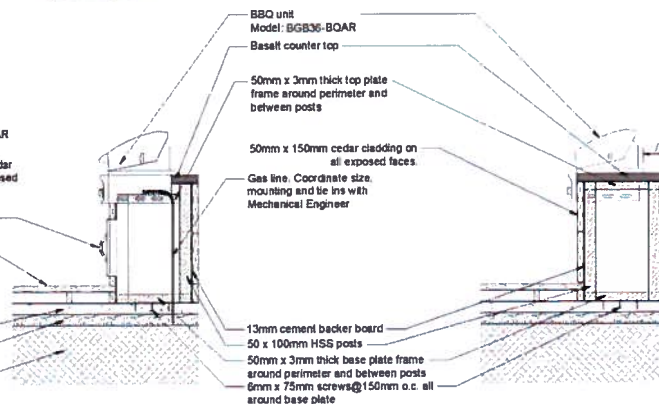
4 TRASH RECEPTACLE
 Scale: NTS



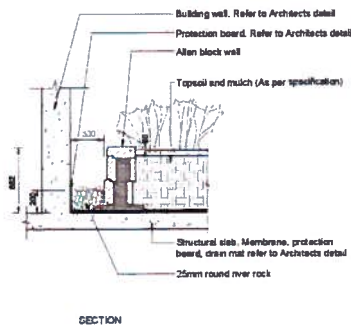
- Notes:
1. Contractor to verify BBQ dimensions prior to construction of BBQ enclosure.
 2. Contractor to submit shop drawings for approval.
 3. BBQ grill to be installed per manufacturers specifications.
 4. Gas line to be coordinated with Mechanical Engineer and to meet BBQ manufacturers specifications.
 5. BBQ Unit model BGB36-BQAR by Fisher & Paykel, or approved equal.



100mm concrete slab
 100mm clear stone
 compacted to 95% MPD
 Styrofoam void form, refer
 to Architects drawings

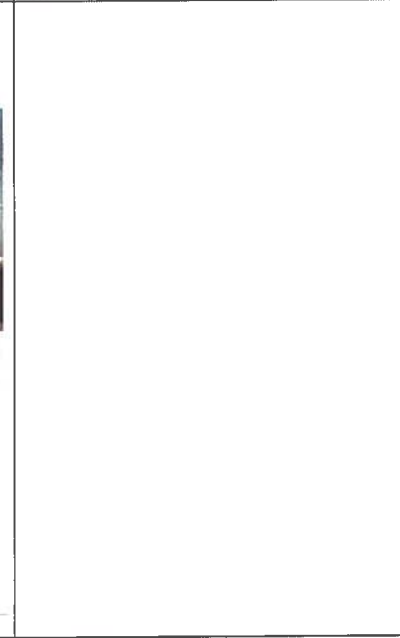
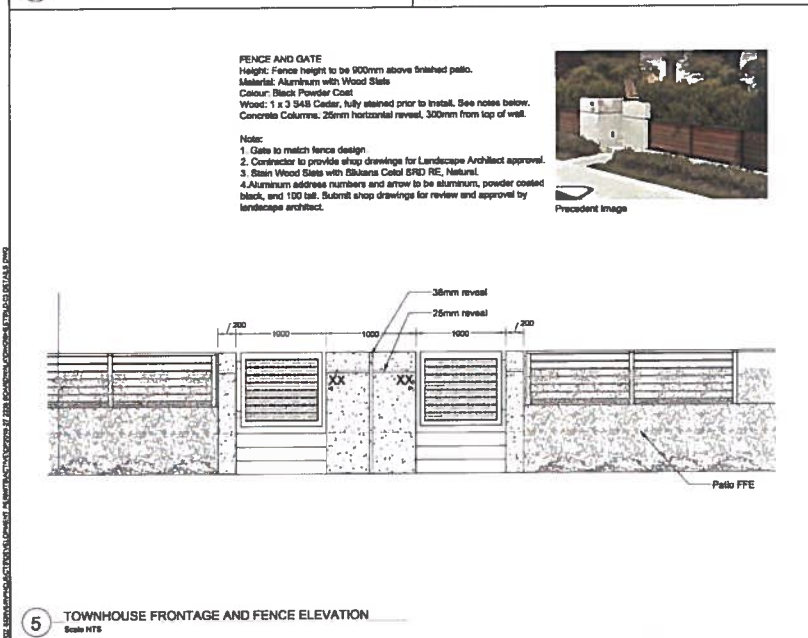
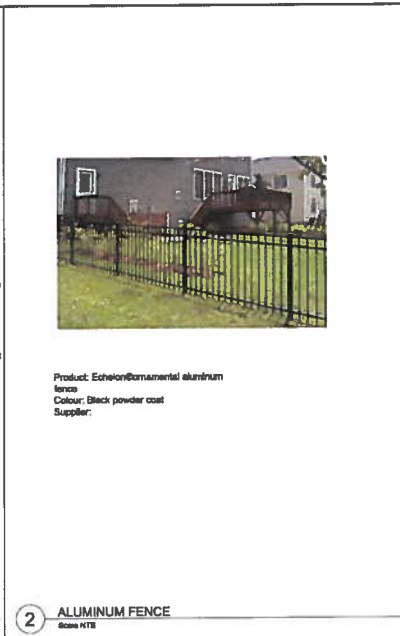
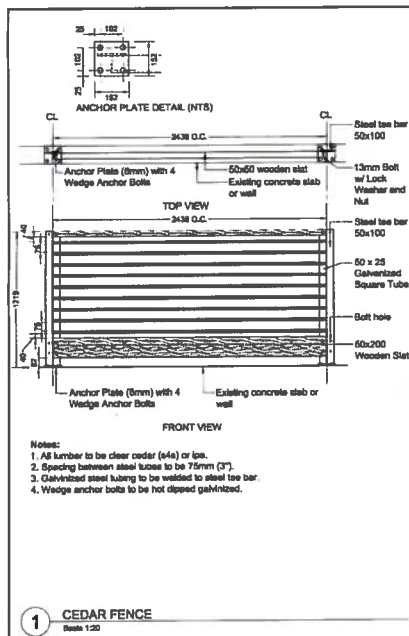


5 BUILT IN BBQ
 Scale: 1/20



6 DRIP STRIP ON SLAB
 Scale: 1/20

No.	Rev.	Description	Date
1	1	ISSUED FOR CIP	May 24, 2018
2	1	ISSUED FOR CIP	May 24, 2018
3	1	ISSUED FOR CIP	Aug 14, 2018
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99	1	ISSUED FOR CIP	Aug 14, 2018
100	1	ISSUED FOR CIP	Aug 14, 2018



van der Zee + associates inc.
Parks & Recreation • Civil Engineering
Urban Design • Landscape Architecture

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Fax: 416.883.2888
Email: info@vanzee.com

No.	By	Description	Date
1	LI	Revised for DP	Sept 24, 2019
2	LI	Revised for DP	Sept 14, 2019
3	LI	Revised for DP	Aug 8, 2019
4	LI	Revised for DP	July 19, 2019

REVISIONS TABLE FOR DRAWINGS
* Required overall. This drawing and sheets in this set of drawings are the property of van der Zee + associates inc. and may not be reproduced or used for other projects without permission.

No.	By	Description	Date
1	LI	Revised for DP	Sept 24, 2019
2	LI	Revised for DP	Sept 14, 2019
3	LI	Revised for DP	Aug 8, 2019
4	LI	Revised for DP	July 19, 2019

Project:
Boardwalk Condos

Location:
Park Avenue,
Langley, BC

Drawn:
LI

Checked:
TM

Approved:
MVDZ

Stamp:
Original Sheet Box:
34"x48"

Scale:
AS SHOWN

CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK AND DESIGN RESPONSIBILITY OF THE PROJECT. ANY CHANGES OR MODIFICATIONS TO THE DESIGN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ANY CHANGES TO THE DESIGN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ANY CHANGES TO THE DESIGN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

Drawing Title: DETAILS
 V&Z Project #: DP2018-27
 Drawing #: LD-03

Paula Kusack

From: All of Oils <glenn@allofoils.com>
Sent: April 1, 2019 12:55 PM
To: Roy Beddow
Cc: Rick Bomhof; Paula Kusack
Subject: Re: Development Permit Application No. DP-15-18

Thank you very much,

Glenn Pineau
All of Oils, Wholesome Oils & Vinegars
604-510-6655
www.allofoils.com

On Apr 1, 2019, at 12:36 PM, Roy Beddow <rbeddow@langleycity.ca> wrote:

Glenn:

Thank you for your message below concerning the subject development application. The applicant has provided the City with a Traffic Management Plan for the construction of the proposed development. In accordance with that plan, the lane will be kept open and the applicant advises that "there will a flag-person controlling the rear lane whenever construction traffic is present allowing controlled access to the rear of the business on Douglas Crescent as well as for the residents of The Serenade."

For your information.

Regards.

RMB

ROY M. BEDDOW, MCIP, RPP
DEPUTY DIRECTOR OF DEVELOPMENT SERVICES & ECONOMIC DEVELOPMENT

City Hall, 20399 Douglas Crescent, Langley, BC V3A 4B3
P 604.514.2817 F 604.514.2322 E rbeddow@langleycity.ca



From: All of Oils <glenn@allofoils.com>
Sent: March 29, 2019 1:33 PM
To: WebInfo <webinfo@langleycity.ca>
Cc: [REDACTED]
Subject: Re: Development Permit Application No. DP-15-18

Hello,

Since our driveway and delivery zone backs on to the alley between Douglas Crescent and Park Ave, (20450 Douglas Cres.) we are concerned that the construction process may interfere with our ability to receive shipments for our business. Please confirm that at no time will this alley be blocked for truck access.

Thanks,

Glenn Pineau
All of Oils, Wholesome Oils & Vinegars
604-510-6655
www.allofoils.com



CITY OF LANGLEY

REQUEST TO APPEAR AS A DELEGATION / COMMUNITY SPOTLIGHT

To appear before Council as a Delegation or Community Spotlight at a Council Meeting, please submit a written request to the Corporate Officer by 12:00 p.m. noon on the Wednesday prior to the scheduled Council Meeting. You may complete this form or provide a letter however please ensure the letter contains the information requested on this form. You can submit your request by email to pkusack@langleycity.ca, in person or by mail at City Hall (20399 Douglas Crescent, Langley BC V3A 4B3), or by fax at 604-514-2838. A staff member will contact you to confirm the meeting date at which you are scheduled to appear before Council.

Council meetings take place at 7:00 p.m. in the Council Chambers on the second floor of Langley City Hall. Delegations are defined as an individual, group of organization making a request of Council. A Community Spotlight is an individual, group or organization providing information or updates on an event or activity. Delegations are limited to a five (5) minute presentation and Community Spotlights are limited to a ten (10) minute presentation. You may speak on more than one (1) topic but you must keep your presentation within the prescribed time limit.

Please attach any material that you wish Council to review in advance of the meeting to this form.

DATE: March 11, 2019 REQUESTED MEETING DATE: April 8, 2019

NAME: Kate Ludlam, Director, Fundraising and Donor Relations

ORGANIZATION NAME: Langley Memorial Hospital Foundation
(if applicable)

ADDRESS: 22051 Fraser Highway, Langley BC V3A 4H4

CONTACT NUMBER: 604-514-6043

EMAIL ADDRESS: kate.ludlam@fraserhealth.ca

TOPIC: Provide a status report on the new Emergency Department and MRI Suite currently under construction at Langley Memorial Hospital including an update on the Foundation's \$15million fundraising campaign.

AUDIO/VISUAL NEEDS (if yes, specify) Yes, power point presentation with hand outs

ACTION YOU WISH COUNCIL TO TAKE: None, purely informational presentation



MAR 19 2019

ADMINISTRATION DEPT
CITY OF LANGLEYREQUEST TO APPEAR AS A DELEGATION
COMMUNITY SPOTLIGHT

To appear before Council as a Delegation or Community Spotlight at a Council Meeting, please submit a written request to the Corporate Officer by 12:00 p.m. noon on the Wednesday prior to the scheduled Council Meeting. You may complete this form or provide a letter however please ensure the letter contains the information requested on this form. You can submit your request by email to pkusack@langleycity.ca, in person or by mail at City Hall (20399 Douglas Crescent, Langley BC V3A 4B3), or by fax at 604-514-2838. A staff member will contact you to confirm the meeting date at which you are scheduled to appear before Council.

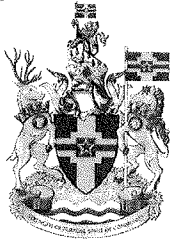
Council meetings take place at 7:00 p.m. in the Council Chambers on the second floor of Langley City Hall. Delegations are defined as an individual, group of organization making a request of Council. A Community Spotlight is an individual, group or organization providing information or updates on an event or activity. Delegations are limited to a five (5) minute presentation and Community Spotlights are limited to a ten (10) minute presentation. You may speak on more than one (1) topic but you must keep your presentation within the prescribed time limit.

Please attach any material that you wish Council to review in advance of the meeting to this form.

DATE: March 19/19 REQUESTED MEETING DATE: APRIL 8 2019NAME: GEORGIA DAMIANOSORGANIZATION NAME: MASON COURT
(if applicable)ADDRESS: 19897 56 AVE LangleyCONTACT NUMBER: 604 530 9250EMAIL ADDRESS: GD9250@gmail.comTOPIC: PARKING

AUDIO/VISUAL NEEDS (if yes, specify) _____

ACTION YOU WISH COUNCIL TO TAKE: THE WASTED AREA ATTHE FRONT OF OUR BUILDING TO BE MADE INTO MUCH
NEW PARKING SPACES,



CITY OF LANGLEY

*"The Place to Be!"***REQUEST TO APPEAR AS A DELEGATION /
COMMUNITY SPOTLIGHT**

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DATE: APR. 1, 2017 REQUESTED MEETING DATE: MON., APRIL 8, 2017

NAME: SHARLA MAUGER

ORGANIZATION NAME: NEW WESTMINSTER + DISTRICT LABOUR COUNCIL
(if applicable)

ADDRESS: #105-3920 NORLAND AVE, BURNABY, BC

CONTACT NUMBER: (604) 291-9306

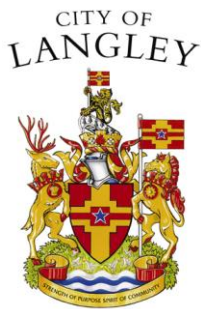
EMAIL ADDRESS: nwdlc@shawcable.com

TOPIC: DAY OF MOURNING

AUDIO/VISUAL NEEDS (if yes, specify) POWER POINT PRESENTATION

ACTION YOU WISH COUNCIL TO TAKE: LISTEN TO OUR PRESENTATION

+ SUPPORT HEALTH & SAFETY INITIATIVES IN THE WORKPLACE.



EXPLANATORY MEMO

2019 TAX RATE BYLAW, 2019, No. 3102

A taxation revenue increase of 6.98% is required to fully fund the 2019 Financial Plan.

During the Financial Plan deliberations, City Council discussed a number of property tax ratios. The following table shows the chosen ratios and the effect on property tax levies:

	Properties	Ratio	\$ Change	% Change
Average Single Family Residential	3,337	1.000	\$ 2.01	0.10 %
Average Strata Dwelling	5,972	1.000	\$ 136.53	16.87 %
Average Light Industrial Property	78	3.000	\$ 1,472.44	7.01 %
Average Business Property	626	3.075	\$ 1,359.41	7.00 %

The following table outlines the distribution of the property taxes amount of the property tax classes.

Property Class	% of Total Property Taxation	Dollar Value
Residential (1)	48.8%	\$ 14,238,966
Utilities (2)	0.5%	149,054
Light Industrial (5)	5.9%	1,731,382
Business & Other (6)	44.5%	12,996,847
Recreations / Non Profit (8)	0.3%	74,868
Farmland (9)	0.0%	28
Total	100.0%	\$ 29,191,145

The residential property tax class provides the largest proportion of property tax revenue which is consistent with most other jurisdictions. During the Financial Planning process, City Council expressed a desire to maintain the tax burden close to the average ratio between the classes (1 : 3) identified in Metro Vancouver. The ratio in 2019 will be 1 : 3.075 between the residential and business class.

Note: The figures presented in the explanatory memo do not include any utility charges or levies from other taxing jurisdictions only levies specifically for the City of Langley.



2019 TAX RATE BYLAW No. 3102

BYLAW No. 3102

A Bylaw to Levy property value taxes for municipal purposes
for the year 2019

The Council of the City of Langley, in open meeting assembled, enacts as follows:

1. The following tax rates appearing in Schedule “A”, attached to and forming a part of this bylaw, are imposed and levied for the 2019 year for:

- (1) the municipal revenue proposed to be raised for the year from property value taxes, as provided in the financial plan, and
- (2) the amount to be collected for the year by means of rates established by the municipality to meet its taxing obligations in relation to another local government or other public body.

and are imposed on the basis of the assessed value of the land and improvements.

2. This Bylaw may be cited for all purposes as the “2019 Tax Rates Bylaw, 2019 No. 3102”.

READ A FIRST AND SECOND TIME this _____ day of _____, 2019.

READ A THIRD TIME this _____ day of _____, 2019.

FINALLY ADOPTED this _____ day of _____, 2019.

MAYOR

CORPORATE OFFICER

2019 Tax Rate Bylaw No. 3102 Schedule A

Municipal Taxes						
<i>Property Class</i>	<i>"A" General Municipal</i>	<i>RCMP</i>	<i>Fire</i>	<i>Library</i>	<i>Infrastructure</i>	<i>Other</i>
1 Residential	2.3236	1.0312	0.4117	0.1334	0.0060	0.7413
2 Utility	40.0000	17.7524	7.0877	2.2966	0.1028	12.7605
3 Supportive Housing	2.3236	1.0312	0.4117	0.1334	0.0060	0.7413
5 Light Industry	6.9708	3.0937	1.2352	0.4002	0.0179	2.2238
6 Business/Other	7.1450	3.1710	1.2660	0.4102	0.0184	2.2794
8 Rec/Non-profit	8.0629	3.5784	1.4287	0.4629	0.0207	2.5722
9 Farm	2.3236	1.0312	0.4117	0.1334	0.0060	0.7413

Regional Tax Requisitions	
<i>Property Class</i>	<i>(GVRD) Metro Vancouver</i>
1 Residential	0.0404
2 Utility	0.1413
3 Supportive Housing	0.0404
5 Light Industry	0.1373
6 Business/Other	0.0989
8 Rec/Non-profit	0.0404
9 Farm	0.0404



REPORT TO COUNCIL

To: **Mayor and Councillors**

Subject: **Resurfacing of Douglas Park Tennis Court to
Incorporate Pickle Ball Courts**

File #: 5720.00

Doc #:

From: Rick Bomhof, P.Eng.
Director of Engineering, Parks & Environment

Date: April 2, 2019

RECOMMENDATION:

THAT \$25,000 be allocated from the Enterprise fund to resurface the Douglas Park Tennis Court with the addition of Pickle Ball Courts overlaid on the Tennis Courts.

PURPOSE:

The purpose of the report is to request authorization to spend up to \$25,000 from the Enterprise Fund to resurface the Douglas Park Tennis Courts for both Tennis and Pickle Ball.

POLICY:

N/A

COMMENTS/ANALYSIS:

Following the March 11, 2019 delegation by the Langley Area Pickle-ball Dinkers, Council directed staff to investigate the crack repair and addition of pickle-ball courts at the Douglas Park Tennis Court.

Upon inspection and meeting with the Pickle Ball group, it was determined that:

- Surface cracks - Most are relatively minor and easy to repair; however, one crack is quite long (extends almost the full length of the tennis court) and wide (about ½"). The court was resurfaced about two years ago and it was surprising to see that a major crack has now developed. The crack can be

repaired now but a detailed investigation should be undertaken to determine the cause of the crack if it reappears within the next year or two.

- Pickle-ball courts - Staff met with the pickle ball group and agreed to paint four courts per tennis court in addition to the tennis lines. They are equipped with their own nets so they have not requested permanent nets. This would give them eight courts for competition play. The proposed lines are shown on the attached drawing.

BUDGET IMPLICATIONS:

The quote to repair the cracks, resurface the base and paint the pickle-ball courts and tennis courts is approximately \$23,650 plus a minor contingency, totalling \$25,000. Timing of this approval is important as the pickle ball tournament is in July and the contractor would need a significant stretch of good weather to complete the work. If Council wishes to proceed with this work, it is recommended that funding be allocated from the Enterprise Fund.

ALTERNATIVES:

Do nothing.

Respectfully Submitted,



Rick Bomhof, P.Eng.
Director of Engineering, Parks & Environment

Attachment:

1. Tennis Courts and Pickle Ball Courts Layout

CHIEF ADMINISTRATIVE OFFICER'S COMMENTS:

I support the recommendation.



Francis Cheung, P. Eng.
Chief Administrative Officer

