



**REGULAR COUNCIL MEETING
AGENDA**

**Monday, February 10, 2025
7:00 P.M.
Council Chambers, Langley City Hall
20399 Douglas Crescent**

Public meetings held in Council Chambers are livestreamed and recorded. The video recordings are available on the City's website for public viewing.

1. LAND ACKNOWLEDGEMENT

The land on which we gather is on the traditional unceded territory of the Katzie, Kwantlen, Matsqui and Semiahmoo First Nations.

**2. ADOPTION OF AGENDA
RECOMMENDATION:**

THAT the February 10, 2025 regular agenda be adopted as circulated.

3. COMMITTEE OF THE WHOLE

A Committee of the Whole meeting provides Council a greater opportunity to speak to and debate specific agenda items.

RECOMMENDATION:

THAT Council commence the Committee of the Whole.

3.a Surrey Langley SkyTrain Project Update

Gilles Assier, Executive Project Director, Surrey Langley SkyTrain Project,
Transportation Investment Corporation

3.b Bylaw 3308 - Financial Plan 2025-2029 Bylaw

Presentation from Graham Flack, Deputy Chief Administrative Officer

OPPORTUNITY FOR PUBLIC INPUT

3.c Committee of Whole Rise and Report

RECOMMENDATION:

THAT Committee of the Whole Rise and Report.

4. BUSINESS ARISING FROM COMMITTEE OF THE WHOLE

5. CONSENT AGENDA

Before the motion is made to approve the Consent Agenda, a Council member may request that an item be removed from the Consent Agenda and dealt with separately; additionally, a Council member may request that one or more items on the Regular Council Agenda be included on the Consent Agenda, and if no one objects, it will be so listed and considered.

Where no recommendation is noted, the agenda item is deemed to be received for information.

RECOMMENDATION:

THAT the following item(s) be approved:

5.a Adoption of Minutes

5.a.1 Regular Meeting Minutes from January 27, 2025

RECOMMENDATION:

THAT the minutes of the regular meeting held on January 27, 2025 be adopted as circulated.

5.b Bylaws

5.b.1 Bylaw 3309 - Officer Establishment Bylaw Amendment No. 4

Final reading of a bylaw to amend the Officer Establishment bylaw to update staff titles.

RECOMMENDATION:

THAT the bylaw cited as "Officer Establishment Bylaw, 2011, No. 2855, Amendment Bylaw No. 4, 2025, No. 3309" be read a final time.

6. ADOPTION OF THE MINUTES

See Consent Agenda

7. COUNCIL MEMBER REPORTS

7.a Upcoming Regular Meetings

February 24, 2025

March 10, 2025

7.b Council Advisory Bodies Update

8. BYLAWS

8.a Bylaw 3290 - Zoning Bylaw Amendment No. 210

Third reading of a bylaw to rezone the properties located at 5501 204 Street and 20300 Douglas Crescent from C1 Downtown Commercial Zone to CD100 Comprehensive Development Zone to permit a multi-phase apartment & commercial mixed-use transit-oriented development with heights of up to 14 storeys.

RECOMMENDATION:

THAT the bylaw cited as "Zoning Bylaw 1996, No. 2100 Amendment No. 210, 2025, No. 3290" be read a third time.

8.b Bylaw 3296 - Zoning Bylaw Amendment No. 215

Third reading of a bylaw to rezone the properties located at 20815 45A Avenue & 4560, 4570 and 4580 208 Street from RS1 Single Family Residential Zone to CD104 Comprehensive Development Zone to permit a 26-unit townhome development.

RECOMMENDATION:

THAT the bylaw cited as "Zoning Bylaw 1996, No. 2100 Amendment No. 215, 2025, No. 3296" be read a third time.

8.c Bylaw 3303 - Zoning Bylaw Amendment No. 216

Third reading of a bylaw to rezone the properties located at 20239-20249 54A Avenue from RM1 Multiple Residential Low Density Zone to CD105 Comprehensive Development Zone to permit a 6-storey, 70-unit apartment building.

RECOMMENDATION:

THAT the bylaw cited as "Zoning Bylaw 1996, No. 2100 Amendment No. 216, 2025, No. 3303" be read a third time.

8.d Bylaw 3260 - Zoning Bylaw Amendment No. 198

Final reading of a bylaw to rezone the properties located at 4503 & 4513 200 Street from RS1 Single Family Residential to RM1 Multiple Residential Low Density Zone to accommodate a 14-unit townhome development.

RECOMMENDATION:

THAT the bylaw cited as the "Zoning Bylaw 1996, No. 2100 Amendment No. 198, 2023, No. 3260" be read a final time.

8.d.1 Approval of Development Permit No. 08-22
4503 & 4513 200 Street

RECOMMENDATION:

THAT Development Permit No. 08-22 to accommodate a 14-unit townhome

development located at 4503 & 4513 200 Street be approved.

8.e Bylaw 3261- Zoning Bylaw Amendment No. 199

Final reading of a bylaw rezone the properties located at 20619 & 20629 Eastleigh Crescent from P2 Private Institutional/Recreation Zone to the CD92 Comprehensive Development Zone to accommodate a 6-storey, 136-unit apartment building.

RECOMMENDATION:

THAT the bylaw cited as the “Zoning Bylaw 1996, No. 2100 Amendment No. 199, 2023, No. 3261” be read a final time.

8.e.1 Approval of Development Permit No. 08-23 20619 & 20629 Eastleigh Crescent
20619 & 20629 Eastleigh Crescent

RECOMMENDATION:

THAT Development Permit No. 08-23 to accommodate a 6-storey, 136-unit apartment building located at 20619 & 20629 Eastleigh Crescent be approved.

9. ADMINISTRATIVE REPORTS

9.a City of Langley Contributions to Township Aquatic Subsidies

Report: Chief Administrative Officer

RECOMMENDATION:

1. THAT City Council direct staff to explore inter-municipal recreation services cost-sharing models, with a focus on aquatic facilities, that may be applicable within the context of the City of Langley and the Township of Langley.
2. THAT City Council direct staff to report back the findings from the exploratory work referenced in Recommendation 1 to City Council.
3. THAT this resolution be conveyed to the Township of Langley’s Mayor Eric Woodward and further advising that following investigation into this matter, Council will subsequently respond to his request accordingly.

9.b Next Generation 911 Implementation and Operation Contract

Report: Chief Administrative Officer

RECOMMENDATION:

THAT Council authorize the Chief Administrative Officer to execute the Next Generation 911 Implementation and Operation Contract between the City of Langley

and Metro Vancouver.

10. NEW AND UNFINISHED BUSINESS

10.a **Motion - Langley City Fire Department Operational Review Report - Councillor Mack**

WHEREAS an Operational Review of the Langley City Fire Rescue Department was approved in 2022's budget, which sought to, "Engage a consultant to review the department and make recommendations about future growth of the department and determine if the arrival of sky train will affect department staffing."; AND

WHEREAS this publicly funded report has yet to be released to Council;

THEREFORE BE IT RESOLVED that Council direct staff to release this report to Council.

10.b **Motion - Langley City Fire Department Operational Review Transparency – Councillor Mack**

WHEREAS an Operational Review of the Langley City Fire Rescue Department was approved in 2022's budget, which sought to, "Engage a consultant to review the department and make recommendations about future growth of the department and determine if the arrival of sky train will affect department staffing."; AND

WHEREAS transparency is a paramount principle of good governance; AND

WHEREAS this publicly funded report has yet to be released to the Public;

THEREFORE BE IT RESOLVED that Council direct staff to release this report publicly.

10.c **Public Release of Records from January 27, 2025 Closed Meeting**

Council passed the following motion at the January 27, 2025 Closed Meeting:

"THAT the organization charts in the Closed Report dated January 21, 2025 from the Chief Administrative Officer be publicly released."

11. CORRESPONDENCE

11.a **Squamish Nation's Climate Legacy Strategy**

Chairperson Khelsilem, Squamish Nation Council

Re: Invitation to partner with the Squamish Nation Council in implementing the work identified in the Climate Legacy Strategy

12. ADJOURNMENT

RECOMMENDATION:

THAT the meeting adjourn.



CITY OF LANGLEY

2025 – 2029 Financial Plan

Fiscal Period January 1, 2025 to
December 31, 2029

DRAFT

Bylaw 3308

February 3, 2025

2025 Financial Plan Summary

February 3, 2025

At the January 27th regular council meeting, City Council amended the Financial Plan and gave 1st and 2nd reading of the bylaw. These amendments increased the proposed property tax increase from 4.3% (maintaining current services) to 6.7% (inclusive of the proposed service level enhancements).

There are three key areas of concentration within the Financial Plan:

- Enhancing Community Safety
- Expanding Recreation Opportunities
- Investing in the Basics

Enhancing Community Safety

The City will hire 2 additional firefighters to keep pace with the growth of the community and increased use of the fire rescue service. Including additional firefighters added in 2023 and 2024, the City has added 7 new fire suppression staff, or an increase of 30%, in the last 3 years.

Expanded Recreation Opportunities

The City has extended the operating season of Al Anderson Memorial Pool until September 28th adding 31 days to the outdoor pool season. Extended services will

include length swims, aquafit classes, afternoon lessons, and public swims.

There will also be a new programming position which will assist with special events, arts programming, culture and heritage as this portfolio has been expanding. The programmer will liaise with the Langley Arts Council, the Langley Heritage Society, Langley Local Immigration Partnership and other community groups to ensure culturally diverse programming and events are offered.

Investing in the Basics

Council has recognized that infrastructure renewal is important. The 2025 Capital Improvement Plan includes \$16.3 million of projects. There is currently an infrastructure funding gap between the total cost of planned replacements and the available annual capital funding. In order to replace aging infrastructure, more tax dollars have been allocated to build up reserve funds. Each year, the City allocates a portion of property taxes and utility fees towards capital infrastructure renewal. The City proposes adding \$418,000 or 1% of the overall property tax increase, bringing the annual allocation to Capital Works Reserve to \$2.2 million.

The following draft financial plan has been updated with our most current estimates and projections and has incorporated the 2025 property value assessments set by the BC Assessment Authority.

The initial draft of the 2025 – 2029 Financial Plan was presented to City Council and the public on November 25th and December 9th. These early stages of the budgeting process were meant to provide Council and the public the background information to the 2025 financial plan and answer any points of clarification as we proceeded through its development.

The public will have an opportunity to provide input on the Financial Plan. The first opportunity is to attend our Financial Plan Open House tentatively scheduled for February 6th to learn more about the financial plan and provide informal feedback to staff and Council. On February 10th, City Council will hold a Committee of the Whole during the regular Council meeting where the public can provide formal feedback directly to City Council or by providing written submissions.

The Five Year Financial Plan

The five year financial plan presented in this document is a financial planning tool and not a multi-year budget. The primary focus of the Financial Plan is the current year under consideration (2025) with a new five year outlook being created for each successive budget cycle.

The revenue and expenditure forecasts for the 2026-2029 years reflects estimated wage and benefit costs, estimated Metro Vancouver rate increases and RCMP contract increments. We have not attempted to include an estimate of inflation for those years in this document.

The 2024 YTD column is reflecting the current year to date expenditures rather than an estimate of the amount anticipated after the end of the year which will be higher after all the December purchase invoices and year end reconciliations have been reflected.

Council Goals and Strategic Plan

A new Strategic Plan prepared in 2023, the Nexus of Community Plan, and the Financial Plan include a series of goals and actions in each department that support these strategic planning documents.

In the current strategic plan, we have seven core focus areas that describe where we believe we most need to move forward and achieve better results. Making progress in these core focus areas will define our success over the next five years and anchor our accountability to our individual and corporate citizens.

1. **Cultivate an Inclusive Community:** We are a community that is an ideal place to raise a family, offers a welcoming and diverse living environment, boasts great leisure and recreational opportunities, and supports healthy and safe neighbourhoods.
2. **Provide Reliable Municipal Infrastructure:** We recognize the need for, and are committed to, establishing a long-term, financially-responsible infrastructure renewal plan for all municipal assets.
3. **Support a Vibrant Economy:** We will continue to revitalize our community to ensure that it is vibrant, clean, and safe, is a desirable location for industry, and our policies and strategies create a vibrant economy that position the City as the Regional Hub in the Fraser Valley for innovation,

education, technology, shopping, health industry, leisure and entertainment.

4. **Integrate Holistic Approach to Community Safety:** Implement a Citizen Assembly on Community Safety to maintain and foster partnerships with law enforcement agencies, community groups, neighbourhoods, and citizens to address public safety and socio-economic issues in the community.
5. **Build Climate Resiliency:** We continue to focus on protecting, promoting and enhancing environmental assets in the community and active in achieving the Zero Waste goals.
6. **Strengthen Communication and Public Engagement:** We communicate effectively with our citizens, customers, partners, and stakeholders, involving them in decisions which impact and interest them, and engaging them in public life.
7. **Achieve Organizational Excellence:** We stand out as a results-oriented, engaged and innovative work force with a strong service ethic and high level of customer service, and a City Council that is accessible to its citizens.

Factors Affecting the Financial Plan

Council and Community Priorities

The City's draft budget and service delivery for 2025 are guided by established Council priorities along with community feedback received throughout the year and other public consultation.

Overall, the draft budget reflects the City's ongoing focus to get the basics right, planning for and providing core municipal services (such as roads, utilities and other infrastructure, safety and recreation) that matter to residents and businesses.

External Factors

Major external factors that impact our financial plan include:

- Increased costs based on contract negotiations, including CUPE representing civic workers and IAFF representing firefighters;
- Rising costs from the RCMP contract including increases in the federally-negotiated collective agreement, additional equipment, and overall cost increases due to inflation;
- Increased costs from other external service providers such as Fraser Valley Regional Library and Metro Vancouver water, sewer and waste services;

- Inflation and escalating costs for supplies and contracted services for both operating and capital projects.

Reducing the Property Tax Burden

As we develop and review the Financial Plan we strive to minimize taxpayer impact and ensure good stewardship of City funds. This process included a line-by-line review of proposed expenditures and revenues, deferral of non-critical items, implementing appropriate fees & charges, selective use of reserves, and leveraging of regional, provincial and federal grant funding.

Financial Plan Summary of Changes

General Operating Fund

The gap between total expenditures and total revenues in the general fund is \$2,797,430 and would require a total tax revenue increase of 6.7%.

2025 Property Tax Impact		
Maintaining Current Services	\$ 1,772,530	4.3%
Community Safety – 2 Firefighters	\$ 350,000	0.8%
Infrastructure Renewal	\$ 418,000	1.0%
Recreation – Pool Season Expansion	\$ 68,400	0.2%
Recreation – Arts, Culture & Heritage Programming	\$ 89,000	0.2%
IT Support Staff / Cyber Security	\$ 99,500	0.2%
Total Taxation Increase	\$ 2,797,430	6.7%

Summary of the Larger Changes Affecting the 2025 General Fund Budget	
Revenues:	
New tax growth increase	(\$ 406,000)
Supplementary assessment reductions	169,555
Grants in lieu of taxation reduction	30,930
Provincial planning grant reduction	99,100
Fees & charges increases	(414,570)
Tax penalty & interest increases	(40,000)
Interest income (Net) reduction	45,000
Rental revenue increase	(191,160)
Expenditures:	
RCMP contract, detachment & CPO	1,186,130
Council remuneration & benefits	80,570
Employee wages and benefits (Est. Contract Inc)	519,680

Employee wages and benefits (2024 Changes)	340,400
Emergency planning	57,020
Fire dispatch & radios	57,260
Additional Fire Fighters	350,000
Fire equipment, maintenance & supplies	103,010
FVRL levy (Library services)	87,500
Software/IT support	219,500
Recreation programming	(60,000)
Recreation Arts/Culture/Heritage Position	89,000
Pool Season Expansion to Sept 28	68,400
Miscellaneous changes & inflationary adjustments	162,115
Infrastructure Funding	418,000
Long-term debt servicing	(174,010)
Net 2025 budget expenditure increase	\$ 2,797,430

Revenue Changes:

The new taxation growth from new construction is estimated by the BC Assessment Authority at \$406,000.

Supplemental property assessment reductions due to successful appeals and corrections will reduce 2025 taxation revenue by \$169,555.

A property previously owned by ICBC is no longer eligible for a grant in lieu of taxation, as well the annual 1% revenue grant in lieu of taxation applicable to utility companies is reduced. These combined for a \$30,930 reduction in revenue.

A \$99,100 planning grant provided by the Province of BC was used in 2024 as a one-time funding source to offset staffing costs. These funds are not available in 2025.

Each year we increase our fees and charges to help offset increased associated expenses. The City is also experiencing increased demand for these services with growth in development. These fees include permits, licensing, engineering fees, etc. In 2025 we anticipate increased revenue of \$414,570.

Due to higher interest rates, and an increase in property tax penalties and interest related to non-payment of property taxes, we anticipate \$40,000 in additional revenue.

As the Bank of Canada reduces interest rates, we expect to experience a corresponding decrease in return on our investments and daily bank interest. At the same time, we also pay less interest to customers who prepay their property taxes. In 2025 we expect a net decrease of \$45,000 in interest income.

The City has new properties we are now leasing to third parties. We anticipate an increased revenue generation of \$191,160.

Expenditure Changes:

Federal RCMP collective agreements and cost inflation necessitates an increase of \$1,186,130 for our RCMP members at the local detachment, our share of integrated teams; and the cost for centralized support services, billed by the Township of Langley, for municipal employees at the RCMP detachment.

City Council remuneration and benefits, which by policy is based on the median of Metro Vancouver municipalities, is increasing by a combined \$80,570.

Employee wages and benefits account for approximately 42% of general fund expenses. The collective agreements for CUPE and IAFF will both be expired as we enter 2025. We have used regional trends from other collective agreements and estimated wage and benefit increases for staff will require \$519,680 in additional funding.

City Council made some organization staffing changes in 2024 to help achieve the established strategic goals & objectives and deliver on community priorities. These changes required \$340,400 of funding.

After the Township of Langley severed our joint emergency management program, the City hired an Emergency Management Program Advisor to help organize and facilitate our own emergency preparedness, planning and responses. As we establish and grow our own standalone service it will require additional annual funding of \$57,020.

Fire dispatch costs paid to the City of Surrey and ECOMM are increasing due contract increases and an increase in overall call volume resulting in an increase of \$57,260.

The City will hire 2 additional firefighters in 2025 to keep pace with the growth of the community and increased use

of the fire rescue service, this requires \$350,000 in additional funding.

Due to an increase in fire rescue call volumes and an expanded contingent of firefighters to support them, the Fire Department has experienced an increase in costs for new equipment purchase, repair and replacement, maintenance costs, and additional supplies necessitating \$103,010 in additional funding.

The Fraser Valley Regional Library levy is increasing \$87,500 to cover wage, benefit and material cost increases.

Information technology software support requires an increase of \$120,000. Contracts have increased and additional resources are being implemented to assist with organizational growth and leveraging technology to realize operational efficiencies. An additional IT Support position has been added at an annual cost of \$99,500 to help support organizational growth and ensure City IT infrastructure is updated and protected from risk such as failure and cyber crimes.

Based on 2023 and 2024 actual results, recreation programming revenues and associated expenses have been adjusted resulting in a savings of \$60,000.

The City has extended the operating season of Al Anderson Memorial Pool until September 28th adding 31 days to the outdoor pool season at a net cost of \$68,400.

A new programming position to assist with special events, arts programming, culture and heritage has been added. The programmer will liaise with the Langley Arts Council, the Langley Heritage Society, Langley Local Immigration Partnership and other community groups to ensure culturally diverse programming and events are offered. The annual costs are \$89,000.

Various inflationary increases to supplies and contracted services budgets throughout the organization resulted in an increase of \$162,115.

In order to replace aging infrastructure in a timely manner, an additional \$418,000 has been allocated to build up reserve funds.

In 2024 the City completed borrowing of \$15 million of long-term debt initiated in 2023. When the debt was issued, the interest rate was lower than planned and is locked in at a fixed interest rate for a period of 10 years. These savings resulted in an annual reduction of \$174,010.

Solid Waste Collection

Solid waste and green waste collection is only available to single family dwellings (SFD) and is not offered to strata, rental or commercial properties. The Solid waste fees are increasing \$120 per SFD or 44.3%. This increase is due to implementation of our new curbside waste collection contract with rolling toters as well as an increase to allow for the disposal with Metro Vancouver.

Sewer and Drainage Operating Fund

The sewer rate structure will increase \$0.45 per cubic meter bringing the total to \$2.27 per cubic meter (80% of water consumption) with a flat rate of \$75 per dwelling unit. The increase for the average single family residential customer using 330 cubic meters of water, used to determine the sewer charge, will be \$118.80 in 2025.

The proposed increase is to fund an increased allocation of administrative costs from the general fund, additional system testing and an increase in wages and supplies.

The sewer treatment levy cost from the GVS&DD is \$4.3 million which is 56.6% of the expenditures in the sewer fund. The levy has increased by 50% compared to 2024 due to new treatment plant construction. Metro Vancouver indicated that annual increases in sewer costs will be between 5% - 10% per year over the next five years.

Water Operating Fund

The water rate structure will increase \$0.10 per cubic meter to \$1.89 per cubic meter, with a flat rate of \$75 per dwelling unit. The increase for the average single family residential customer using 330 cubic meters of water will be \$33.00 in 2025.

In addition to increased costs of labour and services, the cost of water purchased from GVWD is increasing 7.2%.

The water purchase cost of \$4.2 million makes up 56.9% of the expenditures in the water fund.

The GVWD has indicated that there will be annual increases in water costs of approximately 3.3% per year over the next five years to allow for improved water filtration and infrastructure replacement.

Capital Improvement Plan

The Financial Plan includes a 10 year Capital Improvement Plan (CIP). The proposed expenditures in 2025 total \$16,263,300. Some of the larger projects in the plan include \$5.4 million for various enhancements to roads, sidewalks, multi use paths and preparation for Sky Train, replacing aging infrastructure and preparing for anticipated growth, \$3.6 million for aging sewer line replacements, and \$3.9 million for water main replacements.

Capital projects are funded through money the City has placed in reserves, funds received from developers when new construction is undertaken by way of Development Cost Charges (DCC's), grants, casino proceeds and borrowing.

Each year the City allocates a portion of the money collected through property taxation and utility fees into the reserves. The planned reserve contributions in 2025 are presented on the table below.

Tax and Utility Funded Reserve Contributions	
Capital Works Reserve	\$ 2,191,100
Fire Equipment Replacement	55,000
Machinery Replacement	492,530
Off Street Parking	11,520
Office Equipment	46,500
Parks & Recreation	177,500
Sewer Future Capital	1,060,000
Water Future Capital	1,060,000
Total Contributions	\$ 4,676,150

The work being planned to accommodate the tangible capital asset requirements and resulting asset management benefits will highlight the infrastructure deficit faced by the City of Langley. We are not currently putting enough funding toward infrastructure renewal to meet projected needs. It will take a concerted effort by Council to balance between allocating adequate funding for infrastructure, that is primarily underground, and other infrastructure needs for the community.

The 2020/2021 closure of the casino due to the pandemic, and associated drop in gaming proceeds, has highlighted the City's over reliance on gaming proceeds as one of the main funding sources in our capital improvement plan. Going forward, the City needs to take a balanced, conservative approach to capital funding.

Casino Proceeds

Casino proceeds are a significant funding source for the Capital Improvement Plan. It is estimated that the casino proceeds will be \$7.5 million in 2025.

By using casino proceeds rather than borrowing, the City is reducing operating debt servicing costs. Every \$1.00 borrowed requires \$0.80 to be paid in interest over a 20 year term of the borrowing. Over \$91 million in casino proceeds has been reinvested in City infrastructure, by using these funds instead of having to rely on debt, the City has avoided needing to borrow funds and saved an estimated 18% taxation increase in debt servicing costs.

Debt

Debt financing is a strategic tool that helps municipalities manage their finances more effectively while investing in essential infrastructure and services for their communities. Municipalities use debt financing for several key reasons:

Funding Large Projects: Debt financing allows municipalities to fund large, expensive, and long-lived capital projects like roads, bridges, facilities, and water and sewer infrastructure. These projects are often too costly to be paid for out of a single year's budget.

Limited Internal Resources: Municipalities may not have sufficient reserves or internal funds to pay for large projects upfront. Debt financing provides access to the necessary capital without depleting existing resources or existing reserves, and debt assists in getting these projects completed sooner.

Spreading Costs Over Time: By borrowing funds, municipalities can spread the cost of these projects over their useful lives. This means that future users who benefit from the projects also contribute to their costs through taxes or user fees, versus existing taxpayers being burdened with the cost of services for future generations.

The City of Langley currently has approximately \$22 million in long-term debt, and although there are no plans to borrow additional funds for any 2025 projects, the City

will need to borrow funds to complete the projects identified in 2026-2028 of the capital improvement plan.

Based on 2023 statistics collected by the Province of BC, the City of Langley has authorized debt of \$734 per capita.

This schedule shows the larger Metro Vancouver municipalities and their comparative debt levels as of December 31, 2023:

Municipality	Total Authorized Debt	BC Population Estimates	Debt per Capita
City of Burnaby	\$ -	270,264	\$ -
City of Delta	\$ -	113,347	\$ -
City of Richmond	\$ 98,734,203	222,954	\$ 443
City of Surrey	\$ 308,515,000	633,234	\$ 487
District of West Vancouver	\$ 25,916,536	45,406	\$ 571
City of Port Moody	\$ 22,057,156	36,786	\$ 600
City of Coquitlam	\$ 101,118,000	159,285	\$ 635
City of Maple Ridge	\$ 66,636,184	96,378	\$ 691
City of Langley	\$ 22,081,752	30,084	\$ 734
District of North Vancouver	\$ 73,530,403	92,390	\$ 796
City of White Rock	\$ 20,450,587	21,807	\$ 938
City of Pitt Meadows	\$ 23,023,812	20,399	\$ 1,129
City of Port Coquitlam	\$ 89,758,736	65,246	\$ 1,376
Township of Langley	\$ 210,035,424	142,043	\$ 1,479
City of North Vancouver	\$ 109,000,000	61,973	\$ 1,759
City of Vancouver	\$ 1,299,149,000	706,012	\$ 1,840
City of New Westminster	\$ 171,859,642	85,708	\$ 2,005

Issues Affecting Future Years' Budgets

Current new growth taxation revenues are not sufficient to fund inflationary increases in the City's budget. Wage settlements and the ability to attract and retain staff, without any new service level enhancements being considered, will continue to put pressure on the budget.

Local governments are increasingly feeling the effects of downloading by other levels of government. The City is struggling with its ability to address social issues like homelessness where individuals suffering from mental health and substance abuse concerns are evident. Historically, social welfare has been a Provincial mandate however, municipalities are now facing the effects of this growing issue.

The arrival of the Surrey Langley SkyTrain (SLS) project will transform our community. Although the expected development will eventually provide funding to enhance operations and capital investment, by contributing fees and new taxation revenue, there may need to be reprioritization of previously planned projects and plans to ensure required infrastructure is in place. The City will need to find a balance between replacing fundamental infrastructure and providing new amenities to our community due to limited funding in the short-term.

Our contracted service partners like the RCMP, Fraser Valley Regional Library and Metro Vancouver have increases in their respective budgets which are beyond the

City's control and can have significant effects on the overall City of Langley Financial Plan.

Our Financial Plan for 2025 - 2029 will set our spending priorities to ensure that the City of Langley continues to build on our successes and continues to be the Place to Be!



Graham Flack, CPA, CMA
Deputy Chief Administrative Officer

CONSOLIDATED FINANCIAL PLAN SUMMARY

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Consolidated Revenues								
Property Value Taxes	\$ 37,414,169	\$ 41,744,555	\$ 41,630,691	\$ 44,778,430	\$ 48,468,610	\$ 51,253,350	\$ 55,598,300	\$ 56,981,900
Fees and Charges	15,289,033	16,647,250	16,541,401	19,332,410	20,182,630	20,968,040	21,822,500	22,584,310
Revenue Other Services	15,810,346	13,023,365	12,474,233	13,460,510	13,059,220	13,057,890	13,056,520	13,055,110
	68,513,548	71,415,170	70,646,325	77,571,350	81,710,460	85,279,280	90,477,320	92,621,320
Consolidated Expenditures								
General Government Services	6,177,990	6,887,080	6,957,343	7,903,630	8,078,790	8,259,720	8,446,610	8,639,620
Policing Service	15,748,489	17,445,290	9,636,988	18,631,800	19,316,760	20,035,950	20,791,100	21,583,980
Fire Rescue Service	5,915,785	7,377,140	5,763,743	7,918,750	8,121,130	8,329,710	8,544,460	8,765,620
Other Protective Services	807,468	986,835	841,765	1,087,960	1,096,570	1,105,450	1,114,580	1,123,970
Engineering and Operations	3,554,899	4,089,085	3,864,075	4,244,890	4,332,170	4,422,100	4,514,730	4,610,160
Development Services	1,745,328	1,921,300	1,692,165	2,046,770	2,092,950	2,136,170	2,182,870	2,230,990
Solid Waste	815,521	888,660	855,803	1,250,960	1,251,670	1,252,400	1,253,150	1,253,920
Recreation	4,747,118	5,359,230	4,615,336	5,666,200	5,815,890	5,970,010	6,128,810	6,292,360
Parks	2,527,617	2,857,205	2,801,122	2,860,760	2,914,000	2,968,860	3,025,310	3,083,460
Sewer & Drainage	3,296,413	4,311,580	3,770,562	5,703,170	5,925,950	6,314,690	6,774,210	7,211,020
Water	4,485,502	4,814,120	4,530,983	5,277,610	5,686,370	5,885,870	6,075,400	6,186,430
Interest	196,230	245,400	213,796	181,400	181,400	181,400	181,400	181,400
Amortization	6,377,562	6,400,000	-	7,000,000	7,100,000	7,200,000	7,300,000	7,400,000
	56,395,922	63,582,925	45,543,681	69,773,900	71,913,650	74,062,330	76,332,630	78,562,930
Excess of revenue over expenditures	12,117,626	7,832,245	25,102,644	7,797,450	9,796,810	11,216,950	14,144,690	14,058,390
Add:								
Transfer from Reserve Accounts	744,019	927,565	629,484	927,570	927,570	927,570	927,570	927,570
Transfer from Statutory Reserves	-	-	-	-	-	-	-	-
Transfer from General Surplus	-	-	-	-	-	-	-	-
Transfer from Equity	6,377,562	6,400,000	-	7,000,000	7,100,000	7,200,000	7,300,000	7,400,000
	7,121,581	7,327,565	629,484	7,927,570	8,027,570	8,127,570	8,227,570	8,327,570
Deduct:								
Debt Servicing	670,248	1,949,180	670,248	1,775,170	3,861,990	5,369,210	8,383,650	8,383,650
Transfer to Reserve Accounts	13,748,893	10,714,480	7,997,721	10,975,700	10,975,700	10,975,700	10,975,700	10,975,700
Transfer to Statutory Reserves	5,000,562	2,496,150	2,230,665	2,974,150	2,986,690	2,999,610	3,012,910	3,026,610
	19,419,703	15,159,810	10,898,634	15,725,020	17,824,380	19,344,520	22,372,260	22,385,960
Surplus (Deficit)	\$ (180,496)	\$ -	\$ 14,833,494	\$ -	\$ -	\$ -	\$ -	\$ -

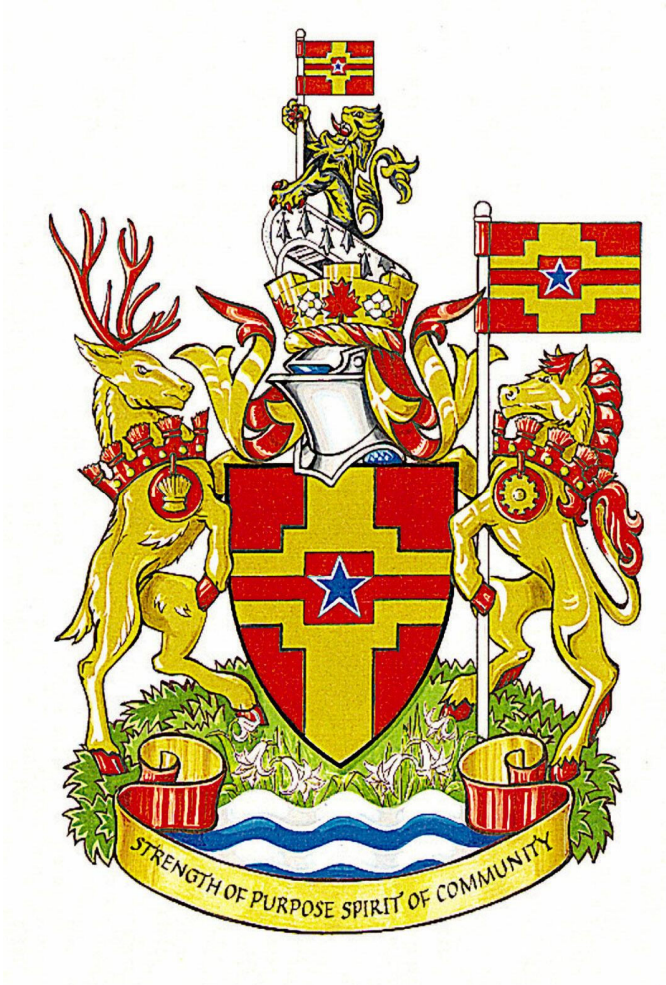
STAFFING SUMMARY (F.T.E.)

DEPARTMENT	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
General Government Services	32.5	35.3	32.3	38.5	38.5	38.5	38.5	38.5
Policing Services - note 1	51.5	54.5	54.5	54.5	54.5	54.5	54.5	54.5
Fire Rescue Service	28.8	34.9	31.0	36.9	36.9	36.9	36.9	36.9
Other Protective Services	1.4	2.5	2.0	2.5	2.5	2.5	2.5	2.5
Engineering and Operations	19.6	22.2	18.1	22.9	22.9	22.9	22.9	22.9
Development Services	7.6	9.2	8.0	9.2	9.2	9.2	9.2	9.2
Solid Waste	0.1	0.1	0.1	0.1	0.1	0.1	0.1	0.1
Recreation	33.1	35.4	39.9	43.8	43.8	43.8	43.8	43.8
Parks	13.3	16.1	14.6	16.3	16.3	16.3	16.3	16.3
Sewer Utility	4.3	4.8	4.1	4.8	4.8	4.8	4.8	4.8
Water Utility	4.9	5.1	5.1	5.1	5.1	5.1	5.1	5.1
TOTAL F.T.E.'s	197.1	220.1	209.7	234.6	234.6	234.6	234.6	234.6

Note 1 - RCMP member are under contract from the RCMP
*****It is important to note that FTE's represent a full-time equivalent of a staff member. In many instances, particularly in Parks and Recreation which consists of many part-time or seasonal positions, this is not a accurate reflection of the actual number of employees.**

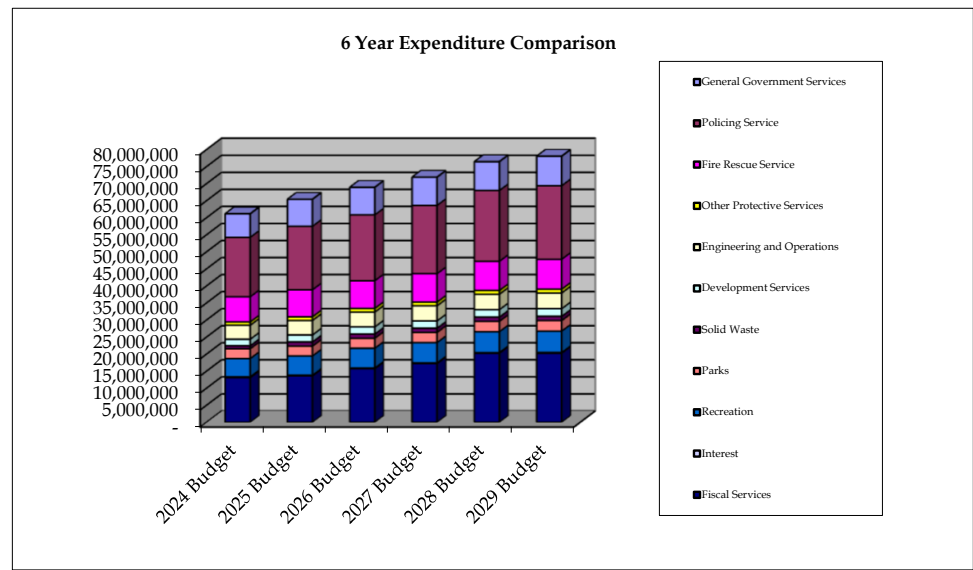
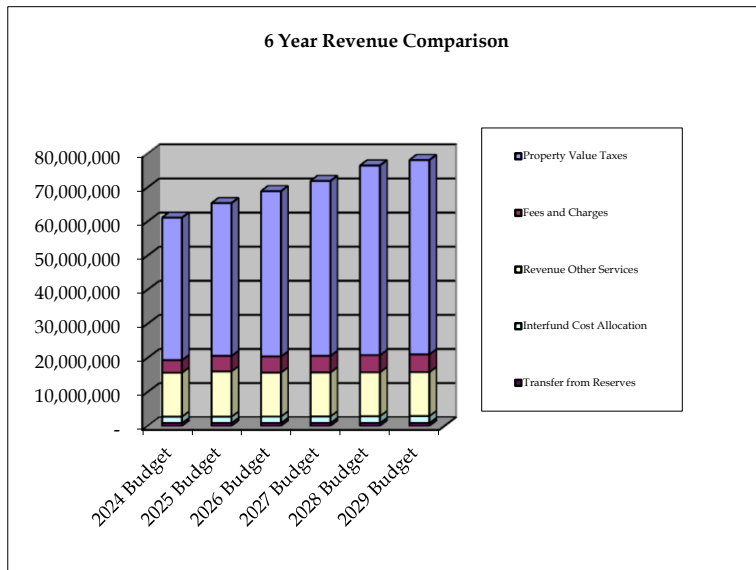
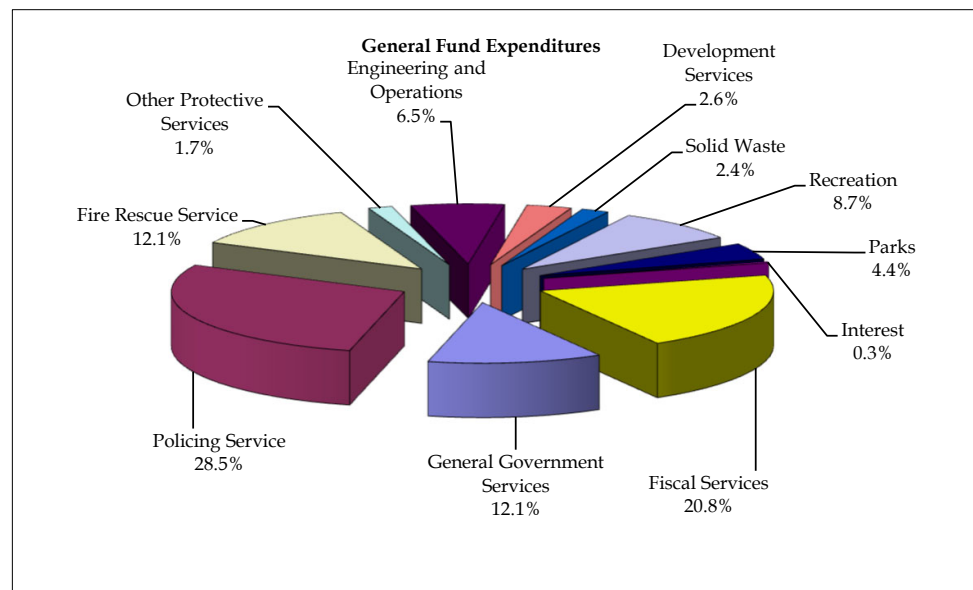
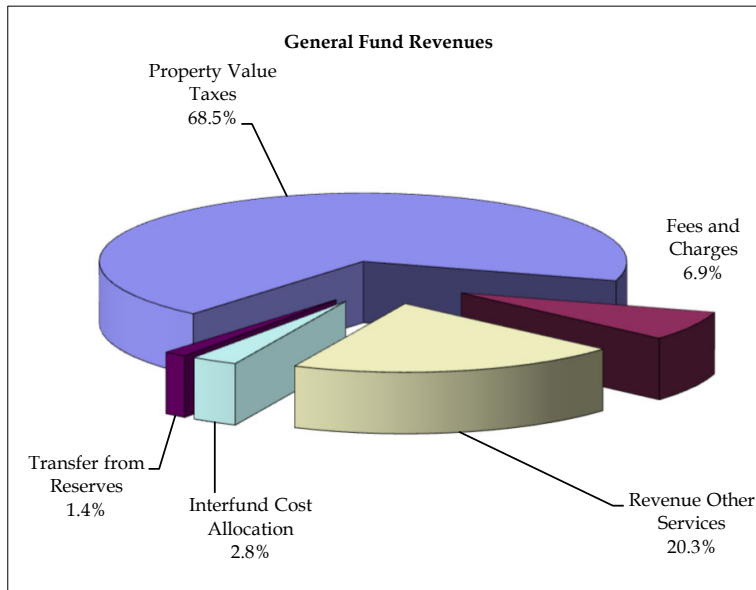
General Operating Fund

2025-2029



GENERAL OPERATING FUND

The General Operating Fund is the primary operating fund of the City. It is used to account for all of the financial resources and expenditures of the City of Langley, except Water Utility, Sewer & Drainage Utilities, and the 10-year Capital Improvement Plan. This section details the 2025-2029 Financial Plan, as well as showing comparative figures for 2023 Actual Results, 2024 Budget, and the 2024 Year to Date (YTD) expenditures. (The 2024 YTD figures are highly dependent on when billings are received and processed and may not accurately reflect actual expenses to date.)



GENERAL FUND SUMMARY								
	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Revenues								
Property Value Taxes	\$ 37,414,169	\$ 41,744,555	\$ 41,630,691	\$ 44,778,430	\$ 48,468,610	\$ 51,253,350	\$ 55,598,300	\$ 56,981,900
Fees and Charges	3,731,086	3,701,800	3,862,124	4,540,550	4,716,700	4,869,310	5,028,680	5,195,110
Revenue Other Services	15,583,137	12,892,865	12,425,638	13,290,010	12,888,720	12,887,390	12,886,020	12,884,610
Interfund Cost Allocation	1,675,000	1,870,250	1,402,688	1,861,580	1,904,110	1,948,670	1,994,710	2,042,250
	58,403,392	60,209,470	59,321,141	64,470,570	67,978,140	70,958,720	75,507,710	77,103,870
Expenditures								
General Government Services	6,177,990	6,887,080	6,957,343	7,903,630	8,078,790	8,259,720	8,446,610	8,639,620
Policing Service	15,748,489	17,445,290	9,636,988	18,631,800	19,316,760	20,035,950	20,791,100	21,583,980
Fire Rescue Service	5,915,785	7,377,140	5,763,743	7,918,750	8,121,130	8,329,710	8,544,460	8,765,620
Other Protective Services	807,468	986,835	841,765	1,087,960	1,096,570	1,105,450	1,114,580	1,123,970
Engineering and Operations	3,554,899	4,089,085	3,864,075	4,244,890	4,332,170	4,422,100	4,514,730	4,610,160
Development Services	1,745,328	1,921,300	1,692,165	2,046,770	2,092,950	2,136,170	2,182,870	2,230,990
Solid Waste	815,521	888,660	855,803	1,250,960	1,251,670	1,252,400	1,253,150	1,253,920
Recreation	4,747,118	5,359,230	4,615,336	5,666,200	5,815,890	5,970,010	6,128,810	6,292,360
Parks	2,527,617	2,857,205	2,801,122	2,860,760	2,914,000	2,968,860	3,025,310	3,083,460
Interest	196,230	245,400	213,796	181,400	181,400	181,400	181,400	181,400
	42,236,445	48,057,225	37,242,136	51,793,120	53,201,330	54,661,770	56,183,020	57,765,480
	16,166,947	12,152,245	22,079,005	12,677,450	14,776,810	16,296,950	19,324,690	19,338,390
Add:								
Transfer from Reserve Accounts	744,019	927,565	629,484	927,570	927,570	927,570	927,570	927,570
Transfer from Statutory Reserves	-	-	-	-	-	-	-	-
Transfer from Surplus	-	-	-	-	-	-	-	-
	744,019	927,565	629,484	927,570	927,570	927,570	927,570	927,570
Deduct:								
Debt Servicing	670,248	1,949,180	670,248	1,775,170	3,861,990	5,369,210	8,383,650	8,383,650
Transfer to Reserve Accounts	11,216,694	8,634,480	5,997,721	8,855,700	8,855,700	8,855,700	8,855,700	8,855,700
Transfer to Statutory Reserves	5,000,562	2,496,150	2,230,665	2,974,150	2,986,690	2,999,610	3,012,910	3,026,610
	16,887,504	13,079,810	8,898,634	13,605,020	15,704,380	17,224,520	20,252,260	20,265,960
Surplus (Deficit)	\$ 23,462	\$ -	\$ 13,809,855	\$ -	\$ -	\$ -	\$ -	\$ -

DEPT. BUDGET SUMMARY	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	157.7	172.8	167.5	185.3	185.3	185.3	185.3	185.3
Operating Cost Summary								
Revenues	\$ (60,250,438)	\$ (62,038,495)	\$ (61,192,766)	\$ (66,618,080)	\$ (70,125,650)	\$ (73,106,230)	\$ (77,655,220)	\$ (79,251,380)
Personnel & Benefits	16,853,068	20,421,440	17,537,393	22,058,610	22,722,400	23,401,910	24,103,880	24,826,840
Equipment	435,088	475,350	578,775	455,620	455,620	455,620	455,620	455,620
Contracted Services	22,312,047	24,162,780	16,771,157	26,331,840	27,050,510	27,804,410	28,595,320	29,425,030
Materials & Supplies	20,626,773	16,978,925	12,495,586	17,772,010	19,897,120	21,444,290	24,500,400	24,543,890
Total Operating Cost	\$ (23,462)	\$ -	\$ (13,809,855)	\$ -	\$ -	\$ -	\$ -	\$ -

Property Taxation



PROPERTY TAXATION

Property Taxation and Assessment

Property tax is the largest single General Fund revenue source in the City of Langley and will account for 67% of total revenues in 2025.

Property taxes are billed to each legal property in the City. The property tax bill is calculated by multiplying the current years tax rate by the assessment values of each property.

Property Tax Assessment Base

Property assessment in the Province of British Columbia is the function of the British Columbia Assessment Authority (BCAA). The BCAA's purpose is to establish and maintain assessments that are uniform in the whole of the Province in accordance with the Assessment Act.

The Assessment Act requires that the BCAA produce an annual roll with assessments at actual value. Actual value is defined by statute as being synonymous with market value. A commonly accepted definition of market value is: "that price a property might reasonably be expected to bring if offered for sale by a willing vendor to a willing purchaser after adequate time and exposure to the market".

In addition to determining market value, BCAA also decides upon the appropriate classification for each property.

The provincial Government has prescribed nine classes of property, as follows:

Class 1: Residential includes land or improvements, or both, used for residential purposes, including single-family residences, duplexes, multi-family residences, apartments, condominiums, manufactured homes and some vacant land.

Class 2: Utilities includes land or improvements, or both used for the purpose of providing utilities; E.G. Telus, BC Hydro.

Class 3: Supportive Housing - funded by the Province, a property which combines on-site support services with housing for persons who were previously homeless, at risk of homelessness, have mental or physical disabilities, or who are recovering drugs or alcohol addictions.

Class 4: Major Industry which is non applicable in the City of Langley.

Class 5: Light Industry includes properties used for extracting, processing and manufacturing, not falling within the Major Industry Class.

Class 6: Business and Other comprises all land and improvements not included in classes 1 to 5 and 7 to 9.

Class 7: Managed Forest Land which is non applicable in the City of Langley

PROPERTY TAXATION

Class 8: Recreational property/Non-profit Organizations includes land used solely as an outdoor recreational facility for a specific use or activity together with property used or set aside for use as a meeting hall by a non-profit fraternal organization.

The **2025** property classes and their respective assessment values for general municipal purposes are:

Class 1 Residential	\$10,015,253,503
Class 2 Utility	9,353,725
Class 3 Supportive Housing	4
Class 5 Light Industry	676,781,100
Class 6 Business Other	3,065,846,397
Class 8 Recreational/Non-profit	<u>20,198,600</u>
Total	<u>\$13,787,433,329</u>

City Council has the ability to set a tax rate for each class of property.

The key dates in the assessment cycle are as follows:

July 1, 2024 - is the date at which the market value is determined for the 2025 Assessment Roll.

October 31, 2024 - Deadline date for municipal Council to adopt tax exemption bylaws for the 2025 Assessment Roll

October 31, 2024 - The 2025 Assessment Roll reflects the physical condition and permitted use of each property on this date

November 30, 2024 - Deadline for ownership changes to the 2025 Assessment Roll

December 31, 2024 - Deadline for Completed Roll totals, and mailing date for Assessment Notices.

January 31, 2025- Deadline for requesting a formal assessment review.

March 31, 2025- Deadline date for the Revised Roll

Assessment Growth

In the last decade, 1,873 new residential assessed perproperties have been constructed in the City of Langley. The growth over the decade has been primarily in multi-family type housing. This was offset by a reduction in single family units over the same time frame.

PROPERTY TAXES

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Revenues								
Property Value Taxes	\$ 37,414,169	\$ 41,744,555	\$ 41,630,691	\$ 44,778,430	\$ 48,468,610	\$ 51,253,350	\$ 55,598,300	\$ 56,981,900
Total Revenues	\$ 37,414,169	\$ 41,744,555	\$ 41,630,691	\$ 44,778,430	\$ 48,468,610	\$ 51,253,350	\$ 55,598,300	\$ 56,981,900

2024 Municipal Property Tax Levy Survey

Average Single Family Dwelling

	Average SFD Assessment	Municipal Taxes
Langley Township	1,502,135	2,685
Port Coquitlam	1,430,546	2,869
Pitt Meadows	1,200,063	2,962
Langley City	1,370,475	2,994
Surrey	1,741,579	3,064
Burnaby	2,079,173	3,098
Delta	1,473,991	3,121
Maple Ridge	1,279,121	3,146
Richmond	2,020,469	3,385
Coquitlam	1,771,416	3,467
City of North Vancouver	2,096,439	3,475
District of North Vancouver	2,227,290	3,651
New Westminster	1,615,972	4,246
Port Moody	1,894,192	4,526
White Rock	1,992,208	4,607
Vancouver	2,673,403	4,640
West Vancouver	3,691,993	6,128
AVERAGE	\$ 1,885,910	\$ 3,651

Average Strata Family Dwelling

	MFD Assessment	Municipal Taxes
Burnaby	771,996	1,150
Langley City	584,990	1,278
Richmond	842,399	1,411
Langley Township	808,082	1,444
Port Coquitlam	723,553	1,451
Surrey	746,612	1,485
City of North Vancouver	919,307	1,524
Coquitlam	782,627	1,532
District of North Vancouver	983,809	1,613
Maple Ridge	663,399	1,632
Delta	796,542	1,686
Pitt Meadows	683,593	1,687
Vancouver	991,332	1,721
New Westminster	665,297	1,748
White Rock	804,054	1,860
Port Moody	863,780	2,064
West Vancouver	1,658,376	2,753
AVERAGE	\$ 840,573	\$ 1,649

Fees & Charges



FEES & CHARGES DESCRIPTIONS

The revenue category of Fees and Charges was established by the Bill 88 revisions to the Local Government Act in 1999. The category includes all revenues that are imposed, by bylaw, in respect of all or part of a service the municipality provides or the exercise of regulatory authority.

ADMIN/INSPECTION FEES: These revenues are intended to compensate the City for administration and inspection costs that the City must expend as part of a land development project. The revenues are estimated by using a trend analysis approach then adjusted to reflect the level of construction and development anticipated in the community.

SOLID WASTE USER FEES: This revenue represents the total user fees levied on single family residences for bi-weekly door to door garbage collection service as well as weekly curbside organic waste disposal. The revenue is calculated by dividing the cost of the service by the number of residential units serviced.

LICENCES & PERMITS: The revenue generated from building and plumbing permits is levied to monitor construction projects within the City to ensure compliance with the BC Building Code and City Bylaws as and when required. The revenues are estimated by using a trend analysis approach then adjusted to reflect the level of construction and development anticipated in the community.

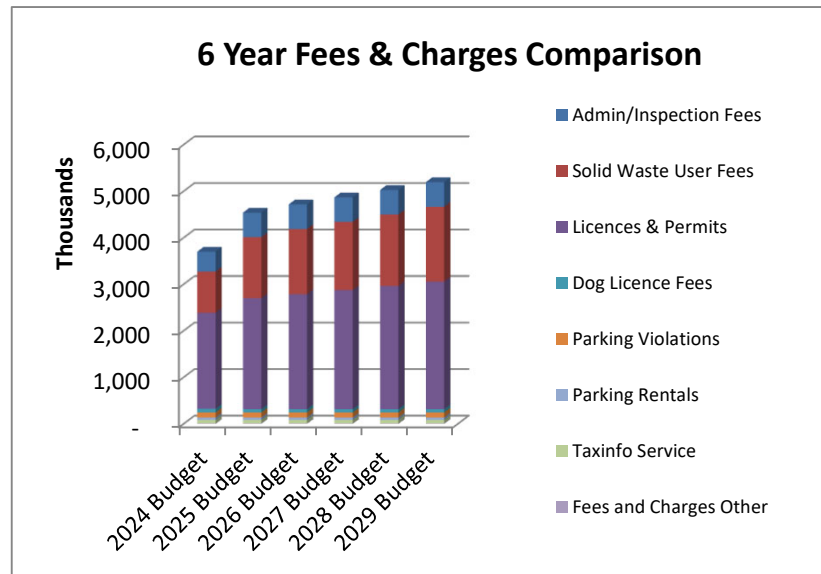
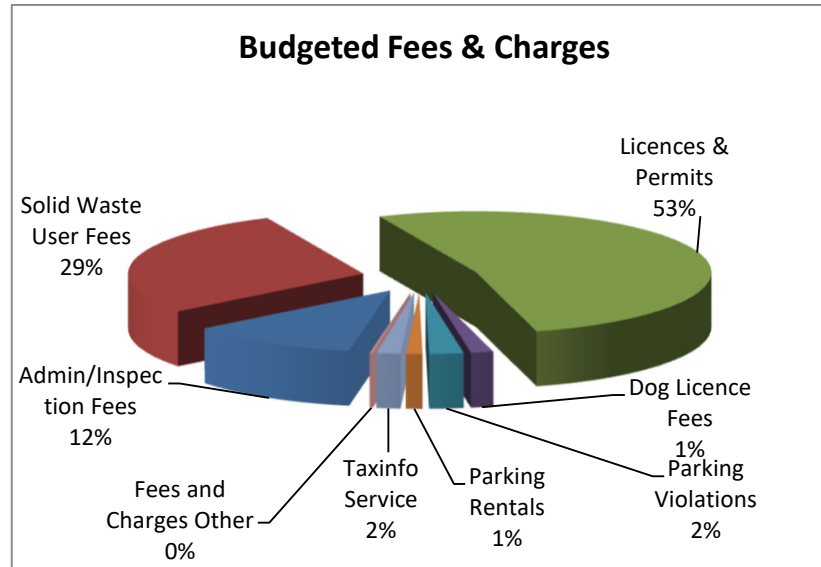
DOG LICENCE FEES: These fees are levied on the owners of dogs to partially offset the cost of providing dog control services. The revenues are projected based on the number of dogs licensed in the prior year.

PARKING VIOLATIONS: This revenue represents fines received from motorists who are parked illegally within the Downtown core of the City.

PARKING RENTALS: This revenue represents the monthly rental fees received for supplying reserved parking spaces in within the City. Revenue is projected using the current occupancy rate.

TAXINFO SERVICE: This revenue represents the fees received for providing legal offices and mortgage companies with information regarding outstanding taxes on properties. The revenue estimate is based on the prior year’s experience and adjusted for the current state of the real estate sales market.

FEES & CHARGES OTHER: This program includes budget allocations for revenue generated from banner installations and other miscellaneous fees.



FEES & CHARGES

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Revenues								
Admin/Inspection Fees	\$ 549,740	\$ 428,500	\$ 645,563	\$ 528,500	\$ 528,500	\$ 528,500	\$ 528,500	\$ 528,500
Solid Waste User Fees	816,679	886,780	909,943	1,310,960	1,403,030	1,468,200	1,536,630	1,608,480
Licences & Permits	2,014,994	2,063,000	2,006,035	2,387,570	2,471,650	2,559,090	2,650,030	2,744,610
Dog Licence Fees	68,770	80,000	150,758	70,000	70,000	70,000	70,000	70,000
Parking Violations	94,465	107,000	43,207	107,000	107,000	107,000	107,000	107,000
Parking Rentals	95,358	51,520	34,578	51,520	51,520	51,520	51,520	51,520
Taxinfo Service	82,305	75,000	68,040	75,000	75,000	75,000	75,000	75,000
Fees and Charges Other	8,775	10,000	4,000	10,000	10,000	10,000	10,000	10,000
Total Revenues	\$ 3,731,086	\$ 3,701,800	\$ 3,862,124	\$ 4,540,550	\$ 4,716,700	\$ 4,869,310	\$ 5,028,680	\$ 5,195,110

Revenue Other Sources



REVENUE FROM OTHER SOURCES DESCRIPTIONS
<p><i>The revenue category of Revenues from Other Sources includes all those revenue sources not included in Property Taxes or Fees and Charges.</i></p> <p>RCMP FEES & CHARGES: These revenues represent various fees charged by the RCMP for services rendered to the public, a commission from the Province of BC to offset the cost of serving criminal documents and revenues from false alarm fees which offset the cost of the RCMP in responding to false alarms. Revenue projections are based on the historic trend.</p> <p>TAX PENALTY & INTEREST: This revenue source includes penalty and interest charged on past due taxes. Penalties of 5% are applied on all unpaid current taxes on the tax due date and a second penalty is applied after a reminder notice is sent an additional grace period has completed. Interest is applied on all taxes in arrears (one year past due) and all delinquent taxes (two years past due). The revenue is forecast based on past trends and any significant events affecting properties in this category.</p> <p>RENTALS OF CITY PROPERTY: The City has a number of bare land leases and a few improved property leases. The lease revenue is calculated using the rates included in lease documents as well as historical maintenance costs.</p> <p>INTERNAL EQUIPMENT RENTALS: This revenue item represents the difference between equipment operating expenditures and the amount expended to operations via equipment charge-out (rental) rates. The revenue generated is meant to cover depreciation or obsolescence and is transferred annually to the Machinery Replacement Reserve where it is held and used to replace equipment and vehicles as required.</p> <p>MISCELLANEOUS INCOME: This revenue includes a number of revenues that can not be classified within another revenue category. These revenues included such things as grants, sale of assets and towing contract revenues. The budget estimates are calculated using trend analysis modified for factors that the City is aware of.</p> <p>INTEREST INCOME: This represents interest earned on surplus funds in the General Operating Fund. The estimate is based on a similar cash flow and cash level as the previous year, and uses a projected 4.00% interest rate for 2025.</p>

The revenue category of Revenues from Other Sources includes all those revenue sources not included in Property Taxes or Fees and Charges.

RCMP FEES & CHARGES: These revenues represent various fees charged by the RCMP for services rendered to the public, a commission from the Province of BC to offset the cost of serving criminal documents and revenues from false alarm fees which offset the cost of the RCMP in responding to false alarms. Revenue projections are based on the historic trend.

TAX PENALTY & INTEREST: This revenue source includes penalty and interest charged on past due taxes. Penalties of 5% are applied on all unpaid current taxes on the tax due date and a second penalty is applied after a reminder notice is sent an additional grace period has completed. Interest is applied on all taxes in arrears (one year past due) and all delinquent taxes (two years past due). The revenue is forecast based on past trends and any significant events affecting properties in this category.

RENTALS OF CITY PROPERTY: The City has a number of bare land leases and a few improved property leases. The lease revenue is calculated using the rates included in lease documents as well as historical maintenance costs.

INTERNAL EQUIPMENT RENTALS: This revenue item represents the difference between equipment operating expenditures and the amount expended to operations via equipment charge-out (rental) rates. The revenue generated is meant to cover depreciation or obsolescence and is transferred annually to the Machinery Replacement Reserve where it is held and used to replace equipment and vehicles as required.

MISCELLANEOUS INCOME: This revenue includes a number of revenues that can not be classified within another revenue category. These revenues included such things as grants, sale of assets and towing contract revenues. The budget estimates are calculated using trend analysis modified for factors that the City is aware of.

INTEREST INCOME: This represents interest earned on surplus funds in the General Operating Fund. The estimate is based on a similar cash flow and cash level as the previous year, and uses a projected 4.00% interest rate for 2025.

REVENUE FROM OTHER SOURCES DESCRIPTIONS

GRANTS IN LIEU OF TAXES:*Federal/Provincial Government*

All senior levels of government are exempted from paying property taxes on the annual assessment role. Both levels of Government, however, do recognize that the respective properties do cause a demand for municipal services provided through property taxation. As a result a grant in lieu is paid to the City. Provincial Grants are equal to full taxes and are estimated in that manner. Federal Grants are based on a deemed property valuation which does not provide a grant equal to full taxes, and the revenue stream is forecast accordingly.

Utility Companies

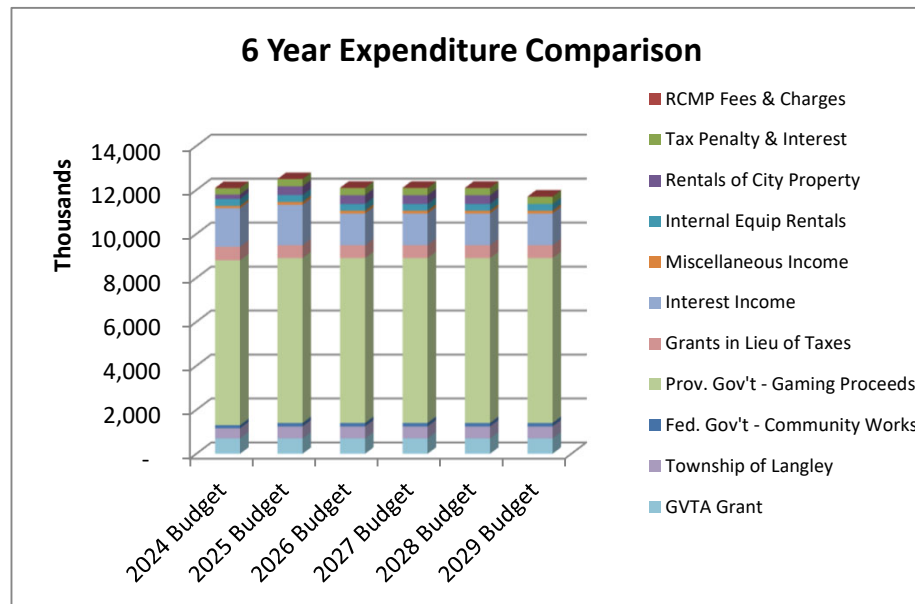
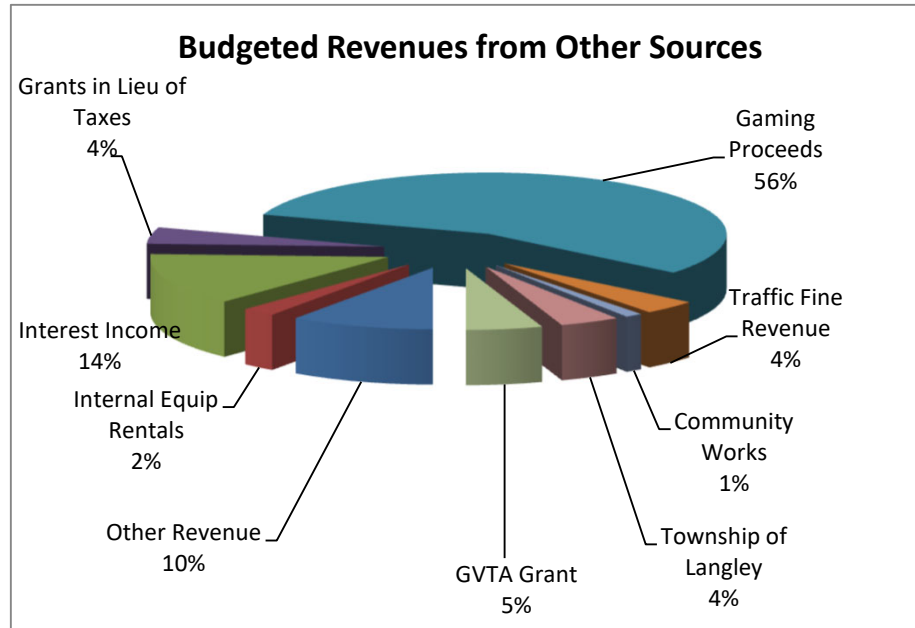
Utility companies do not pay municipal taxes on the value of their transmission lines or other equipment and structures, except buildings. In lieu of taxes, they pay a grant calculated at 1% of the utility revenue generated within the City during the previous year. These revenues are reported to the City and budget estimates are based on reported revenues.

PROVINCE OF BC: The majority of this revenue is the City's portion of Casino Gaming Revenues which has been estimated using the actual payments received in prior years. This budget also consists of the local government's share of traffic fine revenues generated by the Province of BC. Budget estimates are based on the prior year's grant level until notification of the grant amount is received in the spring of the budget year. Finally this budget includes the 2% hotel tax which is transferred to Discover Langley City for tourism promotion.

FEDERAL GOVERNMENT: This revenue represents funds received from the Government of Canada in relation to the Gas Tax Agreement for Community Works. These funds are transferred to reserves for capital investment.

TOWNSHIP OF LANGLEY: This revenue represents funds received from the Township of Langley under the Langley Youth and Family Services cost sharing agreement, the Emergency Planning service agreement and the RCMP building cost sharing agreement. Budget estimates are based on these agreements and budgeted expenditure increases.

GVTA GRANT: This revenue represents the GVTA's grant to the City for the annual maintenance of Major Municipal Network Roads. The grant is based on the lane kilometers of Major Municipal Network Roads.

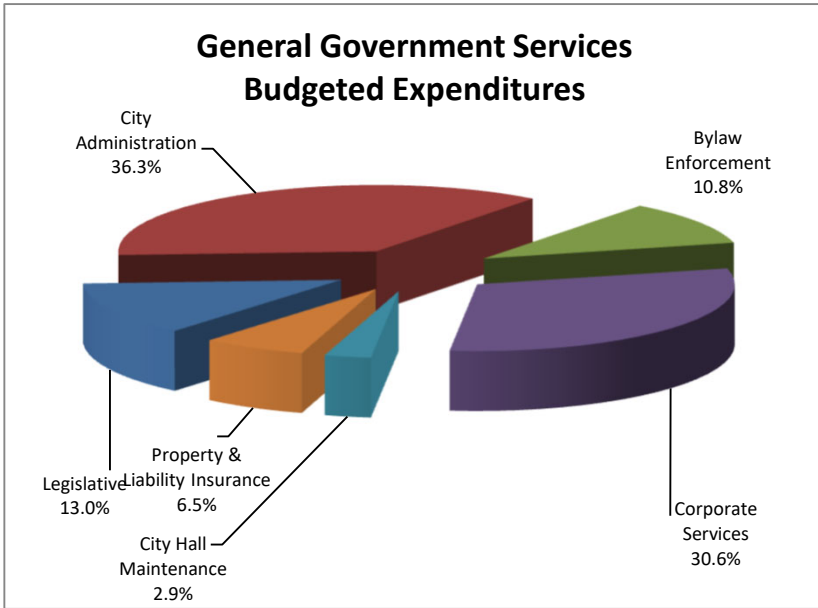


REVENUE FROM OTHER SOURCES

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Revenues								
RCMP Fees & Charges	\$ 7,480	\$ 8,000	\$ 7,545	\$ 8,000	\$ 8,000	\$ 8,000	\$ 8,000	\$ 8,000
Tax Penalty & Interest	325,683	290,000	387,950	330,000	330,000	330,000	330,000	330,000
Rentals of City Property	197,214	203,475	331,517	394,640	394,640	394,640	394,640	394,640
Internal Equip Rentals	324,611	313,010	317,268	311,910	310,620	309,290	307,920	306,510
Miscellaneous Income	130,807	105,730	90,772	128,610	128,610	128,610	128,610	128,610
Interest Income	3,877,398	1,755,000	2,677,385	1,842,000	1,442,000	1,442,000	1,442,000	1,442,000
Grants in Lieu of Taxes	624,423	616,250	580,411	585,320	585,320	585,320	585,320	585,320
Prov. Gov't - Gaming Proceeds	7,990,632	7,500,000	5,997,721	7,500,000	7,500,000	7,500,000	7,500,000	7,500,000
Prov. Gov't - Traffic Fine Revenue	473,000	475,000	504,000	500,000	500,000	500,000	500,000	500,000
Prov. Gov't - Hotel Tax	434,331	365,000	333,479	450,000	450,000	450,000	450,000	450,000
Prov. Gov't - Other	-	99,100	288,390	-	-	-	-	-
Fed. Gov't - Community Works	145,375	138,800	157,059	157,000	157,000	157,000	157,000	157,000
Township of Langley	532,577	465,550	278,641	548,310	548,310	548,310	548,310	548,310
GVTA Grant	705,000	696,000	473,500	696,000	696,000	696,000	696,000	696,000
Departmental Adjustments	(185,394)	(138,050)	-	(161,780)	(161,780)	(161,780)	(161,780)	(161,780)
Total Revenues	\$ 15,583,137	\$ 12,892,865	\$ 12,425,638	\$ 13,290,010	\$ 12,888,720	\$ 12,887,390	\$ 12,886,020	\$ 12,884,610
Interfund Cost Allocation	\$ 1,675,000	\$ 1,870,250	\$ 1,402,688	\$ 1,861,580	\$ 1,904,110	\$ 1,948,670	\$ 1,994,710	\$ 2,042,250
Total Revenues and Allocations	\$ 17,258,137	\$ 14,763,115	\$ 13,828,326	\$ 15,151,590	\$ 14,792,830	\$ 14,836,060	\$ 14,880,730	\$ 14,926,860

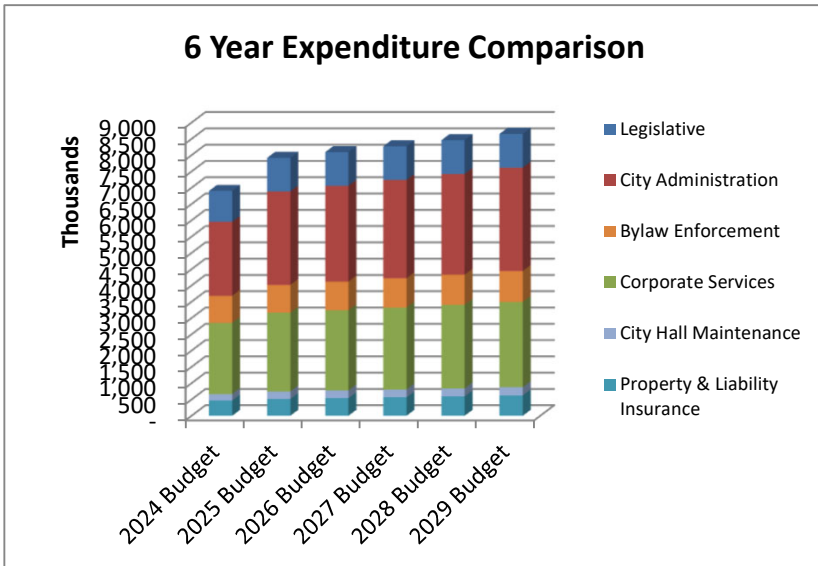
General Government Services





Cost Centre Description:

General Government Services performs the core administrative functions of the City. The services provided help in supplying leadership, guidance, information and administrative support to the entire organization.



GENERAL GOVERNMENT SERVICES

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Expenditures								
Legislative	\$ 803,093	\$ 950,220	\$ 784,965	\$ 1,030,790	\$ 1,032,560	\$ 1,034,380	\$ 1,036,260	\$ 1,038,190
City Administration	1,934,437	2,268,600	2,475,091	2,870,750	2,942,300	3,015,980	3,091,870	3,170,000
Bylaw Enforcement	644,413	832,020	701,050	852,380	876,200	900,740	926,020	952,070
Corporate Services	2,023,864	2,187,030	2,069,615	2,419,080	2,466,610	2,515,600	2,566,040	2,617,970
City Hall Maintenance	356,916	194,760	472,847	229,950	234,690	239,560	244,590	249,770
Property & Liability Insurance	429,096	471,450	453,775	514,680	540,430	567,460	595,830	625,620
Departmental Adjustments	(13,829)	(17,000)	-	(14,000)	(14,000)	(14,000)	(14,000)	(14,000)
Total Expenditures	\$ 6,177,990	\$ 6,887,080	\$ 6,957,343	\$ 7,903,630	\$ 8,078,790	\$ 8,259,720	\$ 8,446,610	\$ 8,639,620

DEPT. BUDGET SUMMARY

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	32.5	35.3	32.3	38.5	38.5	38.5	38.5	38.5

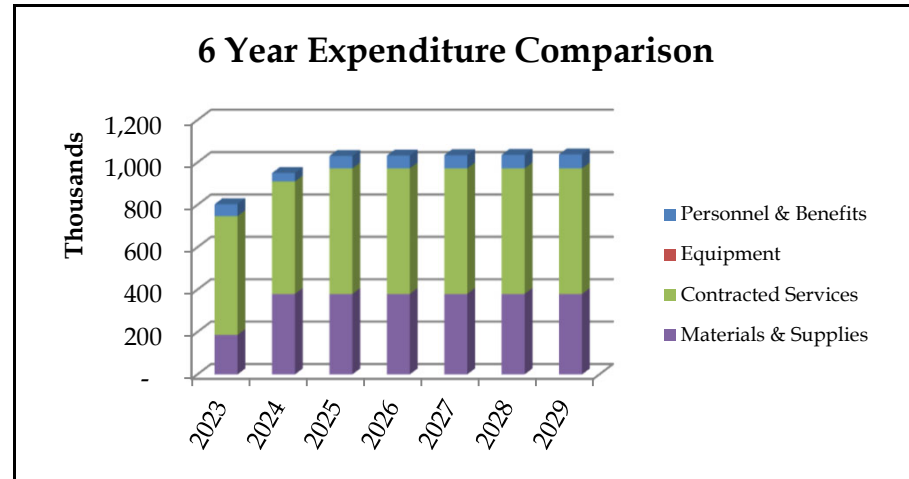
Operating Cost Summary

Personnel & Benefits	\$ 4,195,863	\$ 4,857,700	\$ 4,407,303	\$ 5,515,140	\$ 5,680,570	\$ 5,850,980	\$ 6,026,490	\$ 6,207,220
Equipment	41,669	40,000	55,139	43,000	43,000	43,000	43,000	43,000
Contracted Services	606,181	491,560	1,295,554	763,320	747,300	730,790	713,800	696,290
Materials & Supplies	1,334,277	1,497,820	1,199,347	1,582,170	1,607,920	1,634,950	1,663,320	1,693,110
Total Operating Cost	\$ 6,177,990	\$ 6,887,080	\$ 6,957,343	\$ 7,903,630	\$ 8,078,790	\$ 8,259,720	\$ 8,446,610	\$ 8,639,620

LEGISLATIVE

Program Description: This program accounts for all expenses associated with the direct activities of City Council. City Council, made up of the Mayor and six Councillors, represents the citizens by providing community leadership in serving as the legislative and policy making body of municipal government. This program also contains the Enterprise funding and Community Grants which are funded solely by gaming proceeds.

Output: City Council holds approximately 25 Council meetings a year, about every two weeks at Langley City Hall. Elected representatives from City Council represent the City of Langley on many regional and provincial boards and committees. Council also attend many community meetings and events, workshops and policy meetings throughout the year.



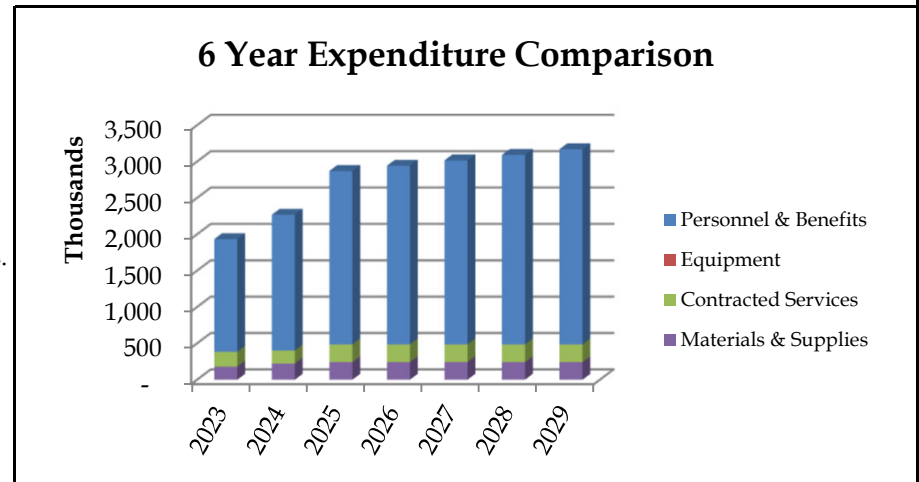
Key Program Statistics	2023	2024	2025
Cost per Capita	\$ 25.94	\$ 30.30	\$ 32.44

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Legislative								
Personnel & Benefits	56,088	39,960	-	59,000	60,770	62,590	64,470	66,400
Equipment	-	-	-	-	-	-	-	-
Contracted Services	560,729	530,660	562,707	592,190	592,190	592,190	592,190	592,190
Materials & Supplies	186,276	379,600	222,258	379,600	379,600	379,600	379,600	379,600
Legislative Total	803,093	950,220	784,965	1,030,790	1,032,560	1,034,380	1,036,260	1,038,190

CITY ADMINISTRATION

Program Description: The primary responsibilities of this program are to lead the overall conduct of the City in pursuing the City’s goals and objectives, the provision of advice to City Council and serving the will of City Council. To safekeep and preserve meeting minutes, bylaws, civic agreements and other related official documents. Administer responsibilities under the Freedom of Information and Protection of Privacy Act. To plan and coordinate official civic functions, visits and events. Prepare agenda packages for meetings of Council, standing and special committees. Record meeting proceedings. Prepare and supervise the conduct of general local elections, referenda and by-elections. To provide human resource advice and support to City staff. To plan and coordinate social services in the community.

Output: To plan, lead, and direct the overall business affairs and activities of the City in accordance with Council’s directions, together with various bylaws, policies and statutory requirements. Provide advice, assistance and recommendations to City Council and assist in formulating long term goals and objectives. Provide advice, direction and policy interpretation to staff. Sustain a highly motivated organization. Implement policies and procedures. Provide administrative services to City Council, its committees and boards and is responsible for the statutory requirements in the Community Charter. Prepare the schedule, minutes, and agenda for Council meetings. Respond to FOI requests and other Council correspondence.



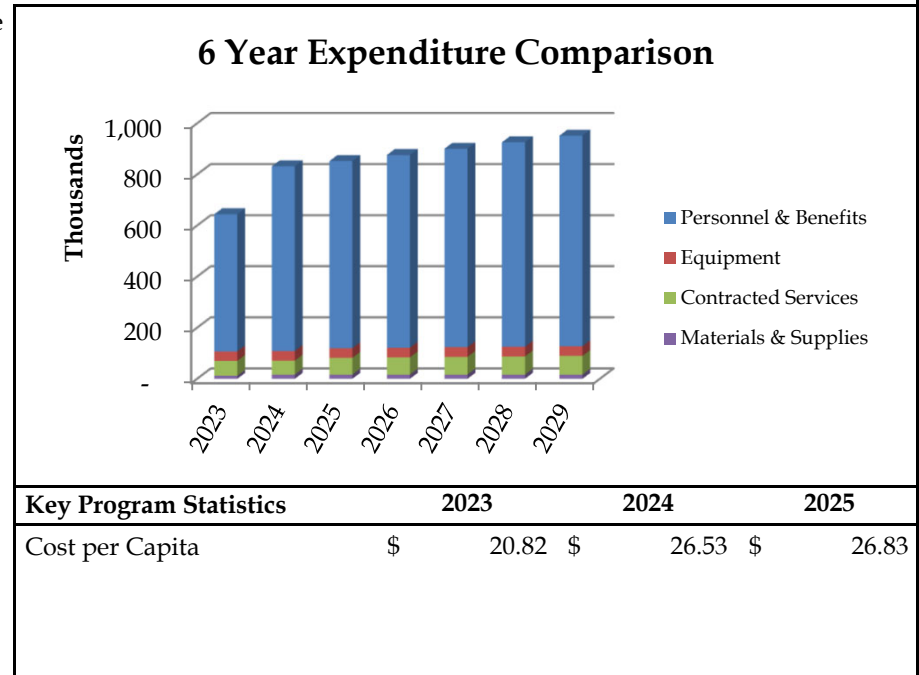
Key Program Statistics	2023	2024	2025
Cost per Capita	\$ 62.49	\$ 72.33	\$ 90.35

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	10.0	10.8	10.8	13.0	13.0	13.0	13.0	13.0
City Administration								
Personnel & Benefits	1,549,423	1,865,950	1,796,779	2,385,000	2,456,550	2,530,230	2,606,120	2,684,250
Equipment	-	-	-	-	-	-	-	-
Contracted Services	204,090	180,000	528,386	244,000	244,000	244,000	244,000	244,000
Materials & Supplies	180,924	222,650	149,926	241,750	241,750	241,750	241,750	241,750
City Administration Total	1,934,437	2,268,600	2,475,091	2,870,750	2,942,300	3,015,980	3,091,870	3,170,000

BYLAW ENFORCEMENT

Program Description: This program funds the following bylaw enforcement activities: parking enforcement, community standards/graffiti, park regulation offences, noise control and barking dog complaints, sign offences, sprinkler offences, business licensing offences.

Output: The main expenditure for this program is for the wages and associated vehicle costs of the Bylaw Enforcement Officers.



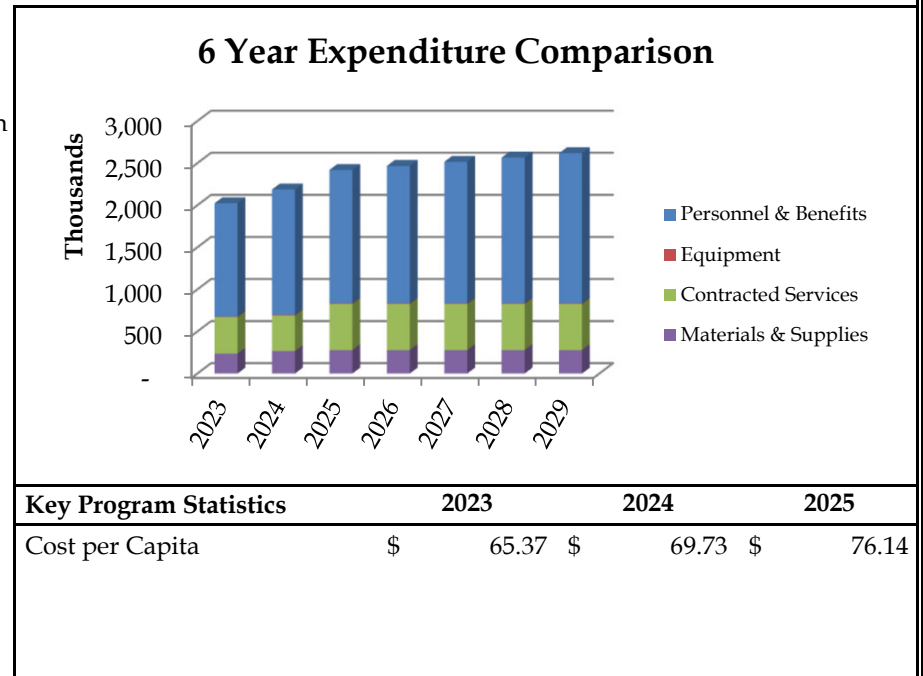
Key Program Statistics	2023	2024	2025
Cost per Capita	\$ 20.82	\$ 26.53	\$ 26.83

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	5.0	6.0	5.0	6.0	6.0	6.0	6.0	6.0
Bylaw Enforcement								
Personnel & Benefits	536,995	722,900	583,151	732,410	754,370	776,990	800,300	824,320
Equipment	37,296	38,000	36,720	38,000	38,000	38,000	38,000	38,000
Contracted Services	58,327	54,510	68,104	65,360	67,220	69,140	71,110	73,140
Materials & Supplies	11,795	16,610	13,075	16,610	16,610	16,610	16,610	16,610
Bylaw Enforcement Total	644,413	832,020	701,050	852,380	876,200	900,740	926,020	952,070

CORPORATE SERVICES

Program Description: This program supplies all of the City's accounting, financial management and information technology requirements which include payroll, accounts payable, tax/utility billing & collection, cost control reporting, financial reporting, cash management, annual budget preparation and maintenance of our information technology services. This program has funding allocated for supplies and services to support the functioning of clerical and management staff for the City's entire operation.

Output: Corporate accounting and financial policies. Compiling and reporting bi-weekly, quarterly, annual, ad-hoc and statutory financial information. Manage the wages and benefits of the city's employees and ensure payment every second week. Process supplier payments on a weekly basis. Effectively manage the billing, collection and management of taxes, utilities and all other fees & charges for the City's property folios. The main source of expenditure is Personnel & Benefits which includes 10 full time positions.



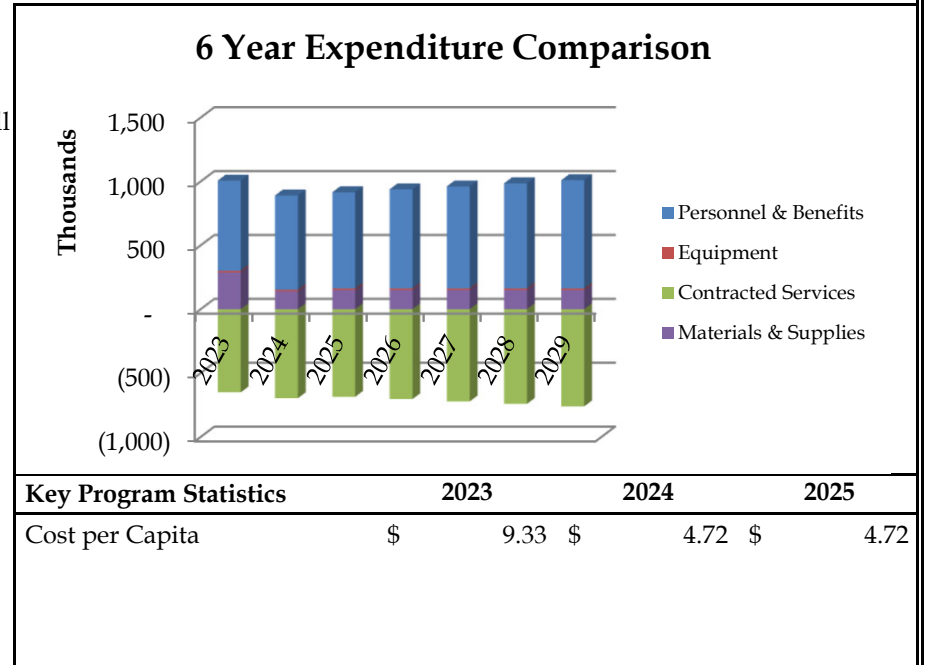
Key Program Statistics	2023	2024	2025
Cost per Capita	\$ 65.37	\$ 69.73	\$ 76.14

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	9.5	10.5	9.5	11.5	11.5	11.5	11.5	11.5
Corporate Services								
Personnel & Benefits	1,345,775	1,489,730	1,388,777	1,584,760	1,632,290	1,681,280	1,731,720	1,783,650
Equipment	7,252	7,500	7,140	7,500	7,500	7,500	7,500	7,500
Contracted Services	433,542	422,300	461,497	547,300	547,300	547,300	547,300	547,300
Materials & Supplies	237,295	267,500	212,201	279,520	279,520	279,520	279,520	279,520
Corporate Services Total	2,023,864	2,187,030	2,069,615	2,419,080	2,466,610	2,515,600	2,566,040	2,617,970

CITY HALL MAINTENANCE

Program Description: This budget provides funding to maintain City Hall, Timms Community Centre and Library. City Hall maintenance includes budget allocations for janitorial service, electricity and gas, water and sewer, security and alarm monitoring, along with general repairs and maintenance.

Output: The City Hall building is maintained by Building Service workers and includes work at the City Hall, Timms Centre, Library and LYFS. The grounds surrounding the hall are maintained by the City Parks & Engineering crews. Security is also onsite seven days a week. All costs associated with the maintenance of City Hall are shared based on floor area with the Timms centre, library and LYFS.



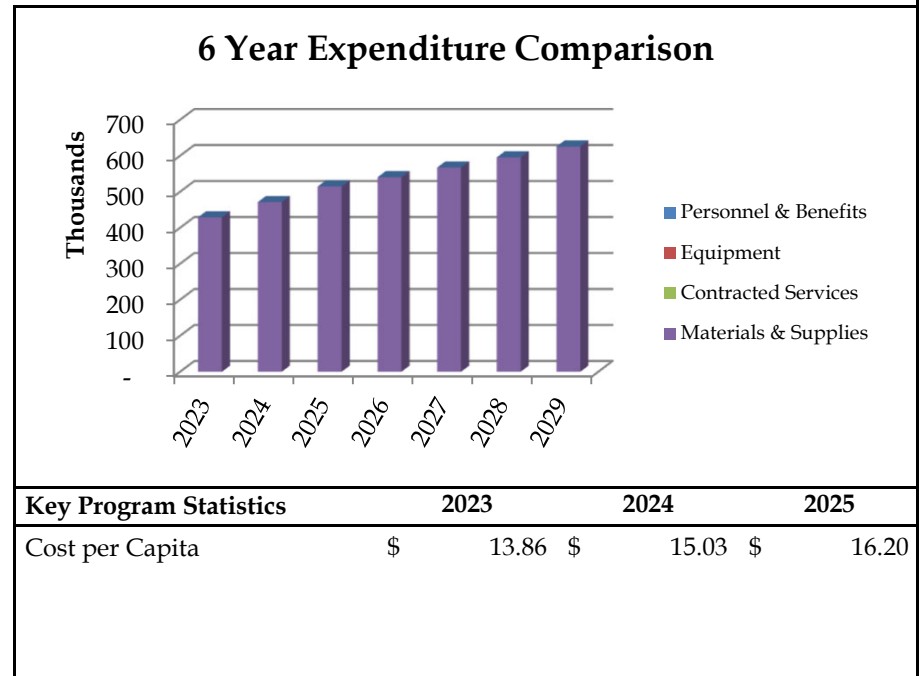
Key Program Statistics	2023	2024	2025
Cost per Capita	\$ 9.33	\$ 4.72	\$ 4.72

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	8.0	8.0	7.0	8.0	8.0	8.0	8.0	8.0
City Hall Maintenance								
Personnel & Benefits	707,582	739,160	638,596	753,970	776,590	799,890	823,880	848,600
Equipment	10,950	11,500	11,279	11,500	11,500	11,500	11,500	11,500
Contracted Services	(650,507)	(695,910)	(325,140)	(685,530)	(703,410)	(721,840)	(740,800)	(760,340)
Materials & Supplies	288,891	140,010	148,112	150,010	150,010	150,010	150,010	150,010
City Hall Maintenance Total	356,916	194,760	472,847	229,950	234,690	239,560	244,590	249,770

PROPERTY & LIABILITY INSURANCE

Program Description: The main source of insurance for the City is through the Municipal Insurance Association. Property and liability insurance is purchased to protect the City from economic loss as the result of litigation, accident or natural disaster.

Output: Our current policy protects the City up to \$35 Million of liability with a deductible of \$25,000.

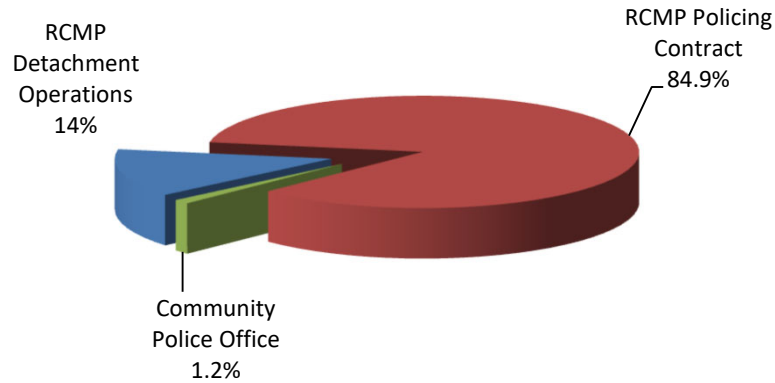


	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Property & Liability Insurance								
Personnel & Benefits	-	-	-	-	-	-	-	-
Equipment	-	-	-	-	-	-	-	-
Contracted Services	-	-	-	-	-	-	-	-
Materials & Supplies	429,096	471,450	453,775	514,680	540,430	567,460	595,830	625,620
Property & Liability Insurance Total	429,096	471,450	453,775	514,680	540,430	567,460	595,830	625,620

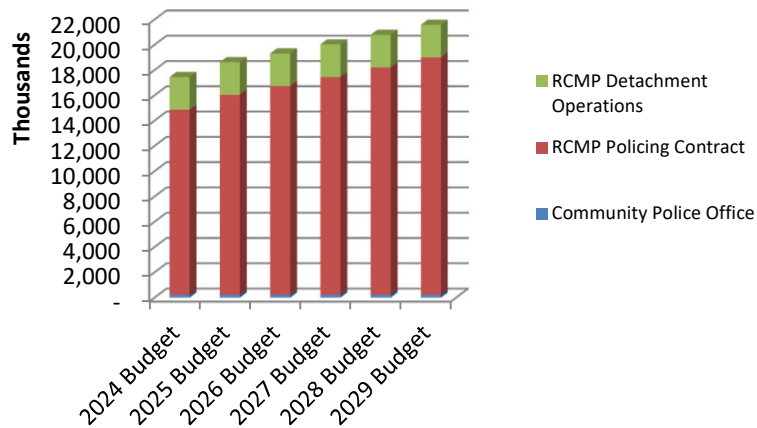
Policing Services



**Protective Services
Budgeted Expenditures**



6 Year Expenditure Comparison



Cost Centre Description:

The Langley RCMP is dedicated to protect and serve the citizens of Langley through the prevention and reduction of crime, in partnership with our community.



POLICING SERVICES

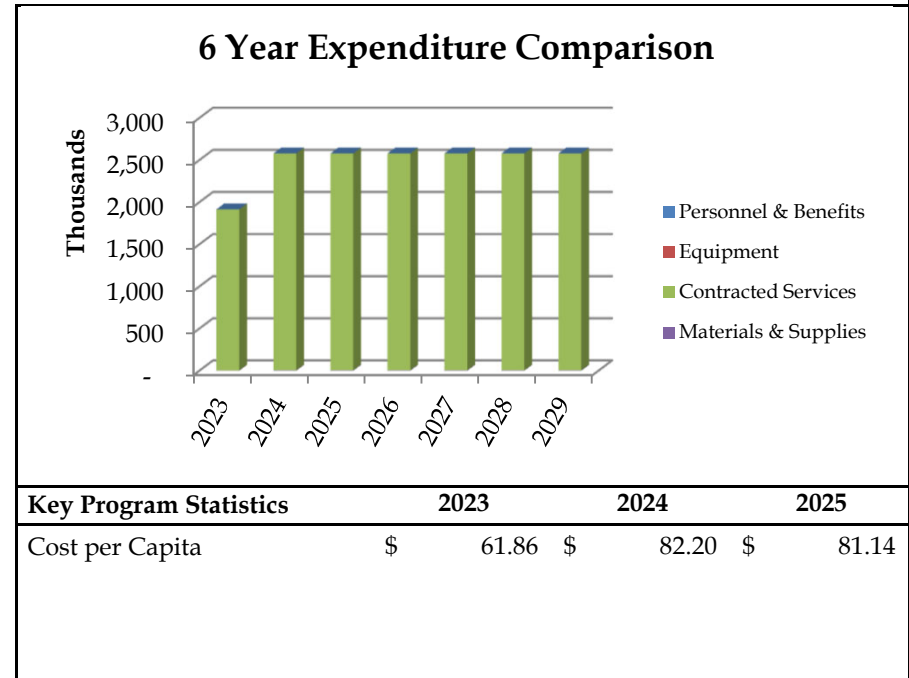
	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Expenditures								
RCMP Detachment Operations	\$ 1,914,918	\$ 2,578,125	\$ 1,009,163	\$ 2,578,120	\$ 2,578,120	\$ 2,578,120	\$ 2,578,120	\$ 2,578,120
RCMP Policing Contract	13,639,015	14,642,130	8,456,590	15,821,680	16,506,050	17,224,640	17,979,160	18,771,400
Community Police Office	194,556	225,035	171,235	232,000	232,590	233,190	233,820	234,460
Departmental Adjustments	-	-	-	-	-	-	-	-
Total Expenditures	\$ 15,748,489	\$ 17,445,290	\$ 9,636,988	\$ 18,631,800	\$ 19,316,760	\$ 20,035,950	\$ 20,791,100	\$ 21,583,980

DEPT. BUDGET SUMMARY	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	51.5	54.5	54.5	54.5	54.5	54.5	54.5	54.5
Operating Cost Summary								
Personnel & Benefits	\$ 10,766	\$ 19,230	\$ 10,379	\$ 19,610	\$ 20,200	\$ 20,800	\$ 21,430	\$ 22,070
Equipment	-	-	-	-	-	-	-	-
Contracted Services	15,637,166	17,322,510	9,507,798	18,508,640	19,193,010	19,911,600	20,666,120	21,458,360
Materials & Supplies	100,557	103,550	118,811	103,550	103,550	103,550	103,550	103,550
Total Operating Cost	\$ 15,748,489	\$ 17,445,290	\$ 9,636,988	\$ 18,631,800	\$ 19,316,760	\$ 20,035,950	\$ 20,791,100	\$ 21,583,980

RCMP DETACHMENT OPERATIONS

Program Description: This budget item provides for RCMP support staff in the form of administration, clerical and jail guards and the related office costs associated to these functions. It also provides maintenance to the RCMP building. These services are all performed in partnership with the Township of Langley and are cost shared based on formulas of 25% of the population and 75% of the 5 year rolling average of crime statistics. The City also pays an additional 8% administration charge to the Township for administering this function.

Output:



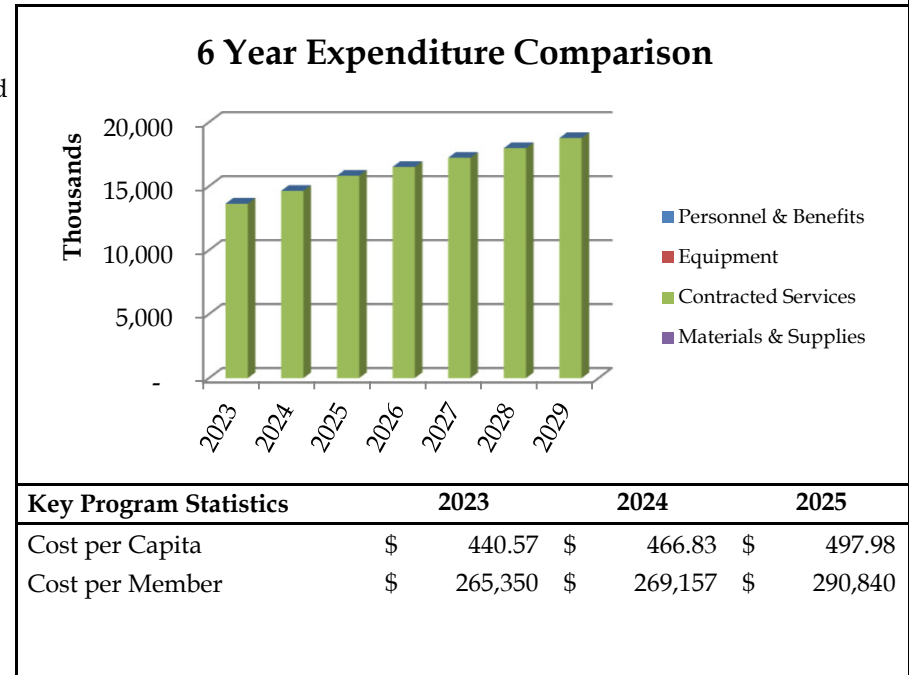
Key Program Statistics	2023	2024	2025
Cost per Capita	\$ 61.86	\$ 82.20	\$ 81.14

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
RCMP Detachment Operations								
Personnel & Benefits	-	-	-	-	-	-	-	-
Equipment	-	-	-	-	-	-	-	-
Contracted Services	1,911,618	2,573,125	1,005,863	2,573,120	2,573,120	2,573,120	2,573,120	2,573,120
Materials & Supplies	3,300	5,000	3,300	5,000	5,000	5,000	5,000	5,000
RCMP Detachment Operations Total	1,914,918	2,578,125	1,009,163	2,578,120	2,578,120	2,578,120	2,578,120	2,578,120

RCMP POLICING CONTRACT

Program Description: Police service for the City is provided by the Royal Canadian Mounted Police. This program is to provide a feeling of security to the citizens of Langley; through the proper management of available resources and with the support of the community as a whole, by the protection of life and property, the apprehension of criminals and crime prevention.

Output: The budget provides for a total contract strength to 54.4 members. It also includes a share in the Integrated Homicide Investigation Team (IHIT), Emergency Response Team and Forensics/Traffic Reconstructionist/Dog Patrol. The RCMP uphold the principles of the Canadian Charter of Rights & Freedoms and provide a professional standard of service.

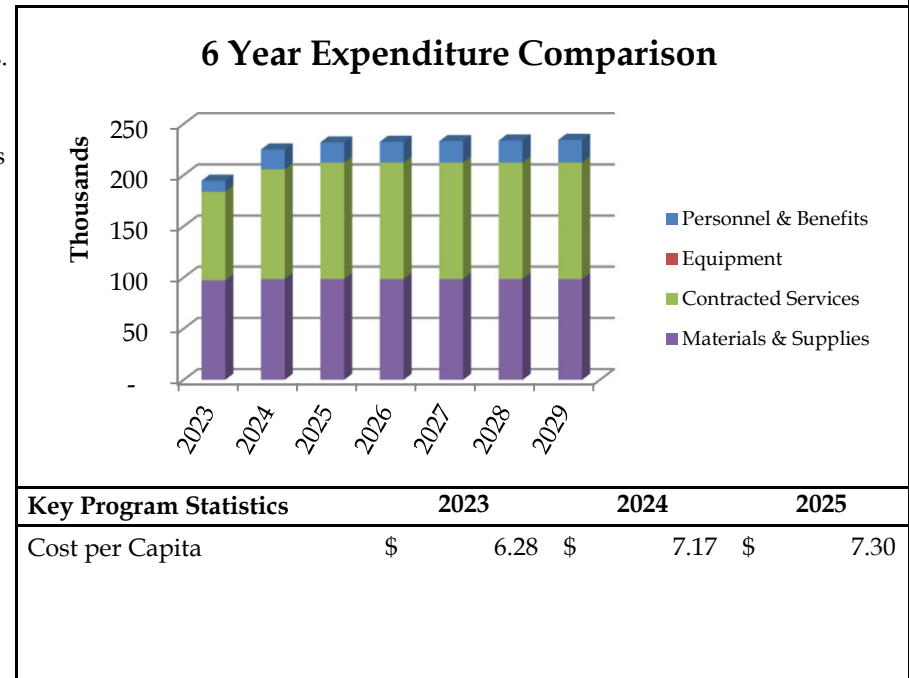


	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	51.4	54.4	54.4	54.4	54.4	54.4	54.4	54.4
RCMP Policing Contract								
Personnel & Benefits	-	-	-	-	-	-	-	-
Equipment	-	-	-	-	-	-	-	-
Contracted Services	13,639,015	14,642,130	8,456,590	15,821,680	16,506,050	17,224,640	17,979,160	18,771,400
Materials & Supplies	-	-	-	-	-	-	-	-
RCMP Policing Contract Total	13,639,015	14,642,130	8,456,590	15,821,680	16,506,050	17,224,640	17,979,160	18,771,400

COMMUNITY POLICE OFFICE

Program Description: The purpose of the Community Police Office is to bring the police closer to the community making it more convenient for citizens to report incidents and it promotes the development of a closer police community relationship which is consistent with the RCMP's commitment to community policing. It also allows the community to play an active role in policing the community through involvement in various volunteer programs.

Output: Community Policing is about preventing crime. RCMP members work interactively with the community to mutually identify and resolve community problems. This budget provides for the funding of a Information Officer at the CPO to coordinate volunteers and liaise between the public and RCMP. The Community Police Office is open between 8:30am & 4:30pm Monday to Friday at the office located at 20408 Douglas Crescent.

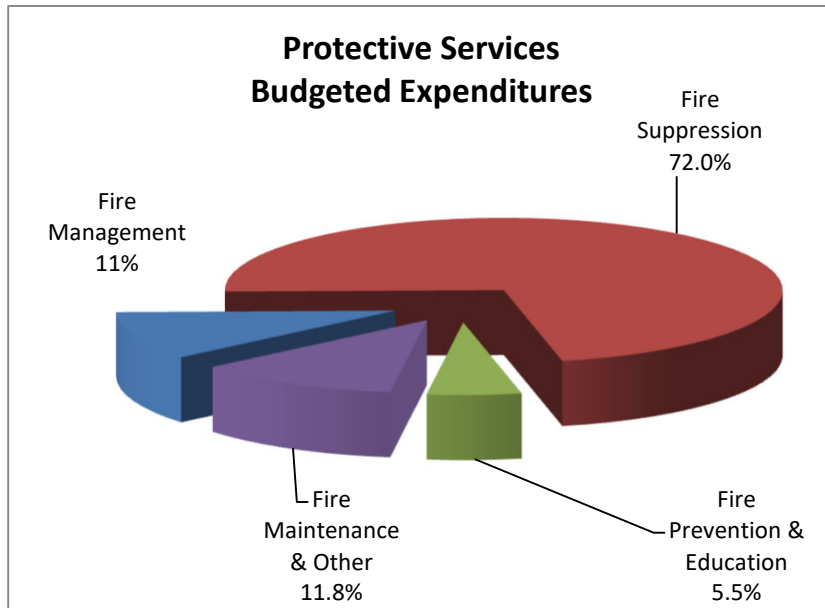


Key Program Statistics	2023	2024	2025
Cost per Capita	\$ 6.28	\$ 7.17	\$ 7.30

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	0.1	0.1	0.1	0.1	0.1	0.1	0.1	0.1
Community Police Office								
Personnel & Benefits	10,766	19,230	10,379	19,610	20,200	20,800	21,430	22,070
Equipment	-	-	-	-	-	-	-	-
Contracted Services	86,533	107,255	45,345	113,840	113,840	113,840	113,840	113,840
Materials & Supplies	97,257	98,550	115,511	98,550	98,550	98,550	98,550	98,550
Community Police Office Total	194,556	225,035	171,235	232,000	232,590	233,190	233,820	234,460

Fire Rescue Service

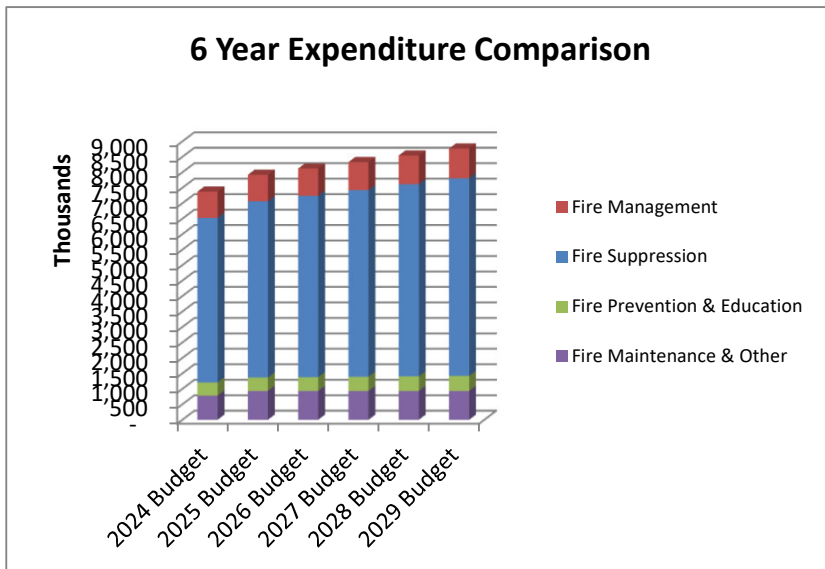




Cost Centre Description:

Our First Response Team consists of twenty eight (28) staff who maintain coverage twenty-four hours per day. This First Response Team backed up by a compliment of sixteen paid-on-call firefighters to respond to any fire or medical emergency anywhere within the City of Langley boundaries.

In addition to our Emergency Response Programs, we have a Public Education and Fire Prevention Program under the direction of our Fire Prevention Officer(s). The FPO(s) and our on-duty crews are out each and every day inspecting retail, commercial and industrial businesses within the City of Langley to ensure that when you enter into those premises as a customer or an employee, that you are operating under a fire safe environment. We also inspect all multi-family residential buildings to ensure safety for residents and visitors.



FIRE RESCUE SERVICE

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Expenditures								
Fire Management	745,520	852,830	762,227	854,520	879,320	904,910	931,250	958,370
Fire Suppression	4,250,555	5,314,830	3,901,853	5,698,430	5,863,510	6,033,640	6,208,790	6,389,190
Fire Prevention & Education	206,794	424,100	275,524	431,660	444,160	457,020	470,280	483,920
Fire Maintenance & Other	712,916	785,380	824,139	934,140	934,140	934,140	934,140	934,140
Departmental Adjustments	-	-	-	-	-	-	-	-
Total Expenditures	\$ 5,915,785	\$ 7,377,140	\$ 5,763,743	\$ 7,918,750	\$ 8,121,130	\$ 8,329,710	\$ 8,544,460	\$ 8,765,620

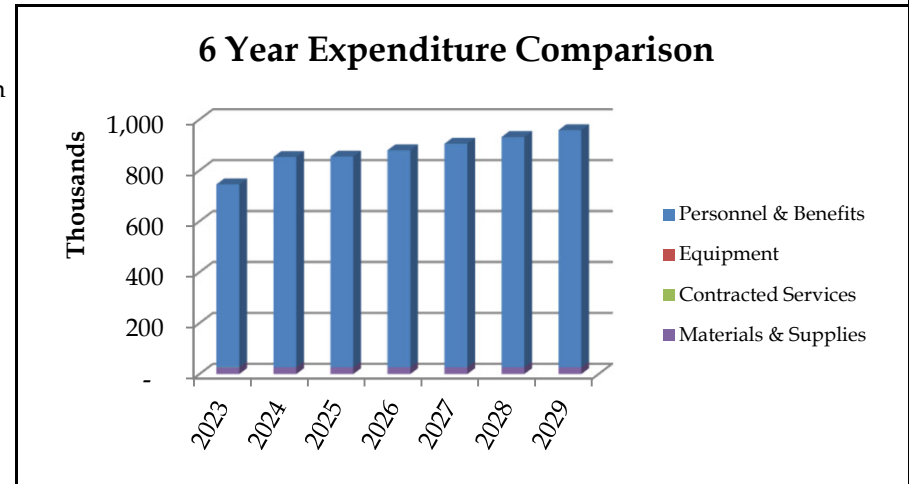
DEPT. BUDGET SUMMARY

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	28.8	34.9	31.0	36.9	36.9	36.9	36.9	36.9
Operating Cost Summary								
Personnel & Benefits	\$ 5,003,364	\$ 6,367,260	\$ 4,774,561	\$ 6,748,600	\$ 6,950,980	\$ 7,159,560	\$ 7,374,310	\$ 7,595,470
Equipment	38	-	84	-	-	-	-	-
Contracted Services	390,450	404,960	452,336	484,720	484,720	484,720	484,720	484,720
Materials & Supplies	521,933	604,920	536,762	685,430	685,430	685,430	685,430	685,430
Total Operating Cost	\$ 5,915,785	\$ 7,377,140	\$ 5,763,743	\$ 7,918,750	\$ 8,121,130	\$ 8,329,710	\$ 8,544,460	\$ 8,765,620

FIRE ADMINISTRATION

Program Description: Fire Administration is responsible for administration and technical planning, organizing and directing fire fighting, fire prevention and fire fighter training. Other responsibilities include providing initial human resources support in hiring and promotions, budgeting for annual and future requirements, and managing the day to day response of the department. Management is also responsible for maintaining a functional fire fighting team consisting of career and Paid-on-call staff.

Output: The main source of expenditure for fire management is Personnel & Benefits which includes the following positions: Fire Chief, Deputy Fire Chief, Asst Fire Chief and an Administrative Assistant. Training is held as needed with the Fire Chiefs involved in Metro Vancouver and Provincial focus groups to stay current.



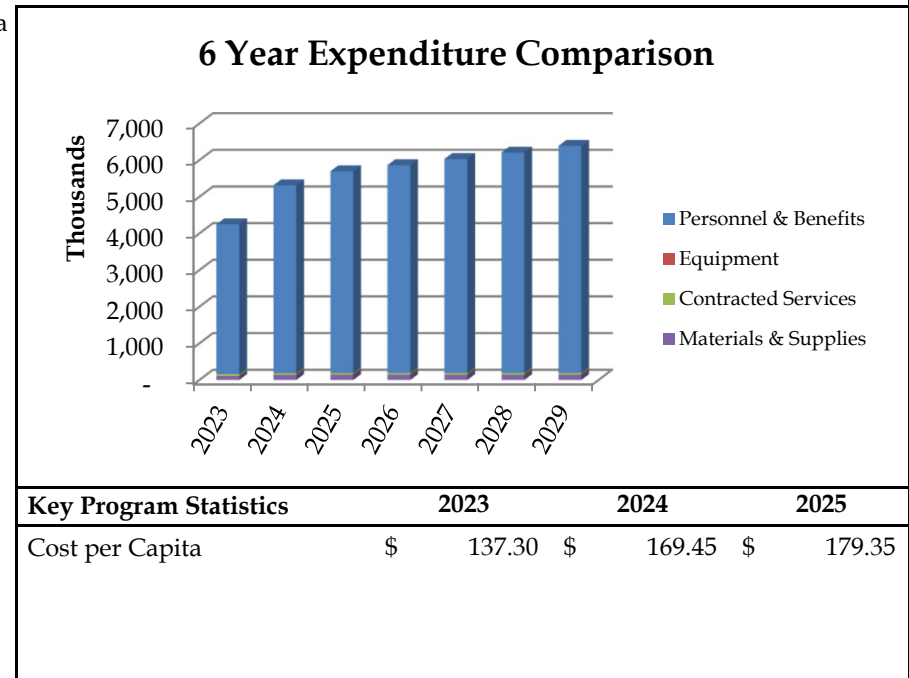
Key Program Statistics	2023	2024	2025
Cost per Capita	\$ 24.08	\$ 27.19	\$ 26.90
Cost per Fire Fighter	\$ 31,996.57	\$ 30,458.21	\$ 28,484.00

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	4.5	4.8	4.5	4.8	4.8	4.8	4.8	4.8
Fire Administration								
Personnel & Benefits	718,988	825,830	758,214	827,510	852,310	877,900	904,240	931,360
Equipment	-	-	-	-	-	-	-	-
Contracted Services	200	-	8	-	-	-	-	-
Materials & Supplies	26,332	27,000	4,005	27,010	27,010	27,010	27,010	27,010
Fire Administration Total	745,520	852,830	762,227	854,520	879,320	904,910	931,250	958,370

FIRE SUPPRESSION

Program Description: The suppression crews are responsible for providing an efficient and timely response to emergencies for residents of the City of Langley. In addition to fire suppression, these crews assist with pre-hospital emergencies, and maintain an aggressive fire inspection program of local commercial and retail businesses. This program includes career staff wages and benefits as well as paid-on-call training and alarm responses. Also included are the annual costs for dispatching by the Surrey Fire Dept.

Output: Service is provided by 4 crews which provide fire suppression service 24 hours a day 7 days a week. Crews work 2 days 2 nights. Each crew consists of firefighters and officers which provide the necessary requirements to do daily inspections, public safety lectures, train on shift to approved national standards. These firefighters respond to every emergency type and provide a 24 hrs day/ 7 days a week service to the community.



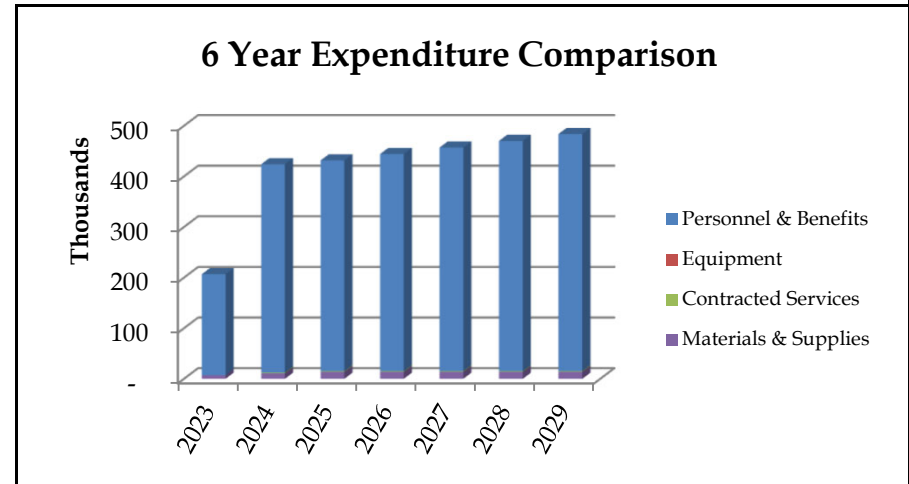
Key Program Statistics	2023	2024	2025
Cost per Capita	\$ 137.30	\$ 169.45	\$ 179.35

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	23.3	28.0	25.2	30.0	30.0	30.0	30.0	30.0
Fire Suppression								
Personnel & Benefits	4,084,499	5,129,530	3,748,351	5,504,630	5,669,710	5,839,840	6,014,990	6,195,390
Equipment	-	-	-	-	-	-	-	-
Contracted Services	55,938	44,500	53,627	47,000	47,000	47,000	47,000	47,000
Materials & Supplies	110,118	140,800	99,875	146,800	146,800	146,800	146,800	146,800
Fire Suppression Total	4,250,555	5,314,830	3,901,853	5,698,430	5,863,510	6,033,640	6,208,790	6,389,190

PREVENTION & EDUCATION

Program Description: This program provides funding for all fire prevention and public education programs; these include: inspections, school programs, community days, fire prevention week activities, and juvenile fire setter programs; the education component provides funding for developing standards, purchase of manuals and audio- visual training aids, administering exams and funding seminars. This program also provides for the Training .

Output: Program provides funding for two fire prevention officers Monday to Friday 8:30 - 4:30. Visits each Langley city school twice a year to conduct fire drills, safety lectures and teach children how to deal with fire. The Fire Prevention Officer conducts safety lectures to strata coucils, apartment blocks and the general public. This program and its materials give the Langley Firefighters a visable presence in the community and are found present at most community events.



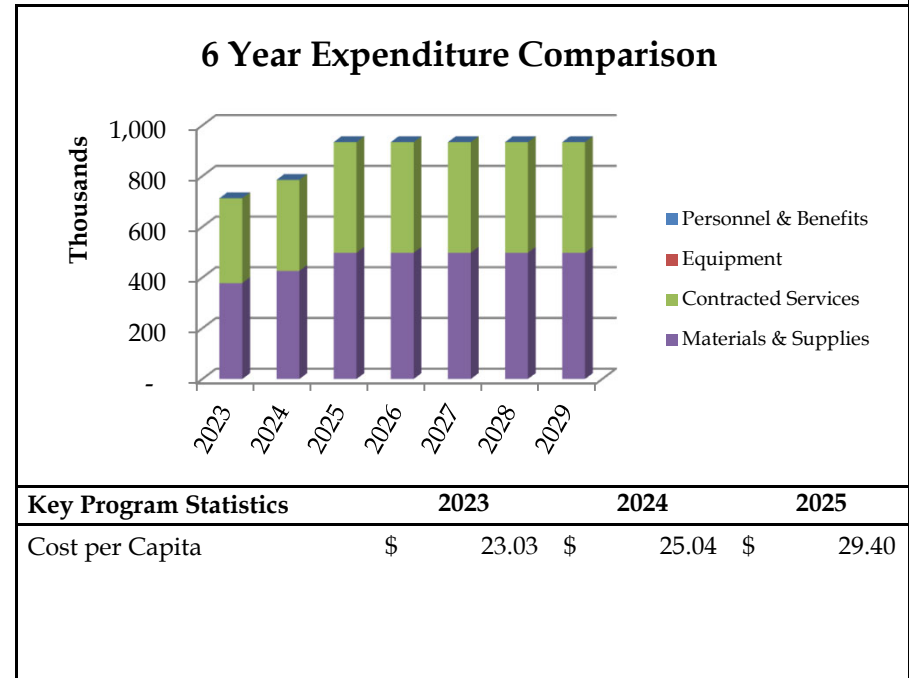
Key Program Statistics	2023	2024	2025
Cost per Capita	\$ 6.68	\$ 13.52	\$ 13.59

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	1.0	2.0	1.3	2.0	2.0	2.0	2.0	2.0
Prevention & Education								
Personnel & Benefits	199,730	411,900	267,367	416,460	428,960	441,820	455,080	468,720
Equipment	-	-	-	-	-	-	-	-
Contracted Services	-	1,400	-	1,400	1,400	1,400	1,400	1,400
Materials & Supplies	7,064	10,800	8,157	13,800	13,800	13,800	13,800	13,800
Prevention & Education Total	206,794	424,100	275,524	431,660	444,160	457,020	470,280	483,920

FIRE MAINTENANCE & OTHER

Program Description: This program provides funding for the maintenance of grounds, building and equipment, as well as all office expenses. It also provides funding for the annual dispatch operations currently being provided by the City of Surrey.

Output:



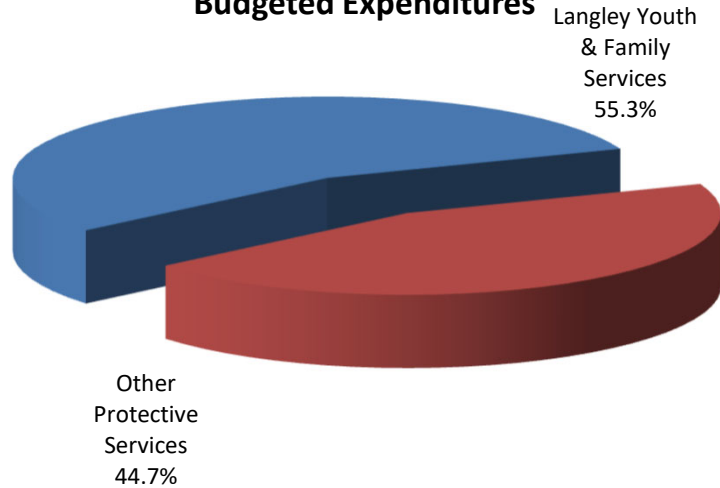
Key Program Statistics	2023	2024	2025
Cost per Capita	\$ 23.03	\$ 25.04	\$ 29.40

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	0.0	0.1	0.0	0.1	0.1	0.1	0.1	0.1
Fire Maintenance & Other								
Personnel & Benefits	147	-	629	-	-	-	-	-
Equipment	38	-	84	-	-	-	-	-
Contracted Services	334,312	359,060	398,701	436,320	436,320	436,320	436,320	436,320
Materials & Supplies	378,419	426,320	424,725	497,820	497,820	497,820	497,820	497,820
Fire Maintenance & Other Total	712,916	785,380	824,139	934,140	934,140	934,140	934,140	934,140

Other Protective Services



**Protective Services
Budgeted Expenditures**

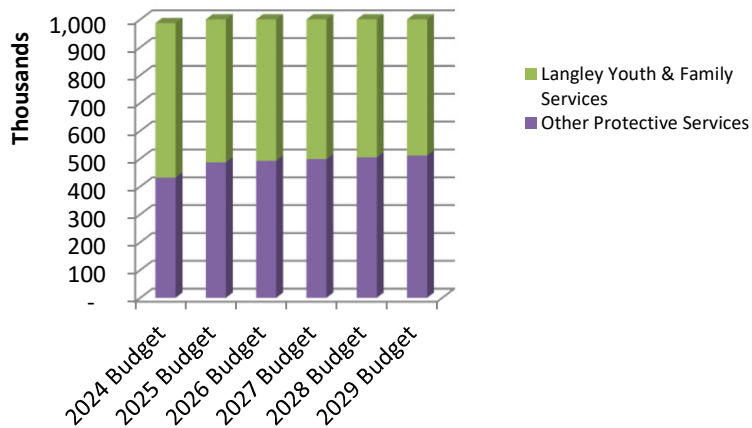


Cost Centre Description:

Other Protective Services provides funding for, Youth & Family Services, Emergency Planning, Victim/Witness Protection, Search and Rescue, Dog Control as well as Youth & Family Services.



6 Year Expenditure Comparison



PROTECTIVE SERVICES

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Expenditures								
Langley Youth & Family Services	516,097	555,085	507,978	601,530	604,300	607,160	610,100	613,110
Other Protective Services	291,380	431,750	333,787	486,430	492,270	498,290	504,480	510,860
Departmental Adjustments	(9)	-	-	-	-	-	-	-
Total Expenditures	\$ 807,468	\$ 986,835	\$ 841,765	\$ 1,087,960	\$ 1,096,570	\$ 1,105,450	\$ 1,114,580	\$ 1,123,970

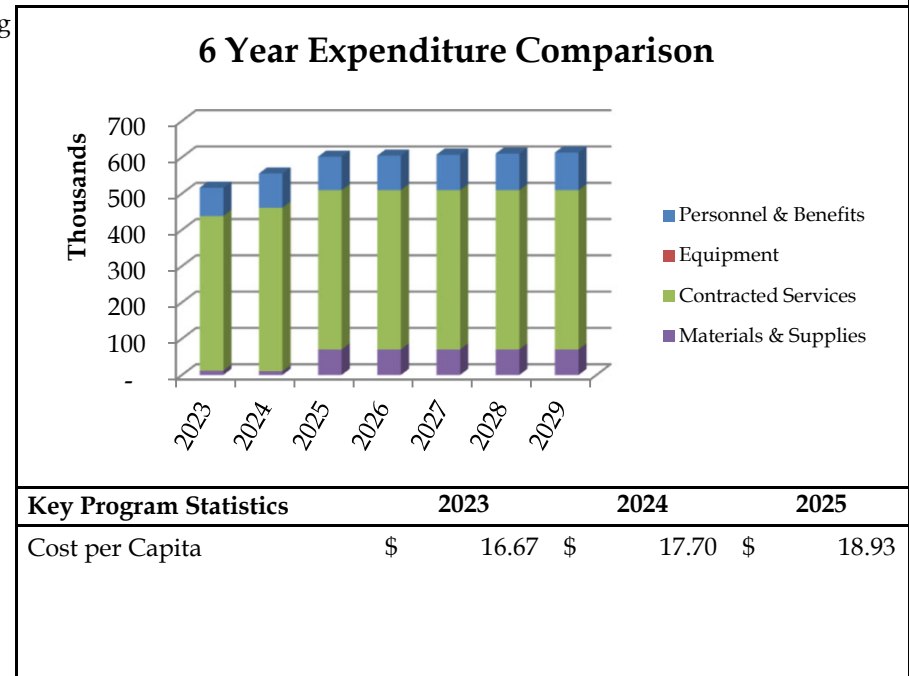
DEPT. BUDGET SUMMARY

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	1.4	2.5	2.0	2.5	2.5	2.5	2.5	2.5
Operating Cost Summary								
Personnel & Benefits	\$ 146,274	\$ 263,300	\$ 228,890	\$ 286,920	\$ 295,530	\$ 304,410	\$ 313,540	\$ 322,930
Equipment	(9)	-	-	-	-	-	-	-
Contracted Services	646,936	709,350	597,730	705,350	705,350	705,350	705,350	705,350
Materials & Supplies	14,267	14,185	15,145	95,690	95,690	95,690	95,690	95,690
Total Operating Cost	\$ 807,468	\$ 986,835	\$ 841,765	\$ 1,087,960	\$ 1,096,570	\$ 1,105,450	\$ 1,114,580	\$ 1,123,970

LANGLEY YOUTH & FAMILY SERVICES

Program Description: The service is supplied to assist the RCMP in attempting to minimize the entry of youth into the criminal justice system. The mandate of the service is to: coordinate efforts between police, schools and other agencies; provide education and counseling to parents to gain control of their children; provide training and assistance to RCMP members to improve their effectiveness in deal with juveniles and family problems; assist in developing community programs to facilitate crime prevention; work with the school district to identify pre-delinquent behavior; in conjunction with the RCMP Crime Prevention Unit, set up programs aimed at crime prevention.

Output: This service has approximately 600 clients with 2000 client visits for counselling services made each year. The budget includes approximately 7,000 hours of counselling services.



Key Program Statistics	2023	2024	2025
Cost per Capita	\$ 16.67	\$ 17.70	\$ 18.93

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	0.9	1.0	0.8	1.0	1.0	1.0	1.0	1.0
Langley Youth & Family Services								
Personnel & Benefits	78,000	94,220	71,861	92,320	95,090	97,950	100,890	103,900
Equipment	-	-	-	-	-	-	-	-
Contracted Services	426,307	450,540	424,394	438,880	438,880	438,880	438,880	438,880
Materials & Supplies	11,790	10,325	11,723	70,330	70,330	70,330	70,330	70,330
Langley Youth & Family Services Total	516,097	555,085	507,978	601,530	604,300	607,160	610,100	613,110

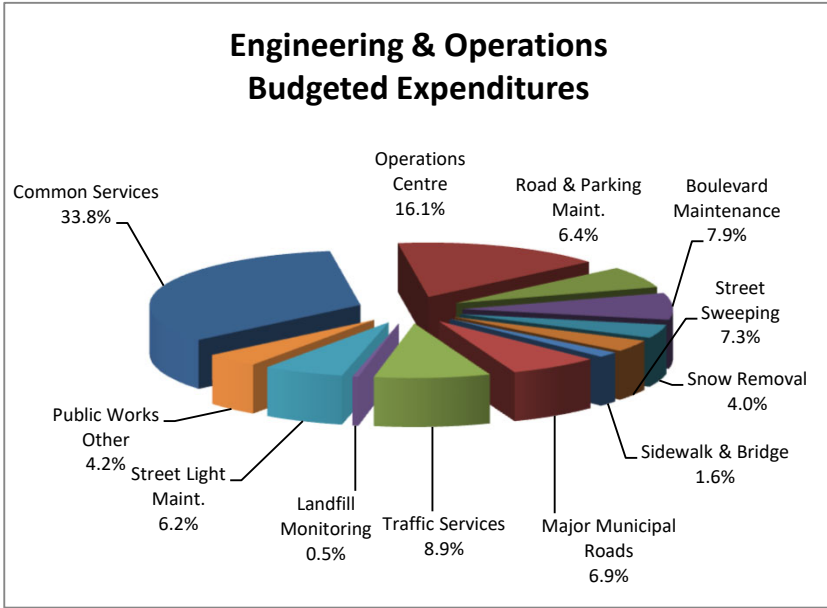
OTHER PROTECTIVE SERVICES

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Expenditures								
Dog Control	\$ 113,863	\$ 122,480	\$ 123,147	\$ 134,570	\$ 134,570	\$ 134,570	\$ 134,570	\$ 134,570
Emergency Planning	71,516	172,940	159,935	229,960	235,800	241,820	248,010	254,390
Search & Rescue	4,993	5,600	-	5,600	5,600	5,600	5,600	5,600
Victim/Witness Program	101,007	130,730	50,705	116,300	116,300	116,300	116,300	116,300
Total Expenditures	\$ 291,379	\$ 431,750	\$ 333,787	\$ 486,430	\$ 492,270	\$ 498,290	\$ 504,480	\$ 510,860

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	0.5	1.5	1.2	1.5	1.5	1.5	1.5	1.5
Other Protective Services								
Personnel & Benefits	68,274	169,080	157,029	194,600	200,440	206,460	212,650	219,030
Equipment	-	-	-	-	-	-	-	-
Contracted Services	220,629	258,810	173,336	266,470	266,470	266,470	266,470	266,470
Materials & Supplies	2,477	3,860	3,422	25,360	25,360	25,360	25,360	25,360
Other Protective Services Total	291,380	431,750	333,787	486,430	492,270	498,290	504,480	510,860

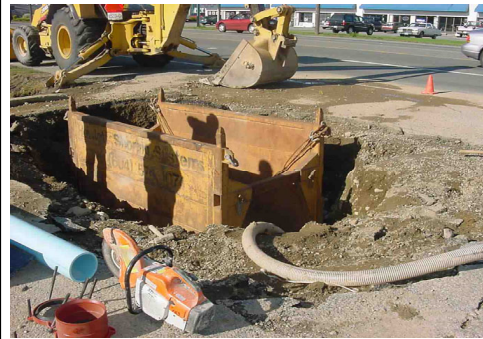
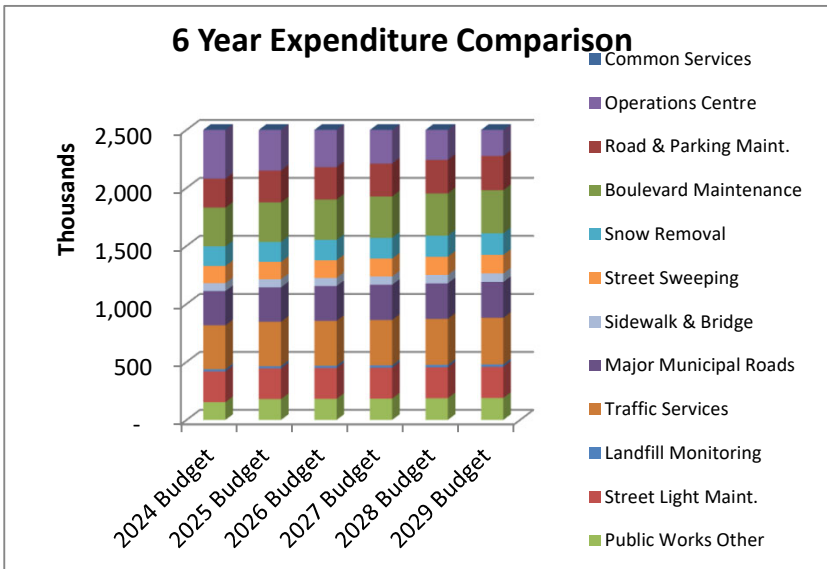
Engineering & Operations





Cost Centre Description:

The Engineering and Operations Department is responsible for the 'hidden' services that we have all come to rely on as part of our daily lives, whether at work or play. We strive to ensure that our infrastructure is planned and upgraded appropriately and timely to meet the current and future demands of the City; ensure that the roads and sidewalks are maintained in a safe condition to drive and walk on; ensure that our streetlights and traffic signals are properly maintained for safety and traffic flow reasons; ensure that the streets are swept regularly to remove dirt and debris; and ensure that the signage and lane markings are maintained to provide accurate and direct guidance to all road users.



ENGINEERING & OPERATIONS

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Expenditures								
Common Services	\$ 1,080,545	\$ 1,427,730	\$ 1,360,088	\$ 1,450,350	\$ 1,491,490	\$ 1,533,900	\$ 1,577,580	\$ 1,622,550
Operations Centre	617,146	686,630	646,388	692,840	709,120	725,870	743,120	760,910
Road & Parking Maint.	229,681	249,605	177,496	274,950	279,420	284,020	288,770	293,650
Boulevard Maintenance	341,025	334,350	323,467	340,790	348,340	356,110	364,120	372,370
Snow Removal	133,634	168,990	124,387	171,890	175,290	178,800	182,410	186,130
Street Sweeping	151,726	147,240	116,107	149,350	151,820	154,370	156,990	159,690
Sidewalk & Bridge	60,041	68,210	50,698	69,100	70,140	71,210	72,310	73,450
Major Municipal Roads	184,792	295,480	250,650	297,310	300,210	303,210	306,290	309,470
Traffic Services	346,585	378,030	362,646	382,060	386,790	391,680	396,710	401,890
Landfill Monitoring	14,325	19,530	11,179	19,550	19,580	19,610	19,640	19,670
Street Light Maint.	284,860	264,450	301,729	265,090	265,860	266,650	267,460	268,300
Public Works Other	157,987	153,820	139,240	179,610	182,110	184,670	187,330	190,080
Departmental Adjustments	(47,448)	(104,980)	-	(48,000)	(48,000)	(48,000)	(48,000)	(48,000)
Total Expenditures	\$ 3,554,899	\$ 4,089,085	\$ 3,864,075	\$ 4,244,890	\$ 4,332,170	\$ 4,422,100	\$ 4,514,730	\$ 4,610,160

DEPT. BUDGET SUMMARY

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	19.6	22.2	18.1	22.9	22.9	22.9	22.9	22.9

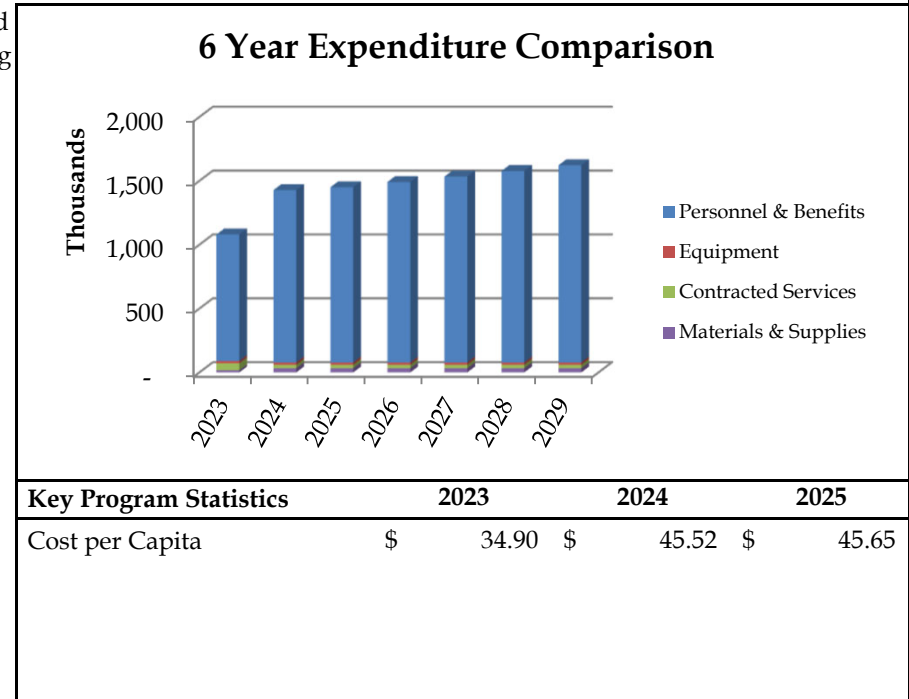
Operating Cost Summary

Personnel & Benefits	\$ 2,180,718	\$ 2,815,730	\$ 2,487,839	\$ 2,910,540	\$ 2,997,820	\$ 3,087,750	\$ 3,180,380	\$ 3,275,810
Equipment	143,207	160,000	202,544	220,980	220,980	220,980	220,980	220,980
Contracted Services	565,247	642,760	524,353	642,770	642,770	642,770	642,770	642,770
Materials & Supplies	665,727	470,595	649,339	470,600	470,600	470,600	470,600	470,600
Total Operating Cost	\$ 3,554,899	\$ 4,089,085	\$ 3,864,075	\$ 4,244,890	\$ 4,332,170	\$ 4,422,100	\$ 4,514,730	\$ 4,610,160

COMMON SERVICES

Program Description: This program provides engineering administration and management for various functions and activities within the Engineering and Operations Department.

Output: Provides office management and support services including record keeping, and work order controls. Performs survey work and inspection services, prepares engineering studies, ensures City maps are accurate and up to date, prepares conceptual designs and cost estimates for projects, performs capital project management, provides engineering review for all building and rezoning applications and permits.



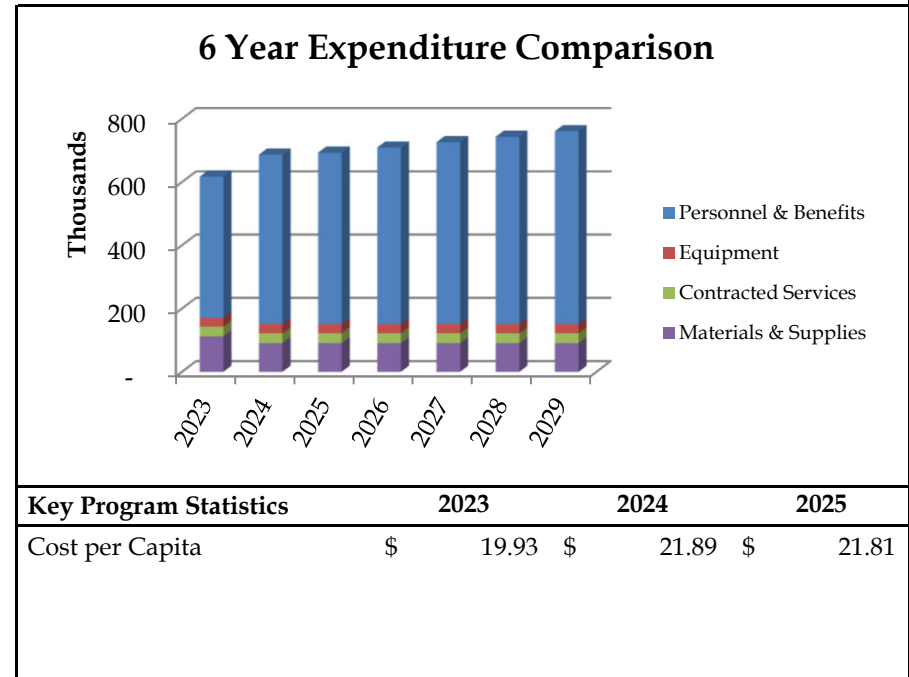
Key Program Statistics	2023	2024	2025
Cost per Capita	\$ 34.90	\$ 45.52	\$ 45.65

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	6.5	8.6	6.9	9.3	9.3	9.3	9.3	9.3
Common Services								
Personnel & Benefits	990,842	1,349,660	1,278,355	1,372,280	1,413,420	1,455,830	1,499,510	1,544,480
Equipment	18,130	18,000	17,850	18,000	18,000	18,000	18,000	18,000
Contracted Services	54,452	26,910	53,894	26,910	26,910	26,910	26,910	26,910
Materials & Supplies	17,121	33,160	9,989	33,160	33,160	33,160	33,160	33,160
Common Services Total	1,080,545	1,427,730	1,360,088	1,450,350	1,491,490	1,533,900	1,577,580	1,622,550

OPERATIONS CENTRE

Program Description: To provide for the day to day cost of operating the Operations Centre including the cost of the Buyer/Storekeeper and partial salaries of management and shop labour. Also included in this program are ancillary costs such as hydro, gas, telephone, janitorial services, and supplies.

Output: The Operations Centre provides an area to store the maintenance machinery, some water and sewer appurtenances, road salt and sand, and construction aggregate materials, all of which form an essential part of the overall maintenance of the city.



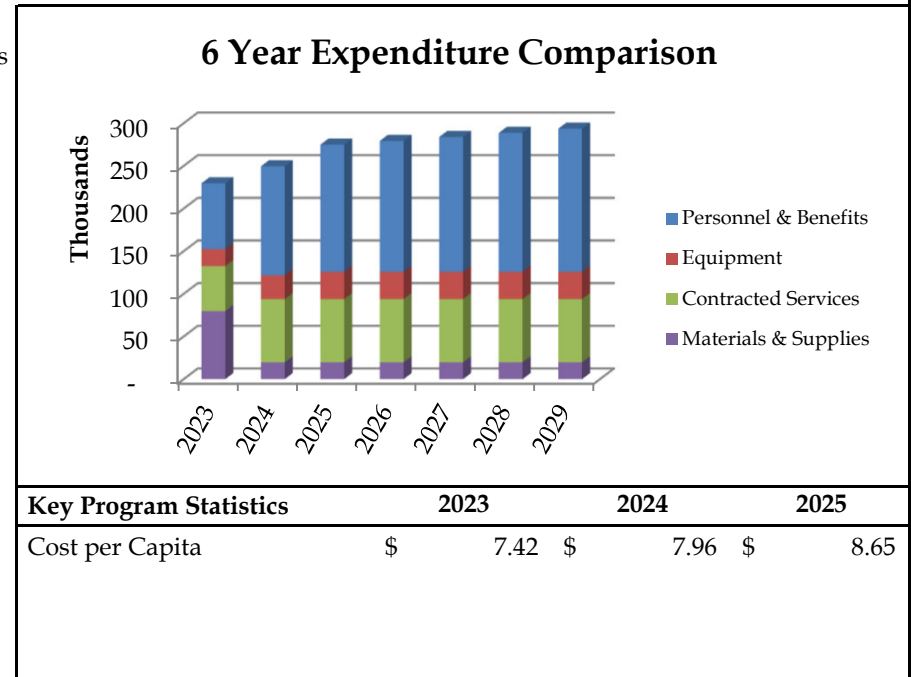
Key Program Statistics	2023	2024	2025
Cost per Capita	\$ 19.93	\$ 21.89	\$ 21.81

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	4.6	4.5	3.7	4.5	4.5	4.5	4.5	4.5
Operations Centre								
Personnel & Benefits	446,441	536,080	443,179	542,290	558,570	575,320	592,570	610,360
Equipment	28,205	29,000	31,370	29,000	29,000	29,000	29,000	29,000
Contracted Services	30,197	30,940	60,875	30,940	30,940	30,940	30,940	30,940
Materials & Supplies	112,303	90,610	110,964	90,610	90,610	90,610	90,610	90,610
Operations Centre Total	617,146	686,630	646,388	692,840	709,120	725,870	743,120	760,910

ROAD & PARKING MAINT.

Program Description: The Road and Parking Maintenance Program includes the maintenance of the road network and parking lot areas to ensure the safe and effective movement of traffic within our city.

Output: To ensure vehicles can operate safely while travelling within the city it is necessary for all roads to be structurally sound and free of defects. Some of the strategies that contribute to the road maintenance program include pot-hole repairs, crack sealing, lane grading, shoulder grading, shoulder gravelling, slot grinding and patching, and milling and paving. As well as addressing safety concerns a soundly designed road and parking lot maintenance program can extend the useful service life of some of the pavements, thus delaying capital costs needed for replacement.



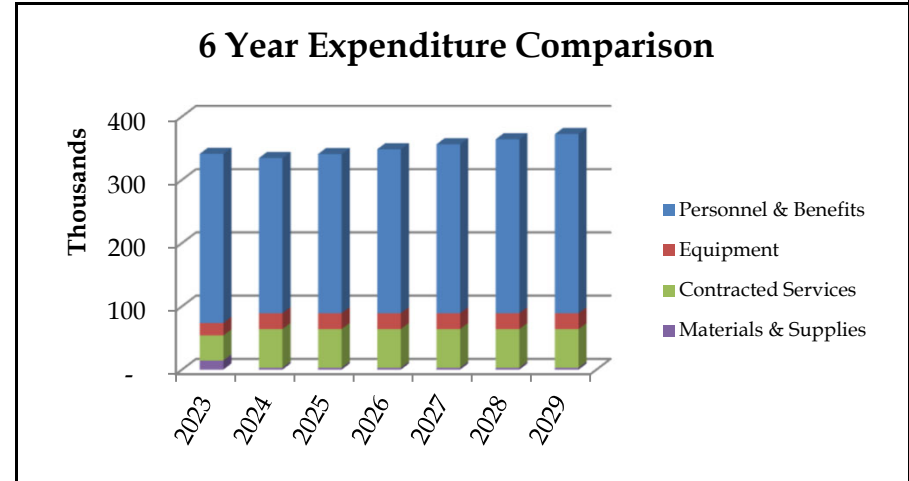
Key Program Statistics	2023	2024	2025
Cost per Capita	\$ 7.42	\$ 7.96	\$ 8.65

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	1.0	1.2	0.9	1.2	1.2	1.2	1.2	1.2
Road & Parking Maint.								
Personnel & Benefits	77,096	127,760	85,312	149,100	153,570	158,170	162,920	167,800
Equipment	19,944	27,880	17,612	31,880	31,880	31,880	31,880	31,880
Contracted Services	52,880	74,165	40,452	74,170	74,170	74,170	74,170	74,170
Materials & Supplies	79,761	19,800	34,120	19,800	19,800	19,800	19,800	19,800
Road & Parking Maint. Total	229,681	249,605	177,496	274,950	279,420	284,020	288,770	293,650

BOULEVARD MAINTENANCE

Program Description: The Boulevard Maintenance Program includes the removal of debris, unwanted vegetation, filling of depressions, repairs to curbs and gutters, and suppression of dust.

Output: Routine maintenance to boulevards contributes to the overall aesthetic appearance of the city and sets an example for our businesses and residents to follow. Addressing specific shortcomings within the boulevards demonstrates due diligence on our part respecting claims from accidents.



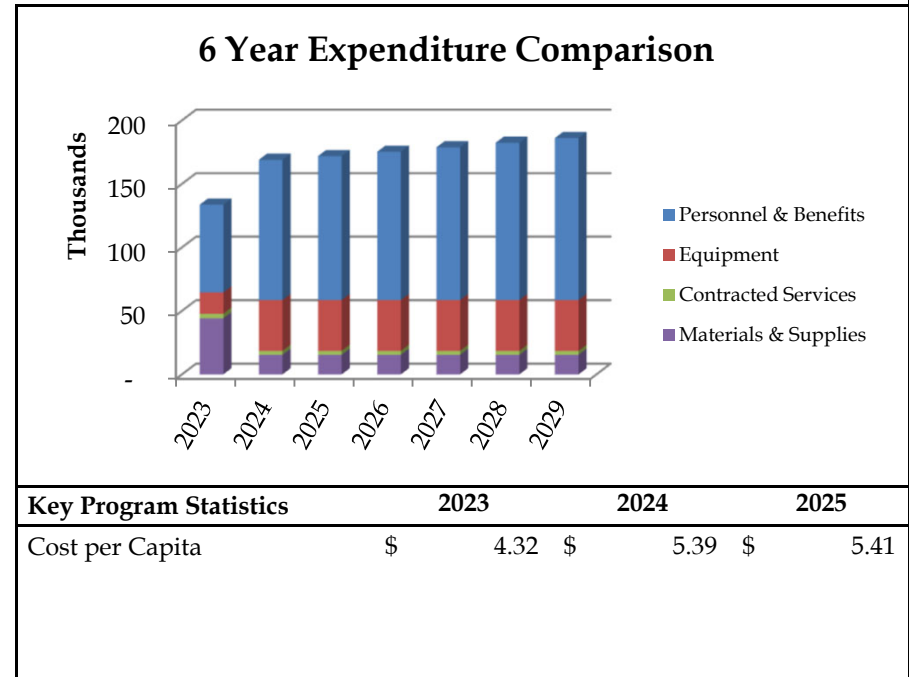
Key Program Statistics	2023	2024	2025
Cost per Capita	\$ 11.02	\$ 10.66	\$ 10.73

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	2.3	2.4	2.5	2.4	2.4	2.4	2.4	2.4
Boulevard Maintenance								
Personnel & Benefits	267,169	245,190	262,618	251,630	259,180	266,950	274,960	283,210
Equipment	19,918	25,000	31,022	25,000	25,000	25,000	25,000	25,000
Contracted Services	39,457	61,160	19,989	61,160	61,160	61,160	61,160	61,160
Materials & Supplies	14,481	3,000	9,838	3,000	3,000	3,000	3,000	3,000
Boulevard Maintenance Total	341,025	334,350	323,467	340,790	348,340	356,110	364,120	372,370

SNOW REMOVAL

Program Description: The Snow Removal Program includes the salting and sanding of every street within the city during a snow event. As well as ensuring our residents can move safely within the city it also demonstrates our commitment to them to provide a level of service that is superior to the other lower mainland municipalities.

Output: The intent of the Snow Removal Program is to keep the snow from preventing our residents from the free and safe movement within our city.



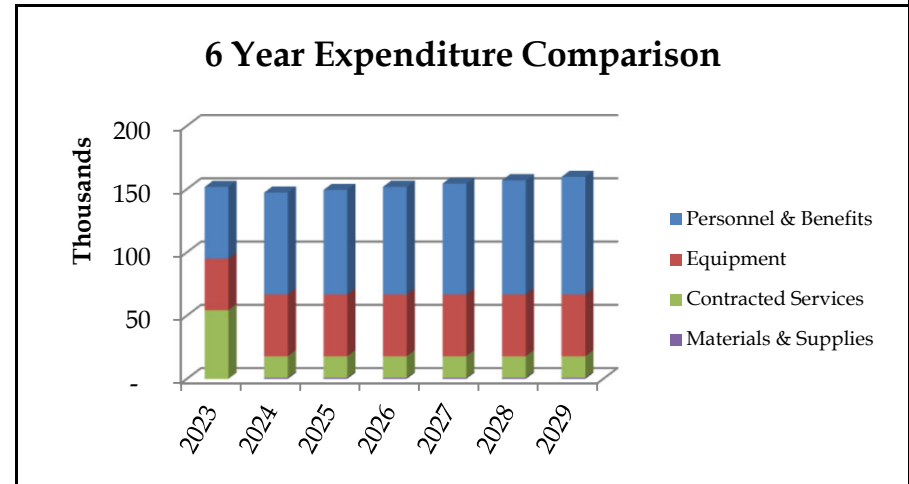
Key Program Statistics	2023	2024	2025
Cost per Capita	\$ 4.32	\$ 5.39	\$ 5.41

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	1.8	1.1	0.7	1.1	1.1	1.1	1.1	1.1
Snow Removal								
Personnel & Benefits	69,143	110,450	78,158	113,350	116,750	120,260	123,870	127,590
Equipment	16,690	40,000	18,808	40,000	40,000	40,000	40,000	40,000
Contracted Services	3,639	3,100	1,940	3,100	3,100	3,100	3,100	3,100
Materials & Supplies	44,162	15,440	25,481	15,440	15,440	15,440	15,440	15,440
Snow Removal Total	133,634	168,990	124,387	171,890	175,290	178,800	182,410	186,130

STREET SWEEPING

Program Description: The Street Sweeping Program, which includes the sweeping of the primary streets in the downtown core 3 days per week, the sweeping of the secondary streets such as 200th and 208th every 10 days, the sweeping of the residential streets on a semi-annual basis, the collection of litter, and the emptying of the garbage containers contributes to the overall aesthetic appearance of the city. A regular sweeping program also shows that we are being diligent with respect to eliminating some of the possible causes of accidents. As well, because the sweeper operates on an early morning shift it allows us to be aware of and react to conditions such as ice and snow or infrastructure failure prior to the morning rush.

Output: To ensure the streets are clean, free of debris, the garbage bins are emptied routinely, and litter is picked up on a daily basis.



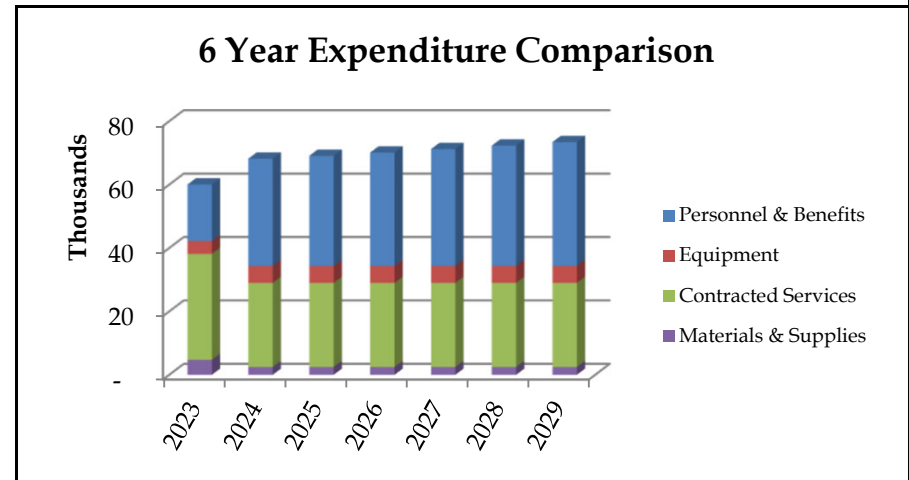
Key Program Statistics	2023	2024	2025
Cost per Capita	\$ 4.90	\$ 4.69	\$ 4.70

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	0.7	0.8	0.6	0.8	0.8	0.8	0.8	0.8
Street Sweeping								
Personnel & Benefits	56,558	80,330	58,858	82,440	84,910	87,460	90,080	92,780
Equipment	40,842	49,000	35,858	49,000	49,000	49,000	49,000	49,000
Contracted Services	54,326	16,910	21,231	16,910	16,910	16,910	16,910	16,910
Materials & Supplies	-	1,000	160	1,000	1,000	1,000	1,000	1,000
Street Sweeping Total	151,726	147,240	116,107	149,350	151,820	154,370	156,990	159,690

SIDEWALK & BRIDGE

Program Description: Sidewalk and bridge maintenance includes undertaking the repairs necessary to remedy trip hazards when identified by the public, sidewalk panel replacement due to excessive cracking or other failure, minor repairs to bridges, repairs to handrails, and installation and repair of wheel chair letdowns and other related infrastructure components.

Output: Properly maintained sidewalks and bridges allow for the free and safe movement of pedestrian and vehicle traffic throughout the city.



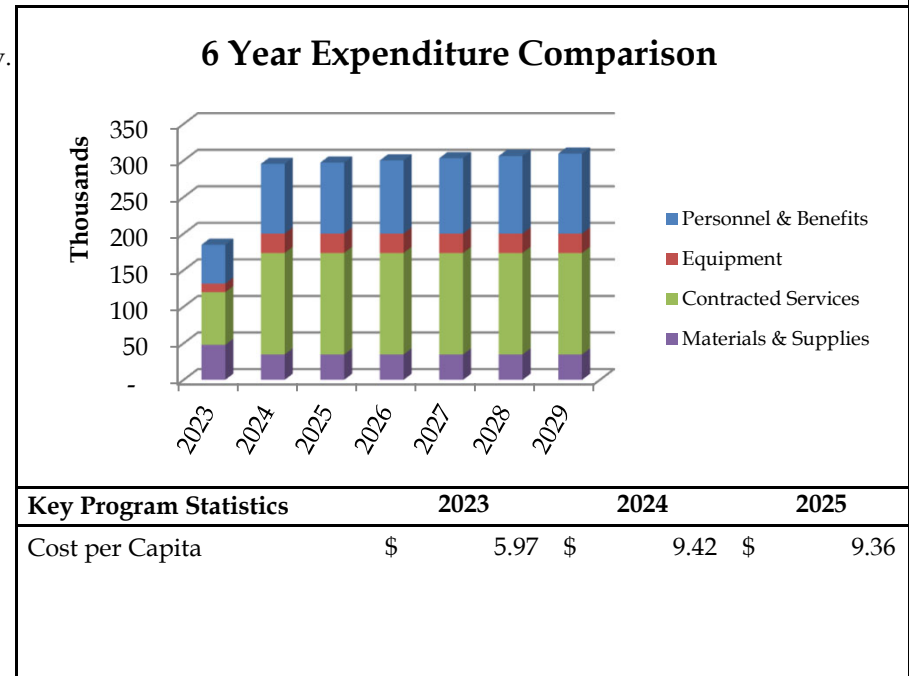
Key Program Statistics	2023	2024	2025
Cost per Capita	\$ 1.94	\$ 2.17	\$ 2.17

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	0.2	0.3	0.2	0.3	0.3	0.3	0.3	0.3
Sidewalk & Bridge								
Personnel & Benefits	17,835	33,810	20,866	34,700	35,740	36,810	37,910	39,050
Equipment	4,034	5,400	3,394	5,400	5,400	5,400	5,400	5,400
Contracted Services	33,404	26,500	21,378	26,500	26,500	26,500	26,500	26,500
Materials & Supplies	4,768	2,500	5,060	2,500	2,500	2,500	2,500	2,500
Sidewalk & Bridge Total	60,041	68,210	50,698	69,100	70,140	71,210	72,310	73,450

MAJOR MUNICIPAL ROADS

Program Description: Some of the services included in the Major Municipal Roads Program are road milling and paving, asphalt patching, snow removal, boulevard maintenance, curb and gutter repairs, crack sealing, minor bridge repairs, and repairs to sidewalks. Roads included in the program include 200 St, Fraser Hwy (West Municipal border to 203 St), Fraser Hwy (Langley Bypass to Municipal border), portions of Mufford Crescent, 203 Street, from Fraser Highway to Logan Avenue and the 204 St Overpass. Funding to maintain these roads is provided from Translink based on lane Km.

Output: An effective maintenance program will help ensure the safe and effective movement of pedestrian, pedestrian handicapped, and vehicle traffic throughout the city.



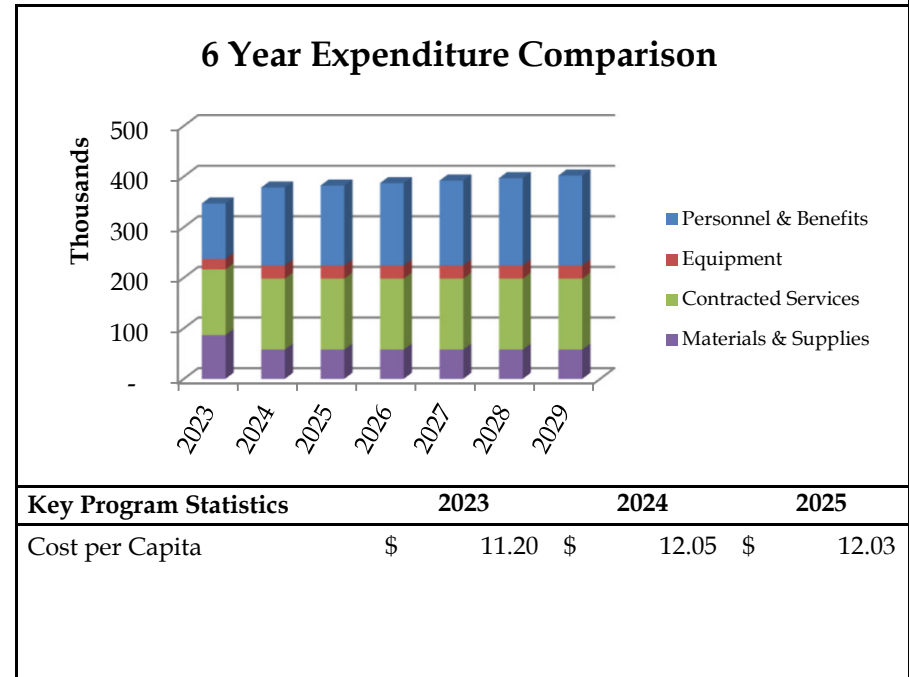
Key Program Statistics	2023	2024	2025
Cost per Capita	\$ 5.97	\$ 9.42	\$ 9.36

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	0.5	0.9	0.5	0.9	0.9	0.9	0.9	0.9
Major Municipal Roads								
Personnel & Benefits	53,202	95,400	54,965	97,220	100,120	103,120	106,200	109,380
Equipment	11,652	26,500	12,608	26,500	26,500	26,500	26,500	26,500
Contracted Services	72,069	138,865	114,105	138,870	138,870	138,870	138,870	138,870
Materials & Supplies	47,869	34,715	68,972	34,720	34,720	34,720	34,720	34,720
Major Municipal Roads Total	184,792	295,480	250,650	297,310	300,210	303,210	306,290	309,470

TRAFFIC SERVICES

Program Description: The Traffic Services Program includes the maintenance of all traffic control devices, street signs, lane marking, curb painting, and crosswalk marking. The proper operation of traffic control devices enables traffic to travel within the city in a safe and expeditious manner. Signs are maintained to ensure they properly display information and are visible in all weather conditions. Curb marking is routinely repainted to discourage parking in front of fire hydrants or in proximity to stop signs. Routine crosswalk marking painting is required to facilitate the safe crossing of roads by pedestrians.

Output: To enable the safe and effective movement of vehicular, pedestrian, and pedestrian handicapped traffic throughout the city.



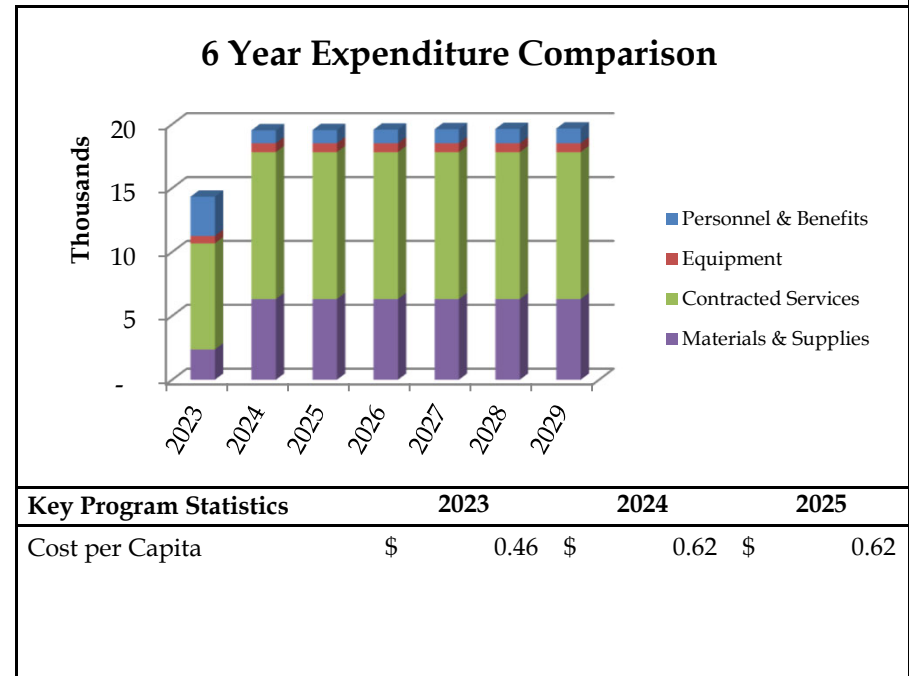
Key Program Statistics	2023	2024	2025
Cost per Capita	\$ 11.20	\$ 12.05	\$ 12.03

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	1.1	1.5	1.1	1.5	1.5	1.5	1.5	1.5
Traffic Services								
Personnel & Benefits	109,518	153,740	116,769	157,770	162,500	167,390	172,420	177,600
Equipment	20,910	26,200	22,386	26,200	26,200	26,200	26,200	26,200
Contracted Services	129,488	140,200	110,465	140,200	140,200	140,200	140,200	140,200
Materials & Supplies	86,669	57,890	113,026	57,890	57,890	57,890	57,890	57,890
Traffic Services Total	346,585	378,030	362,646	382,060	386,790	391,680	396,710	401,890

LANDFILL MONITORING

Program Description: The city is required to monitor the groundwater leachage levels from the old landfill site. It is tested monthly for organic constituents, dissolved metals, inorganic nonmetallics, and trace metals. Although the samples are collected and submitted by city staff the testing is conducted by a private laboratory.

Output: To meet the Provincial requirements the Landfill Monitoring program is essential to our operation.



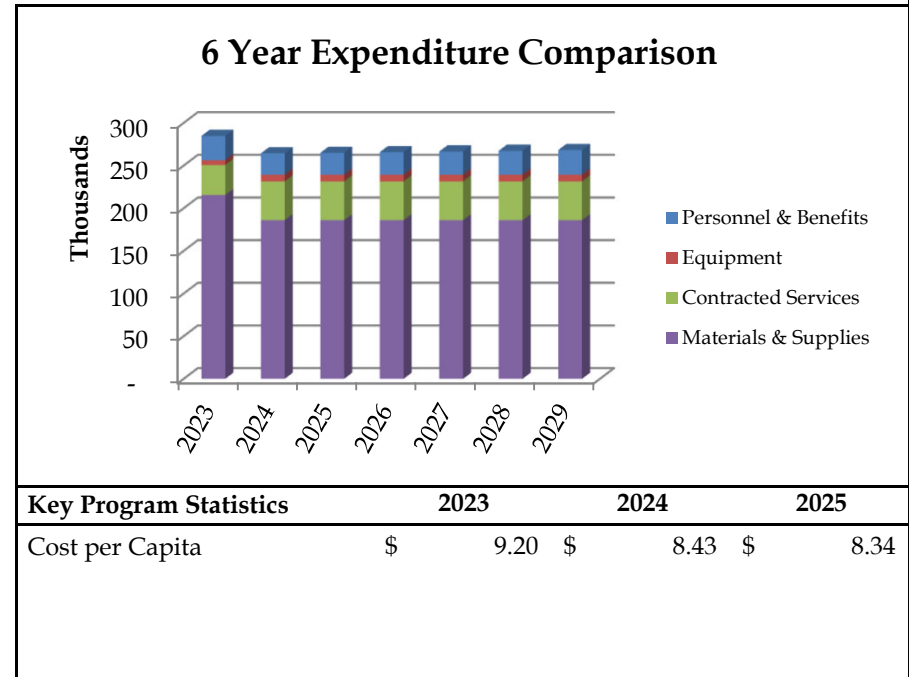
Key Program Statistics	2023	2024	2025
Cost per Capita	\$ 0.46	\$ 0.62	\$ 0.62

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	0.1	0.1	0.1	0.1	0.1	0.1	0.1	0.1
Landfill Monitoring								
Personnel & Benefits	3,059	1,010	772	1,030	1,060	1,090	1,120	1,150
Equipment	588	700	144	700	700	700	700	700
Contracted Services	8,302	11,500	8,049	11,500	11,500	11,500	11,500	11,500
Materials & Supplies	2,376	6,320	2,214	6,320	6,320	6,320	6,320	6,320
Landfill Monitoring Total	14,325	19,530	11,179	19,550	19,580	19,610	19,640	19,670

STREET LIGHT MAINT.

Program Description: The Street Light Maintenance Program includes the replacement of street light bulbs, poles, ballast, and light heads to ensure adequate levels of illumination throughout the city.

Output: A properly designed and executed street light program will ensure the streets and sidewalks are adequately illuminated so that our residents can safely navigate the streets and sidewalks after dark



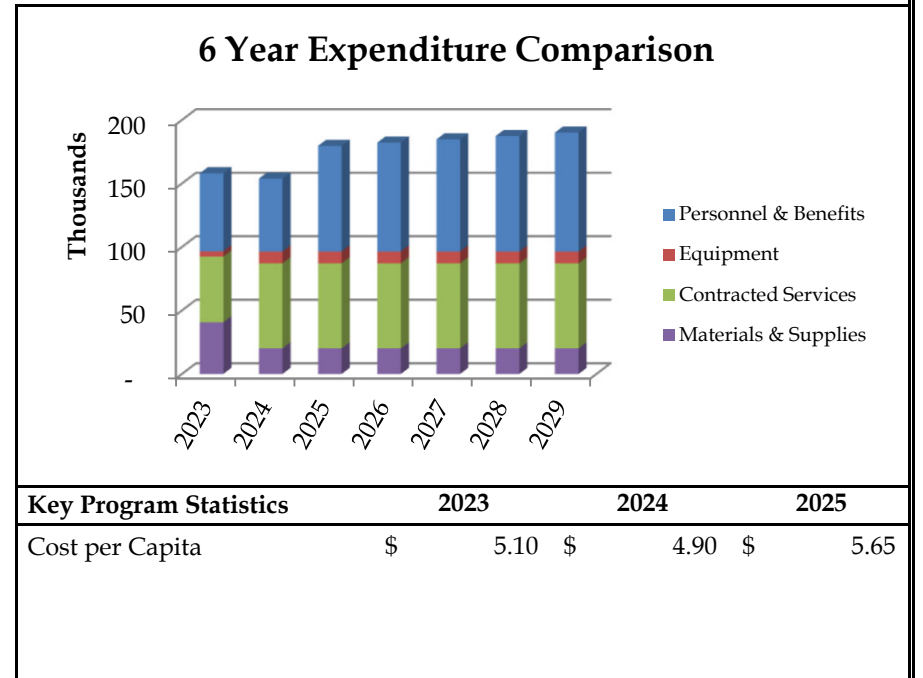
Key Program Statistics	2023	2024	2025
Cost per Capita	\$ 9.20	\$ 8.43	\$ 8.34

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	0.3	0.2	0.3	0.2	0.2	0.2	0.2	0.2
Street Light Maint.								
Personnel & Benefits	28,464	24,920	28,991	25,560	26,330	27,120	27,930	28,770
Equipment	5,630	8,000	5,352	8,000	8,000	8,000	8,000	8,000
Contracted Services	35,277	45,530	37,960	45,530	45,530	45,530	45,530	45,530
Materials & Supplies	215,489	186,000	229,426	186,000	186,000	186,000	186,000	186,000
Street Light Maint. Total	284,860	264,450	301,729	265,090	265,860	266,650	267,460	268,300

PUBLIC WORKS OTHER

Program Description: The Public Works Other program includes the training of staff so that they meet the current standards respecting safety and system operation, the supply of safety equipment necessary to perform their duties, the repair to city owned property damaged by vandalism, the installation of banners and signs for non-profit organizations, the maintenance of the city bus shelters, fence repairs, and the testing of our potable water as required in the Drinking Water Protection Act.

Output: This program helps to ensure we are meeting all regulatory requirements and that our staff are performing their duties in a safe and healthy environment.

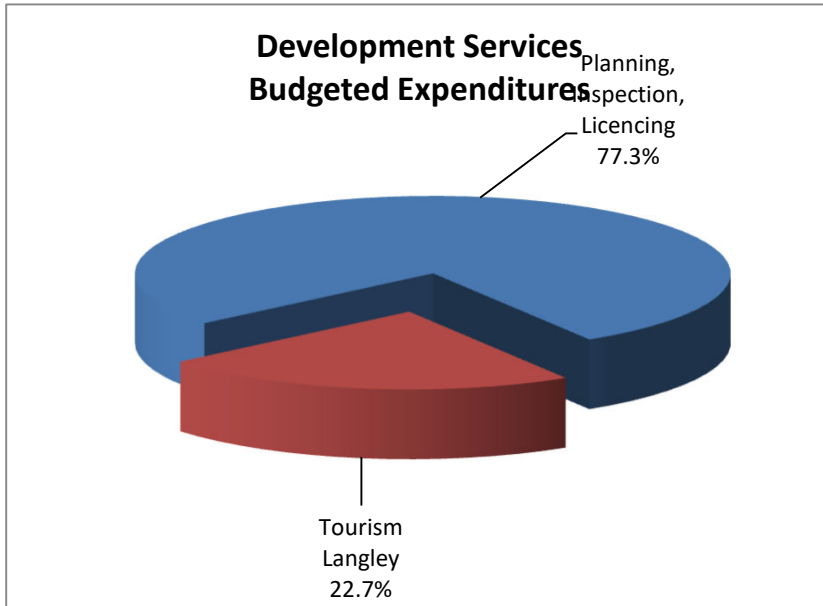


Key Program Statistics	2023	2024	2025
Cost per Capita	\$ 5.10	\$ 4.90	\$ 5.65

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	0.5	0.6	0.6	0.6	0.6	0.6	0.6	0.6
Public Works Other								
Personnel & Benefits	61,391	57,380	58,996	83,170	85,670	88,230	90,890	93,640
Equipment	4,112	9,300	6,140	9,300	9,300	9,300	9,300	9,300
Contracted Services	51,756	66,980	34,015	66,980	66,980	66,980	66,980	66,980
Materials & Supplies	40,728	20,160	40,089	20,160	20,160	20,160	20,160	20,160
Public Works Other Total	157,987	153,820	139,240	179,610	182,110	184,670	187,330	190,080

Development Services

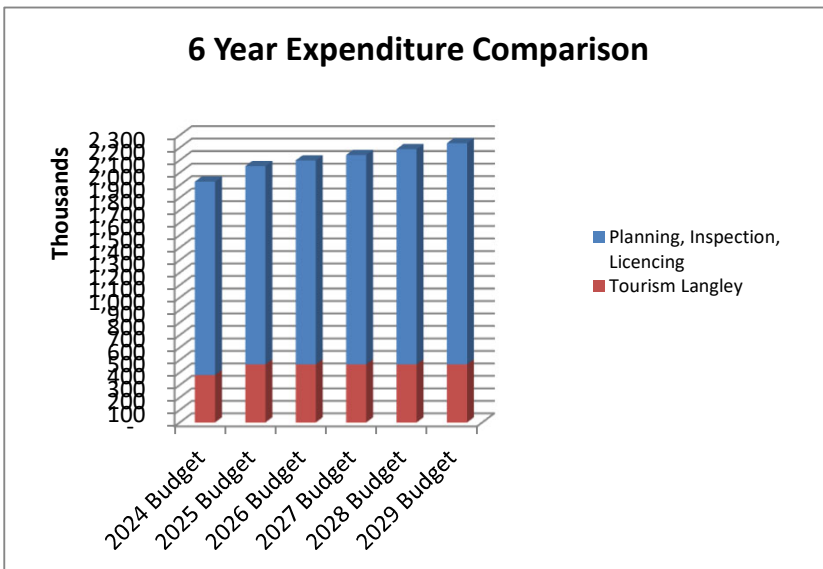




Cost Centre Description:

The Development Services Department (Planning, Building, Business Licence) is responsible for the management and operation of the following activities:

- 1) Development Application Processing: to ensure development applications comply with City bylaws, policies, and Provincial regulations.
- 2) Long Range Planning: including research, formulation of strategies and concepts which eventually are reflected in the Official Community Plan.
- 3) Special Project Planning.



DEVELOPMENT SERVICES

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Expenditures								
Planning, Inspection, Licencing	\$ 1,301,418	\$ 1,548,030	\$ 1,323,379	\$ 1,587,000	\$ 1,633,180	\$ 1,676,400	\$ 1,723,100	\$ 1,771,220
Tourism Langley	449,331	380,270	368,786	465,270	465,270	465,270	465,270	465,270
Departmental Adjustments	(5,421)	(7,000)	-	(5,500)	(5,500)	(5,500)	(5,500)	(5,500)
Total Expenditures	\$ 1,745,328	\$ 1,921,300	\$ 1,692,165	\$ 2,046,770	\$ 2,092,950	\$ 2,136,170	\$ 2,182,870	\$ 2,230,990

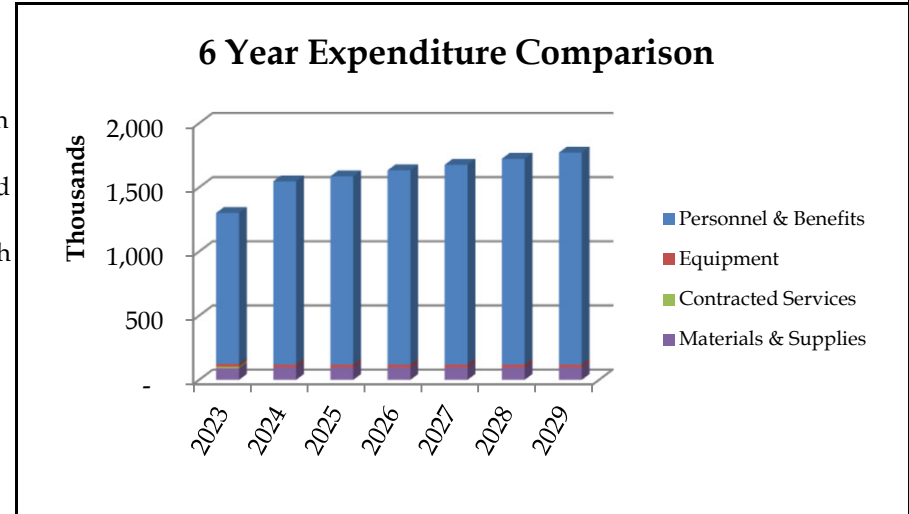
DEPT. BUDGET SUMMARY

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	7.6	9.2	8.0	9.2	9.2	9.2	9.2	9.2
Operating Cost Summary								
Personnel & Benefits	\$ 1,177,242	\$ 1,429,140	\$ 1,244,948	\$ 1,468,110	\$ 1,514,290	\$ 1,557,510	\$ 1,604,210	\$ 1,652,330
Equipment	16,335	15,000	19,880	16,500	16,500	16,500	16,500	16,500
Contracted Services	460,566	380,270	374,371	465,270	465,270	465,270	465,270	465,270
Materials & Supplies	91,185	96,890	52,966	96,890	96,890	96,890	96,890	96,890
Total Operating Cost	\$ 1,745,328	\$ 1,921,300	\$ 1,692,165	\$ 2,046,770	\$ 2,092,950	\$ 2,136,170	\$ 2,182,870	\$ 2,230,990

PLANNING, INSPECTION, LICENCING

Program Description: This program supplies services related to the planning and development of the City. The program’s activities are directed in four main areas: Community Planning; Building Inspection, Permits and Licenses.

Output: The Department is responsible for providing professional planning advice to Council including the preparation of the Official Community Plan (OCP) and other planning policy documents. The Department is also responsible for processing a variety of development applications to ensure effective land-use planning and conformance with regulatory bylaws, policies and legislation, including: OCP Amendments, Zoning Bylaw Amendments, Development Permits, Development Variance Permits, Subdivisions, Land Use Contract Amendments, Building Permits, Plumbing Permits and Sign Permits. In addition, the Department is responsible for Business Licensing to ensure compliance with City bylaws as well as provincial standards and legislation.



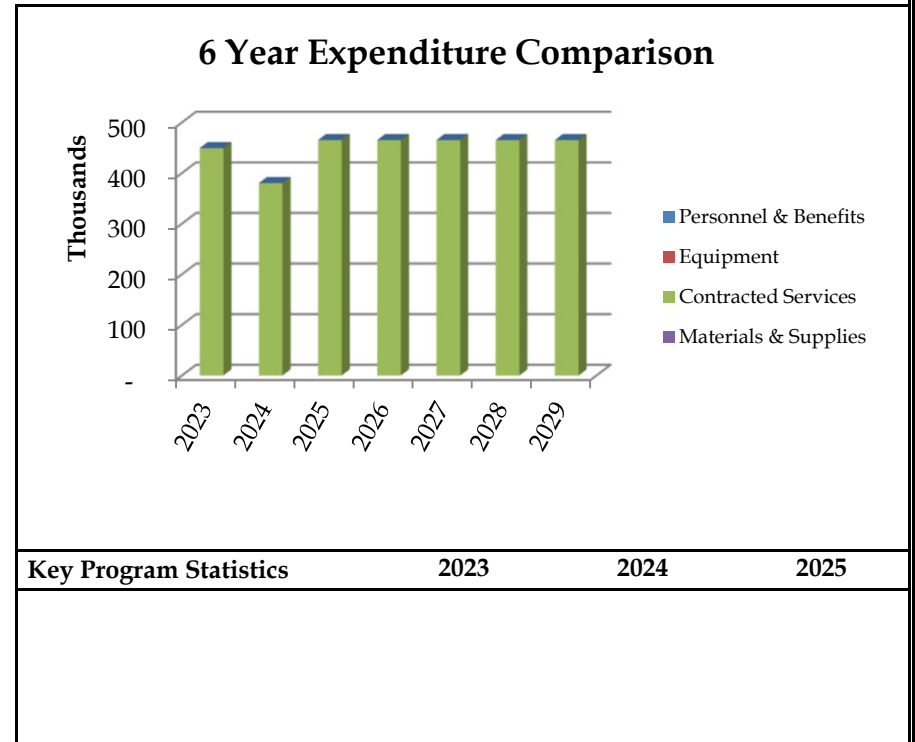
Key Program Statistics	2023	2024	2025
Cost per Capita	\$ 42.04	\$ 49.36	\$ 49.95

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	7.6	9.2	8.0	9.2	9.2	9.2	9.2	9.2
Planning, Inspection, Licencing								
Personnel & Benefits	1,177,242	1,429,140	1,244,948	1,468,110	1,514,290	1,557,510	1,604,210	1,652,330
Equipment	21,756	22,000	19,880	22,000	22,000	22,000	22,000	22,000
Contracted Services	11,235	-	5,585	-	-	-	-	-
Materials & Supplies	91,185	96,890	52,966	96,890	96,890	96,890	96,890	96,890
Planning, Inspection, Licencing Tot	1,301,418	1,548,030	1,323,379	1,587,000	1,633,180	1,676,400	1,723,100	1,771,220

TOURISM PROMOTION

Program Description: This program provides the funding for an annual allocation to Discover Langley City which provides tourism and promotion services to the City.

Output: The City of Langley's commitment to fund the Discover Langley City is limited to reallocating the revenue from the City's 2% Hotel Tax Revenue and a base operating fee.

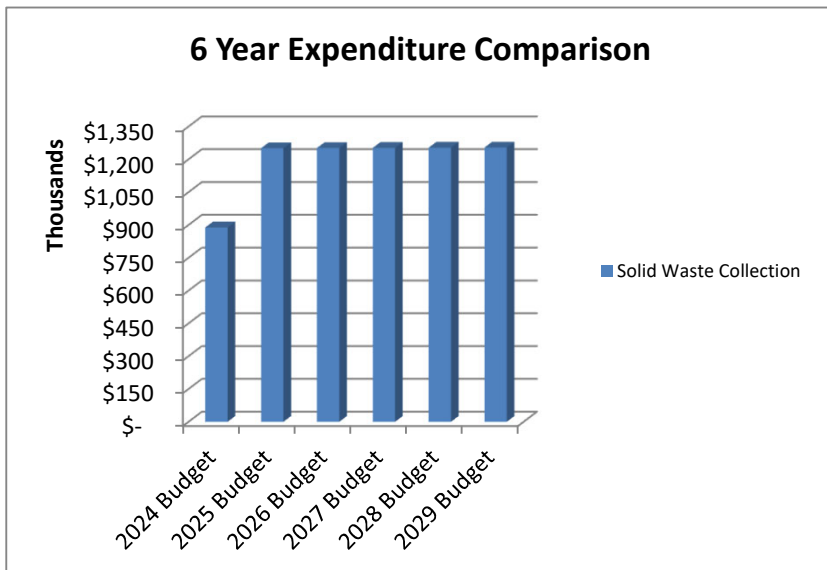
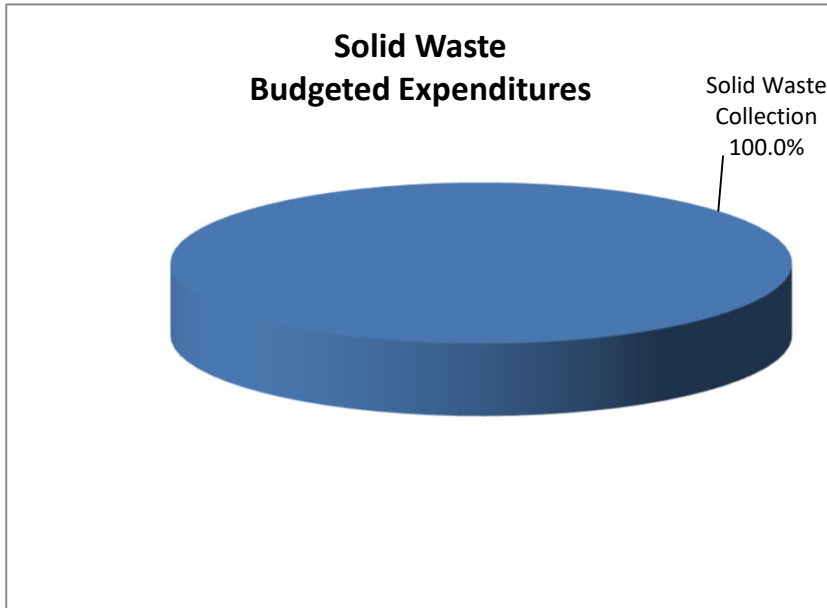


Key Program Statistics	2023	2024	2025

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Tourism Promotion								
Personnel & Benefits	-	-	-	-	-	-	-	-
Equipment	-	-	-	-	-	-	-	-
Contracted Services	449,331	380,270	368,786	465,270	465,270	465,270	465,270	465,270
Materials & Supplies	-	-	-	-	-	-	-	-
Tourism Promotion Total	449,331	380,270	368,786	465,270	465,270	465,270	465,270	465,270

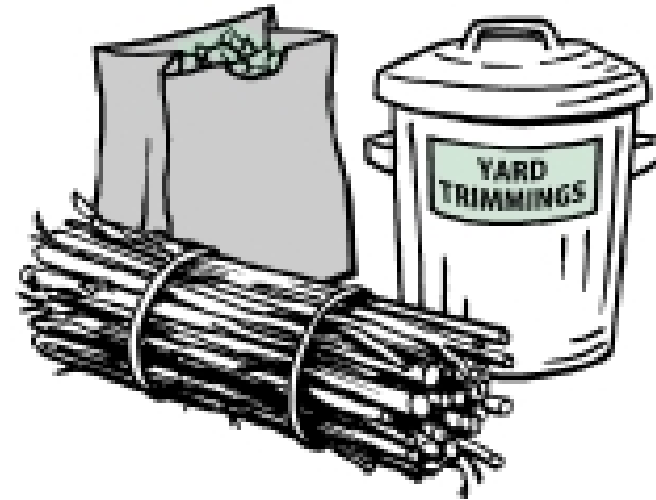
Solid Waste





Cost Centre Description:

The City strives to provide reliable bi-weekly garbage and weekly curbside green waste collection and disposal services to the residents of the City. The curbside greenwaste collection program offers our residents an environmentally friendly alternative to dispose their greenwaste while reducing the cost of garbage disposal. The City also provides 4 large items to be picked up throughout the year.



SOLID WASTE

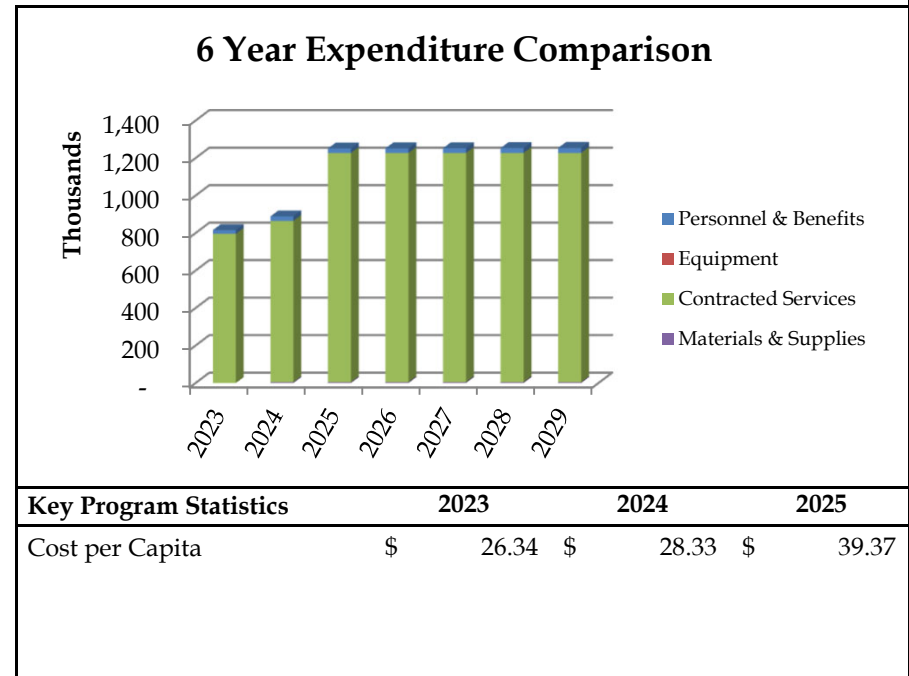
	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Expenditures								
Solid Waste Collection	\$ 815,521	\$ 888,660	\$ 855,803	\$ 1,250,960	\$ 1,251,670	\$ 1,252,400	\$ 1,253,150	\$ 1,253,920
Departmental Adjustments	-	-	-	-	-	-	-	-
Total Expenditures	\$ 815,521	\$ 888,660	\$ 855,803	\$ 1,250,960	\$ 1,251,670	\$ 1,252,400	\$ 1,253,150	\$ 1,253,920

DEPT. BUDGET SUMMARY	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	0.1	0.1	0.1	0.1	0.1	0.1	0.1	0.1
Operating Cost Summary								
Personnel & Benefits	\$ 19,707	\$ 23,740	\$ 11,258	\$ 23,550	\$ 24,260	\$ 24,990	\$ 25,740	\$ 26,510
Equipment	-	-	-	-	-	-	-	-
Contracted Services	795,814	859,920	844,545	1,222,410	1,222,410	1,222,410	1,222,410	1,222,410
Materials & Supplies	-	5,000	-	5,000	5,000	5,000	5,000	5,000
Total Operating Cost	\$ 815,521	\$ 888,660	\$ 855,803	\$ 1,250,960	\$ 1,251,670	\$ 1,252,400	\$ 1,253,150	\$ 1,253,920

SOLID WASTE COLLECTION

Program Description: Provision for City contractors to collect garbage from the City's residential users on a bi-weekly basis and green waste collection on a weekly basis. This program also provides funding for the large item pickup available to residences up to 4 times per year.

Output: In 2025 this service was enhanced and will supply single family homes with rolling totes and semi-automated collection of garbage on a bi-weekly basis and green waste collection weekly. Residential Strata units and Commercial users are responsible for their own garbage disposal.



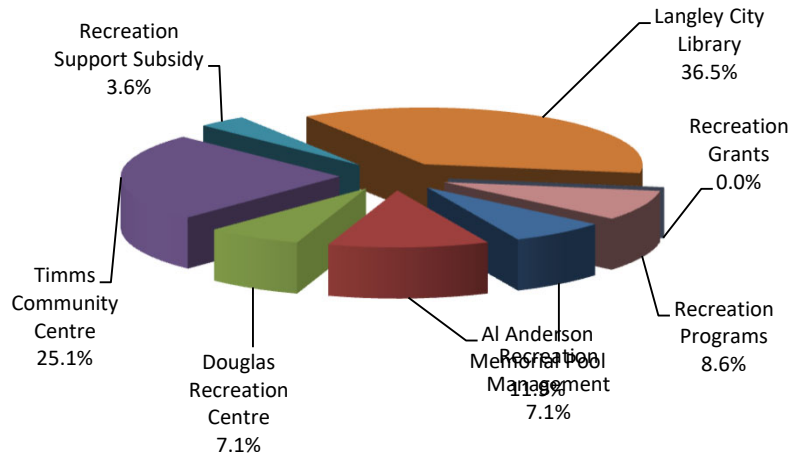
Key Program Statistics	2023	2024	2025
Cost per Capita	\$ 26.34	\$ 28.33	\$ 39.37

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	0.1	0.1	0.1	0.1	0.1	0.1	0.1	0.1
Solid Waste Collection								
Personnel & Benefits	19,707	23,740	11,258	23,550	24,260	24,990	25,740	26,510
Equipment	-	-	-	-	-	-	-	-
Contracted Services	795,814	859,920	844,545	1,222,410	1,222,410	1,222,410	1,222,410	1,222,410
Materials & Supplies	-	5,000	-	5,000	5,000	5,000	5,000	5,000
Solid Waste Collection Total	815,521	888,660	855,803	1,250,960	1,251,670	1,252,400	1,253,150	1,253,920

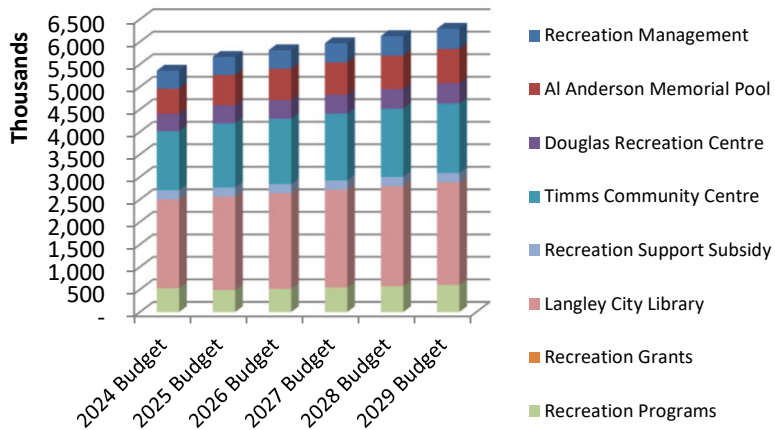
Recreation, Culture & Community Services



Recreation, Culture & Community Services Budgeted Expenditures



6 Year Expenditure Comparison



Cost Centre Description:

The Recreation, Culture and Community Services Department strives to provide leisure opportunities for all the citizens of the City; to encourage community pride; to promote a sense of community belonging; to promote a sense of self-worth; to encourage family development; and to develop healthy lifestyles through active living and healthy life choices. We strive to create unique and enjoyable programs in as wide a range of activities as possible.

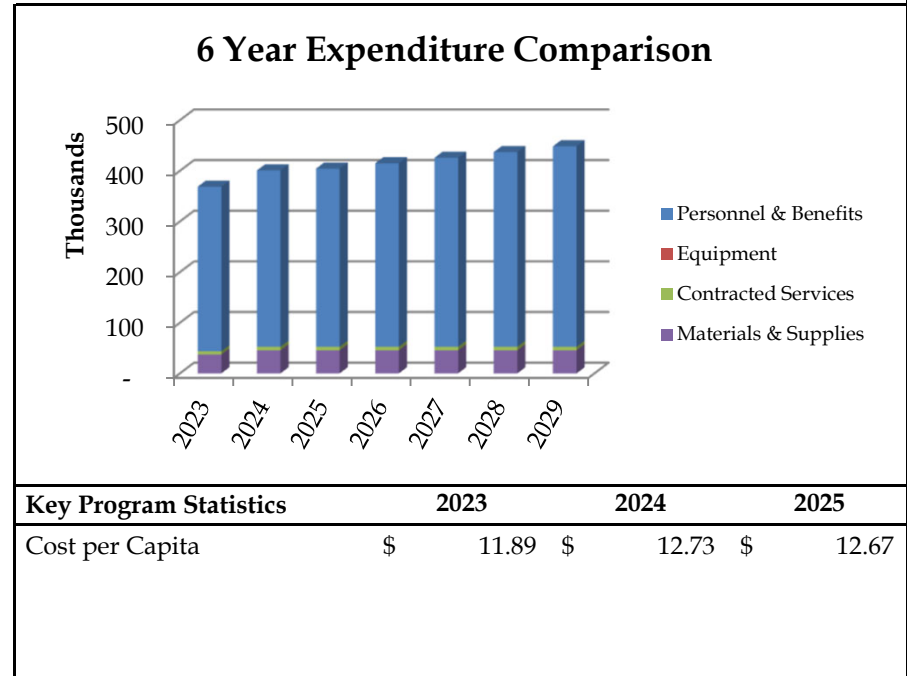


RECREATION, CULTURE & COMMUNITY SERVICES								
	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Expenditures								
Recreation Management	\$ 368,014	\$ 399,135	\$ 367,185	\$ 402,700	\$ 413,250	\$ 424,120	\$ 435,310	\$ 446,830
Al Anderson Memorial Pool	448,423	558,810	521,814	672,500	694,520	717,190	740,570	764,630
Douglas Recreation Centre	337,199	388,140	284,340	401,370	413,360	425,690	438,400	451,500
Timms Community Centre	1,125,217	1,307,730	1,049,328	1,424,110	1,452,470	1,481,670	1,511,760	1,542,740
Recreation Support Subsidy	206,740	206,140	206,140	206,140	206,140	206,140	206,140	206,140
Langley City Library	1,858,767	1,970,865	1,843,832	2,070,020	2,120,150	2,171,780	2,224,960	2,279,730
Recreation Grants	(422)	460	-	460	460	460	460	460
Recreation Programs	403,479	528,700	342,697	489,200	515,840	543,260	571,510	600,630
Departmental Adjustments	(299)	(750)	-	(300)	(300)	(300)	(300)	(300)
Total Expenditures	\$ 4,747,118	\$ 5,359,230	\$ 4,615,336	\$ 5,666,200	\$ 5,815,890	\$ 5,970,010	\$ 6,128,810	\$ 6,292,360
DEPT. BUDGET SUMMARY								
	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	33.1	35.4	39.9	43.8	43.8	43.8	43.8	43.8
Operating Cost Summary								
Program Revenues	(1,103,027)	(901,460)	(1,242,141)	(1,219,940)	(1,219,940)	(1,219,940)	(1,219,940)	(1,219,940)
Personnel & Benefits	\$ 2,697,271	\$ 2,907,070	\$ 2,861,842	\$ 3,312,170	\$ 3,411,540	\$ 3,513,840	\$ 3,619,260	\$ 3,727,830
Equipment	902	350	747	800	800	800	800	800
Contracted Services	2,764,328	2,918,780	2,637,233	3,053,180	3,103,500	3,155,320	3,208,700	3,263,680
Materials & Supplies	387,644	434,490	357,655	519,990	519,990	519,990	519,990	519,990
Total Operating Cost	\$ 4,747,118	\$ 5,359,230	\$ 4,615,336	\$ 5,666,200	\$ 5,815,890	\$ 5,970,010	\$ 6,128,810	\$ 6,292,360

RECREATION MANAGEMENT

Program Description: This program supplies the City’s Recreation, Culture and Community Services Department’s management requirements which include overall supervision of Douglas Recreation Centre; Al Anderson Memorial Pool; Timms Community Centre; Nicomekl Community Multipurpose Room; the Parks and Recreation Commission & the Public Art Advisory Committee. The management requirements also include budget preparation for the department, daily cash management, staff scheduling, Point of Pride Programs; community development and event planning.

Output: Manage the department’s budget including staff timesheets; daily and biweekly cash reports; issuance and approval of purchase orders; weekly staff schedules for 3 facilities; staff training and communication; Leisure Access Grant management; departmental policy and procedures and community development and liaising. The main source of expenditure is Personnel & Benefits for Director of Recreation, Culture and Community Services. Provision for Market in the Park on a weekly basis for 3 months of the year.



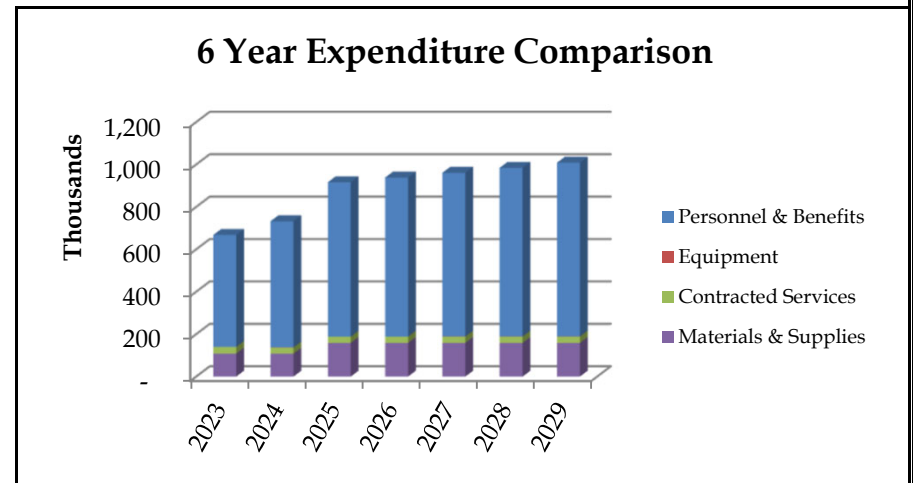
Key Program Statistics	2023	2024	2025
Cost per Capita	\$ 11.89	\$ 12.73	\$ 12.67

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0
Recreation Management								
Program Revenues	(585)	(1,530)	(731)	(1,530)	(1,530)	(1,530)	(1,530)	(1,530)
Personnel & Benefits	325,160	348,120	320,476	351,680	362,230	373,100	384,290	395,810
Equipment	-	-	24	-	-	-	-	-
Contracted Services	6,323	7,000	5,539	7,000	7,000	7,000	7,000	7,000
Materials & Supplies	37,116	45,545	41,877	45,550	45,550	45,550	45,550	45,550
Recreation Management Total	368,014	399,135	367,185	402,700	413,250	424,120	435,310	446,830

AL ANDERSON MEMORIAL POOL

Program Description: This program supplies the entire City with its outdoor aquatic recreation from swimming lessons to public swims to special events. This program has funding allocated for program supplies, facility maintenance, aquatic staff, clerical staff and janitorial staff.

Output: 20-week operation open to the public. Over 2500 participants in swimming lessons. Approximately 1400 Operation Waterproof Grade Five swim participants; 8 special events; 1300 hours of public swimming; 24 volunteer positions and 110 season pass holders. The main source of expenditure is Personnel and Benefits which includes the following positions: a Recreation Programmer; 4 Shift Supervisors; 20+ Lifeguards/Instructors; 3 reception staff and 2 Building Service Workers.



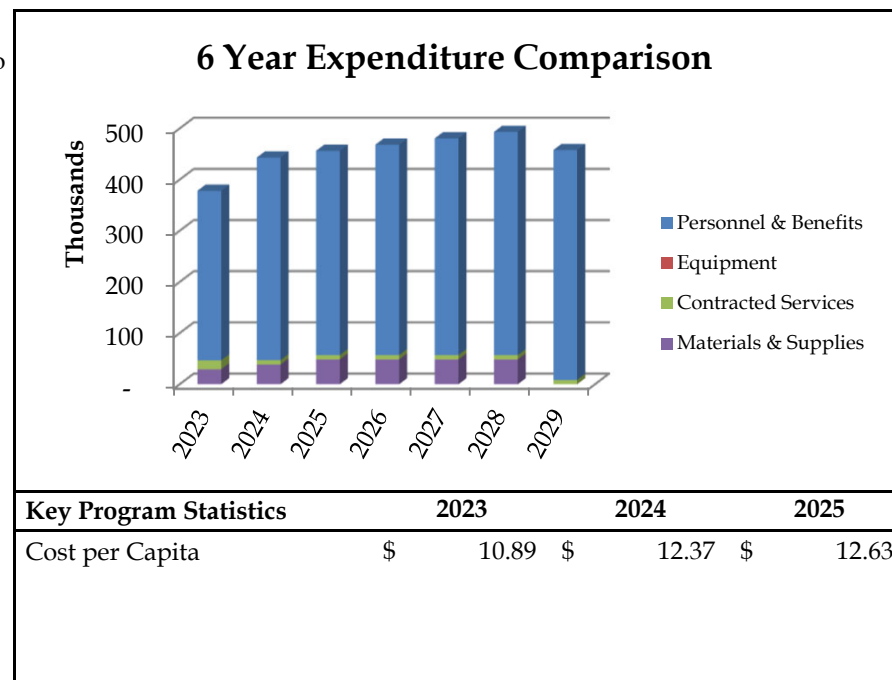
Key Program Statistics	2023	2024	2025
Cost per Capita	\$ 14.48	\$ 17.82	\$ 21.17

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	7.3	8.2	7.8	10.2	10.2	10.2	10.2	10.2
Al Anderson Memorial Pool								
Program Revenues	(219,688)	(173,920)	(237,593)	(244,070)	(244,070)	(244,070)	(244,070)	(244,070)
Personnel & Benefits	527,683	595,020	568,606	727,700	749,530	772,010	795,190	819,040
Equipment	413	600	480	600	600	600	600	600
Contracted Services	31,287	28,500	54,618	29,260	29,450	29,640	29,840	30,050
Materials & Supplies	108,728	108,610	135,703	159,010	159,010	159,010	159,010	159,010
Al Anderson Memorial Pool Total	448,423	558,810	521,814	672,500	694,520	717,190	740,570	764,630

DOUGLAS RECREATION CENTRE

Program Description: This program supplies the entire City with leisure programs, special events, facility rentals and volunteer opportunities. This program also provides reception duties, departmental promotions and flyer development; Building Service and Maintenance. This program has funding allocated for supplies to support the functioning of clerical and management staff, building supplies and operating needs such as power, heat and light.

Output: Staffing of the facility 6 days a week. Office hours are Monday to Friday 8:30am to 7pm; Saturday 8:30am to 4:30pm. In addition the facility is open on Sundays 8:30am to 4:30pm May through August. Provides a clean, safe environment in which to recreate. Weekly drop-in activities for preschoolers. Instructor recruitment, hiring and training, program development; program supervision and program evaluation. Brochure development, design and distribution on a seasonal basis. Parties in the Park; Summer/Winter Camps and Pro-D Day programming.



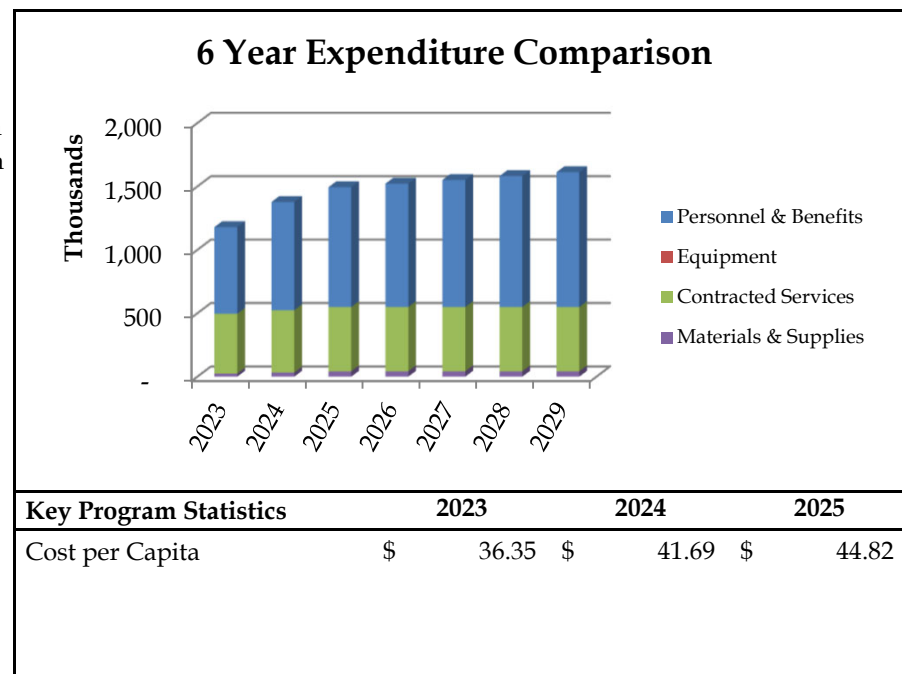
Key Program Statistics	2023	2024	2025
Cost per Capita	\$ 10.89	\$ 12.37	\$ 12.63

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	3.2	3.8	2.4	3.8	3.8	3.8	3.8	3.8
Douglas Recreation Centre								
Program Revenues	(41,044)	(55,000)	(22,500)	(55,000)	(55,000)	(55,000)	(55,000)	(55,000)
Personnel & Benefits	331,447	396,070	273,634	399,300	411,290	423,620	436,330	449,430
Equipment	-	-	12	-	-	-	-	-
Contracted Services	17,555	8,500	14,588	8,500	8,500	8,500	8,500	8,500
Materials & Supplies	29,241	38,570	18,606	48,570	48,570	48,570	48,570	48,570
Douglas Recreation Centre Total	337,199	388,140	284,340	401,370	413,360	425,690	438,400	451,500

TIMMS COMMUNITY CENTRE

Program Description: This program supplies the entire City with leisure programs, special events, facility rentals and volunteer opportunities. This program also provides reception duties, departmental promotions and flyer development; Building Service and Maintenance. This program has funding allocated for supplies to support the functioning of clerical and management staff, building supplies and operating needs such as power, heat and light. In addition, this program has funding for the maintenance and operating needs of Nicomekl Multipurpose Room.

Output: Staffing of the facility 7 days a week. Office hours are Monday to Friday 6:00am to 10:00pm, Saturdays 8:00am to 10:00pm, Sundays and Holidays 8:00am to 8:00pm. Provides a clean, safe environment in which to recreate. Weekly drop-in activities for all age groups. Instructor recruitment, hiring and training, program development; program supervision and program evaluation. Brochure development, design and distribution on a seasonal basis. Maintenance and supervision of a weight room and games rooms. Special events include: Concerts in the Park, TRI-IT Triathlon, Youth Week Celebrations, Youth Odyssey Conference.



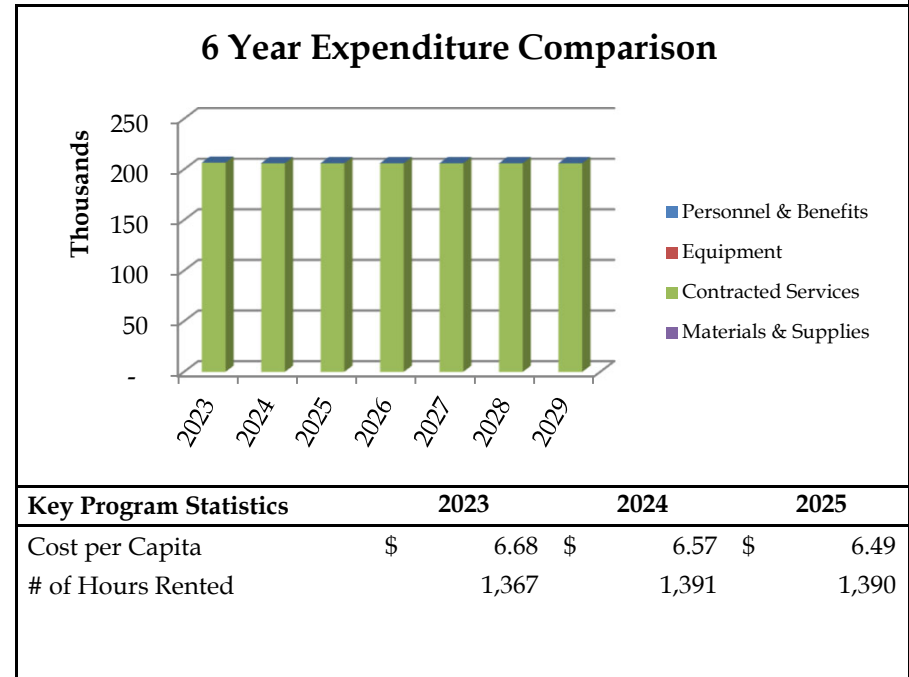
Key Program Statistics	2023	2024	2025
Cost per Capita	\$ 36.35	\$ 41.69	\$ 44.82

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	7.1	8.8	7.7	9.8	9.8	9.8	9.8	9.8
Timms Community Centre								
Program Revenues	(54,839)	(70,000)	(49,380)	(70,000)	(70,000)	(70,000)	(70,000)	(70,000)
Personnel & Benefits	684,025	853,760	743,185	945,170	973,530	1,002,730	1,032,820	1,063,800
Equipment	-	-	-	-	-	-	-	-
Contracted Services	471,432	491,170	332,003	506,140	506,140	506,140	506,140	506,140
Materials & Supplies	24,599	32,800	23,520	42,800	42,800	42,800	42,800	42,800
Timms Community Centre Total	1,125,217	1,307,730	1,049,328	1,424,110	1,452,470	1,481,670	1,511,760	1,542,740

RECREATION SUPPORT SUBSIDY

Program Description: This program supports the recreation subsidy for minor ice users at Canlan Ice Sports.

Output: Provision of 10 weeks of spring ice time and 16 weeks of fall ice time.



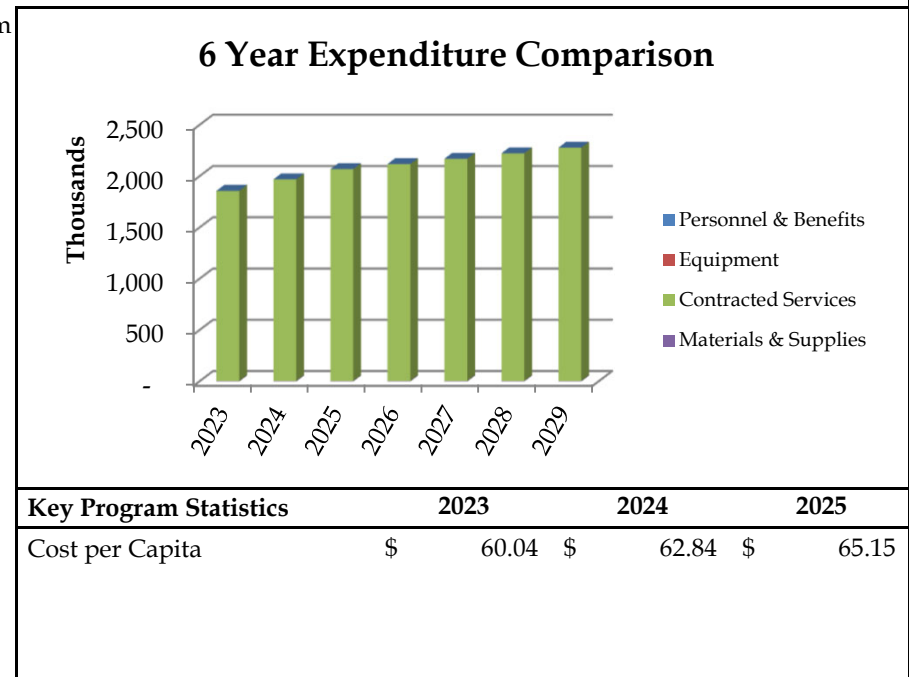
Key Program Statistics	2023	2024	2025
Cost per Capita	\$ 6.68	\$ 6.57	\$ 6.49
# of Hours Rented	1,367	1,391	1,390

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Recreation Support Subsidy								
Program Revenues	-	-	-	-	-	-	-	-
Personnel & Benefits	-	-	-	-	-	-	-	-
Equipment	-	-	-	-	-	-	-	-
Contracted Services	206,740	206,140	206,140	206,140	206,140	206,140	206,140	206,140
Materials & Supplies	-	-	-	-	-	-	-	-
Recreation Support Subsidy Total	206,740	206,140	206,140	206,140	206,140	206,140	206,140	206,140

LANGLEY CITY LIBRARY

Program Description: This program supplies City residents with all their library services which includes the facility, book/material borrowing, reference material, computer access, library programs, meeting rooms and concession. Library service is contracted through the FVRL (Fraser Valley Regional Library) which allows City residents to access books from the entire region instead of being limited to only the content within the individual library.

Output: Facility is open 7 days a week. Hours of operation are Monday to Thursday 9am to 9pm; Friday 9am to 5pm; Saturday 10am to 5pm; and Sunday 1pm to 5pm. Approximately 300,000 books are borrowed on an annual basis with about 200,000 visits to the library each year. Since the Library resides in the same building as City Hall, the costs for maintenance and operations are proportionately shared based on floor area.



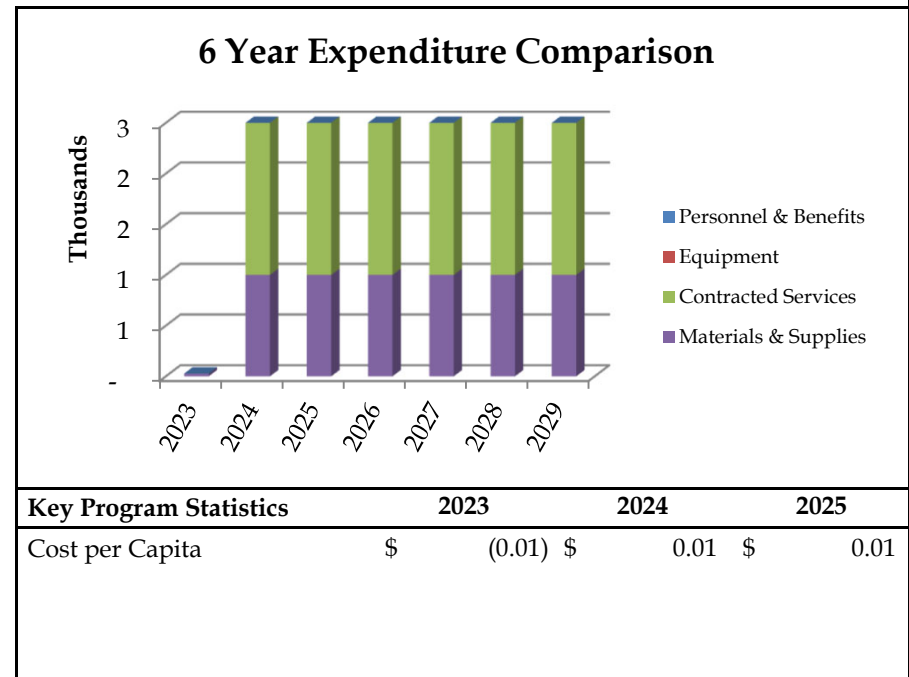
Key Program Statistics	2023	2024	2025
Cost per Capita	\$ 60.04	\$ 62.84	\$ 65.15

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Langley City Library								
Program Revenues	-	-	-	-	-	-	-	-
Personnel & Benefits	-	-	-	-	-	-	-	-
Equipment	-	-	-	-	-	-	-	-
Contracted Services	1,853,776	1,965,370	1,840,090	2,064,520	2,114,650	2,166,280	2,219,460	2,274,230
Materials & Supplies	4,991	5,495	3,742	5,500	5,500	5,500	5,500	5,500
Langley City Library Total	1,858,767	1,970,865	1,843,832	2,070,020	2,120,150	2,171,780	2,224,960	2,279,730

RECREATION GRANTS

Program Description: This program provides the Community Stage to community based non profit groups free of charge.

Output: Supply of the Community Stage to non-profit groups.



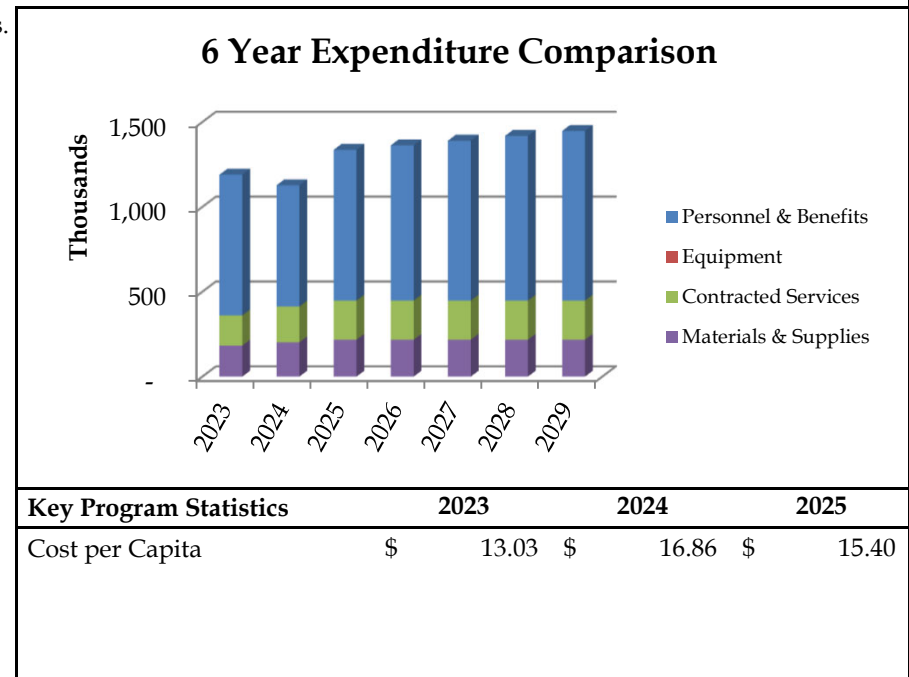
Key Program Statistics	2023	2024	2025
Cost per Capita	\$ (0.01)	\$ 0.01	\$ 0.01

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Recreation Grants								
Program Revenues	(450)	(2,040)	-	(2,040)	(2,040)	(2,040)	(2,040)	(2,040)
Personnel & Benefits	-	-	-	-	-	-	-	-
Equipment	-	-	-	-	-	-	-	-
Contracted Services	-	1,500	-	1,500	1,500	1,500	1,500	1,500
Materials & Supplies	28	1,000	-	1,000	1,000	1,000	1,000	1,000
Recreation Grants Total	(422)	460	-	460	460	460	460	460

RECREATION PROGRAMS

Program Description: This program provides all the City’s land based recreation instructors. In addition, this program supplies the funds for the printing of the quarterly recreation guide, staff training and program supplies.

Output: Recreation programs for preschoolers, children, youth, adult, seniors and fitness. Production of the quarterly recreation guide. Approximately 2500 recreation programs offered for registration plus hundreds of drop-in programs for people of all ages. Youth drop-in opportunities 4 nights a week based around crime prevention and youth at risk.

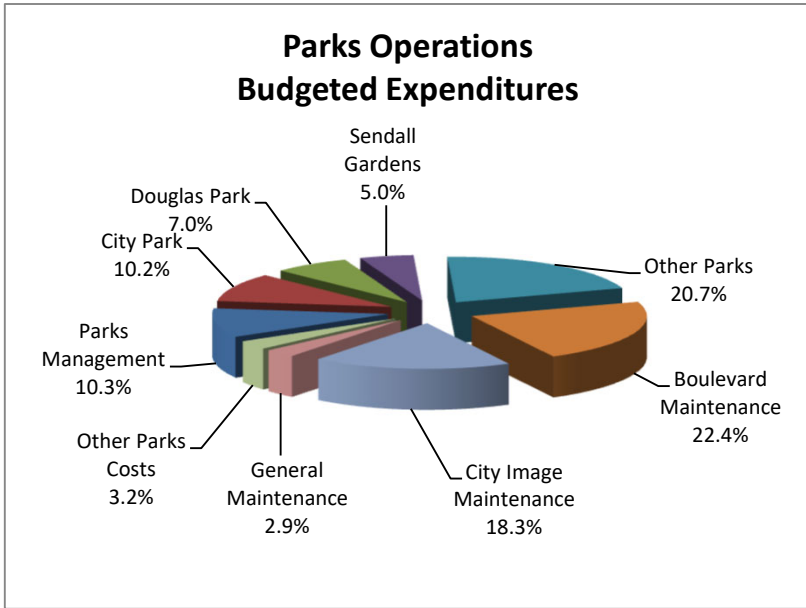


Key Program Statistics	2023	2024	2025
Cost per Capita	\$ 13.03	\$ 16.86	\$ 15.40

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	13.5	12.6	20.0	18.0	18.0	18.0	18.0	18.0
Recreation Programs								
Program Revenues	(786,421)	(598,970)	(931,937)	(847,300)	(847,300)	(847,300)	(847,300)	(847,300)
Personnel & Benefits	828,956	714,100	955,941	888,320	914,960	942,380	970,630	999,750
Equipment	788	500	231	500	500	500	500	500
Contracted Services	177,215	210,600	184,255	230,120	230,120	230,120	230,120	230,120
Materials & Supplies	182,941	202,470	134,207	217,560	217,560	217,560	217,560	217,560
Recreation Programs Total	403,479	528,700	342,697	489,200	515,840	543,260	571,510	600,630

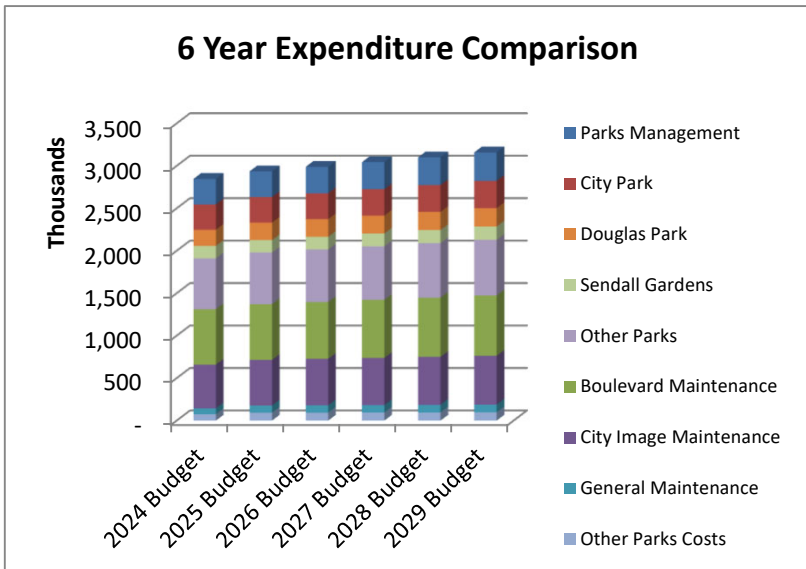
Parks Operations





Cost Centre Description:

The Parks Operations Division strives to provide a high quality of playing condition at our sportsfields for all park users; create an visually attractive environment at our parks with abundance and well-designed floral and landscape displays; maintain our natural trail systems in a safe and welcoming condition; develop play structures at our parks that promote social, physical fitness, and creativity opportunities for children; and develop community pride. We strive to create an environment in our park systems that promote active living and participation.

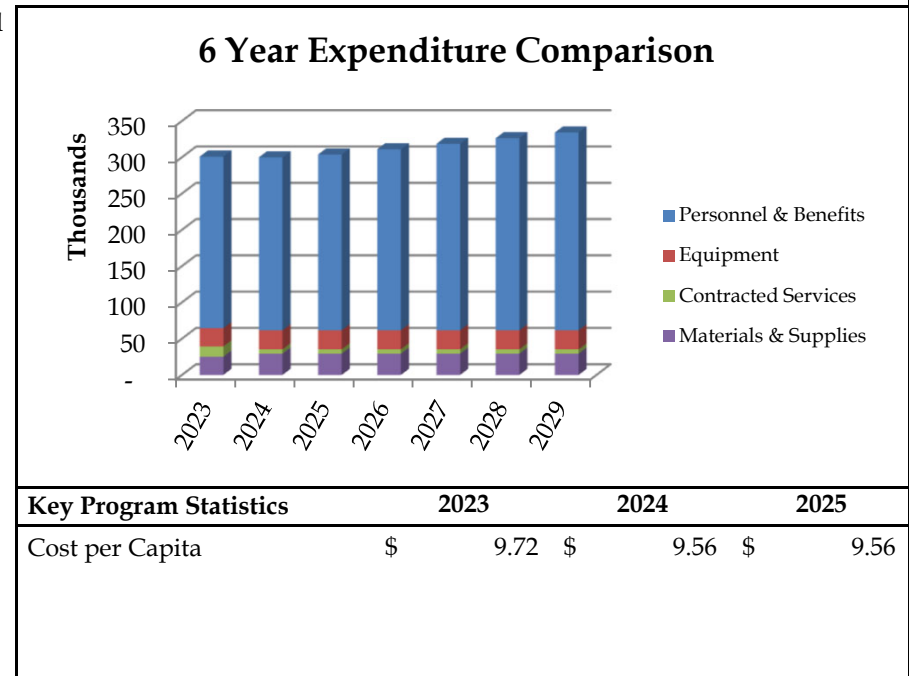


PARKS OPERATIONS								
	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Expenditures								
Parks Management	\$ 300,889	\$ 299,860	\$ 278,080	\$ 303,740	\$ 311,020	\$ 318,510	\$ 326,230	\$ 334,160
City Park	292,189	298,005	332,600	299,750	305,110	310,630	316,310	322,160
Douglas Park	181,320	191,990	211,528	206,260	208,670	211,150	213,710	216,350
Sendall Gardens	146,548	144,970	164,989	145,860	148,600	151,420	154,330	157,330
Other Parks	489,803	599,810	529,471	608,340	619,320	630,640	642,260	654,250
Boulevard Maintenance	527,905	652,390	506,606	656,580	669,580	682,960	696,750	710,940
City Image Maintenance	540,528	514,280	635,752	537,130	545,930	555,020	564,350	573,970
General Maintenance	54,222	69,990	49,897	85,430	86,770	88,150	89,580	91,050
Other Parks Costs	71,520	75,250	92,199	92,670	94,000	95,380	96,790	98,250
Departmental Adjustments	(77,307)	10,660	-	(75,000)	(75,000)	(75,000)	(75,000)	(75,000)
Total Expenditures	\$ 2,527,617	\$ 2,857,205	\$ 2,801,122	\$ 2,860,760	\$ 2,914,000	\$ 2,968,860	\$ 3,025,310	\$ 3,083,460
DEPT. BUDGET SUMMARY								
	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	13.3	16.1	14.6	16.3	16.3	16.3	16.3	16.3
Operating Cost Summary								
Personnel & Benefits	\$ 1,421,863	\$ 1,738,270	\$ 1,510,373	\$ 1,773,970	\$ 1,827,210	\$ 1,882,070	\$ 1,938,520	\$ 1,996,670
Equipment	232,946	260,000	300,381	174,340	174,340	174,340	174,340	174,340
Contracted Services	445,359	432,670	537,237	486,180	486,180	486,180	486,180	486,180
Materials & Supplies	427,449	426,265	453,131	426,270	426,270	426,270	426,270	426,270
Total Operating Cost	\$ 2,527,617	\$ 2,857,205	\$ 2,801,122	\$ 2,860,760	\$ 2,914,000	\$ 2,968,860	\$ 3,025,310	\$ 3,083,460

PARKS MANAGEMENT

Program Description: The administration of the Parks Operational and Capital Budgets, by directing the work force. Plan and schedule staff development with in-house training, seminars, and night school. Liaise with sports user groups and provide high quality service and recreational facilities.

Output: See staff on a daily basis, meet with Chargehands bi-weekly to review work and plan upcoming projects. Through the summer this includes 1 Construction and Structural Maintenance Chargehand, 1 Horticultural Maintenance Chargehand, 1 Horticultural Gardener Chargehand, 1 Grass Cutting Chargehand and an Arborist.



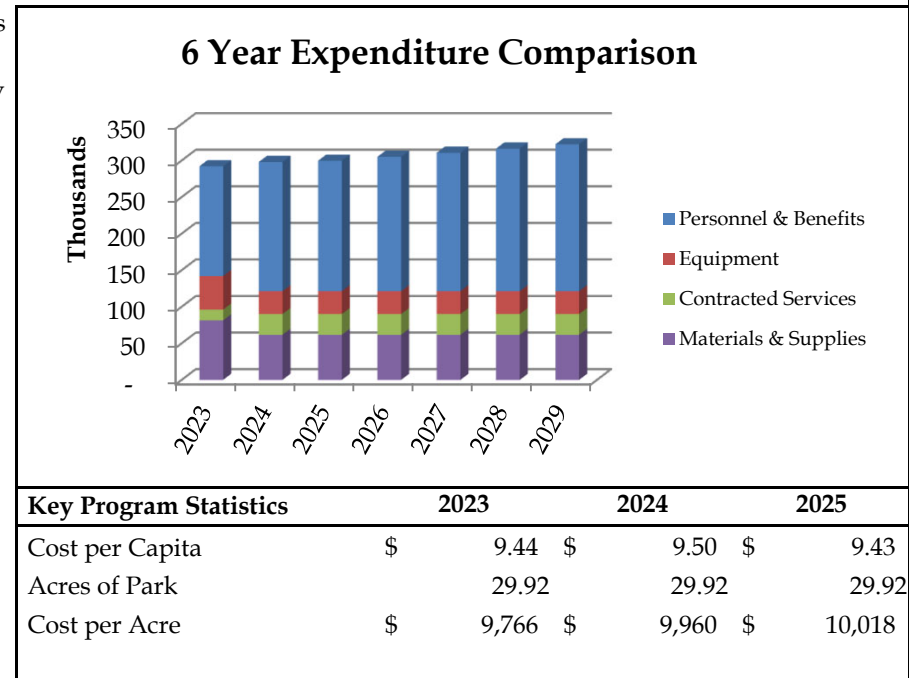
Key Program Statistics	2023	2024	2025
Cost per Capita	\$ 9.72	\$ 9.56	\$ 9.56

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	1.6	1.5	1.5	1.5	1.5	1.5	1.5	1.5
Parks Management								
Personnel & Benefits	236,454	238,430	230,564	242,310	249,590	257,080	264,800	272,730
Equipment	25,148	26,100	26,037	26,100	26,100	26,100	26,100	26,100
Contracted Services	14,243	6,000	4,762	6,000	6,000	6,000	6,000	6,000
Materials & Supplies	25,044	29,330	16,717	29,330	29,330	29,330	29,330	29,330
Parks Management Total	300,889	299,860	278,080	303,740	311,020	318,510	326,230	334,160

CITY PARK

Program Description: To provide grass cutting and leaf collection, maintenance of sandbased soccer field, baseball diamonds, lights for football and baseball, lacrosse box, water park, picnic area, playground and two washroom buildings. Work with sports user groups in a cost share and work share relationship to best enhance the playfields.

Output: Provide a high level of maintenance to one of the premier sports parks, cut grass on sports fields every 7 days, cultural turf maintenance including aeration, fertilizing four times annually, liming, overseeding and topdressing annually, cut entire park every 10 days. Litter collection every Monday and Friday. Picnic shelter checked and cleaned every Friday. Ball diamonds receive major tune up each spring. Tree care including inspections, fertilization and pruning. Integrated Pest Management (IPM) practises applied to turf, trees and plantings. Irrigation system maintenance.



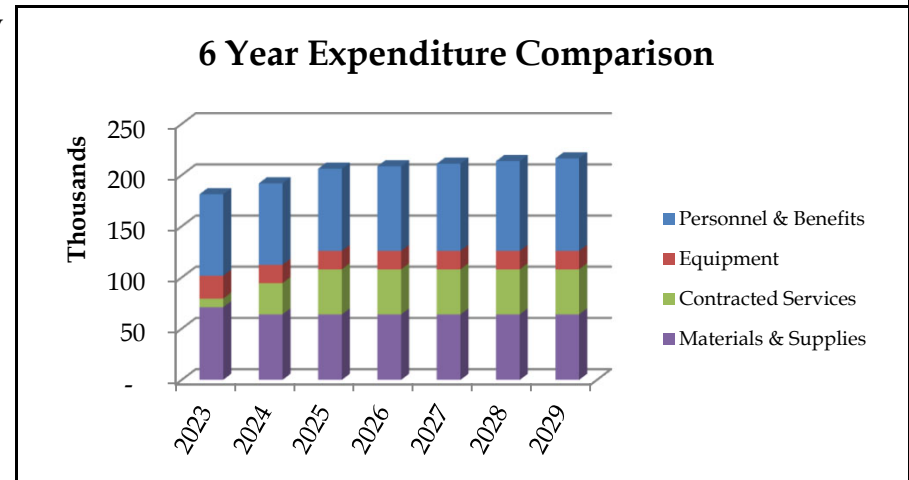
Key Program Statistics	2023	2024	2025
Cost per Capita	\$ 9.44	\$ 9.50	\$ 9.43
Acres of Park	29.92	29.92	29.92
Cost per Acre	\$ 9,766	\$ 9,960	\$ 10,018

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	1.5	1.7	1.7	1.7	1.7	1.7	1.7	1.7
City Park								
Personnel & Benefits	150,267	176,760	171,361	178,500	183,860	189,380	195,060	200,910
Equipment	45,774	31,220	47,774	31,220	31,220	31,220	31,220	31,220
Contracted Services	14,691	28,325	25,212	28,330	28,330	28,330	28,330	28,330
Materials & Supplies	81,457	61,700	88,253	61,700	61,700	61,700	61,700	61,700
City Park Total	292,189	298,005	332,600	299,750	305,110	310,630	316,310	322,160

DOUGLAS PARK

Program Description: To provide grass cutting and leaf collection, maintenance of water park, maintenance of handicap accessible playground as well as the sand based playground, maintenance of sports box and tennis courts, planting and maintaining ornamental garden beds, maintenance of the cenotaph, maintenance of the spirit square, tree care and irrigation system maintenance. To coordinate and schedule park maintenance to fit the needs of special use groups such a Community Days, Cruise In, Market in the Park, etc.

Output: Provide a high level of maintenance to a premier multi use park, cut grass every 7 days, fertilize, aerate 2-3 times as required for lush green turf, overseeding and liming annually. Garden beds receive watering deadheading and fertilizing 2-3 times weekly. Litter collection done twice per week. Zero tolerance to graffiti. Sports box checked bi-weekly, cleaned and repaired as required. Integrated Pest Management (IPM) practises applied to turf, trees and plantings. Tree care including inspections, fertilization and pruning. Irrigation system maintenance.



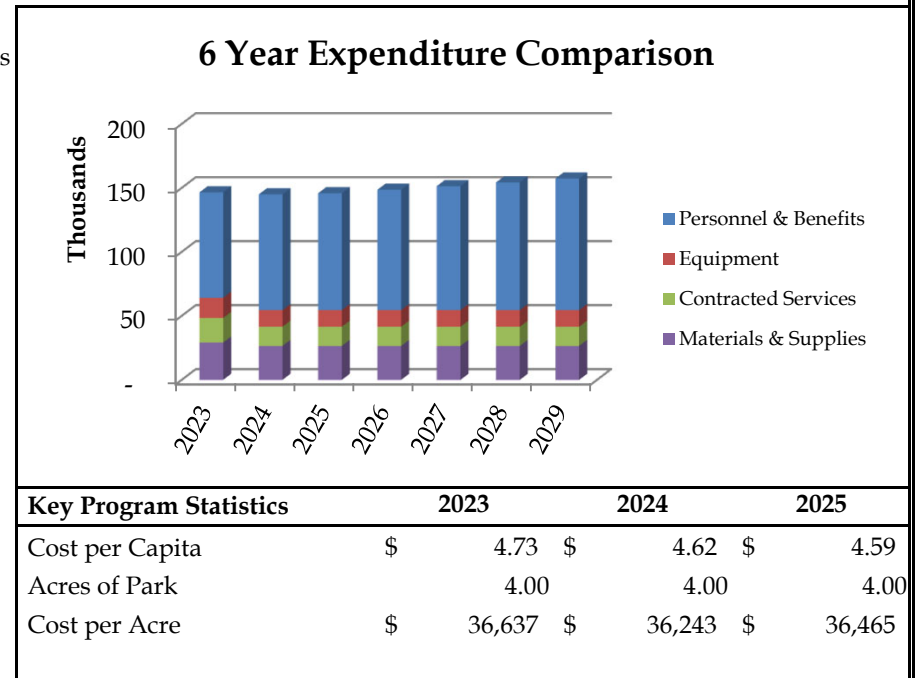
Key Program Statistics	2023	2024	2025
Cost per Capita	\$ 5.86	\$ 6.12	\$ 6.49
Acres of Park	8.24	8.24	8.24
Cost per Acre	\$ 22,005	\$ 23,300	\$ 25,032

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	0.8	0.8	0.9	0.8	0.8	0.8	0.8	0.8
Douglas Park								
Personnel & Benefits	79,702	79,490	83,412	80,260	82,670	85,150	87,710	90,350
Equipment	22,228	18,000	17,694	18,000	18,000	18,000	18,000	18,000
Contracted Services	8,435	30,500	23,652	44,000	44,000	44,000	44,000	44,000
Materials & Supplies	70,955	64,000	86,770	64,000	64,000	64,000	64,000	64,000
Douglas Park Total	181,320	191,990	211,528	206,260	208,670	211,150	213,710	216,350

SENDALL GARDENS

Program Description: To provide grass cutting and leaf collection, planting and maintaining botanical beds, maintenance of Tropical Greenhouse, Legacy Garden, washroom building and caretaker’s house. To enhance the horticultural beauty of this park to suit the needs of wedding photography and the enjoyment of the general public.

Output: Provide a high level of maintenance to the botanical garden area. Cut grass every 7 days, fertilize 2-3 times as required for lush green turf. Due to its high usage, this park receives regular maintenance, 3-4 days per week. The Tropical Greenhouse is open daily to the public, pruned and monitored weekly. The fountain is checked and cleaned every Monday and Friday. Litter collection take place on every Monday and Friday. Integrated Pest Management (IPM) practises applied to turf, trees and plantings. Tree care including inspections, fertilization and pruning. Irrigation system maintenance.



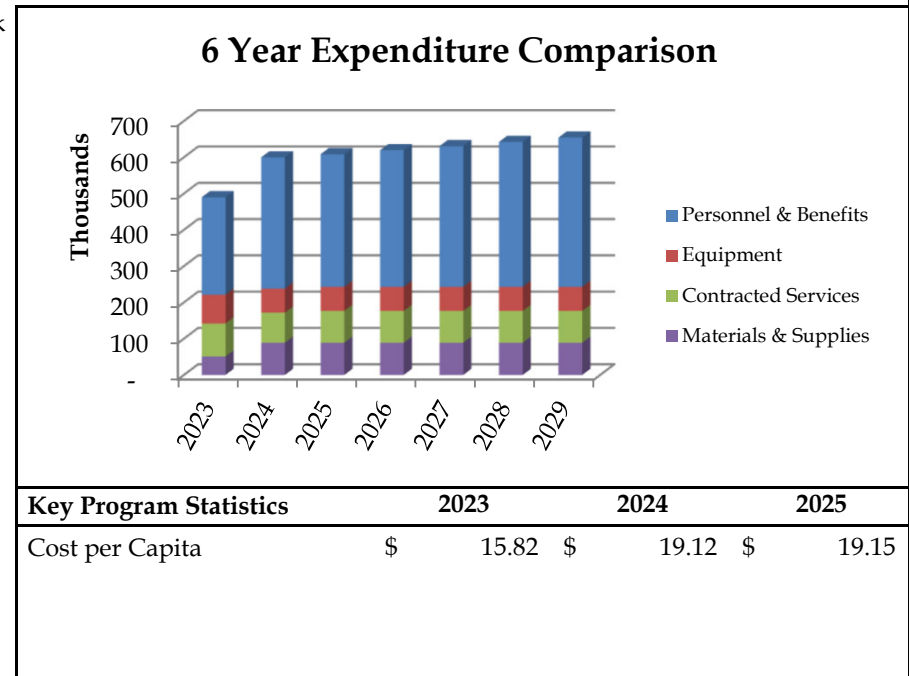
Key Program Statistics	2023	2024	2025
Cost per Capita	\$ 4.73	\$ 4.62	\$ 4.59
Acres of Park	4.00	4.00	4.00
Cost per Acre	\$ 36,637	\$ 36,243	\$ 36,465

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	0.8	0.9	1.1	0.9	0.9	0.9	0.9	0.9
Sendall Gardens								
Personnel & Benefits	82,364	90,440	102,738	91,330	94,070	96,890	99,800	102,800
Equipment	15,815	13,000	18,660	13,000	13,000	13,000	13,000	13,000
Contracted Services	19,179	14,970	14,591	14,970	14,970	14,970	14,970	14,970
Materials & Supplies	29,190	26,560	29,000	26,560	26,560	26,560	26,560	26,560
Sendall Gardens Total	146,548	144,970	164,989	145,860	148,600	151,420	154,330	157,330

OTHER PARKS

Program Description: To provide regular inspections and maintenance of all playgrounds, bi-weekly maintenance of fountain at Innes Corners, grass cutting and leaf collection and pruning. Maintenance and upgrading of the Nature Trail system and Nicomekl Floodplain system, clean and resurface trails as required. Install all donated items initiated through the Langley Parks Foundation Gift Program. Upgrade park amenities as required: Fountains, basketball hoops, etc.

Output: Regular bi-weekly inspections of all playground equipment, walking trails, park washrooms. Inspection and maintenance of all irrigation systems, and 3 Water Parks. Regular maintenance to softball diamonds and other soccer fields, fertilized once and aerated twice. Annually repair, sand and refinish the City's wooden benches and picnic tables. Tree assessments performed annually.



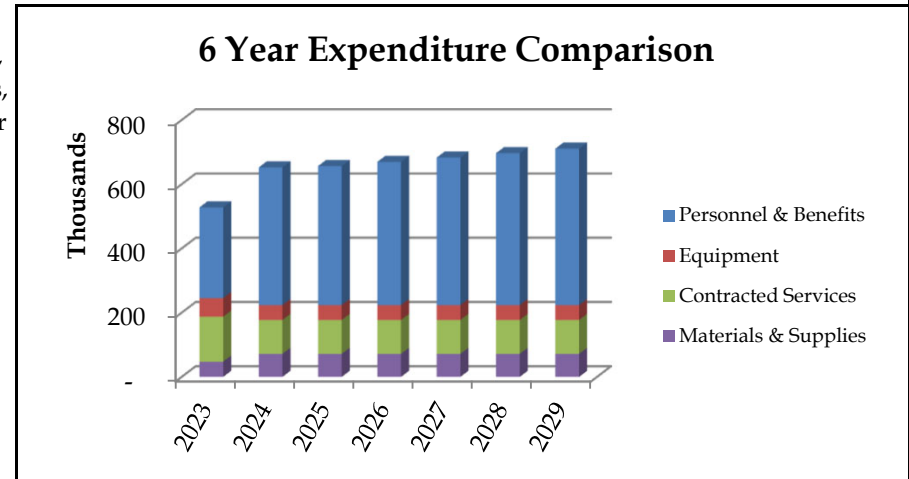
Key Program Statistics	2023	2024	2025
Cost per Capita	\$ 15.82	\$ 19.12	\$ 19.15

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	2.5	3.3	3.0	3.3	3.3	3.3	3.3	3.3
Other Parks								
Personnel & Benefits	268,518	361,960	297,422	365,490	376,470	387,790	399,410	411,400
Equipment	79,255	66,300	77,746	66,300	66,300	66,300	66,300	66,300
Contracted Services	91,197	82,620	89,281	87,620	87,620	87,620	87,620	87,620
Materials & Supplies	50,833	88,930	65,022	88,930	88,930	88,930	88,930	88,930
Other Parks Total	489,803	599,810	529,471	608,340	619,320	630,640	642,260	654,250

BOULEVARD MAINTENANCE

Program Description: To plant, monitor, and maintain the City’s street trees, implement and maintain hanging basket program, enhance and maintain boulevards and centre medians, Plant and maintain seasonal colour in Downtown planters. To implement and maintain the City's Integrated Pest Management Policy, the monitoring and initiating of new maintenance practices. This program also provides for the annual Christmas light displays.

Output: Regular maintenance to enhance the City’s streetscapes, removal of weeds and debris from main thorough fares. Plant and maintain 30 planters in the Downtown area, water, fertilize and deadhead 3 times per week. Manage and maintain 1,800 Street Trees, includes monitoring for pests and regular pruning. Plan and plant additional 50 trees per year. Approximately 210 moss hanging baskets receive water and fertilizer 4 times per week, are monitored for pests, and deadheaded 3 times during the season. Safety and sightline work, hedging and maintenance to Boulevard plantings. Integrated Pest Management (IPM) practises applied to turf, trees and plantings. Irrigation system maintenance. Service request work performed.



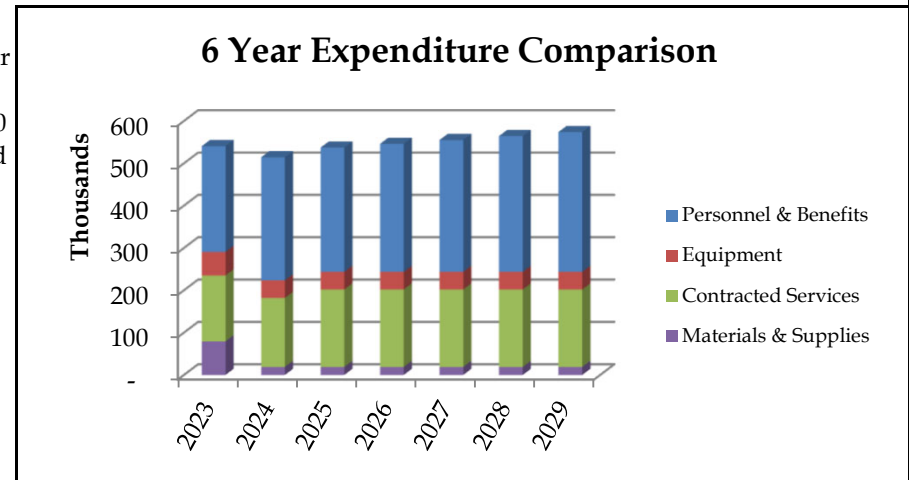
Key Program Statistics	2023	2024	2025
Cost per Capita	\$ 17.05	\$ 20.80	\$ 20.67

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	2.7	4.1	2.7	4.1	4.1	4.1	4.1	4.1
Boulevard Maintenance								
Personnel & Benefits	282,413	428,800	295,267	432,990	445,990	459,370	473,160	487,350
Equipment	58,000	46,220	51,712	46,220	46,220	46,220	46,220	46,220
Contracted Services	139,866	105,550	106,503	105,550	105,550	105,550	105,550	105,550
Materials & Supplies	47,626	71,820	53,124	71,820	71,820	71,820	71,820	71,820
Boulevard Maintenance Total	527,905	652,390	506,606	656,580	669,580	682,960	696,750	710,940

CITY IMAGE MAINTENANCE

Program Description: Beautification of City using plantings and maintaining garden beds at various parks. Provide a high level of horticulture maintenance at Sendall Gardens for botanical beds and tropical greenhouse. Maintain and cut park turf on a regular basis. Remove graffiti and repair vandalism in an efficient and timely manner. Continually investigate new inovative methods to effeciently enhance the City.

Output: Grass cutting in most parks is done every 10 -12 days. Regular litter collection occurs every Monday and Friday, all Park garbage containers are emptied and stray litter is picked up in all parks. Routine graffiti and vandalism patrol on Mondays, graffiti removal and over painting are done as required in a timely and efficient manor. Plant 50 new trees annually. Innes corners fountain is cleaned and maintained every Monday and Friday. Innes Corners pressure washed twice annually.



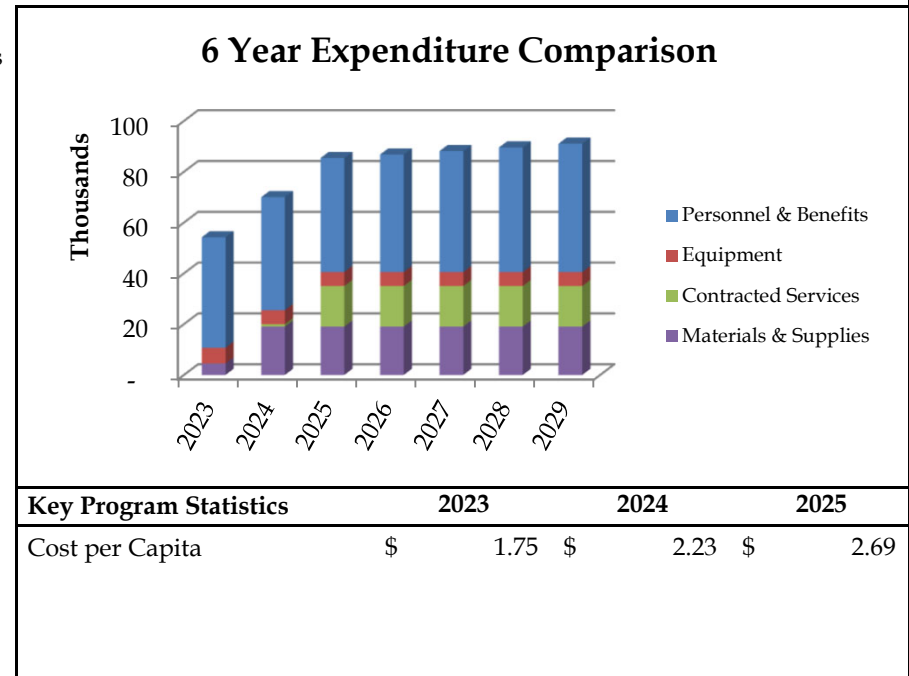
Key Program Statistics	2023	2024	2025
Cost per Capita	\$ 17.46	\$ 16.40	\$ 16.91

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	2.7	3.1	2.9	3.1	3.1	3.1	3.1	3.1
City Image Maintenance								
Personnel & Benefits	249,771	290,780	254,837	293,630	302,430	311,520	320,850	330,470
Equipment	55,753	41,500	53,721	41,500	41,500	41,500	41,500	41,500
Contracted Services	155,660	163,000	271,743	183,000	183,000	183,000	183,000	183,000
Materials & Supplies	79,344	19,000	55,451	19,000	19,000	19,000	19,000	19,000
City Image Maintenance Total	540,528	514,280	635,752	537,130	545,930	555,020	564,350	573,970

GENERAL MAINTENANCE

Program Description: To plant around and enhance "Welcome to Langley" signs and to maintain all other parks signage. Purchase tools, equipment and supplies to perform tasks in an a cost effective manner. Cover dumping fees from excavation and park clean up.

Output: Clean and repair City signage as required. Purchase and install new signage as needed, such as Dog signs and Trail signs. Purchase replacement tools and equipment as required for the work force to perform their tasks in an efficient and timely manner. Purchase and distribute a variety of supplies, such as fertilizer, paint, lumber etc.



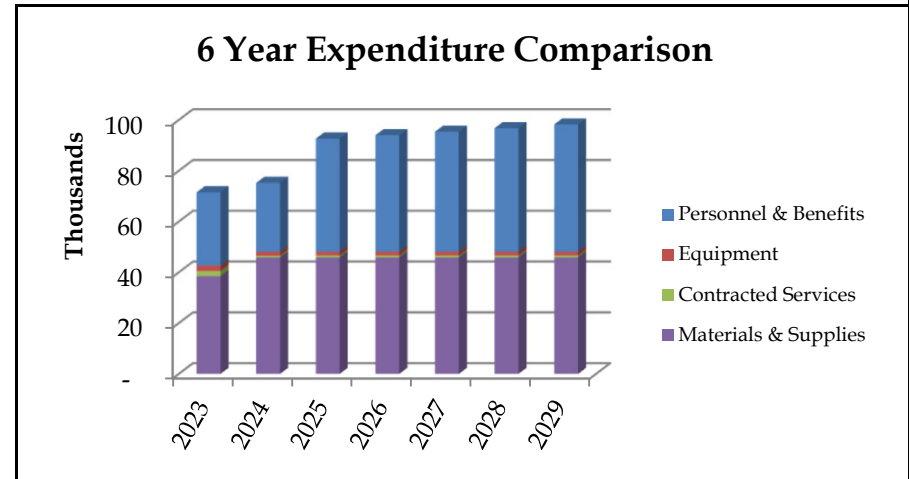
Key Program Statistics	2023	2024	2025
Cost per Capita	\$ 1.75	\$ 2.23	\$ 2.69

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	0.4	0.4	0.4	0.4	0.4	0.4	0.4	0.4
General Maintenance								
Personnel & Benefits	43,517	44,460	43,187	44,900	46,240	47,620	49,050	50,520
Equipment	6,188	5,500	4,638	5,500	5,500	5,500	5,500	5,500
Contracted Services	-	1,000	-	16,000	16,000	16,000	16,000	16,000
Materials & Supplies	4,517	19,030	2,072	19,030	19,030	19,030	19,030	19,030
General Maintenance Total	54,222	69,990	49,897	85,430	86,770	88,150	89,580	91,050

OTHER PARKS COSTS

Program Description: To cover miscellaneous items, special events, unforeseen circumstances, new initiatives. Bi-annual clean up of all City walkways that interconnect neighbourhood and schools throughout the City.

Output: City Walkways receive regular maintenance and overall clean up, once in the Spring and again in the Fall. Travel costs and dumping fees from site excavations, tree and shrub removal, general park clean up and hauling to a dump site. Upgrades to school facilities that are being utilized by City user groups. Assist with volunteer initiatives within the City, such as the Point of Pride Program.



Key Program Statistics	2023	2024	2025
Cost per Capita	\$ 2.31	\$ 2.40	\$ 2.92

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	0.3	0.3	0.4	0.5	0.5	0.5	0.5	0.5
Other Parks Costs								
Personnel & Benefits	28,857	27,150	31,585	44,560	45,890	47,270	48,680	50,140
Equipment	2,092	1,500	2,399	1,500	1,500	1,500	1,500	1,500
Contracted Services	2,088	705	1,493	710	710	710	710	710
Materials & Supplies	38,483	45,895	56,722	45,900	45,900	45,900	45,900	45,900
Other Parks Costs Total	71,520	75,250	92,199	92,670	94,000	95,380	96,790	98,250

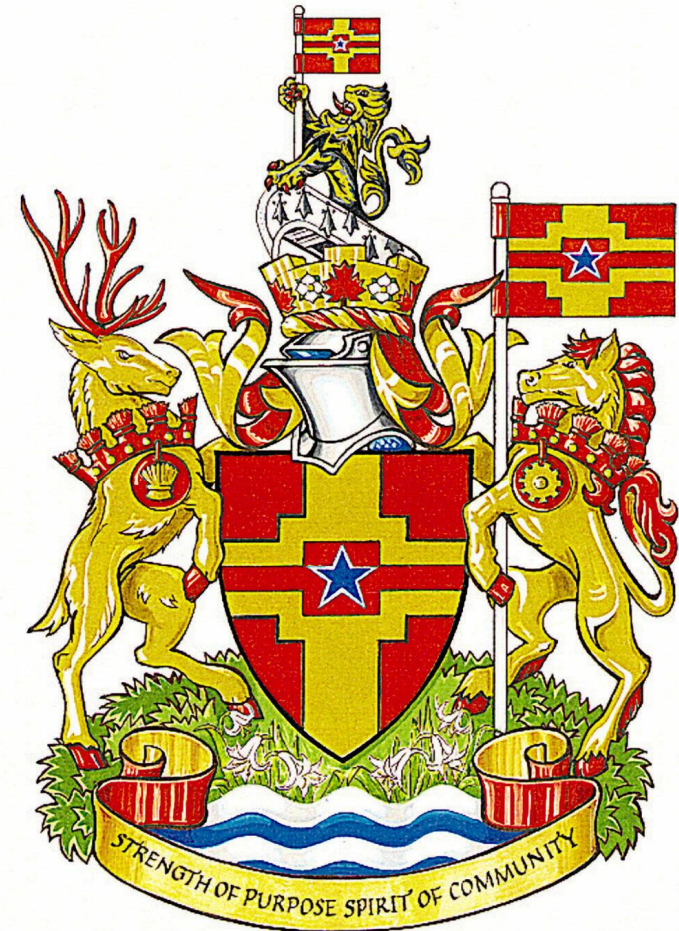
Reserve Transfers



RESERVE TRANSFERS								
	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Reserve Transfers								
<i>Financial Services</i>								
Banking Fees & Tax Prepayment Int	196,230	245,400	213,796	181,400	181,400	181,400	181,400	181,400
	196,230	245,400	213,796	181,400	181,400	181,400	181,400	181,400
<i>Debt Servicing</i>								
Interest	252,000	1,014,000	252,000	826,500	1,839,000	2,639,000	4,239,000	4,239,000
Debt Repayment	418,248	935,180	418,248	948,670	2,022,990	2,730,210	4,144,650	4,144,650
	670,248	1,949,180	670,248	1,775,170	3,861,990	5,369,210	8,383,650	8,383,650
<i>Transfer to Reserve Accounts</i>								
Investment Income Reserve	1,556,757	600,000	-	800,000	800,000	800,000	800,000	800,000
Gaming Proceeds	7,990,632	7,500,000	5,997,721	7,500,000	7,500,000	7,500,000	7,500,000	7,500,000
Tax Rate Stabilization	1,003,722	-	-	-	-	-	-	-
Future Policing Costs	-	-	-	-	-	-	-	-
Community Works Fund	145,375	133,880	-	157,000	157,000	157,000	157,000	157,000
Prosperity Fund	-	-	-	-	-	-	-	-
MRN Rehabilitation	520,208	400,600	-	398,700	398,700	398,700	398,700	398,700
	11,216,694	8,634,480	5,997,721	8,855,700	8,855,700	8,855,700	8,855,700	8,855,700
<i>Transfer to Statutory Reserves</i>								
Fire Department Equipment	55,000	55,000	55,000	55,000	55,000	55,000	55,000	55,000
Capital Works	4,243,310	1,713,100	1,713,100	2,191,100	2,203,640	2,216,560	2,229,860	2,243,560
Machinery Replacement	466,552	492,530	230,150	492,530	492,530	492,530	492,530	492,530
Off Street Parking	11,700	11,520	8,415	11,520	11,520	11,520	11,520	11,520
Office Equipment Replacement	46,500	46,500	46,500	46,500	46,500	46,500	46,500	46,500
Parks and Recreation	177,500	177,500	177,500	177,500	177,500	177,500	177,500	177,500
	5,000,562	2,496,150	2,230,665	2,974,150	2,986,690	2,999,610	3,012,910	3,026,610
<i>Transfer from Reserve Accounts</i>								
Gaming Proceeds	615,441	792,565	629,484	792,570	792,570	792,570	792,570	792,570
Tax Rate Stabilization	-	-	-	-	-	-	-	-
Sewer Insurance Claim	-	-	-	-	-	-	-	-
Future Policing Costs	128,578	135,000	-	135,000	135,000	135,000	135,000	135,000
MRN Rehabilitation	-	-	-	-	-	-	-	-
	744,019	927,565	629,484	927,570	927,570	927,570	927,570	927,570
<i>Transfer from Surplus</i>								
Operating Surplus	-	-	-	-	-	-	-	-
Total Reserve Transfers	\$ 16,339,715	\$ 12,397,645	\$ 8,482,946	\$ 12,858,850	\$ 14,958,210	\$ 16,478,350	\$ 19,506,090	\$ 19,519,790

Sewerage & Drainage Fund

2025-2029 Financial Plan



SEWER & DRAINAGE FUND

The sewer user rate structure in 2025 will increase by \$0.45/CM. The sewer rate increase is to offset a 47.1% increase in the GVS&DD sewer treatment levy, increased allocation of administrative costs from the general fund and increases in wages and supplies. Future years volume based rates for customers for 2026-2029 are estimated to increase between 4.8-9.1% annually.

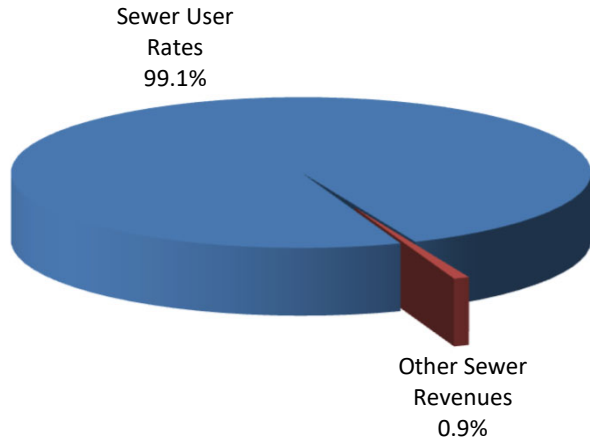
The consumption based charge will increase to \$2.27 per cubic meter (based on 80% of water consumption) and the flat fee will remain at \$75. Sewerage and Drainage rates are designed to attain a user pay system by charging customers for their actual use. The average total cost for a Single Family Home in 2025 will be \$674.28 (an increase of \$118.80 over 2024), and \$420.04 (an increase of \$68.40 over 2024) for a Strata Dwelling.

Other Sewer revenues consist of Interest Income from investments as well as a proportionate share of interest and penalties which have been generated from outstanding taxes.

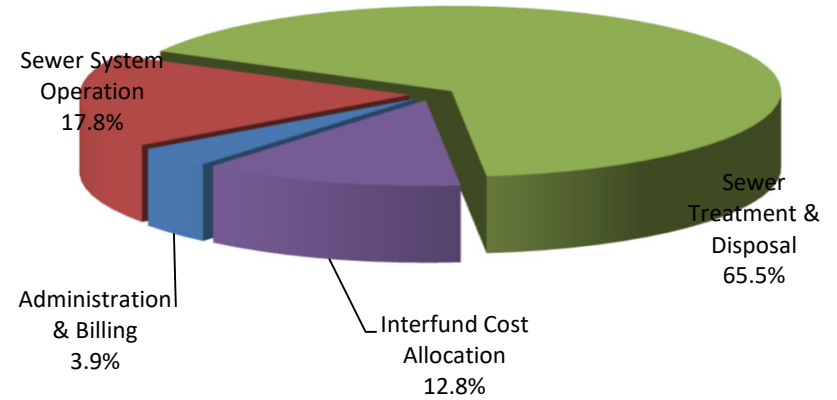
An annual levy from the GVS&DD for sewer treatment and disposal, accounts for over 56.6% of the expenditures in this fund. The GVS&DD has increased this levy by \$1,374,090 in 2025 to allow for upgrades and improvements to treatment facilities . The GVS&DD has indicated that there will be annual increases in sewer costs between 5-10% over the next five years.

Fiscal Services includes an annual "Interfund Cost Allocation" which is an allocation of expenses from the General Fund for Administration, Payroll, Purchasing, Customer Services, General Office Services, Insurance and claims.

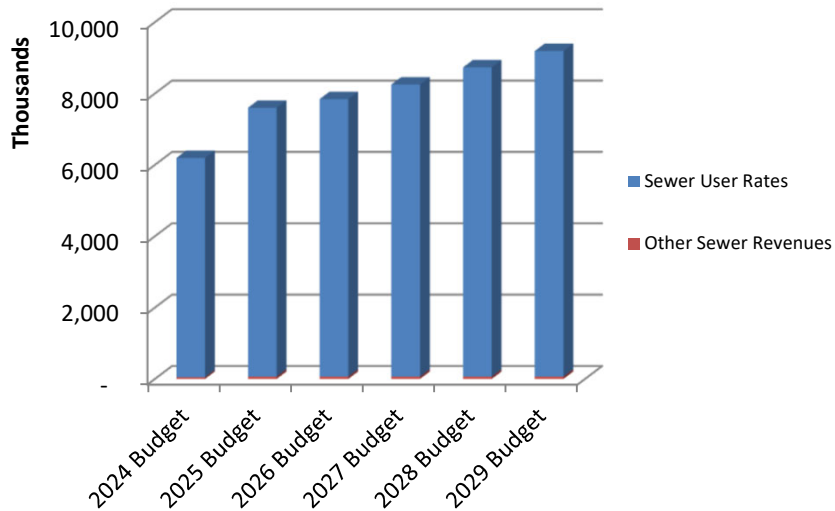
Sewer & Drainage Fund Revenues



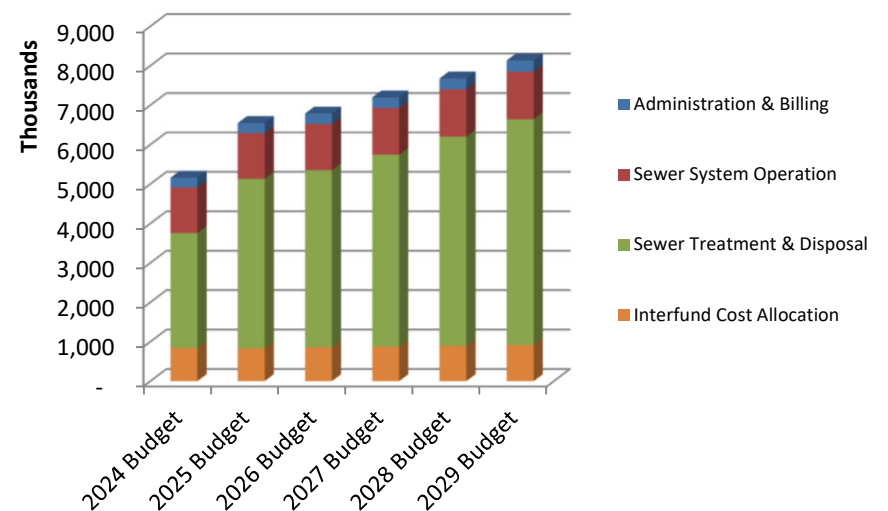
Sewer & Drainage Fund Expenditures



6 Year Revenue Comparison



6 Year Expenditure Comparison



SEWER & DRAINAGE FUND

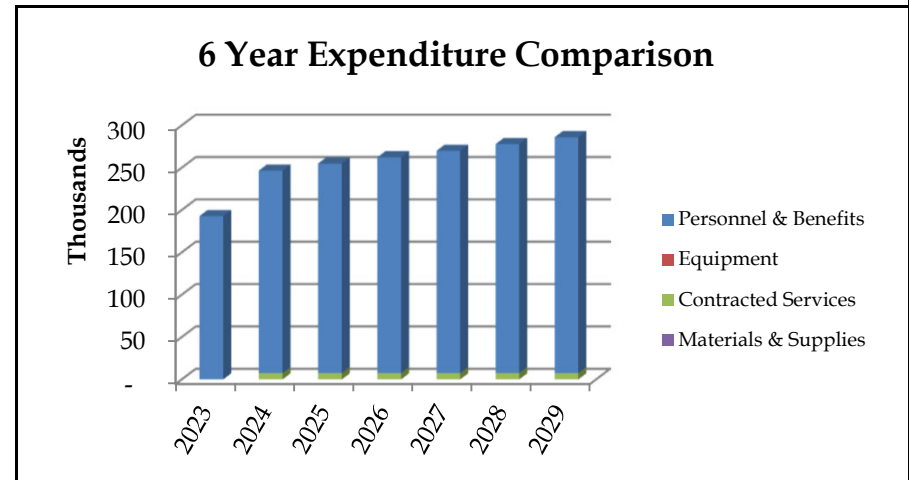
	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Revenues								
Sewer User Rates	\$ 5,402,075	\$ 6,146,690	\$ 6,011,381	\$ 7,534,380	\$ 7,776,300	\$ 8,185,090	\$ 8,665,330	\$ 9,123,530
Other Sewer Revenues	102,016	46,500	6,500	66,500	66,500	66,500	66,500	66,500
Total Revenues	\$ 5,504,091	\$ 6,193,190	\$ 6,017,881	\$ 7,600,880	\$ 7,842,800	\$ 8,251,590	\$ 8,731,830	\$ 9,190,030
Expenditures								
Administration & Billing	\$ 192,892	\$ 246,620	\$ 133,224	\$ 255,000	\$ 262,420	\$ 270,060	\$ 277,950	\$ 286,060
Sewer System Operation	852,611	1,153,540	904,490	1,162,660	1,173,390	1,184,440	1,195,810	1,207,530
Sewer Treatment & Disposal	2,271,507	2,916,500	2,732,848	4,290,590	4,495,220	4,865,270	5,305,530	5,722,510
Interfund Cost Allocation	753,750	841,610	631,208	837,710	856,850	876,900	897,620	919,010
Departmental Adjustments	(20,597)	(5,080)	-	(5,080)	(5,080)	(5,080)	(5,080)	(5,080)
Total Expenditures	\$ 4,050,163	\$ 5,153,190	\$ 4,401,770	\$ 6,540,880	\$ 6,782,800	\$ 7,191,590	\$ 7,671,830	\$ 8,130,030
	1,453,928	1,040,000	1,616,111	1,060,000	1,060,000	1,060,000	1,060,000	1,060,000
Add:								
Transfer from Reserve Accounts	-	-	-	-	-	-	-	-
Transfer from Statutory Reserves	-	-	-	-	-	-	-	-
Transfer from Surplus	-	-	-	-	-	-	-	-
	-	-	-	-	-	-	-	-
Deduct:								
Transfer to Reserve Accounts	1,445,516	1,040,000	1,000,000	1,060,000	1,060,000	1,060,000	1,060,000	1,060,000
Transfer to Statutory Reserves	-	-	-	-	-	-	-	-
	1,445,516	1,040,000	1,000,000	1,060,000	1,060,000	1,060,000	1,060,000	1,060,000
Surplus (Deficit)	\$ 8,412	\$ -	\$ 616,111	\$ -	\$ -	\$ -	\$ -	\$ -

DEPT. BUDGET SUMMARY	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	4.3	4.8	4.1	4.8	4.8	4.8	4.8	4.8
Operating Cost Summary								
Sewer & Drainage Revenues	\$ (5,504,091)	\$ (6,193,190)	\$ (6,017,881)	\$ (7,600,880)	\$ (7,842,800)	\$ (8,251,590)	\$ (8,731,830)	\$ (9,190,030)
Personnel & Benefits	468,950	587,450	417,489	604,950	623,100	641,790	661,050	680,880
Equipment	62,063	65,000	67,084	65,000	65,000	65,000	65,000	65,000
Contracted Services	2,683,323	3,580,500	3,208,918	4,954,590	5,159,220	5,529,270	5,969,530	6,386,510
Materials & Supplies	2,281,343	1,960,240	1,708,279	1,976,340	1,995,480	2,015,530	2,036,250	2,057,640
Total Operating Cost	\$ (8,412)	\$ -	\$ (616,111)	\$ -	\$ -	\$ -	\$ -	\$ -

ADMINISTRATION & BILLING

Program Description: Costs are for the provision of the following services: Administration of Sewerage & Drainage maintenance, Billing and Collection.

Output: The primary expenditure in this program is Personnel costs. These costs are associated with administering the maintenance of the sewer system, and other costs associated with billing and collection of sewerage revenues.



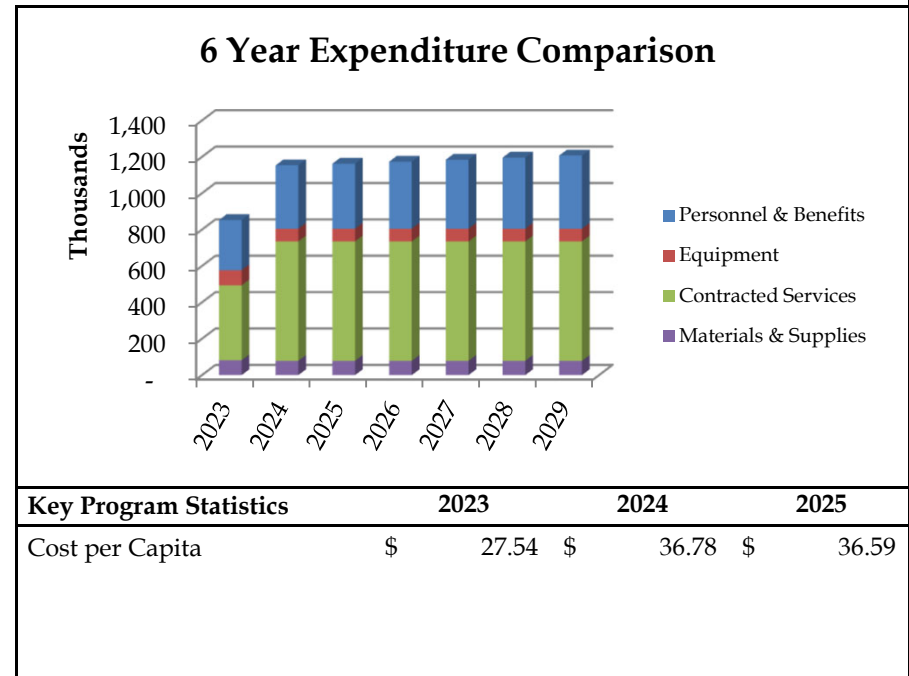
Key Program Statistics	2023	2024	2025
Cost per Capita	\$ 6.23	\$ 7.86	\$ 8.03

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	1.2	1.4	1.3	1.4	1.4	1.4	1.4	1.4
Administration & Billing								
Personnel & Benefits	192,892	239,120	129,635	247,500	254,920	262,560	270,450	278,560
Equipment	-	-	-	-	-	-	-	-
Contracted Services	-	7,500	3,589	7,500	7,500	7,500	7,500	7,500
Materials & Supplies	-	-	-	-	-	-	-	-
Administration & Billing Total	192,892	246,620	133,224	255,000	262,420	270,060	277,950	286,060

SEWER SYSTEM OPERATION

Program Description: Provides for the maintenance and repair of the community's sanitary sewer and drainage systems. Services include sanitary sewer flushing of mains, repairing plugged services, locating and adjusting manholes, repairing sanitary and drainage mains and manholes. There is also regular monitoring of the amount of flow in the sanitary sewer system to determine if there is an inflow and infiltration problem in the system.

Output: To maintain the drainage, storm sewer and sanitary sewer system to remove impediments in order to operate effectively during peak demand and flood conditions. To maintain our four sanitary lift stations that form a key part of our sanitary sewerage distribution system. These stations convey liquid waste from some of the lower lying areas within the city, through a series of pumps, to the Greater Vancouver Sewer & Drainage District transmission mains. Regular maintenance to the pumps and other components of the lift station is required to minimize the threat of sanitary backups to businesses and residences in these areas.



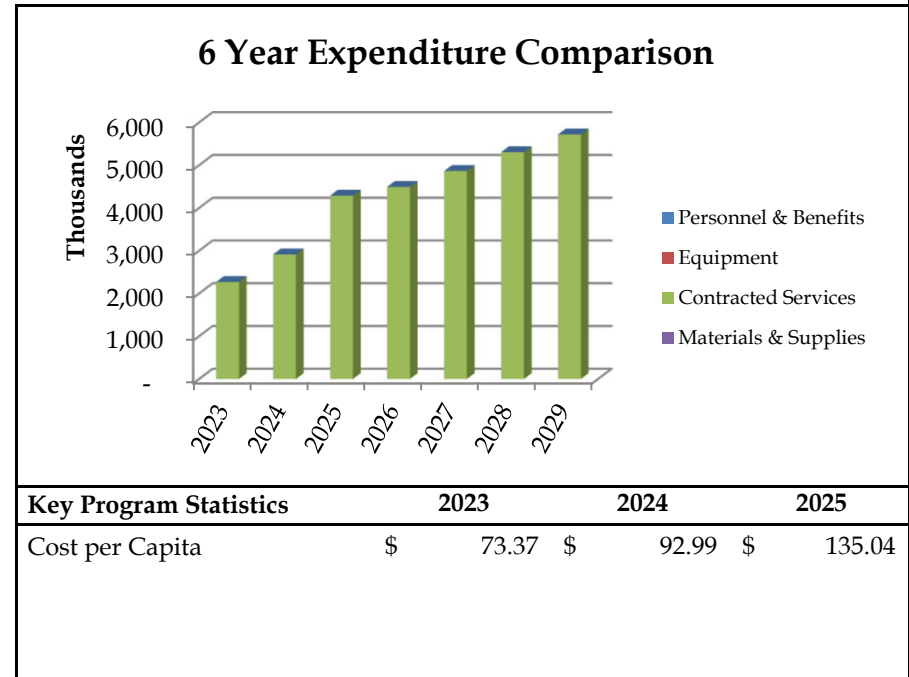
Key Program Statistics	2023	2024	2025
Cost per Capita	\$ 27.54	\$ 36.78	\$ 36.59

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	3.1	3.4	2.8	3.4	3.4	3.4	3.4	3.4
Sewer System Operation								
Personnel & Benefits	276,058	348,330	287,854	357,450	368,180	379,230	390,600	402,320
Equipment	82,660	70,080	67,084	70,080	70,080	70,080	70,080	70,080
Contracted Services	411,816	656,500	472,481	656,500	656,500	656,500	656,500	656,500
Materials & Supplies	82,077	78,630	77,071	78,630	78,630	78,630	78,630	78,630
Sewer System Operation Total	852,611	1,153,540	904,490	1,162,660	1,173,390	1,184,440	1,195,810	1,207,530

SEWER TREATMENT & DISPOSAL

Program Description: The City's sanitary discharge is dumped to the Annasis Island treatment plant, which is operated by the GVS&DD. An annual levy is charged by the GVS&DD to recover the operating cost for the treatment plant. The GVS&DD will be starting to meter the actual sanitary discharge from the City, therefore the annual levy will be phased out over the next five years and the City will be charged on actual discharge volume.

Output:



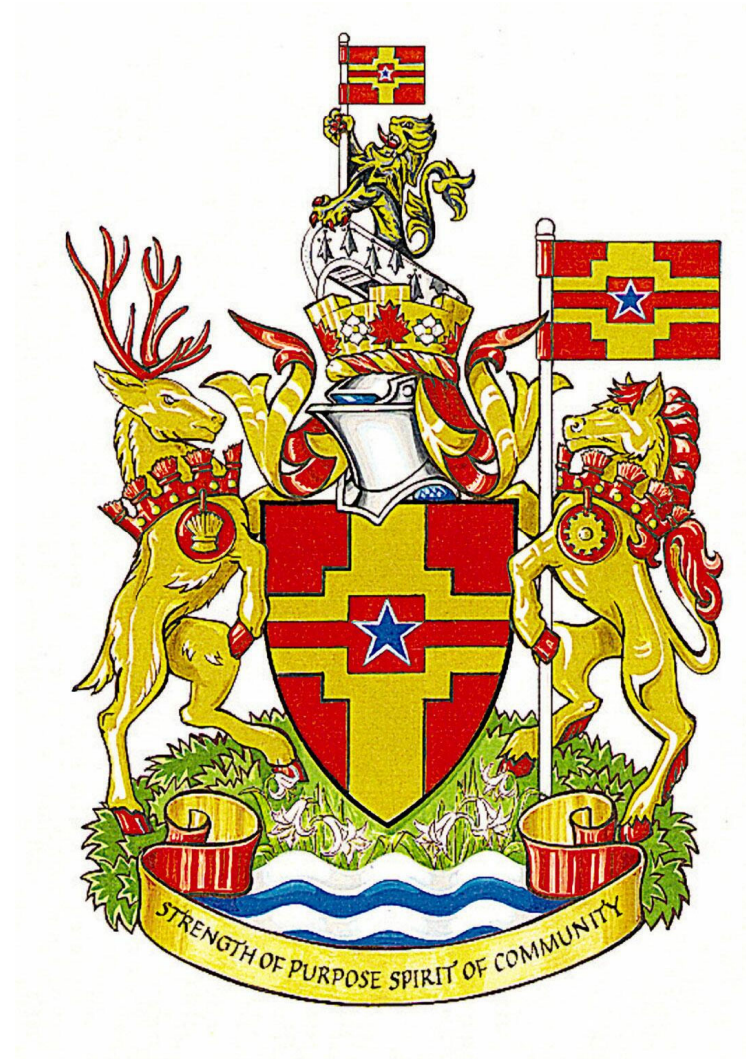
Key Program Statistics	2023	2024	2025
Cost per Capita	\$ 73.37	\$ 92.99	\$ 135.04

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Sewer Treatment & Disposal								
Personnel & Benefits	-	-	-	-	-	-	-	-
Equipment	-	-	-	-	-	-	-	-
Contracted Services	2,271,507	2,916,500	2,732,848	4,290,590	4,495,220	4,865,270	5,305,530	5,722,510
Materials & Supplies	-	-	-	-	-	-	-	-
Sewer Treatment & Disposal Total	2,271,507	2,916,500	2,732,848	4,290,590	4,495,220	4,865,270	5,305,530	5,722,510

SEWER & DRAINAGE FUND RESERVE TRANSFERS								
	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Reserve Transfers								
<i>Financial Services</i>								
N/A	-	-	-	-	-	-	-	-
	-	-	-	-	-	-	-	-
<i>Interfund Transfers</i>								
Interfund Cost Allocation	753,750	841,610	631,208	837,710	856,850	876,900	897,620	919,010
	753,750	841,610	631,208	837,710	856,850	876,900	897,620	919,010
<i>Allocation to Reserve Accounts</i>								
Investment Income Reserve	95,516	40,000	-	60,000	60,000	60,000	60,000	60,000
Reserve - Sewer Future Capital	1,350,000	1,000,000	1,000,000	1,000,000	1,000,000	1,000,000	1,000,000	1,000,000
	1,445,516	1,040,000	1,000,000	1,060,000	1,060,000	1,060,000	1,060,000	1,060,000
Total Reserve Transfers	\$ 2,199,266	\$ 1,881,610	\$ 1,631,208	\$ 1,897,710	\$ 1,916,850	\$ 1,936,900	\$ 1,957,620	\$ 1,979,010

Water Fund

2025-2029 Financial Plan



WATER FUND

Water fees are made up of two components, a flat fee and a volume based fee. Volume is based on the property's metered water consumption, which is then billed on an annual basis for most residential properties and low consumption commercial properties. The consumption based charge will increase \$0.10/CM in 2025. Future years volume based rates for customers for 2026-2029 are estimated to increase between 1.3-6.5% annually.

The rate increase is to offset an increased allocation of administrative costs from the general fund, increase in the GVWD water rates and an increases in wages and supplies.

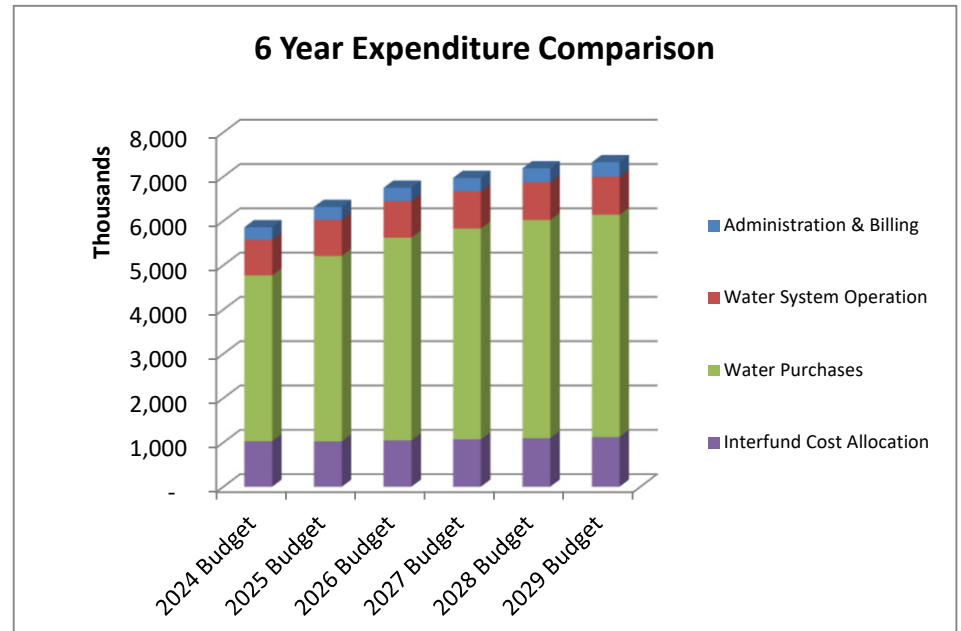
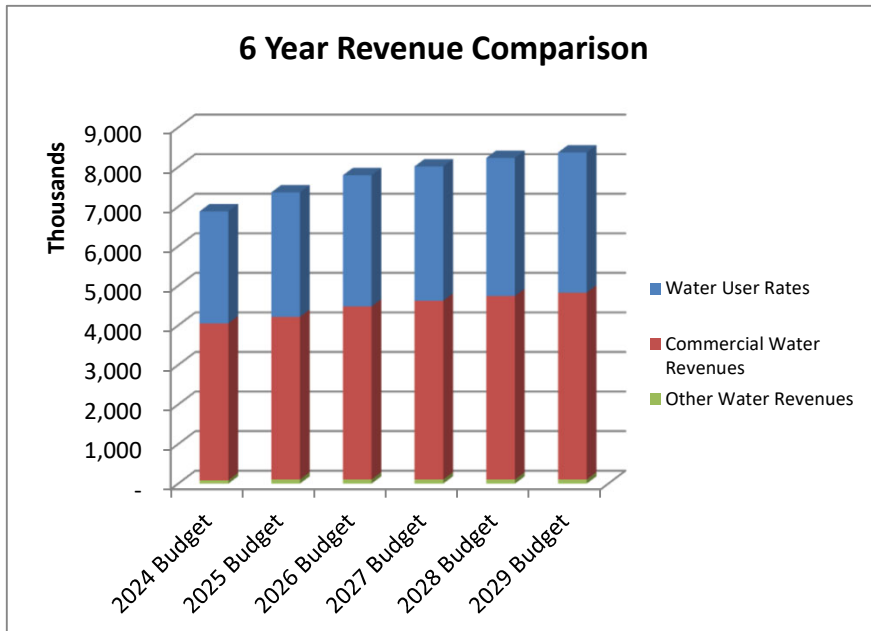
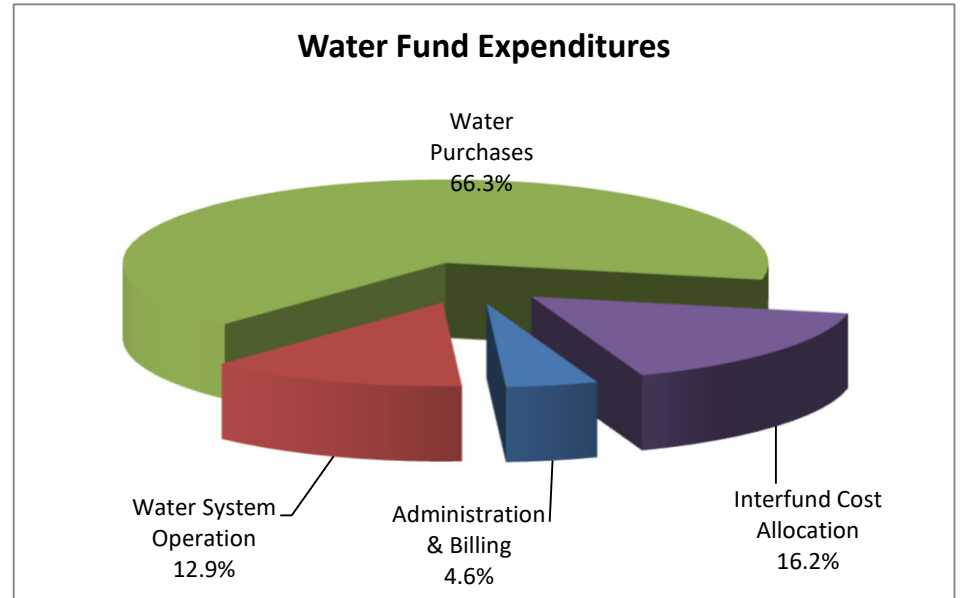
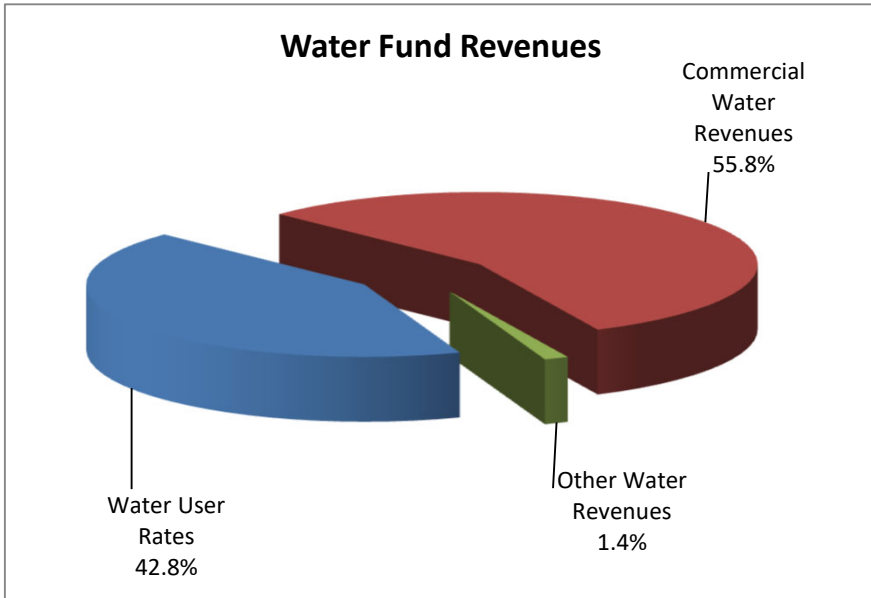
Water rates are designed to attain a user pay system by charging customers for their actual use. The average total cost for a Single Family Home in 2025 will be \$698.70(an increase of \$33.00 over 2024), and \$434.10 (an increase of \$19.00 over 2024) for a Strata Dwelling.

Commercial Water usage is also metered, but is billed on a bi-monthly basis instead of annually. If the bi-monthly bill is paid before the discount date the rates are comparable to residential rates, otherwise they are 10% higher.

Other Water revenues consist of Interest Income from investments as well as a proportionate share of interest and penalties which have been generated from outstanding taxes. Also included is a recovery fee for the maintenance and operation of fire hydrants.

Fiscal Services includes an annual "Interfund Cost Allocation" which is an allocation of expenses from the General Fund for Administration, Payroll, Purchasing, Customer Services, General Office Services, Insurance and claims.

The GVWD has indicated that there will be increases in water costs over the next 5 years to allow for improved water infrastructure, the plan presented includes an increase of 7.2% in rates for 2025. The water purchase cost of \$4.18 million makes up 56.9% of the expenditures in the water fund. The plan presented allows additional increases in the next four years (2026-2029) of an average of 3.3% annually.



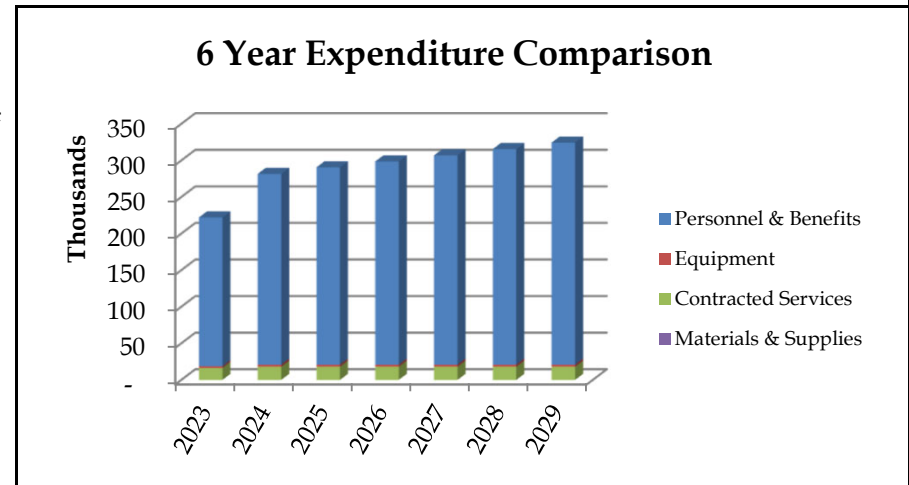
WATER FUND								
	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Revenues								
Water User Rates	\$ 2,630,825	\$ 2,832,090	\$ 3,023,917	\$ 3,147,670	\$ 3,316,430	\$ 3,395,440	\$ 3,489,360	\$ 3,540,390
Commercial Water Revenues	3,525,047	3,966,670	3,643,979	4,109,810	4,373,200	4,518,200	4,639,130	4,725,280
Other Water Revenues	125,193	84,000	42,095	104,000	104,000	104,000	104,000	104,000
Total Revenues	\$ 6,281,065	\$ 6,882,760	\$ 6,709,991	\$ 7,361,480	\$ 7,793,630	\$ 8,017,640	\$ 8,232,490	\$ 8,369,670
Expenditures								
Administration & Billing	\$ 222,101	\$ 281,640	\$ 175,051	\$ 290,570	\$ 298,650	\$ 306,980	\$ 315,580	\$ 324,410
Water System Operation	745,923	806,210	766,724	815,300	825,950	836,910	848,220	859,850
Water Purchases	3,537,962	3,740,170	3,589,208	4,185,640	4,575,670	4,755,880	4,925,500	5,016,070
Interfund Cost Allocation	921,250	1,028,640	771,480	1,023,870	1,047,260	1,071,770	1,097,090	1,123,240
Departmental Adjustments	(20,484)	(13,900)	-	(13,900)	(13,900)	(13,900)	(13,900)	(13,900)
Total Expenditures	\$ 5,406,752	\$ 5,842,760	\$ 5,302,463	\$ 6,301,480	\$ 6,733,630	\$ 6,957,640	\$ 7,172,490	\$ 7,309,670
	874,313	1,040,000	1,407,528	1,060,000	1,060,000	1,060,000	1,060,000	1,060,000
Add:								
Transfer from Reserve Accounts	-	-	-	-	-	-	-	-
Transfer from Statutory Reserves	-	-	-	-	-	-	-	-
Transfer from Surplus	-	-	-	-	-	-	-	-
	-	-	-	-	-	-	-	-
Deduct:								
Transfer to Reserve Accounts	1,086,683	1,040,000	1,000,000	1,060,000	1,060,000	1,060,000	1,060,000	1,060,000
Transfer to Statutory Reserves	-	-	-	-	-	-	-	-
	1,086,683	1,040,000	1,000,000	1,060,000	1,060,000	1,060,000	1,060,000	1,060,000
Surplus (Deficit)	\$ (212,370)	\$ -	\$ 407,528	\$ -	\$ -	\$ -	\$ -	\$ -

DEPT. BUDGET SUMMARY	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	4.9	5.1	5.1	5.1	5.1	5.1	5.1	5.1
Operating Cost Summary								
Water Revenues	\$ (6,281,065)	\$ (6,882,760)	\$ (6,709,991)	\$ (7,361,480)	\$ (7,793,630)	\$ (8,017,640)	\$ (8,232,490)	\$ (8,369,670)
Personnel & Benefits	554,697	606,820	488,301	624,830	643,560	662,850	682,760	703,220
Equipment	61,725	80,000	72,794	80,000	80,000	80,000	80,000	80,000
Contracted Services	3,716,218	3,978,685	3,808,053	4,424,160	4,814,190	4,994,400	5,164,020	5,254,590
Materials & Supplies	2,160,795	2,217,255	1,933,315	2,232,490	2,255,880	2,280,390	2,305,710	2,331,860
Total Operating Cost	\$ 212,370	\$ -	\$ (407,528)	\$ -	\$ -	\$ -	\$ -	\$ -

ADMINISTRATION & BILLING

Program Description: This program provides funding for Administration, as well as billing and collections of the City's water system. Provision for reading residential water meters once a year and reading commercial water meters once every two months. Water meter reading and maintenance is currently contracted to Neptune Technologies Inc.

Output: Water consumption is broken down into two categories, Residential and Commercial. Residential is currently read once a year and is billed on the annual property tax notice. Commercial accounts are read and billed on a bi-monthly basis. This program's main expenditure is for Wages & Benefits which includes a proportion of the Director of Engineering and the Manager of Engineering Operations.



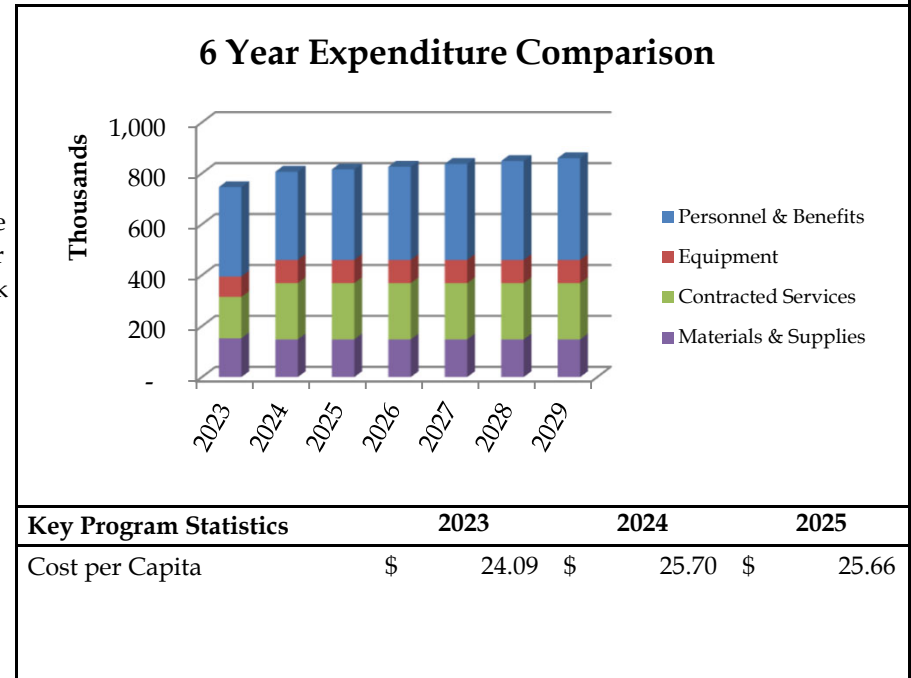
Key Program Statistics	2023	2024	2025
Cost per Capita	\$ 7.17	\$ 8.98	\$ 9.15

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	1.2	1.6	1.4	1.6	1.6	1.6	1.6	1.6
Administration & Billing								
Personnel & Benefits	203,404	260,740	137,397	269,670	277,750	286,080	294,680	303,510
Equipment	2,286	2,900	1,710	2,900	2,900	2,900	2,900	2,900
Contracted Services	16,411	18,000	35,944	18,000	18,000	18,000	18,000	18,000
Materials & Supplies	-	-	-	-	-	-	-	-
Administration & Billing Total	222,101	281,640	175,051	290,570	298,650	306,980	315,580	324,410

WATER SYSTEM OPERATION

Program Description: To ensure proper operation of all facets of the water distribution system by undertaking a detailed maintenance program including: water mains, fire hydrants, line and lateral valves, PRV's, reservoir, pumps, backflow preventers, water meters and air valves.

Output: To provide excellent quality water to residents of the City; adhere to requirements set out in the Drinking Water Protection Act; and to extend the useful life of distribution infrastructure. To ensure the supply of potable water to the residents is uninterrupted and the quality is safe for consumption. To maintain fire hydrants and line valves annually. Water mains require flushing at least once per year to remove bio-deposits that can negatively affect water quality and provide a growth medium for harmful micro-organisms in the event they are introduced into the system. PRVs require maintenance to ensure system pressures do not fluctuate excessively. Maintain reservoir and pump stations to provide water storage, additional supply and pressure during peak demand.



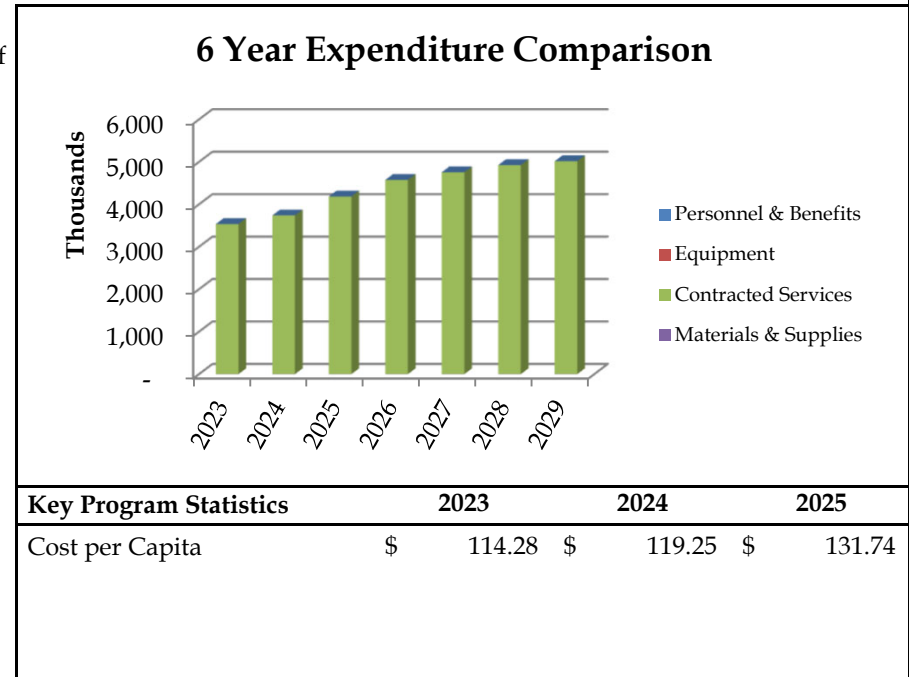
Key Program Statistics	2023	2024	2025
Cost per Capita	\$ 24.09	\$ 25.70	\$ 25.66

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	3.7	3.5	3.7	3.5	3.5	3.5	3.5	3.5
Water System Operation								
Personnel & Benefits	351,293	346,080	350,904	355,160	365,810	376,770	388,080	399,710
Equipment	79,923	91,000	71,084	91,000	91,000	91,000	91,000	91,000
Contracted Services	162,172	221,125	183,652	221,130	221,130	221,130	221,130	221,130
Materials & Supplies	152,535	148,005	161,084	148,010	148,010	148,010	148,010	148,010
Water System Operation Total	745,923	806,210	766,724	815,300	825,950	836,910	848,220	859,850

WATER PURCHASES

Program Description: The City purchases water from the GVWD (Greater Vancouver Water District) for all residential, industrial, commercial, and institutional properties. The City's water consumption is measured by a single meter from the GVWD and is billed on a monthly basis.

Output: All water is purchased from the GVWD to supply the residents of Langley. The City maintains a water reservoir to ensure supply of water to City residents in the case of any temporary stoppage in supply from the GVWD.



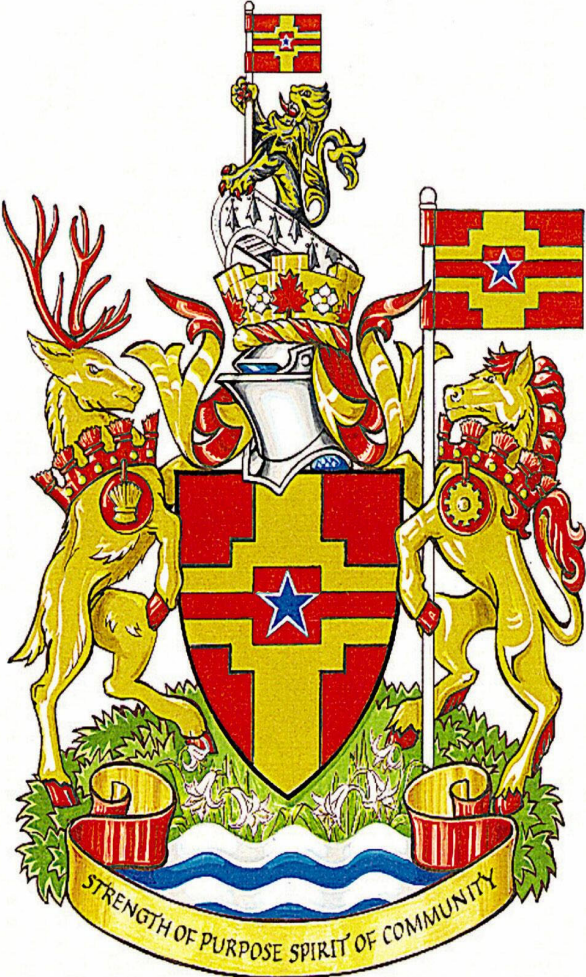
Key Program Statistics	2023	2024	2025
Cost per Capita	\$ 114.28	\$ 119.25	\$ 131.74

	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Staffing (F.T.E.'s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Water Purchases								
Personnel & Benefits	-	-	-	-	-	-	-	-
Equipment	-	-	-	-	-	-	-	-
Contracted Services	3,537,635	3,739,560	3,588,457	4,185,030	4,575,060	4,755,270	4,924,890	5,015,460
Materials & Supplies	327	610	751	610	610	610	610	610
Water Purchases Total	3,537,962	3,740,170	3,589,208	4,185,640	4,575,670	4,755,880	4,925,500	5,016,070

WATER FUND RESERVE TRANSFERS								
	2023 Actual	2024 Budget	2024 YTD	2025 Budget	2026 Budget	2027 Budget	2028 Budget	2029 Budget
Reserve Transfers								
<i>Financial Services</i>								
N/A	-	-	-	-	-	-	-	-
	-	-	-	-	-	-	-	-
<i>Interfund Transfers</i>								
Interfund Cost Allocation	921,250	1,028,640	771,480	1,023,870	1,047,260	1,071,770	1,097,090	1,123,240
	921,250	1,028,640	771,480	1,023,870	1,047,260	1,071,770	1,097,090	1,123,240
<i>Allocation to Reserve Accounts</i>								
Investment Income Reserve	86,683	40,000	-	60,000	60,000	60,000	60,000	60,000
Reserve - Water Future Capital	1,000,000	1,000,000	1,000,000	1,000,000	1,000,000	1,000,000	1,000,000	1,000,000
	1,086,683	1,040,000	1,000,000	1,060,000	1,060,000	1,060,000	1,060,000	1,060,000
Total Reserve Transfers	\$ 2,007,933	\$ 2,068,640	\$ 1,771,480	\$ 2,083,870	\$ 2,107,260	\$ 2,131,770	\$ 2,157,090	\$ 2,183,240

Capital Improvement Plan 2025 - 2034

DRAFT - February 2025



CAPITAL IMPROVEMENT PLAN - SUMMARY

<u>Capital Projects</u>	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034
General Government	933,955	361,680	95,000	305,000	95,000	245,000	270,000	165,000	285,000	265,000
Protective Services	260,000	30,886,440	31,196,440	12,050,000	50,000	50,000	50,000	50,000	50,000	50,000
Engineering Operations	5,467,000	10,527,000	5,465,000	38,957,045	6,935,000	3,275,000	5,709,000	3,935,000	4,720,000	6,061,505
Parks	385,375	1,690,000	1,977,500	3,693,700	2,164,155	10,150,000	377,500	1,487,500	2,957,090	6,348,690
Recreation	483,280	125,000	50,000	50,000	30,000	50,000	30,000	50,000	30,000	30,000
Sewer & Drainage Utility	4,540,150	3,478,380	1,000,000	1,000,000	1,000,000	2,394,475	1,000,000	1,000,000	2,540,113	1,000,000
Water Utility	4,193,540	3,586,000	2,876,045	2,613,150	1,250,000	1,785,795	2,824,365	1,000,000	1,000,000	1,000,000
Total Projects	16,263,300	50,654,500	42,659,985	58,668,895	11,524,155	17,950,270	10,260,865	7,687,500	11,582,203	14,755,195
<u>Available funding</u>										
Capital Works Reserve	1,838,715	1,769,048	876,500	2,165,647	1,239,805	1,270,540	1,558,659	1,743,352	1,371,308	1,115,679
Casino Revenues	6,800,255	6,607,435	5,568,435	9,007,435	5,307,435	1,207,435	3,727,435	1,707,435	4,207,435	7,300,000
Community Amenity Funds	405,570	389,177	1,108,750	340,000	-	40,000	-	40,000	-	-
Community Works (Gas Tax)	157,060	157,060	163,340	163,340	163,340	163,340	163,340	163,340	163,340	163,340
DCC's	2,794,875	6,574,708	2,057,289	4,136,178	2,177,360	12,780,425	1,999,989	1,539,868	2,833,992	3,736,086
Fire Department Equipment	-	-	-	-	-	-	-	-	-	-
Future Police Cost Reserve	-	181,440	181,440	35,000	35,000	35,000	35,000	35,000	35,000	35,000
Grants	1,042,500	1,964,500	10,000,000	-	-	-	-	-	500,000	-
Growing Community Fund	-	-	-	-	-	-	-	-	-	-
Machinery Replacement	497,000	770,000	440,000	596,000	430,000	230,000	530,000	230,000	230,000	230,000
Major P&R Reserve	46,000									
Municipal Road Network Reserve	210,000	-	-	-	-	-	-	-	-	-
Office Equipment	45,000	45,000	45,000	45,000	45,000	45,000	45,000	45,000	45,000	45,000
Parks & Recreation	303,280	202,497	217,971	174,065	123,715	180,000	200,700	183,505	181,725	130,090
Prosperity Fund	-	-	-	-	-	-	-	-	-	-
Sewer Future Capital	1,053,045	992,635	1,000,000	1,000,000	1,000,000	990,670	1,000,000	1,000,000	1,014,403	1,000,000
Special Bond Reserve	-	-	-	-	-	-	-	-	-	-
Water Future Capital	1,070,000	1,001,000	1,001,260	1,006,230	1,002,500	1,007,860	1,000,742	1,000,000	1,000,000	1,000,000
Total Funding	16,263,300	20,654,500	22,659,985	18,668,895	11,524,155	17,950,270	10,260,865	7,687,500	11,582,203	14,755,195
Project Specific Borrowing	-	30,000,000	20,000,000	40,000,000	-	-	-	-	-	-
Unfunded Projects	-	-	-	-	-	-	-	-	-	-
Debt Require to Fund Projects	-	30,000,000	20,000,000	40,000,000	-	-	-	-	-	-

Debt Cost										
Repayment @ 4% over 20 yrs	-	2,260,832	1,507,222	3,014,443	-	-	-	-	-	-
Cumulative Repayment	-	2,260,832	3,768,054	6,782,497	6,782,497	6,782,497	6,782,497	6,782,497	6,782,497	6,782,497
Cumulative Tax Impact Percentage	0.0%	5.4%	9.0%	16.2%	16.2%	16.2%	16.2%	16.2%	16.2%	16.2%

Casino Proceeds

	2018	2019	2020	2021	2022	2023	2024	2025
January 30	\$ 1,966,102	\$ 1,871,869	\$ 1,946,018	\$ -	\$ 1,839,492	\$ 1,891,232	\$ 1,852,732	\$ 1,875,000
April 30	1,945,901	1,693,364	1,533,582	-	\$ 1,926,708	\$ 2,173,395	\$ 2,104,759	\$ 1,875,000
July 30	1,960,561	1,946,028	-	-	\$ 2,123,100	\$ 1,972,618	\$ 1,896,674	\$ 1,875,000
October 30	1,974,265	1,905,577	-	2,263,885	\$ 2,129,039	\$ 1,991,888	\$ 1,875,000	\$ 1,875,000
Casino Proceeds	\$ 7,846,828	\$ 7,416,838	\$ 3,479,600	\$ 2,263,885	\$ 8,018,339	\$ 8,029,133	\$ 7,729,165	\$ 7,500,000
Enterprise Allocation	\$ 168,000	\$ 168,000	\$ 168,000	\$ 168,000	\$ 168,000	\$ 168,000	\$ 168,000	\$ 168,000
Community Grants	608,565	608,565	624,565	624,565	624,565	624,565	624,565	624,565
Capital	7,070,263	6,640,273	2,687,035	1,471,320	7,225,774	7,236,568	6,936,600	6,707,435
	\$ 7,846,828	\$ 7,416,838	\$ 3,479,600	\$ 2,263,885	\$ 8,018,339	\$ 8,029,133	\$ 7,729,165	\$ 7,500,000

Casino Proceeds

Tax rate effect if debt is repaid over 20 years through MFA at 4.0% interest

	Projects Completed	Annual Interest	Principal Repayment	Total Annual Repayment	Property Tax Effect
Previous years Projects	\$ 91,777,698	\$ 3,671,108	\$ 3,245,358	\$ 6,916,466	16.57%
2025 projects	6,912,755	276,510	244,442	520,953	1.25%
	\$ 98,690,453	\$ 3,947,618	\$ 3,489,801	\$ 7,437,419	17.82%

Every \$1 in debt generates another \$0.80 in interest cost over 20 years. So if we borrow \$1 million today we will repay \$800,000 in interest and principal over the next 20 years. If we avoid \$1M in debt by using casino proceeds (as per the policy) we will have an additional \$1.5 million available for infrastructure renewal.

Capital Projects funded with Casino Proceeds in 2025		Projects Completed	Annual Interest	Principal Repayment	Total Annual Repayment	Property Tax Effect
E3	Accessibility Improvements	\$ 75,000	\$ 3,000	\$ 2,652	\$ 5,652	0.014%
E4	Pedestrian Facilities (DCC-T) 75%	\$ 103,000	\$ 4,120	\$ 3,642	\$ 7,762	0.019%
E6	Bicycle Facilities (DCC-T) 29%	\$ 186,740	\$ 7,470	\$ 6,603	\$ 14,073	0.034%
E7	Traffic Signal Upgrades (DCC-T095) 75%	\$ 115,875	\$ 4,635	\$ 4,097	\$ 8,732	0.021%
E8	Road Rehabilitation - 200 St	\$ 642,940	\$ 25,718	\$ 22,735	\$ 48,453	0.116%
E15	Langley Bypass Cycling/Intersection Upgrade	\$ 112,500	\$ 4,500	\$ 3,978	\$ 8,478	0.020%
E19	Operation Centre Improvements	\$ 75,000	\$ 3,000	\$ 2,652	\$ 5,652	0.014%
E20	Residential Solid Waste Toters	\$ 600,000	\$ 24,000	\$ 21,217	\$ 45,217	0.108%
E21	Public Space Waste Management	\$ 100,000	\$ 4,000	\$ 3,536	\$ 7,536	0.018%
S4	201 St from Michaud Cr to 56 Ave	\$ 1,250,000	\$ 50,000	\$ 44,201	\$ 94,201	0.226%
S5	198 St - North of 55A Ave to 54 Ave (DCC S-001)	\$ 528,160	\$ 21,126	\$ 18,676	\$ 39,803	0.095%
W4	207A St - 44 Ave to 45 Ave	\$ 220,000	\$ 8,800	\$ 7,779	\$ 16,579	0.040%
W5	200 St - 44 Ave to 50 Ave	\$ 2,903,540	\$ 116,142	\$ 102,672	\$ 218,814	0.524%
		\$ 6,912,755	\$ 276,510	\$ 244,442	\$ 520,953	1.248%

CAPITAL IMPROVEMENT PLAN - PROJECT DETAILS

Item	Description	Year	Budget Amount	Office	Capital	Grants	Casino	Machinery	Prosperity
				Equipment Replacement 209	Works Reserve 200		Proceed 510	Equip 207	Fund
General Government Services Projects									
GG1	IT Computer Workstation Upgrade	2025	30,000	30,000					
GG2	IT Infrastructure Upgrade	2025	125,000		125,000				
GG3	Office Equipment Replacement	2025	30,000	15,000	15,000				
GG4	KPI & Public Engagement Platforms	2025	65,000		65,000				
GG5	Tempest Software	2025	30,000		30,000				
GG6	Unit 4 Agresso	2025	45,000		45,000				
GG7	Activenet	2025	15,000		15,000				
GG8	DRC Photocopier	2025	10,000		10,000				
GG9	AI Implementation	2025	50,000		50,000				
GG10	Telephone System Upgrade	2025	10,000		10,000				
GG11	Update Amalgamation Report	2025	60,000		60,000				
GG12	Communication Audit Plan	2025	15,000		15,000				
GG13	Invest in Langley City Communication Strategy	2025	35,000		35,000				
GG14	Economic Development - Marketing, Podcast	2025	28,500		28,500				
GG15	Economic Development - Innovation Hub	2025	27,000		27,000				
GG16	Citizens Assembly	2025	88,455		88,455				
GG17	Innovation District Land Use Plan	2025	135,000		135,000				
GG18	Airport Zoning Regulations	2025	35,000		35,000				
GG21	OCP Update and Land Use Plan Update	2025	100,000		100,000				
				933,955	45,000	888,955	-	-	-

Project Source/Rationale:

- Strategic Plan
- OCP & Zoning

General Government Services Capital Improvement Plan 2026 - 2034

Item	Description	2026	2027	2028	2029	2030	2031	2032	2033	2034
GG1	IT Computer Workstation Upgrade	30,000	30,000	30,000	30,000	30,000	30,000	40,000	40,000	40,000
GG2	IT Infrastructure Upgrade	210,000	-	-	50,000	185,000	225,000	110,000	175,000	175,000
GG3	Office Equipment Replacement	15,000	30,000	20,000	15,000	15,000	15,000	15,000	50,000	50,000
GG5	Tempest Software	15,000	15,000	215,000						
GG7	ActiveNet			40,000						
GG19	Community War Memorial (June 17 motion)	71,680								
GG20	CCTV	20,000	20,000			15,000			20,000	
		361,680	95,000	305,000	95,000	245,000	270,000	165,000	285,000	265,000

Funding Sources		2026	2027	2028	2029	2030	2031	2032	2033	2034
Office Equipment Replacement	405,000	45,000	45,000	45,000	45,000	45,000	45,000	45,000	45,000	45,000
Capital Works Reserve	1,681,680	316,680	50,000	260,000	50,000	200,000	225,000	120,000	240,000	220,000
Parks & Recreation Reserve	-	-	-	-	-	-	-	-	-	-
Machinery Replacement	-	-	-	-	-	-	-	-	-	-
Grants	-	-	-	-	-	-	-	-	-	-
Casino Proceeds	-	-	-	-	-	-	-	-	-	-
Borrowing	-	-	-	-	-	-	-	-	-	-
	2,086,680	361,680	95,000	305,000	95,000	245,000	270,000	165,000	285,000	265,000

CAPITAL IMPROVEMENT PLAN - PROJECT DETAILS

Item	Project Name	Description	Budget Amount	Financial Plan Impacts
General Government Services Projects				
GG1	IT Computer Workstation Upgrade	Workstations are replaced after five years of service.	30,000	None.
GG2	IT Infrastructure Upgrade	Various server and software upgrades	125,000	None.
GG3	Office Equipment Replacement	Ongoing office equipment replacements.	30,000	None.
GG4	KPI & Public Engagement Platforms	Invest in KPI & Public Engagement technology platforms to track results and communicate with our citizens.	65,000	None.
GG5	Tempest Software	Upgrade the Tempest software	30,000	None.
GG6	Unit 4 Agresso	Upgrade the Unit 4 Agresso financial software	45,000	None.
GG7	ActiveNet	Upgrade the ActiveNet recreation software	15,000	None.
GG8	DRC Photocopier	Replace the photocopier at the Douglas Recreation Centre	10,000	None.
GG9	AI Implementation	Planning and implementation of Microsoft Co-Pilot to leverage AI technologies	50,000	None.
GG10	Telephone System Upgrade	Upgrade the phone system for increased capacity and reliability	10,000	None.
GG11	Update Amalgamation Report	Update the 2011, Feasibility Study of Amalgamating the Langleys: Is there a Case?	60,000	None.
GG12	Communication Audit Plan	Undertake a study of the City's public engagement and communication strategy with a view to evaluate its effectiveness and identifying opportunities for improvement from a cost, impact and accessibility perspective.	15,000	None.
GG13	Invest in Langley City Communication Strateg	Develop a communication and public engagement strategy to inform residents of the Invest Langley City's purpose, goals, objectives and budget implications.	35,000	None.
GG14	Economic Development - Marketing, Podcast	Undertake a strategic digital marketing campaign and develop a series of 4 podcasts on community safety, social planning, development planning and economic development.	28,500	None.
GG15	Economic Development - Innovation Hub	Host a community Food Tech forum, visit the Guelph Food Innovation Centre and undertake a branding exercise.	27,000	None.
GG16	Citizens Assembly	The Citizen Assembly of Langley residents, will support research and solution development around community safety, well-being and resiliency.	88,455	None.

CAPITAL IMPROVEMENT PLAN - PROJECT DETAILS

Item	Project Name	Description	Budget Amount	Financial Plan Impacts
GG17	Innovation District Land Use Plan	This project will identify the detailed land use, housing access, servicing and amenity requirements, among others, that reflect the land use and economic development vision for the Innovation District and will apply to future development within this area. The project will involve consultation with the public, land owners and businesses and detailed technical analysis, and outcomes will include updated land use policy and plans to be added to the Official Community Plan (OCP).	135,000	None.
GG18	Airport Zoning Regulations	Undertake a study within the Transport Canada regulatory process, to amend the Langley Regional Airport zoning, allowing for the relaxation of the height limitation of buildings in Langley City.	35,000	None.
GG19	Community War Memorial (June 17 motion)	Supply and install a monument at the Langley Cenotaph, inscribed with the names of the individuals from the Langleys who died in WW1, WW2 and the Afghanistan War.	71,680	None.
GG20	CCTV	Supply and install CCTV upgrades and expansion at City facilities for security and loss prevention.	20,000	None.
GG21	OCP Update and Land Use Plan Update	This project will involve three key sub-projects that involve updates to the OCP. 1. The 208 Street flood mitigation and land use update is in response to a neighbourhood request for the creation of an updated land use plan south of the Nicomekl River to identify how future development can occur in this area. 2. The Provincial housing legislation through Bill 44 has made the Urban Residential land use in the OCP redundant (Bill 44 exceeds the permitted per-lot density in this OCP land use); this project will review land use and density options for Council consideration and will include public consultation. 3. Related to the Innovation District land use plan, and implementing a commitment in the City's SkyTrain Supportive Policies Agreement (SPA) with TransLink, this project will identify general land use changes, subject to future detailed access, servicing, community infrastructure and amenity contribution studies, to facilitate the long term transformation of the Bypass into a denser, more transit oriented corridor with increased employment generation.	100,000	None.

CAPITAL IMPROVEMENT PLAN - PROJECT DETAILS

Item	Description	Year	Budget Amount	Equipment Fire Dept. 212	Machinery Replacement Reserve 207	Future Police Costs Reserve 501	Borrowing	Grants	Capital Works 200	Casino Proceeds
Protective Services Projects										
FD1	LCFRS Hose & Nozzles	2025	55,000						55,000	
FD2	LCFRS Furniture	2025	25,000						25,000	
FD3	Mobile CADD laptops	2025	50,000						50,000	
FD4	EOC Building Renovations & Furniture	2025	30,000						30,000	
FD5	Fire Hall building repair	2025	100,000						100,000	
			260,000	-	-	-	-	-	260,000	-

Protective Services Capital Improvement Plan 2026 - 2034

Item	Description	2026	2027	2028	2029	2030	2031	2032	2033	2034
RP1	RCMP Office Equipment & Computers	30,240	30,240	35,000	35,000	35,000	35,000	35,000	35,000	35,000
RP2	RCMP Joint Detachment Repairs	151,200	151,200							
RP3	RCMP City Detachment	30,000,000	30,000,000							
FD1	LCFRS Hose & Nozzles	15,000	15,000	15,000	15,000	15,000	15,000	15,000	15,000	15,000
FD2	LCFRS Furniture	10,000								
FD6	Heavy Duty Washer/Extractor	60,000								
FD7	2 Officer Vehicle Replacements	220,000								
FD8	Portable & Mobile Radio Replacement	400,000								
FD9	Rehab Vehicle Replacement		1,000,000							
FD10	Fire Hall Expansion			10,000,000						
FD11	Fire Engine Replacement			2,000,000						
		30,886,440	31,196,440	12,050,000	50,000	50,000	50,000	50,000	50,000	50,000

Funding Sources		2026	2027	2028	2029	2030	2031	2032	2033	2034
Equipment Replacement Fire Dept.	-	-	-	-	-	-	-	-	-	-
Machinery Replacement Reserve	-	-	-	-	-	-	-	-	-	-
Capital Works Reserve	425,000	305,000	15,000	15,000	15,000	15,000	15,000	15,000	15,000	15,000
Future Police Cost Reserve	607,880	181,440	181,440	35,000	35,000	35,000	35,000	35,000	35,000	35,000
Grants	10,000,000		10,000,000							
Casino Proceeds	3,400,000	400,000	1,000,000	2,000,000		-	-	-	-	-
Borrowing	60,000,000	30,000,000	20,000,000	10,000,000		-	-	-	-	-
	74,432,880	30,886,440	31,196,440	12,050,000	50,000	50,000	50,000	50,000	50,000	50,000

CAPITAL IMPROVEMENT PLAN - PROJECT DETAILS

Item	Project Name	Description	Budget Amount	Financial Plan Impacts
Protective Services Projects				
RP1	RCMP Office Equipment & Computers	To provide funding for computers, furniture and equipment replacements at the RCMP detachment, including hydraulic work stations for the Telecom (911 dispatch) room. Includes a \$10,000 allowance for unanticipated purchases.	30,240	None.
RP2	RCMP Building Improvements	Repair the main RCMP detachment building	151,200	Operating costs of the equipment are ongoing and reflected in the current year financial plan.
RP3	Public Safety Building	Purchase land and design a public safety building.	60,000,000	Incremental operating costs would be required to operate the new building.
FD1	LCFRS Hose & Nozzles	Replace hose and obsolete nozzles.	55,000	None.
FD2	LCFRS Furniture	Replace damaged and worn office and sleeping quarters furniture	25,000	None.
FD3	Mobile CADD laptops	Replace existing CADD tablets and install laptops in the Duty Chief vehicles	50,000	Incremental operating costs would be required to annually licence the software.
FD4	EOC Building Renovations & Furniture	Add an interior wall and doors, purchase white boards, replace EOC tables and chairs.	30,000	None.
FD5	Fire Hall Building Repair	Repair water damage to exterior brick work	100,000	None.
FD6	Heavy Duty Washer/Extractor	Replace aging washer/extractor for firefighter Personal Protective Equipment (PPE).	60,000	Operating costs of the equipment are ongoing and reflected in the current year financial plan.
FD7	2 Officer Vehicle Replacements	Replace 10 year old pick up trucks used by the Duty Chiefs	220,000	Operating costs of the equipment are ongoing and reflected in the current year financial plan.
FD8	Portable & Mobile Radio Replacement	Replace existing portable and mobile radios	400,000	Operating costs of the equipment are ongoing and reflected in the current year financial plan.
FD9	Rehab Vehicle Replacement	Replace 30 year old rehab unit	1,000,000	Operating costs of the equipment are ongoing and reflected in the current year financial plan.
FD10	Fire Hall Expansion	Expansion of the existing firehall to facilitate seismic upgrades and provide additional space for staff, apparatus and Emergency Operation Centre	10,000,000	Incremental operating costs would be required to maintain a larger building.
FD11	Fire Engine Replacement	Replace 25 year old fire engine	2,000,000	Operating costs of the equipment are ongoing and reflected in the current year financial plan.

CAPITAL IMPROVEMENT PLAN - PROJECT DETAILS

Item	Description	Year	Budget Amount	Capital Works Reserve 200	MRN Roads 511	DCC			Communi			
						Transportation Unallocated 203	Machine Replace 207	Casino Proceeds 510	ty Amenity 2617	Commun ity Works 502	Borrowing	
Engineering Projects												
E1	Equipment Replacement	2025	497,000				497,000					
E2	Miscellaneous Property Purchase	2025	50,000	50,000								
E3	Accessibility Improvements	2025	150,000					75,000		75,000		
E4	Pedestrian Facilities (DCC-T) 75%	2025	400,000			297,000		103,000				
E5	Bicycle Facilities (DCC-T) 29%	2025	270,000			83,260		186,740				
E6	Traffic Signal Upgrades (DCC-T097) 75%	2025	660,000		210,000	334,125		115,875				
E7	Road Rehabilitation	2025	800,000					642,940			157,060	
E8	Asset Management	2025	20,000	20,000								
E9	Local Improvement & Traffic Calming	2025	15,000	15,000								
E10	Street Light Upgrades	2025	25,000	25,000								
E11	Bridge Assessment & Repairs	2025	100,000	100,000								
E12	Transit Shelter (DCC-T093) 75%	2025	44,000	11,330		32,670						
E13	Arterial Left Turn 56 Ave / 200 St DCC-T098	2025	48,000	12,360		35,640						
E14	Langley Bypass Cycling/Intersection Upgrade	2025	450,000			112,500			337,500			
E15	56 Ave & 208 St Intersection (DCC-T066) 50%	2025	70,000	35,350		34,650						
E16	Grade Cres, 203 St to 205 St (MUP) (DCC-T060) 75%	2025	96,000	24,720		71,280						
E17	Grade Cres, 200 St to 208 St Paving	2025	90,000	90,000								
E18	SkyTrain Project (2023,2024,2025)	2025	705,000						705,000			
E19	Operation Centre Improvements	2025	250,000	175,000				75,000				
E20	Residential Solid Waste Toters	2025	600,000					600,000				
E21	Public Space Waste Management	2025	100,000					100,000				
E22	205A St, 50 Ave MUP	2025	27,000	27,000								
			5,467,000	585,760	210,000	1,001,125	497,000	1,898,555	1,042,500	75,000	157,060	-

Project Source/Rationale:

- Transportation Plan
- DCC Bylaw
- Strategic Plan

Engineering Capital Improvement Plan 2026 - 2034

Item	Description	2026	2027	2028	2029	2030	2031	2032	2033	2034
E1	Equipment Replacement	1,095,000	215,000	726,000	350,000	150,000	450,000	150,000	150,000	150,000
E2	Misc Property Purchase	-	50,000		50,000		50,000		75,000	75,000
E3	Accessibility Improvements	100,000	50,000	-	80,000	250,000	100,000	250,000	250,000	250,000
E4	Pedestrian Facilities (DCC-T) 75%	200,000	200,000	100,000	1,000,000	570,000	530,000	1,000,000	600,000	600,000
E5	Bicycle Facilities (DCC-T) 29%	130,000	-	-	200,000	200,000	475,000	470,000	500,000	500,000
E6	Traffic Signal Upgrades (DCC-T095) 75%	350,000	350,000	350,000	400,000	375,000	400,000	375,000	375,000	375,000
E7	Road Rehabilitation (various locations)	1,500,000	1,500,000	1,500,000	2,000,000	1,500,000	2,000,000	1,500,000	1,500,000	1,500,000
E8	Asset Management Implementation	20,000	100,000	30,000	30,000	30,000	30,000	100,000	30,000	30,000
E9	Local Improvement & Traffic Calming	40,000	25,000	20,000	20,000	30,000	-	60,000	60,000	60,000
E10	Street Light Upgrades	25,000	25,000	25,000	25,000	30,000	30,000	30,000	30,000	30,000
E11	Bridge Assessment and Repairs	-	-	100,000			100,000			100,000
E12	Transit Shelter (DCC-T093) 75%	-	-	44,000			44,000			44,000
E21	Public Space Waste Management	200,000	-							
E22	205A St, 50 Ave MUP	234,000	-							
E23	Retaining Wall Inspection and Repair	100,000	-		30,000	100,000				100,000
E24	Langley Bypass Cycling Intersection Improvement	3,360,000	-							
E25	Grade Cres, 203 St to 205 St (MUP) (DCC-T060) 75%	3,098,000	-							
E26	Langley Pump Station Driveway Access	75,000	-							
E27	Grade Cres, 200 St to 208 St Paving	-	2,910,000							
E28	Transportation Plan Update (DCC-T096) 100%	-	40,000		250,000	40,000			40,000	
E29	Operation Centre			30,000,000						
E30	200 St, Michaud Cr & Brydon Cr Intersection DCC-T083 90%			465,450						
E31	206 St, 53A Ave to Douglas Cres (MUP) (DCC-T033) 75%			352,705						
E32	206 St, 53A Ave to Douglas Cres Paving			1,500,000						
E33	Douglas Cres, 204 St to 208 St Paving			100,000	2,500,000					
E34	Douglas Cres, 204 St to 208 St (Bike Lanes) (DCC-T057) 75%			803,000						
E35	62 Ave MUP			2,840,890						
E36	MRN Road Rehabilitation						1,500,000		1,000,000	
E37	Fuller Lane Extension (DCC-T094) 100%								79,000	714,025
E38	Intersection Imp 53 Ave/ 200 St (DCC-T078) 90%								31,000	356,875
E39	Arterial Left Turn Lanes (DCC-T098) 75%									912,000
E40	46 Ave- 196 St to 200 St (DCC-T047)									264,605
		10,527,000	5,465,000	38,957,045	6,935,000	3,275,000	5,709,000	3,935,000	4,720,000	6,061,505

Engineering Capital Improvement Plan 2026 - 2034

Funding Sources	Total	2026	2027	2028	2029	2030	2031	2032	2033	2034
Machinery Replacement Reserve	2,271,000	300,000	215,000	356,000	350,000	150,000	450,000	150,000	150,000	150,000
Capital Works Reserve	11,003,858	1,147,368	811,500	1,890,647	1,174,805	1,055,540	1,318,659	1,608,352	1,116,308	880,679
DCC Roads	-	-	-	-	-	-	-	-	-	-
DCC Roads Unallocated	12,268,005	4,141,460	447,975	1,639,623	1,344,420	798,685	859,566	1,155,873	1,012,917	867,486
Major Road Network Rehabilitate	-	-	-	-	-	-	-	-	-	-
Community Works Fund	1,463,780	157,060	163,340	163,340	163,340	163,340	163,340	163,340	163,340	163,340
Community Amenity Fund	474,427	244,177	178,750	51,500	-	-	-	-	-	-
Grants	1,964,500	1,964,500	-	-	-	-	-	-	-	-
Borrowing	30,000,000	-	-	30,000,000	-	-	-	-	-	-
Casino Proceeds/Taxation Rev/Debt	26,190,480	2,572,435	3,648,435	4,907,435	3,902,435	1,107,435	2,917,435	857,435	2,277,435	4,000,000
	85,636,050	10,527,000	5,465,000	39,008,545	6,935,000	3,275,000	5,709,000	3,935,000	4,720,000	6,061,505

CAPITAL IMPROVEMENT PLAN - PROJECT DETAILS

Item	Project Name	Description	Budget Amount	Financial Plan Impacts
Engineering Projects				
E1	Equipment Replacement	Replace Dodge Ram 1500, \$45,000 for Eng Services, Dodge Ram 2500 pick up \$75,000, Forklift \$37,000, John Deere Grader \$200,000, Wellscargo Trailer \$10,000, Ford F 350 pick up \$90,000, Message Board \$25,000, and the line painting machine \$15,000.	497,000	None.
E2	Misc Property Purchase	To provide funding for possible future land acquisition and development	50,000	None.
E3	Accessibility Improvements	Construct wheelchair curb letdowns to facilitate access.	150,000	Marginal incremental maintenance costs will be required in future years.
E4	Pedestrian Facilities (DCC-R014)	Includes the procurement of land and construction activities associated with providing sidewalk, off-street multi-use pathways. Additional sidewalk priorities from Master Transportation Plan.	400,000	Marginal incremental maintenance costs will be required in future years.
E5	Bicycle Facilities (DCC-R013)	Includes the procurement of land and construction activities associated with providing bicycle lanes, shared lanes, bicycle storage facilities. Adding protected bike lane along the south side of Michaud Crescent and improving intersections for pedestrian and cyclist safety	270,000	Marginal incremental maintenance costs will be required in future years.
E6	Traffic Signal Upgrades (DCC-T095) 75%	Traffic signal equipment has a best practise life expectancy - 12 years for the cabinet and controller and 25 years for the signal heads, poles and wiring.	660,000	Current maintenance cost to maintain this traffic signal will be reallocated to maintain other aging signals.
E7	Road Rehabilitation	Rehabilitate roads and pavement to acceptable standards.	800,000	Current maintenance cost to maintain this road will be reallocated to maintain other deteriorating roads.
E8	Asset Management	To develop an Asset Management Strategy that outlines target levels of service for sanitary, water, road and facilities within the City	20,000	None.
E9	Local Improvement & Traffic Calming	Traffic calming in residential neighbourhoods	15,000	None.
E10	Street Light Upgrades	Replacing street lights that are at the end of their life cycle	25,000	None.
E11	Bridge Assessment and Repairs	Condition assessment and minor repairs	100,000	None.
E12	Transit Shelter (DCC-T093) 75%	Installation of passenger shelters	44,000	Marginal incremental maintenance costs will be required in future years.

CAPITAL IMPROVEMENT PLAN - PROJECT DETAILS

Item	Project Name	Description	Budget Amount	Financial Plan Impacts
E13	Arterial Left Turn Lanes (DCC-T098) 75%	Constructing separate left turn lanes along arterial roads	48,000	Marginal incremental maintenance costs will be required in future years.
E14	Langley Bypass Cycling Intersection Improvement	Active transportation improvements along Langley Bypass	450,000	Marginal incremental maintenance costs will be required in future years.
E15	56 Ave & 208 St Intersection (DCC-T066) 50%	Adding a separate left turn lane	70,000	Marginal incremental maintenance costs will be required in future years.
E16	Grade Cres, 203 St to 205 St (MUP) (DCC-T060) 75%	Road rehab and active transportation implementation	96,000	Marginal incremental maintenance costs will be required in future years.
E17	Grade Cres, 200 St to 208 St Paving	Design of road rehab & bike lane	90,000	Current maintenance cost to maintain this road will be reallocated to maintain other deteriorating roads.
E18	SkyTrain Project (2023,2024,2025)	Undertake SkyTrain related planning projects	705,000	Marginal incremental maintenance costs will be required in future years.
E19	Operation Centre Improvements	Install portable washroom/shower facilities	250,000	Marginal incremental maintenance costs will be required in future years.
E20	Residential Solid Waste Toters	Implement the residential solid waste toter system	600,000	Marginal incremental maintenance costs will be required in future years.
E21	Public Space Waste Management	Review the public space waste management operations	100,000	Marginal incremental maintenance costs will be required in future years.
E22	205A St / 50 Ave	Intersection improvements	27,000	Marginal incremental maintenance costs will be required in future years.
E23	Retaining Wall Inspection and Repair	Condition assessment and repairs of retaining walls	100,000	None.
E24	Langley Bypass Cycling Intersection Improvement	Intersection improvements	3,360,000	Marginal incremental maintenance costs will be required in future years.
E25	Grade Cres, 203 St to 205 St (MUP) (DCC-T060) 75%	Road rehab and active transportation implementation	3,098,000	Marginal incremental maintenance costs will be required in future years.
E26	Langley Pump Station Driveway Access	Install a driveway access to the Langley Pump Station	75,000	Marginal incremental maintenance costs will be required in future years.
E27	Grade Cres, 200 St to 208 St Paving	Design of road rehab & bike lane	2,910,000	Marginal incremental maintenance costs will be required in future years.
E28	Transportation Plan Update (DCC-T096) 100%	Data collection and minor revision of Transportation Plan	40,000	None.
E29	Operation Centre	Design and construction of the building	30,000,000	Incremental maintenance costs will be required in future years.
E30	200 St, Michaud & Brydon Cr Intersect (DCC-T083) 90%	Constructing a raised median and a separate left turn lane	465,450	None.
E31	206 St, 53A Ave to Douglas Cres (MUP) (DCC-T033) 75%	Adding active Transportation	352,705	Marginal incremental maintenance costs will be required in future years.

CAPITAL IMPROVEMENT PLAN - PROJECT DETAILS

Item	Project Name	Description	Budget Amount	Financial Plan Impacts
E32	206 St, 53A Ave to Douglas Cres Paving	Paving the road after adding active transportation	1,500,000	Marginal incremental maintenance costs will be required in future years.
E33	Douglas Cres, 204 St to 208 St Paving	Design work for road rehabilitation and active transportation	100,000	Marginal incremental maintenance costs will be required in future years.
E34	Douglas Cres, 204 St to 208 St (Bike Lanes) (DCC-T057) 75%	Construction work for road rehabilitation and active transportation	803,000	Marginal incremental maintenance costs will be required in future years.
E35	62 Ave Improvements (Design) (DCC-T083) 75%	Design the widening of 62 Ave to add a second east bound lane	2,840,890	Marginal incremental maintenance costs will be required in future years.
E36	MRN Road Rehabilitation	Rehabilitate roads and pavement to acceptable standards.	1,500,000	Current maintenance cost to maintain this road will be reallocated to maintain other deteriorating roads.
E37	Fuller Lane Extension (DCC-T094) 100%	Connecting Fuller Lane to 204 Street	793,025	Marginal incremental maintenance costs will be required in future years.
E38	Intersection Imp 53 Ave/ 200 St (DCC-T078) 90%	Adding east & west bound left turn lanes	387,875	Marginal incremental maintenance costs will be required in future years.
E39	Arterial Left Turn Lanes (DCC-T098) 75%	Design of separate left turn lanes along arterial roads	912,000	None.
E40	46 Ave, 196 St to 200 St (DCC-T047) 75%	Implementing neighbourhood Bikeway	264,605	Marginal incremental maintenance costs will be required in future years.

CAPITAL IMPROVEMENT PLAN - PROJECT DETAILS

Item	Description	Year	Budget Amount	DCC							Capital Works Reserve
				DCC Parks Interest 202-890	DCC Parks Unallocated 202-899	Community Amenity Fund 2617	Parks & Recreation 210	Machine Replace 207	Casino Proceed	Grants	
Parks Projects											
P1	Equipment Replacement	2025	-						-		
P2	Neighbourhood Park Updates	2025	20,000			20,000					
P3	Street Boulevard Tree	2025	10,000			10,000					
P4	Linwood Park Shade Sails and Picnic Area (D	2025	235,000		50,245	184,755					
P5	City Park Pathway (DCC-P002) 29%	2025	66,875		19,200	47,675					
P6	Urban Park	2025	53,500		15,360	38,140					
				385,375	-	84,805	300,570	-	-	-	-

Project Source/Rationale:

DCC Bylaw

Parks Capital Improvement Plan 2026 - 2034

Item	Description	2026	2027	2028	2029	2030	2031	2032	2033	2034
P1	Equipment Replacement	470,000	225,000	240,000	80,000	80,000	80,000	80,000	80,000	80,000
P2	Neighbourhood Park Upgrades (Amenity)	20,000	20,000	20,000	20,000	20,000	20,000	20,000	20,000	20,000
P3	Street Boulevard Trees (Amenity)		10,000	35,000	25,000	50,000	10,000	50,000	30,000	50,000
P7	Decorative Christmas Tree	125,000								
P8	Uplands Dog off Leash Washroom & Dog Wash	300,000								
P9	Brydon Park - Phase II (DCC - P007)	150,000	1,722,500							
P10	Conder Park Improvements (DCC-P021)	625,000								
P11	City Park Spray Park (Amenity)			300,000						
P12	City Park Upgrades (DCC-P002)			1,357,090						
P13	Douglas Park Upgrades (DCC-P004)			1,441,610						
P14	Trail Infrastructure Expansion (DCC-017)			300,000						
P15	Buckley Park Upgrades (DCC-P003)				2,039,155					
P16	Parkland Acquisition (DCC-P001)					10,000,000				
P17	Increase Accessibility Penzer to Buckley (DCC-P016)						267,500			
P18	Nicomekl Park - Trails, Interpretive Signage, Viewing Platform (DCC-P019)							1,337,500		
P19	Penzer Park Improvements - (DCC-P005)								1,377,090	
P20	Rotary Park								450,000	
P21	Douglas Park - Lawn Bowling Green and Clubhouse								1,000,000	
P22	Portage Park Upgrades (DCC-009)									267,500
P23	Linwood Park - Trees, Pathway, Drainage (DCC-P008)									381,190
P24	Linwood Park - Upgrade Park Amenities									650,000
P25	Sendall Gardens - Building Area (DCC-P006)									1,000,000
P26	Hydro ROW Greenway - Paved Trails, Community Gardens									1,400,000
P27	Brydon Park - Land Acquisition (DCC-P001)									2,500,000
		1,690,000	1,977,500	3,693,700	2,164,155	10,150,000	377,500	1,487,500	2,957,090	6,348,690

Funding Sources		2026	2027	2028	2029	2030	2031	2032	2033	2034
DCC Parks Interest	-	-	-	-	-	-	-	-	-	-
DCC Parks Unallocated	15,816,867	222,503	494,529	889,635	585,440	9,900,000	76,800	383,995	395,365	2,868,600
DCC Parks on Hand	-	-	-	-	-	-	-	-	-	-
Parks and Recreation Reserve	1,209,268	77,497	167,971	144,065	93,715	150,000	170,700	153,505	151,725	100,090
Future Major Parks and Rec	-	-	-	-	-	-	-	-	-	-
Machinery Replacement Reserve	1,415,000	470,000	225,000	240,000	80,000	80,000	80,000	80,000	80,000	80,000
Community Amenity Funds	1,435,000	145,000	930,000	320,000		20,000		20,000		
Grants	500,000	-	-	-	-	-	-	-	500,000	-
Casino Use Proceeds	10,470,000	775,000	160,000	2,100,000	1,405,000		50,000	850,000	1,830,000	3,300,000
Borrowing	-	-	-	-	-	-	-	-	-	-
	30,846,135	1,690,000	1,977,500	3,693,700	2,164,155	10,150,000	377,500	1,487,500	2,957,090	6,348,690

CAPITAL IMPROVEMENT PLAN - PROJECT DETAILS

Item	Project Name	Description	Budget Amount	Financial Plan Impacts
Parks Projects				
P1	Equipment Replacement			
P2	Neighbourhood Park Updates	Minor upgrades and equipment replacements for parks like Buckley Park, Conder Park and other neighbourhood parks and open space.	20,000	None.
P3	Street Boulevard Trees	Enhance the street tree canopy	10,000	Marginal incremental maintenance costs will be required in future years.
P4	Linwood Park Shade Sails and Picnic Area DC	Install a shade structure and picnic area at Linwood Park	235,000	Marginal incremental maintenance costs will be required in future years.
P5	City Park Pathways (DCC-P002) 29%	Pave pathway behind new diamond	66,875	Marginal incremental maintenance costs will be required in future years.
P6	Urban Park	Create an urban park behind Timms Community Centre	53,500	Marginal incremental maintenance costs will be required in future years.
P7	Decorative Christmas Tree	Enhance Christmas Decorations	125,000	Marginal incremental maintenance costs will be required in future years.
P8	Uplands Dog Off Leash Washroom & Dog Wash	Construct a washroom and dog wash station at Uplands Dog Off Leash Park	300,000	Marginal incremental maintenance costs will be required in future years.
P9	Brydon Park - Phase II (DCC - P007)	Complete Phase II including washrooms and outdoor fitness areas.	1,872,500	None.
P10	Conder Park Improvements (DCC-P021)	Replace the oldest playground in the City	625,000	None.
P11	City Park Spray Park (Amenity)	Upgrade spray park features	300,000	
P12	City Park Upgrades (DCC-P002)	Undertake improvements to washroom buildings.	1,357,090	None.
P13	Douglas Park Upgrades (DCC-P004)	Drainage, pathways and field improvements.	1,441,610	None.
P14	Trail Infrastructure Expansion (DCC-017)	Make trail infrastructure improvements	300,000	Additional operating dollars for maintenance will be required.
P15	Buckley Park Upgrades (DCC-P003)	Upgrade the sports field in Buckley Park	2,039,155	Operating and maintenance costs will increase with the additional facility
P16	Parkland Acquisition (DCC-P001)	Make improvements anticipated in the DCC bylaw	10,000,000	Operating and maintenance costs will increase with the additional facility
P17	Increase Accessibility Penzer to Buckley (DCC-P016)	Improve pathway between parks.	267,500	Operating and maintenance costs will increase with the additional facility
P18	Nicomekl Park - Trails, Interpretive Signage, Viewing Platform (DCC-P019)	Trail and pathway improvements.	1,337,500	Additional operating dollars for maintenance will be required.
P19	Penzer Park Improvements - (DCC-P005)	Improvement anticipated in the DCC bylaw	1,377,090	Operating and maintenance costs will increase with the additional facility
P20	Rotary Park	Implement Phase 1 of the Masterplan	450,000	Operating and maintenance costs will increase with the additional facility

P21	Douglas Park - Lawn Bowling Green and Club	Consider rebuilding the lawn bowling green in Douglas Park with artificial turf and rebuild the clubhouse as a multi-use facility, in partnership with the lawn bowling club and other user groups.	1,000,000	Operating and maintenance costs will increase with the additional facility
P22	Portage Park Upgrades (DCC-009)	Improvement anticipated in the DCC bylaw	267,500	Operating and maintenance costs will increase with the additional facility
P23	Linwood Park - Trees, Pathway, Drainage (DC	Conduct moderate upgrades to the park as outlined in the planning process.	381,190	Additional operating dollars for maintenance will be required.
P24	Linwood Park - Upgrade Park Amenities	Upgrade park amenities	650,000	None.
P25	Sendall Gardens - Building Area (DCC-P006)	Make improvements anticipated in the DCC bylaw.	1,000,000	Operating and maintenance costs will increase with the additional facility
P26	Hydro ROW Greenway - Paved Trails, Commu	Improve pathway and trails.	1,400,000	Operating and maintenance costs will increase with the additional facility
P27	Brydon Park - Land Acquisition (DCC-P001)	Make improvements anticipated in the DCC bylaw	2,500,000	Operating and maintenance costs will increase with the additional facility

CAPITAL IMPROVEMENT PLAN - PROJECT DETAILS

Item	Description	Year	Budget Amount	DCC		Community Amenity Fund 2617	Parks & Recreation 210	Capital Works 200	Machine Replace 207	Casino Proceed	Major P & R 211
				Parks Interest 202-890	DCC Parks Unallocated 202-899						
Recreation Projects											
R1	Timms Equipment	2025	50,800				50,800				
R2	DRC Equipment	2025	15,000				15,000				
R3	AAMP Equipment	2025	50,000				50,000				
R4	Public Art (Community Amenity Fund)	2025	20,000			20,000					
R5	Timm Centre Flooring	2025	19,000				19,000				
R6	Timms Server Room Card Access	2025	6,650				6,650				
R7	Timms Auto Scrubber Batteries	2025	7,840				7,840				
R8	Library Furniture	2025	10,000			10,000					
R9	Aquatic Feasibility Study	2025	150,000					104,000			46,000
R10	AAMP Repaint Pool Basin	2025	18,900				18,900				
R11	AAMP Drain cover	2025	6,000				6,000				
R12	Langley Arts Council (July 8, 2024)	2025	69,090				69,090				
R13	Accessibility Strategy	2025	60,000				60,000				
			483,280	-	-	30,000	303,280	104,000	-	-	46,000

Recreation Capital Improvement Plan 2026 - 2034

Item	Description	2026	2027	2028	2029	2030	2031	2032	2033	2034
R1	Timm's Equipment	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000
R2	DRC Equipment	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000
R3	AAMP Equipment	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000
R4	Public Art (Community Amenity Fund)		20,000							
R14	Banner Installation	20,000		20,000		20,000		20,000		
R15	Library - Replace Carpet Tiles	75,000								
		125,000	50,000	50,000	30,000	50,000	30,000	50,000	30,000	30,000

Funding Sources		2026	2027	2028	2029	2030	2031	2032	2033	2034
DCC Parks Interest	-	-	-	-	-	-	-	-	-	-
DCC Parks Unallocated	-	-	-	-	-	-	-	-	-	-
DCC Parks on Hand	-	-	-	-	-	-	-	-	-	-
Parks and Recreation Reserve	385,000	125,000	50,000	30,000	30,000	30,000	30,000	30,000	30,000	30,000
Future Major Parks and Rec	-	-	-	-	-	-	-	-	-	-
Machinery Replacement Reserve	-	-	-	-	-	-	-	-	-	-
Community Amenity Funds	60,000			20,000		20,000		20,000		
Grants	-	-	-	-	-	-	-	-	-	-
Casino Use Proceeds	-	-	-	-	-	-	-	-	-	-
Borrowing	-	-	-	-	-	-	-	-	-	-
	445,000	125,000	50,000	50,000	30,000	50,000	30,000	50,000	30,000	30,000

CAPITAL IMPROVEMENT PLAN - PROJECT DETAILS

Item	Project Name	Description	Budget Amount	Financial Plan Impacts
Recreation Projects				
R1	Timms Equipment	Replace aging equipment. Gym, Games room, Fitness & weightroom equipment. Replace AV equipment in multipurpose rooms.	50,800	None.
R2	DRC Equipment	Replacement autoscrubber at DRC	15,000	None.
R3	AAMP Equipment	Replace equipment (diving board), teaching aids and staff jackets.	50,000	None.
R4	Public Art (Community Amenity Fund)	To provide amenities within the community funded by development (public art, street furniture, hydro box wraps and other beautification measures)	20,000	None.
R5	Timms Fitness Rooms Refinish Flooring	Sand the hardwood floors in Gym and the Fitness room and MPR#3 and refinish with 2 coats of sealer and 2 coats of finish.	19,000	None.
R6	Timms Server Room Card Access	Install an automatic access control to electrical / server room.	6,650	None.
R7	Timms Auto Scrubber Batteries	Replace batteries in ride on auto scrubber.	7,840	None.
R8	Library Furniture	Replace furniture in the library.	10,000	None.
R9	Aquatic Feasibility Study	Undertake an aquatics feasibility study	150,000	None.
R10	AAMP Repaint Pool Basin	Repaint pool basin	18,900	None.
R11	AAMP Drain Cover	Replace main drain covers.	6,000	None.
R12	Langley Arts Council (July 8, 2024)	Funding for Langley Arts Council programming	69,090	None.
R13	Accessibility Strategy	Compile an accessibility strategy	60,000	None.
R14	Banner Installation	Replace banners on a scheduled cyclical plan	20,000	None.
R15	Library Replace Carpet Tiles	Replace the carpet tile throughout the library due to wear and tear.	75,000	None.

CAPITAL IMPROVEMENT PLAN - PROJECT DETAILS

Item	Description	Year	Budget Amount	Sewer Future Capital 505	DCC Sewer 204	DCC Sewer Unallocated 204	DCC Drainage 201	DCC Drainage Unallocated 201	Casino Proceeds	Grant	Borrowing
Sewer & Drainage Utility Projects											
S1	Sewer Upgrades - Various	2025	150,000	150,000							
S2	Infiltration Inflow Control Program	2025	450,000	450,000							
S3	200 St. Culvert Replacement	2025	300,000	300,000							
S4	201 St from Michaud Cr to 56 Ave	2025	1,250,000						1,250,000		
S5	198 St - North of 55A Ave to 54 Ave (DCC S-001)	2025	2,315,740	100,000		1,687,580			528,160		
S6	Grade Crescent 203 St to 205 St (DCC D-012)	2025	74,410	53,045				21,365			
			4,540,150	1,053,045	-	1,687,580	-	21,365	1,778,160	-	-

Project Source/Rationale:

- Water & Sewer main condition assessments
- DCC Bylaw

Sewer & Drainage Utility Capital Improvement Plan 2026 - 2034

Item	Description	2026	2027	2028	2029	2030	2031	2032	2033	2034
S1	Sewer Upgrades - Various	160,000	250,000	300,000	150,000	400,000	200,000	450,000	300,000	300,000
S2	Infiltration Inflow Control Program	450,000	450,000	650,000	450,000	450,000	500,000	500,000	500,000	650,000
S6	Grade Cr, 200 St to 208 St (DCC-D012)	532,120								
S7	Culvert Replacement	30,000	300,000		400,000		300,000		300,000	
S8	Culvert Inspection & Minor Repair	50,000		50,000		50,000		50,000		50,000
S9	198 St - Lane North of 56 to 55A Ave (DCC-S003)	2,006,260								
S10	Stormwater Studies (DCC-D015)	250,000				250,000				
S11	199 St Lane (DCC-S006)					1,244,475				
S12	203 St, DQ Lane to Douglas Cr (DCC-S004)								1,190,113	
S13	Sanitary Servicing Plan (DCC-S010)								250,000	
		3,478,380	1,000,000	1,000,000	1,000,000	2,394,475	1,000,000	1,000,000	2,540,113	1,000,000

Funding Sources		2026	2027	2028	2029	2030	2031	2032	2033	2034
Sewer Future Capital	8,997,708	992,635	1,000,000	1,000,000	1,000,000	990,670	1,000,000	1,000,000	1,014,403	1,000,000
Capital Works Reserve	-	-	-	-	-	-	-	-	-	-
DCC Sewer	-	-	-	-	-	-	-	-	-	-
DCC Sewer Unallocated	4,643,941	1,986,200	-	-	-	1,232,030			1,425,710	
DCC Drainage	-	-	-	-	-	-	-	-	-	-
DCC Drainage Unallocated	296,320	224,545	-	-	-	71,775		-		
Casino Revenues	475,000	275,000				100,000			100,000	
Grants	-	-	-	-	-	-	-	-	-	-
Borrowing	-	-	-	-	-	-	-	-	-	-
	14,412,968	3,478,380	1,000,000	1,000,000	1,000,000	2,394,475	1,000,000	1,000,000	2,540,113	1,000,000

CAPITAL IMPROVEMENT PLAN - PROJECT DETAILS

Item	Project Name	Description	Budget Amount	Financial Plan Impacts
Sewer & Drainage Utility Projects				
S1	Sewer Replacements - Various Locations (DCC-S020)	Small capacity upgrade to the sewer system in various locations.	150,000	Operating and maintenance costs will reduce with repairs of identified defects in the sewer system.
S2	Infiltration Inflow Control Program	Detect unnecessary rain water inflow into the sewer system.	450,000	None.
S3	200 St Culvert, Brydon Cr & Michaud Cr	Reline existing deteriorating twin-pipe culverts to address corrosion	300,000	Operating and maintenance costs will reduce with repairs of identified defects in the storm sewer system.
S4	201 St from Michaud Cr to 56 Ave	Replace storm sewer on 201 St from Michaud Cr to 56 Ave	1,250,000	Marginal incremental maintenance costs will be required in future years.
S5	198 St - North of 55A Ave to 54 Ave (DCC S-001)	Replace existing sewer pipe that has reached the end of its useful life, with a larger diameter PVC pipe.	2,315,740	Operating and maintenance costs will reduce with repairs of identified defects in the sewer system.
S6	Grade Crescent 203 St to 205 St (DCC D-012)	Storm sewer upgrade in conjunction with MUP construction from 203 St to 205 St.	606,530	Operating and maintenance costs will reduce with repairs of identified defects in the storm sewer system.
S7	Culvert Replacement	Replace existing storm drainage to reduce risk, as it has reached the end of its useful life.	30,000	Operating and maintenance costs will reduce with repairs of identified defects in the storm sewer system.
S8	Culvert Inspection & Minor Repair	To clean and inspect large diameter culverts in the City creek system to identify defects and reduce flood risk.	50,000	Operating and maintenance costs will reduce with repairs of identified defects in the storm sewer system.
S9	198 St - North of 56 Ave to 55A Ave (DCC S-003)	Storm sewer upgrade.	2,006,260	Operating and maintenance costs will reduce with repairs of identified defects in the sewer system.
S10	Stormwater Studies (DCC-D015)	Update the storm sewer studies	250,000	None.
S11	199 St Lane (DCC-S006)	Replace existing sewer pipe that has reached the end of its useful life, with a larger diameter PVC pipe.	1,244,475	Operating and maintenance costs will reduce with repairs of identified defects in the storm sewer system.
S12	203 St, DQ Lane to Douglas Cr (DCC-S004)	Capacity upgrade to provide local sewerage for the residents as identified in sewer model.	1,190,000	Operating and maintenance costs will reduce with repairs of identified defects in the sewer system.
S13	Sanitary Servicing Plan (DCC-S010)	Create a sanitary servicing plan	250,000	None.

CAPITAL IMPROVEMENT PLAN - PROJECT DETAILS

Item	Description	Year	Budget Amount	Water Future Capital 509	DCC Water 205	DCC Water Unallocated 205	Special Bond	Growing Community Fund 512	Casino Proceeds	Grants
Water Utility Projects										
W1	Water Meter Replacement Program	2025	250,000	250,000						
W2	Cast Iron & AC Watermain Replacement	2025	-						-	
W3	204 St - 51A Ave to 53 Ave	2025	520,000	520,000						
W4	207A St - 44 Ave to 45 Ave	2025	520,000	300,000					220,000	
W5	200 St - 44 Ave to 50 Ave	2025	2,903,540						2,903,540	
			4,193,540	1,070,000	-	-	-	-	3,123,540	-

Project Source/Rationale:

Water & Sewer main condition assessments

Water Utility Capital Improvement Plan 2026 - 2034

Item	Description	2026	2027	2028	2029	2030	2031	2032	2033	2034
W1	Water Meter Replacement Program	250,000	250,000	250,000	250,000	250,000	250,000	250,000	250,000	250,000
W2	Cast Iron & AC Watermain Replacement		1,500,000	740,000	750,000	750,000	1,500,000	750,000	750,000	750,000
W6	Eliminate Pipe Twinning	600,000								
W7	Grade Cr: 200 St to 203 St	2,736,000								
W8	54 Ave, 201A St to 203 St DCC-W006		1,126,045							
W9	53A Ave, 199A St to 200 St DCC-W007			151,400						
W10	45A Ave / 199 St / 199A St DCC-W002, DCC-W004			332,320						
W11	206 St: 53A Ave to Douglas Crescent DCC-W013			1,139,430						
W12	Water Servicing Plan DCC-W027				250,000					
W13	46 Ave / 196 St DCC-W005					785,795				
W14	53 Ave, 201A St to 203 St DCC-W007						1,074,365			
		3,586,000	2,876,045	2,613,150	1,250,000	1,785,795	2,824,365	1,000,000	1,000,000	1,000,000

Funding Sources		2026	2027	2028	2029	2030	2031	2032	2033	2034
Water Future Capital	9,019,592	1,001,000	1,001,260	1,006,230	1,002,500	1,007,860	1,000,742	1,000,000	1,000,000	1,000,000
DCC Water	-	-	-	-	-	-	-	-	-	-
DCC Water Unallocated	4,810,763	-	1,114,785	1,606,920	247,500	777,935	1,063,623	-	-	-
Capital Works Reserve	-	-	-	-	-	-	-	-	-	-
Casino Proceeds	4,105,000	2,585,000	760,000	-	-	-	760,000	-	-	-
Grants	-	-	-	-	-	-	-	-	-	-
Borrowing	-	-	-	-	-	-	-	-	-	-
	17,935,355	3,586,000	2,876,045	2,613,150	1,250,000	1,785,795	2,824,365	1,000,000	1,000,000	1,000,000

CAPITAL IMPROVEMENT PLAN - PROJECT DETAILS

Item	Project Name	Description	Budget Amount	Financial Plan Impacts
Water Utility Projects				
W1	Water Meter Replacement Program	To replace aging water meters that read the water consumption inaccurately low.	250,000	Water consumption charges to consumers may increase with more accurate reading ability.
W2	Cast Iron & AC Watermain Replacement	Replace watermains at several locations based on their condition and asset management risk analysis.	1,500,000	Reduce on-going maintenance cost as well as repair cost associated with potential broken water main.
W3	204 St N of 51A Ave DCC-W028	Upgrade AC water main to support growth and reduce risk, for older infrastructure.	520,000	Increase capacity and reduce on-going maintenance cost as well as repair cost associated with potential broken water main.
W4	207A St: 44A Ave to 46A Ave DCC-W031	Upgrade AC water main to support growth and reduce risk, for older infrastructure.	520,000	Increase capacity and reduce on-going maintenance cost as well as repair cost associated with potential broken water main.
W5	200 St- 44 Ave to 50 Ave	Replace existing AC water main to reduce risk, as it has reached the end of its useful life.	2,903,540	Increase capacity and reduce on-going maintenance cost as well as repair cost associated with potential broken water main.
W6	Eliminate Pipe Twinning	Replace existing AC water main to reduce risk, as it has reached the end of its useful life.	600,000	Increase capacity and reduce on-going maintenance cost as well as repair cost associated with potential broken water main.
W7	Grade Cr: 200 St to 208 St	Replace existing AC water main to reduce risk, as it has reached the end of its useful life.	2,736,000	Reduce on-going maintenance cost as well as repair cost associated with potential broken water main.
W8	54 Ave, 201A St to 203 St DCC-W010	Upgrade AC water main to support growth and reduce risk, for older infrastructure.	1,126,045	Increase capacity and reduce on-going maintenance cost as well as repair cost associated with potential broken water main.
W9	53A Ave, 199A St to 200 St DCC-W007	Upgrade AC water main to support growth and reduce risk, for older infrastructure.	151,400	Increase capacity and reduce on-going maintenance cost as well as repair cost associated with potential broken water main.
W10	45A Ave / 199 St / 199A St DCC-W004, DCC-V	Upgrade AC water main to support growth and reduce risk, for older infrastructure.	332,320	Increase capacity and reduce on-going maintenance cost as well as repair cost associated with potential broken water main.
W11	206 St: 53A Ave to Douglas Crescent DCC-W01	Replace existing AC water main to reduce risk, as it has reached the end of its useful life.	1,139,430	Reduce on-going maintenance cost as well as repair cost associated with potential broken water main.
W12	Water Servicing Plan DCC-W027	Prepare a Water Servicing Plan update	250,000	None.
W13	46 Ave / 196 St DCC-W005	Upgrade AC water main to support growth and reduce risk, for older infrastructure.	785,795	Reduce on-going maintenance cost as well as repair cost associated with potential broken water main.

CAPITAL IMPROVEMENT PLAN - PROJECT DETAILS

Item	Project Name	Description	Budget Amount	Financial Plan Impacts
W14	53 Ave, 201A St to 203 St DCC-W011	Upgrade AC water main to support growth and reduce risk, for older infrastructure.	1,074,365	Increase capacity and reduce on-going maintenance cost as well as repair cost associated with potential broken water main.

CITY OF LANGLEY

CAPITAL IMPROVEMENT PLAN - RESERVE FORECAST

	Estimated	Reserve Additions			Reserve Expenditures	Balance Dec 31, 2025
	Balance Dec 31, 2024	Amount	Source	Interest Addition		
Statutory Reserves						
Capital Works Reserve	76,526	2,251,100	General Revenues	3,061	1,838,715	491,972
Prosperity Fund	24,884	-		-	-	24,884
Equipment Replace Fire Dept	42,912	55,000	General Revenues	1,716	-	99,628
Lane Development	316,206	-		12,648	-	328,854
Machinery Replacement	467,267	400,000	General Revenues	18,691	497,000	388,957
Off Street Parking	421,000	11,520	General Revenues	16,840	-	449,360
Office Equipment	7,910	46,500	General Revenues	316	45,000	9,727
Parks & Recreation	181,731	177,500	General Revenues	7,269	303,280	63,221
	1,538,436	2,941,620	-	60,542	2,683,995	1,856,603
Reserve Accounts						
Community Works Fund (Gas Tax)	939	157,059	Gas Tax	38	157,060	976
Future Police Cost	2,107,857	-		84,314	335,000	1,857,171
Gaming Proceeds	1,995,935	6,707,435	Gaming	79,837	6,800,255	1,982,953
Major Road Network Rehab	418,311	277,105	GVTA Funding	16,732	210,000	502,149
Sewer Future Capital	55,917	1,000,000	Sewer Revenues	2,237	1,053,045	5,109
Special Bond Reserve	7,783,724	-		311,349	-	8,095,073
Tax Rate Stabilization	3,749,904	-		149,996	-	3,899,900
Water Future Capital	89,427	1,000,000	Water Revenues	3,577	1,070,000	23,005
	16,202,015	9,141,599	-	648,081	9,625,360	16,366,335
DCC Accounts						
DCC Drainage	6,929,959	420,000	Developer Contributions	277,198	21,365	7,605,792
DCC Parks	4,567,957	1,664,000	Developer Contributions	182,718	84,805	6,329,870
DCC Roads	11,515,309	1,512,000	Developer Contributions	460,612	1,001,125	12,486,796
DCC Sewer	10,205,826	306,000	Developer Contributions	408,233	1,687,580	9,232,480
DCC Water	3,814,257	286,000	Developer Contributions	152,570	-	4,252,827
	37,033,309	4,188,000	-	1,481,332	2,794,875	39,907,766
Total all Reserves	54,773,760	16,271,219	-	2,189,955	15,104,230	58,130,704

GLOSSARY

Accounting Principles	A set of generally accepted principles for administering accounting activities and regulating financial reporting. These principles comply with Generally Accepted Accounting Principles for British Columbia municipalities.
Accrual Accounting	An accounting method where revenues are recognized in the accounting period in which they are earned and expenses are recognized in the period in which they are incurred.
Assessed Value	The value calculated for each parcel of real property using appraisal criteria established by the B.C.A.A. Each property reflects market prices of the land and its improvements and recognizes any change of use. These values are the basis of levying property taxes.
B.C. Assessment Authority	(BCAA) This provincial agency is assigned to appraise and evaluate all real property within British Columbia.
Capital Expenditure	An appropriation of funds for a capital improvement project or asset. These are non-operating expenditures to acquire assets which will have a useful life greater than one year.
Capital Improvement Program	(CIP) An annual program of capital expenditures. The program identifies the project and the source of funding.
Cash Basis	An accounting method where transactions are only recognized when cash is received or dispersed.
Community Police Office	(CPO) This service assists in bringing policing closer to the community providing a local positive presence, and added convenience to residents.
CUPE	The Canadian Union of Public Employees.
Department	A budgeted City activity directed by a department head.
Development Cost Charges	A fee imposed on new development to assist in the funding of future off site services (infrastructure) which is needed, in part, by that new development.

GLOSSARY

E-Comm	An organization that provides emergency communication services for all public service agency in southwestern British Columbia.
Encumbrances	An expenditure which has been committed, but is unpaid. The recording of encumbrances identifies all financial obligations and it assists control of the annual budget.
Emergency Social Services	(ESS) Emergency Social Services is a provincial emergency response program. ESS are those services required to preserve the well-being of people affected by an emergency or disaster.
Expenditures	The cost of goods and services received for both the regular City operations and the capital programs.
F.T.E.	Full time equivalent staffing positions.
Financial Plan	Under Sec 165 & 166 of the Community Charter, Council must adopt a five year financial plan, by bylaw and before the annual property tax bylaw is adopted. The plan must identify expenditures, funding sources and fund transfers.
Fraser Valley Regional Library	(FVRL) A regional board which provides library services to the Cty and other member communities in the Fraser Valley.
Fund	A fiscal entity of self balancing accounts used by governments to control common financial activities.
Fund Balance	The amount that assets exceed the liabilities in an operating capital, reserve or trust fund.
General Fund	The primary operating fund used to account for most of the City's financial resources and obligations.
GIS	An abbreviation for Geographical Information System.
Goals	Are broad statements of direction. They identify ongoing community needs and the approach taken by the City and departments to manage or satisfy those needs.

GLOSSARY

Grant	A financial contribution to or from governments.
Greater Vancouver Regional District	(GVRD) A regional district entity responsible for coordinating common and jointly funded regional member services.
Greater Vancouver Transportation Authority	(GVTA) The regional government agency, also known as "Translink", responsible for Coordinating and operating public transit in the lower mainland of British Columbia.
Greater Vancouver Water District	(GVWD) A regional district entity responsible for coordinating common and jointly funded sewerage district member services
IAFF	The International Association of Fire Fighters
Municipal Insurance Association	(MIA) A non-profit insurance co-operative, founded by the Union of British Columbia Municipalities, which pools the common risks of its members for their mutual advantage by maintaining the liability insurance coverage needed for financial security, stabilizing liability insurance costs and providing risk management education to assist members in preventing claims.
Langley Youth and Family Services	(LYFS) This service is supplies to help minimize the entry of youth into the criminal justice system by providing counselling and support.
Local Government Act	Legislation of the province for administering and regulating the activities of municipalities within British Columbia.
Municipal Finance Authority	(MFA) A provincial agency created to coordinate all of the long term borrowing requirements of British Columbia
Objective	Is a specific or well-defined task or target that is measurable and achievable within a set period of time.
Operating Budget	An annual expenditure plan for performing the every day service programs and activities of the City.

GLOSSARY

PSAAB	The public Sector Accounting & Auditing Board
R.C.M.P.	Royal Canadian Mounted Police.
Reserves	Discretionary funds established to pay for specific projects.
Revenues	Sources of income received by the City. They include property taxes, fees, grants, permits and licenses, fines, grants, interest, etc.
Sewer Utility	A self funding utility that provides sanitary sewage services to properties in the City. Properties are charged based on 80% of their metered water consumption.
Tax Rates	The annual charges for levying property taxes to properties within the City. These rates are applied against each \$1,000.00 of assessed value.
Union of British Columbia Municipalities	(UBCM) An organization of British Columbia municipalities with lobbies Federal and Provincial Governments to initiate legislative changes that will benefit the member communities.
Water Utility	A self funding utility that supplies water services to properties in the City. All City properties are metered for their water consumption and accordingly charged.



MINUTES OF A REGULAR COUNCIL MEETING

Monday, January 27, 2025

7:00 p.m.

Council Chambers, Langley City Hall
20399 Douglas Crescent

Present: Mayor Pachal
Councillor Albrecht
Councillor James
Councillor Mack
Councillor Solyom
Councillor Wallace
Councillor White

Staff Present: F. Cheung, Chief Administrative Officer
R. Beddow, Deputy Director of Development Services
G. Flack, Deputy Director of Corporate Services
K. Hilton, Director of Recreation, Culture and Community Services
C. Johannsen, Director of Development Services
S. Kennedy, Fire Chief
K. Kenney, Corporate Officer
D. Pollock, Director of Engineering, Parks and Environment
B. Zeller, Manager of Human Resources

1. LAND ACKNOWLEDGEMENT

The land on which we gather is on the traditional unceded territory of the Katzie, Kwantlen, Matsqui and Semiahmoo First Nations.

2. ADOPTION OF AGENDA

It was MOVED and SECONDED

THAT the January 27, 2025 regular agenda be adopted as circulated.

CARRIED

3. CONSENT AGENDA

It was MOVED and SECONDED

THAT the following items be approved:

a. Adoption of Minutes

1. Regular Meeting Minutes from January 13, 2025

THAT the minutes of the regular meeting held on January 13, 2025 be adopted as circulated.

2. Special Meeting Minutes from January 13, 2025

THAT the minutes of the special meeting held on January 13, 2025 be adopted as circulated.

b. Correspondence

THAT the following correspondence be received for information:

1. International Holocaust Remembrance Day on Monday, January 27, 2025

Jewish Federation of Greater Vancouver

2. Industrial Inquiry Commission Reviewing Canada Post

Canadian Union of Postal Workers (CUPW)

CARRIED

4. ADOPTION OF THE MINUTES

See Consent Agenda

5. COUNCIL MEMBER REPORTS

a. Upcoming Regular Meetings

February 10, 2025

February 24, 2025

b. Council Advisory Bodies Update

Councillor Wallace reported on the following:

- Advised the Fraser Valley Regional Library Board experienced their busiest year yet in 2024.

Councillor James reported on the following:

- Upcoming annual fundraiser for Gateway of Hope, “Coldest Night of the Year” event taking place on February 22, 2025.

6. BYLAWS

a. Bylaw 3290 - Zoning Bylaw Amendment No. 210

First and second reading of a bylaw to rezone the properties located at 5501 204 Street and 20300 Douglas Crescent from C1 Downtown Commercial Zone to CD100 Comprehensive Development Zone to permit a multi-phase apartment & commercial mixed-use transit-oriented development with heights of up to 14 storeys.

The Corporate Officer advised that the statutory notice requirements had been met.

The Director of Development Services introduced the bylaw.

Mr. Tyler Knoepfel, Senior Development Manager, Cedar Coast, representing the applicant, advised that Cedar Coast has been working on this master plan development for three and a half years in conjunction with their building partner Orion Construction, and City staff to best lay out the site.

He introduced Rhys Leitch, Principal, Integra Architecture Inc who presented the proposed development, providing details on the following:

- Site context photos;
- Design rationale
- 3D massing;
- Perspective renderings;
- Site Data;
- Master Plan;
- Level 1 floor plan;
- Level 2 floor plan;
- Level 3 Floor Plan;
- Levels 4-11 floor plans;
- Levels 12-14 floor plans;
- Site sections;
- Inspiration images;
- Public park space and amenities;
- Green space comparison to existing site.

The applicant and staff responded to questions from Council members regarding the following:

- Approximate square footage of park;
- Public access to park;
- First right of refusal for existing commercial businesses on the site;
- Road dedication for bike lane on Douglas Crescent;
- Accessibility throughout the development;

- How to ensure geotechnical requirements of the development are met;
- Inclusion of historical elements into the development;
- Inclusionary zoning requirements applicable to the development;
- Incremental density build out over time;
- Potential for increase in number of stores on the site;
- Width of pedestrian walkways;
- Resident and commercial parkade use;
- City's recourse if development phases not completed;
- Ensuring mix of commercial uses (large and small stores);
- Street frontages to accommodate smaller shops.

Council member discussion points included:

- Inclusion of elements that will assist City in meeting its housing needs, and providing opportunities for the public to engage and interact;
- Improved intersection of Douglas Crescent;
- Walkability of the development;
- Greening of the site;
- Concerns regarding density of the site;
- Requirement for separated distance requirements for certain business uses.

It was MOVED and SECONDED

THAT the bylaw cited as "Zoning Bylaw 1996, No. 2100 Amendment No. 210, 2025, No. 3290" be read a first and second time.

BEFORE THE QUESTION WAS CALLED on first and second reading of the bylaw

It was MOVED and SECONDED

THAT the application be referred back to staff to work with the applicant to reduce density, to increase or ensure Community Amenity Contribution (CAC) values will be proportionate to the density being proposed, to remove site specific exemptions, and to mandate minimum accessible parking stalls.

BEFORE THE QUESTION WAS CALLED on the referral motion, staff provided clarification on the following:

- Density;
- CACs;
- Accessible parking space requirements;
- Adaptability of units;
- Beauty and Wellness and Pharmacy uses.

Staff responded to questions from Council member regarding:

- the applicability of the City's Community Amenity Contribution Policy to this application.

THE QUESTION WAS CALLED and the referral motion was

DEFEATED

Opposed: Mayor Pachal, Councillors Albrecht, James, Solyom, Wallace, and White

BEFORE THE QUESTION WAS CALLED on the main motion, staff responded to questions from Council members regarding the following:

- approximate dollar amount the CACs on this development would bring to the City;
- receiving an explanatory memo from staff in response to feedback and questions provided by Council members.

THE QUESTION WAS CALLED on first and second reading of "Zoning Bylaw 1996, No. 2100 Amendment No. 210, 2025, No. 3290" and the motion was

CARRIED

Opposed: Councillor Mack

b. Bylaw 3296 - Zoning Bylaw Amendment No. 215

First and second reading of a bylaw to rezone the properties located at 20815 45A Avenue & 4560, 4570 and 4580 208 Street from RS1 Single Family Residential Zone to CD104 Comprehensive Development Zone to permit a 26-unit townhome development.

The Corporate Officer advised that the statutory notice requirements had been met.

The Director of Development Services to introduce the bylaw.

The following members of the applicant team were in attendance:

- Fred Adab, Architect, F. Adab Architects Inc.
- Azar Ahmadi, Senior Designer, Associate, F. Adab Architects Inc.
- Yiwen Ruan, Principal, PMG Landscape Architects

Mr. Adab spoke to the development proposal, providing information on the following:

- Location of the site in relation to amenities and bus transit;
- Site Plan;
- Statistics;
- Perspective rendering along 208 St.;
- Elevations of block 3 and 4;
- Material Board;
- Building sections;
- Photos of interior.

Mr. Ruan spoke to the landscape design, highlighting the following elements:

- Amenities;
- Tree retention;
- Replacement trees;
- Tree types;
- Tree management plan;
- Low maintenance plants;
- Decorative pavers.

The applicant and staff responded to questions from Council members regarding the following:

- Community Amenity Contributions;
- Park improvements;
- Price and size of units;
- Preventing illegal suites;
- Parking requirements, parking access, tree retention, and park improvements for townhome versus multiplex uses;

It was MOVED and SECONDED

THAT the bylaw cited as "Zoning Bylaw 1996, No. 2100 Amendment No. 215, 2025, No. 3296" be read a first and second time.

BEFORE THE QUESTION WAS CALLED the applicant and staff responded to further questions from Council members regarding the following:

- Potential alternative development uses for the site;
- Whether Council is required to approve this development request.

Council member discussion points included:

- Rezoning process
- Ramifications if rezoning application fails;
- Provincial legislation with respect to permitted land uses;
- Potential benefits of this type of development as compared to other potential uses;
- Advisory Design Panel support of application;
- Housing Needs Report findings;
- Amount of Community Amenity Contributions being received for this development;
- Loss of some large trees as a result of this development.
- Number of municipalities that resisted implementing Small Scale Multi-Unit Housing (SSMUH) legislation;
- Increased parking as a result of this development;
- Option to refer application back to staff for amendments.

The applicant and staff responded to further questions from Council members regarding the following:

- what development cost charges payable on this development will go toward;
- sidewalk width on 208 St.;
- if this development will contribute to cost for installation of traffic signal at 208 St. and 45A,.
- advantages to this development use as compared to multiplex use.

THE QUESTION WAS CALLED on first and second reading of Zoning Bylaw 1996, No. 2100 Amendment No. 215, 2025, No. 3296" and the motion was

CARRIED

Opposed: Councillor Mack

c. Bylaw 3303 - Zoning Bylaw Amendment No. 216

First and second reading of a bylaw to rezone the properties located at 20239-20249 54A Avenue from RM1 Multiple Residential Low Density Zone to CD105 Comprehensive Development Zone to permit a 6-storey, 70-unit apartment building.

The Corporate Officer advised that the statutory notice requirements had been met.

The Director of Development Services introduced the bylaw.

The following members of the applicant team were in attendance:

- Manika Grover, Associate, ParaMorph Architecture Inc.
- David Stoyko, Landscape Architect, David Stoyko Landscape Architect

Ms. Grover spoke to the development proposal, providing information on the following:

- Context Plan;
- Streetscape;
- Shadow Study and circulation diagrams;
- Site Plan;
- Parkade;
- Floor Plans;
- Roof top amenity;
- Perspective views.

Mr. Stoyco spoke to the landscape design, highlighting the following elements:

- Concept plan ground level;
- Concept plan roof level;
- Plant Palette.

The applicant and staff responded to questions from Council members regarding the following:

- Adaptable units;
- Rental building status;
- Ensuring soil stability of the site and neighbouring properties;
- Potential widening of laneways.

Council member discussion points included:

- Advisory Design Panel support for the application;
- Respecting common property lines with neighbouring properties;
- Density of the development.

It was MOVED and SECONDED

THAT the bylaw cited as "Zoning Bylaw 1996, No. 2100 Amendment No. 216, 2025, No. 3303" be read a first and second time.

CARRIED

Opposed: Councillors Mack and White

- d. Proposed Beauty and Wellness Centre Separation Regulation Amendment

The Director of Development Services spoke to the staff report dated January 27, 2025.

It was MOVED and SECONDED

THAT the report dated January 27, 2025 entitled Proposed Beauty and Wellness Center Separation Regulation Amendment be received for information.

CARRIED

1. Bylaw 3307 - Zoning Bylaw Amendment No. 219

First and second reading of a bylaw to exempt a specific commercial unit from the 400-metre separation requirement between Beauty and Wellness Centers to facilitate the relocation of an existing business from its current location at 20644 Eastleigh Crescent which is set to undergo redevelopment, to the proposed location at 20821 Fraser Highway (Fraser Crossing shopping center).

It was MOVED and SECONDED

THAT the bylaw cited as "Zoning Bylaw 1996, No. 2100 Amendment No. 219, 2025, No. 3307" be read a first and second time.

CARRIED

e. Bylaw 3309 - Officer Establishment Bylaw Amendment No. 4

First, second and third reading of a bylaw to amend the Officer Establishment bylaw to update staff titles.

It was MOVED and SECONDED

THAT the bylaw cited as "Officer Establishment Bylaw, 2011, No. 2855, Amendment Bylaw No. 4, 2025, No. 3309" be read a first, second and third time.

CARRIED

The meeting recessed at 9:16 pm and reconvened at 9:23 pm with the same members present.

f. Bylaw 3308 - Financial Plan 2025-2029 Bylaw

Presentation from Graham Flack, Deputy Chief Administrative Officer

Mr. Flack provided a PowerPoint presentation, provided an overview of key aspects of the 2025 Financial Plan Bylaw, providing information on the following:

- Financial Plan Process
- Factors Affecting the Financial Plan
- Capital Improvement Plan
- Gaming Proceeds
- Development Cost Charges
- Debt Management
- Capital Improvement Plan
 - E1 – Equipment Replacement
 - E4- Pedestrian Facilities
 - E6 – Traffic Signals Upgrades
 - E7 – Road Rehabilitation
 - E14- Langley Bypass Cycling/Intersection Upgrade
 - E18 – Skytrain Project
 - E20 – Solid Waste Toters
 - S2 – Infiltration & Inflow Control
 - S3 – 200 St. Culvert
 - S4 – 201 St. (Michaud to 56 Ave.)
 - S5 – 198 St. (54 Ave to 55A Ave.)
 - W3 – 204 St. (51A Ave to 53 Ave.)
 - W4 - 207A St. (44 Ave. to 45 Ave.)
 - W5 – 200 St (44 Ave. to 50 Ave.)

- Operating Plan
- 2025 General Fund Changes
 - Property Taxes
 - Fee & Revenue Increases
 - Policing
 - Council Remuneration & benefits
 - Employee Wages & Benefits
 - Other Changes
 - Long- term Debt Servicing Reduction
- Property Tax Increase - \$1,772,530 or 4.3%.

Staff responded to questions from Council members regarding the following:

- RCMP detachment operations potential future cost;
- Legal expenses budget;
- Protective Services budget- status of predictive costs for standalone RCMP detachment;
- Costs associated with renovating operations centre;
- Total annual debt servicing costs for Project-specific borrowing;
- Recommended debt ceiling cost;
- City's overall debt management strategy;
- Breakdown of three initiatives within Land Use Planning and Electronic Plan Review Software budget;

- What happens to underground infrastructure that is replaced by new infrastructure;
A point of order was raised that the foregoing question was unrelated to the budget.
Clarification was provided that information was also sought as to who was responsible for the cost of removal of old underground infrastructure.
- Potential for a performing arts centre or pool should federal funds become available to the City;

Council discussion points included:

- Rationale for City cost sharing with other Metro Vancouver municipalities to fund North Shore Wastewater Treatment Plant.

It was MOVED and SECONDED

THAT the bylaw cited as "Financial Plan 2025 – 2029 Bylaw, 2025, No. 3308" be read a first and second time.

BEFORE THE QUESTION WAS CALLED

It was MOVED and SECONDED

THAT Bylaw No. 3308 be amended by parceling Budget Item GG17 Innovation District Land Use Plan into five separate budget items.

CARRIED

It was MOVED and SECONDED

THAT Bylaw No. 3308 be amended by removing Budget Item GG13 - Invest in Langley City Communication Strategy.

BEFORE THE QUESTION WAS CALLED Council discussion ensued.

THE QUESTION WAS CALLED and the motion was

DEFEATED

Opposed: Mayor Pachal, Councillors Albrecht, James, Solyom and Wallace

It was MOVED and SECONDED

THAT Bylaw No. 3308 be amended by removing Budget Item GG14 - Marketing, Podcast.

BEFORE THE QUESTION WAS CALLED Council discussion ensued.

THE QUESTION WAS CALLED and the motion was

DEFEATED

Opposed: Mayor Pachal, Councillors Albrecht James and Wallace

It was MOVED and SECONDED

THAT Bylaw No. 3308 be amended by removing Budget Item GG1 - IT Computer Workstation Upgrade.

DEFEATED

Opposed: Mayor Pachal, Councillors Albrecht, James, Solyom, Wallace and White

It was MOVED and SECONDED

THAT Bylaw No. 3308 be amended by removing Budget Item E2 - Miscellaneous Property Purchase.

DEFEATED

Opposed: Mayor Pachal, Councillors Albrecht, James, Solyom, Wallace and White

It was MOVED and SECONDED

THAT Bylaw No. 3308 be amended by removing Budget Item E5 - Bicycle Facilities (DCC-T) 29%.

DEFEATED

Opposed: Mayor Pachal, Councillors Albrecht, James, Solyom and Wallace

It was MOVED and SECONDED

THAT Bylaw No. 3308 be amended by removing Budget Item E14 - Langley Bypass Cycling/Intersection Upgrade.

BEFORE THE QUESTION WAS CALLED Council discussion ensued.

THE QUESTION WAS CALLED and the motion was

DEFEATED

Opposed: Mayor Pachal, Councillors Albrecht, James, Solyom, Wallace and White

It was MOVED and SECONDED

THAT Bylaw No. 3308 be amended to include service level enhancement Recreation Programmer position (\$89,000).

BEFORE THE QUESTION WAS CALLED staff responded to a question from a Council member regarding potentially having higher fees for Township of Langley residents.

THE QUESTION WAS CALLED and the motion was

CARRIED

Opposed: Councillors Mack and Solyom

It was MOVED and SECONDED

THAT Bylaw No. 3308 be amended to include service level enhancement of two Firefighters (\$350,000).

CARRIED

It was MOVED and SECONDED

THAT Bylaw No. 3308 be amended to include service level enhancement IT Technician position (\$99,500).

CARRIED

Opposed: Councillors Mack and Solyom

It was MOVED and SECONDED

THAT Bylaw No. 3308 be amended to include service level enhancement Al Anderson Memorial Pool Season Expansion – Option 2. (\$68,243).

BEFORE THE QUESTION WAS CALLED staff responded to a question from a Council member about flexibility in shortening or lengthening the season from what is proposed depending on demand.

THE QUESTION WAS CALLED and the motion was

CARRIED

It was MOVED and SECONDED

THAT Bylaw No. 3308 be amended to include service level enhancement Infrastructure Renewal funding (\$418,000).

CARRIED

It was MOVED and SECONDED

THAT Bylaw No. 3308 be amended to include service level enhancement of two RCMP members (\$540,000).

BEFORE THE QUESTION WAS CALLED Council discussion ensued.

THE QUESTION WAS CALLED and the motion was

DEFEATED

Opposed: Mayor Pachal, Councillors Albrecht, James, Solyom and Wallace

THE QUESTION WAS CALLED on first and second reading, as amended, of "Financial Plan 2025 – 2029 Bylaw, 2025, No. 3308" and the motion was

CARRIED

Opposed: Councillor Mack

7. NEW AND UNFINISHED BUSINESS

a. Motions/Notices of Motion

1. Development Permit No. DP 06-22

20644 Eastleigh Crescent

It was MOVED and SECONDED

THAT Council's motion on November 18, 2024 to approve Development Permit No. 06-22 to accommodate a 6-storey, 178-unit apartment building at 20644 Eastleigh Crescent be rescinded; and

THAT Development Permit No. 06-22 to accommodate a 6-storey, 180-unit apartment building at 20644 Eastleigh Crescent be approved.

2. A Path Forward for Policing in Langley

Mayor Pachal

It was MOVED and SECONDED

WHEREAS the Police Servicing Agreement between Langley City and the Township of Langley that outlines how policing resources, including RCMP members and support staff, are cost-shared between the two communities has expired since December 31, 2022.

WHEREAS the Township of Langley served the two-year termination notice to Langley City on May 10, 2023 to end the Capital and Operations Cost Sharing Agreement that outlines how the construction and operating costs of the Langley RCMP detachment are shared proportionately between the two municipalities, based on the use and occupancy of their respective RCMP members and support staff.

WHEREAS public safety is paramount.

WHEREAS Langley City Council's priority is to ensure adequate and effective policing with mutual agreements that will serve both communities.

THEREFORE, BE IT RESOLVED THAT Langley City Council request the BC Policing and Security Branch immediately appoint an independent and impartial facilitator to objectively review the current statistics, resource allocation, staffing levels, and capital and operating costs that are apportioned between both municipalities and provide a "foundational facts" report based on this objective review that both Langley City and the Township of Langley can use to negotiate new agreements by the end of May.

BEFORE THE QUESTION WAS CALLED Mayor Pachal responded to a question from a Council member regarding whether he has requested a meeting with the Mayor of the Township of Langley to discuss deintegration or the cost-sharing agreement.

THE QUESTION WAS CALLED and the motion was

CARRIED

b. New Business

1. Public Release of a Motion from the January 13, 2025 Closed Meeting

The following motion was approved for public release at the January 13, 2024 Closed Meeting:

"THAT the following individuals be appointed to the respective Advisory Body for the indicated term:

Accessibility Advisory Committee – Term Ongoing:

1. Ramandeep Ramandeep Sharma, Community Member at Large
2. Paul Dostal, Member representative of a person with disabilities; or an individual who supports persons with disabilities
3. Shawn Peters, Member representative of a person with disabilities; or an individual who supports persons with disabilities

Advisory Design Panel – One (1) year term:

1. Tracey Macatangay, Accessibility Representative
2. Samantha Stroman, Business Community Representative
3. Matt Hassett, Business Community Representative
4. Tanya McNicol, Resident Member at Large
5. Leslie Koole, Resident Member at Large

Board of Variance – Three (3) year term:

1. Pedram Khorram, Board Member at Large
2. Rudy Storteboom, Board Member at Large

Crime Prevention Committee – Term Ongoing:

1. Paul Dostal, Member at Large

Environmental Sustainability Committee – Term Ongoing

1. Mallory Palliyaguru, Member at Large
2. Navneet Sandhu, Member at Large
3. Amika Watari, Member Representative Youth

Socio-Cultural and Economic Development Advisory Committee – Term Ongoing:

1. Zohaib Rana, Member representing a Community / Social Service sector
2. Rick Orlando, Member representing the Development Industry
3. Clinton Dewet, Member First Nation Representative”

8. CORRESPONDENCE

See Consent Agenda

9. ADJOURNMENT

It was MOVED and SECONDED

THAT the meeting adjourned at 10:58 pm.

CARRIED

Signed:

MAYOR

Certified Correct:

CORPORATE OFFICER



EXPLANATORY NOTE

OFFICER ESTABLISHMENT BYLAW 2855, 2011, No. 2855, AMENDMENT BYLAW No. 4, 2025, No. 3309

The purpose of this amending bylaw is to:

- update the title of the position responsible for financial administration for the City per Section 149 of the *Community Charter* from Director of Corporate Services to Director of Financial Services; and
- update the Director of Recreation, Culture & Community Services' title in the bylaw.



**OFFICER ESTABLISHMENT BYLAW 2855, 2011,
No. 2855, AMENDMENT BYLAW No. 4, 2025,
No. 3309**

A Bylaw to amend the Officer Establishment bylaw.

The Council of the City of Langley, in open meeting assembled, enacts as follows:

1. Title

(1) This bylaw shall be cited as the “Officer Establishment Bylaw, 2011, No. 2855, Amendment Bylaw No. 4, 2025, No. 3309.”

2. Amendment

(1) Officer Establishment Bylaw, 2011, No. 2855 is hereby amended:

(a) By replacing the title, “Director of Corporate Services” with the title, “Director of Financial Services” wherever it appears in the bylaw.

(b) In Section 5.(1)(b), by replacing the title, “Director of Recreation and Culture” with the title, “Director of Recreation, Culture & Community Services”.

READ A FIRST, SECOND AND THIRD TIME this twenty-seventh day of January, 2025.

ADOPTED this _____ day of _____, 2025.

MAYOR

CORPORATE OFFICER



EXPLANATORY MEMO COUNCIL MEETING FOLLOW-UP

5501 204 Street & 20300 Douglas Crescent Zoning Bylaw Amendment Bylaw No. 3290

Information Requested at Council Meeting

The purpose of this memo is to provide clarification on questions and discussion at the January 27, 2025 Council meeting regarding the proposed rezoning of 5501 204 Street & 20300 Douglas Crescent.

1. Community Amenity Contributions (CACs) and parking

As outlined in more detail in the post-Advisory Design Panel (ADP) Explanatory Memo (attached to the subject bylaw on the January 27 and February 10, 2025 Council meeting agendas), the subject rezoning application deals with the use, density, and overall layout of the proposed development site. The more detailed design, configuration, and programming of the various buildings or phases would be realized separately through individual Development Permit (DP) applications. These DP applications would each be reviewed by the ADP and updated in response before proceeding to Council for consideration.

Parking requirements and CACs will be determined at the time of DP applications and are based on the specific details of each individual building, including the number of residential units and overall floor area. Additionally, the development of the subject site will unfold over multiple phases spanning 10 to 20 years and the City's amenity contribution and parking requirements will change over this time as applications are developed and submitted. As such, it is not possible to confirm an accurate total for CACs and parking spaces that would result with the full buildout of the site.

However, based on the conceptual Phase 1 DP design within the rezoning application architectural plans, an estimated CAC has been calculated. Following Council Policy CO-80, dwelling units are sorted into tiers to implement the principle of higher-density buildings contributing gradually higher CAC rates to reflect the greater amenity needs these higher densities create.

FAR Tier	Units within FAR Tier	CAC Rate	CAC Subtotal
0 – 2.5 FAR	242	\$4,000	\$968,000
2.5 – 3.0 FAR	49	\$5,000	\$245,000
3.0+ FAR	161	\$6,000	\$966,000
	452	Total:	<u>\$2.179 million</u>

These calculations assume 2024 CAC rates. Future DP applications would pay CACs in accordance with the rates applicable at that time. Currently, Council Policy CO-80 identifies CAC rates that increase on an annual basis through 2026.

It is also important to note that future phases (from Phase 2 onwards) would also be subject to any other City requirements that may apply at that time. This would include potential new requirements including required below-market rental units (“inclusionary zoning” and density bonusing) and a minimum number of 3-bedroom units.

Parking

As the subject site is located within a Transit-Oriented Area (TOA) as established by the Province of BC, the City does not have the legal authority to require a certain number of parking spaces for residential uses and is prohibited from doing so, except for accessible spaces. Non-residential parking (such as for commercial uses) and bicycle parking requirements remain permitted.

As required by Provincial legislation, TOA provisions were incorporated into the City's Zoning Bylaw prior to June 30, 2024. Within TOAs, this included eliminating residential parking requirements but adding a new requirement of 0.05 accessible spaces per residential unit. Assuming 452 units, the Phase 1 concept would then be required to include 23 accessible parking spaces for its residents. The Phase 1 quadrant does not include any proposed commercial floor area but, if it did, the standard commercial parking requirements as set out in the City's Zoning Bylaw would apply.



To consider a rezoning application to accommodate a multi-phase apartment & commercial mixed-use transit-oriented development at 5501 204 Street & 20300 Douglas Crescent. The subject properties are currently zoned C1 Downtown Commercial Zone in Zoning Bylaw No. 2100 and designated "Transit-Oriented Core" in the Official Community Plan Land Use Map.

This rezoning application includes a proposed site-specific exemption from existing general regulations within the Zoning Bylaw that require a minimum 400-metre separation between pharmacies and between Beauty and Wellness Centers. Specifically, notwithstanding these minimum separation distances, if adopted by Council the site would be permitted a maximum of eight (8) Beauty and Wellness Centers and three (3) pharmacies, one of which could only be located within a larger non-pharmacy retail store, (ie. grocery store). Other current separation distance requirements in the Zoning Bylaw, including those between Thrift Stores, Body Art and Tattoo Services, Vapour Product Stores, and Personal Health Enhancement Centers, would remain in effect.

The applicant is proposing this maximum number 'cap' for these uses on the basis that the site will contain a large on-site population at full build-out (due to the estimated 1,900+ dwelling units at build-out) that will create demand for these uses, and that these uses will be spread out amongst the eight ground-floor commercial block faces that are proposed to front Douglas Crescent, 203 Street, 204 Street and the interior north-south street and interior east-west street.

While this approach will permit more of these uses, they would still be limited to a maximum on-site number. Also, given the application envisions a range of commercial retail unit sizes (from small shop to grocery store) located on multiple commercial block faces, this approach will spread these uses across the site and promote business variety, which in turn aligns with the intent of the Zoning Bylaw's separation requirements. These uses will also be added to the site over time, as the commercial phases are anticipated to be constructed between 5 to 15 years from now.

Background Information:

Applicant:	Orion Construction
Owner:	0622215 B.C. LTD.
Civic Addresses:	5501 204 Street & 20300 Douglas Crescent
Legal Description:	Lot 375, District Lot 36, Group 2, New Westminster District, Plan 46221; Parcel A, District Lots 305 and 36, Group 2, New Westminster District, Plan BCP35185
Number of Units	Approximately 1,900 (subject to change)
Site Area:	3.6 hectares (9.0 acres)
Floor Area Ratio:	Maximum 5.5
OCP Designation:	Transit-Oriented Core
Existing Zoning:	C1 Downtown Commercial
Proposed Zoning:	CD100 Comprehensive Development Zone
Development Cost Charges:	To be calculated at Building Permit stage
Community Amenity Contributions (CACs):	To be calculated at Building Permit stage



**ZONING BYLAW, 1996, No. 2100
AMENDMENT No. 210**

BYLAW No. 3290

A Bylaw to amend City of Langley Zoning Bylaw, 1996, No. 2100 to create a CD100 Comprehensive Development zone and to rezone the properties located at 5501 204 Street & 20300 Douglas Crescent to the new zone.

WHEREAS the *Local Government Act* authorizes a local government to zone areas of a municipality and to make regulations pursuant to zoning;

NOW THEREFORE the Council of the City of Langley, in open meeting assembled, enacts as follows:

1. Title

This bylaw shall be cited as the “Zoning Bylaw 1996, No. 2100 Amendment No. 210, 2024, No. 3290”.

2. Amendment

- (1) Bylaw No. 2100, cited as the “Zoning Bylaw, 1996, No. 2100” is hereby amended by adding in Part VII Comprehensive Development Zones the following as the new Zone classification of Comprehensive Development – 100 (CD100) Zone: immediately after Comprehensive Development – 99 (CD99) Zone:

SSSS. CD100 COMPREHENSIVE DEVELOPMENT ZONE

1. Intent

This Zone is intended to accommodate and regulate a high-density, mixed-use phased development according to an identified private internal street and block pattern.

2. Permitted Uses

The land, buildings, and structures shall be used for the following uses only:

- (a) *Arcade.*

- (b) *Artist Studio.*
- (c) *Assembly Hall.*
- (d) *Brewers and Vintners.*
- (e) *Caretaker's Dwelling Unit.*
- (f) *Child Care Centre.*
- (g) *Community Service.*
- (h) *Congregate Housing.*
- (i) *Convention Centre.*
- (j) *Cultural Facilities.*
- (k) *Eating Establishment.*
- (l) *Entertainment Facilities.*
- (m) *General Service.*
- (n) *Liquor Primary Establishment.*
- (o) *Multiple-Unit Residential.*
- (p) *Office.*
- (q) *Personal Service.*
- (r) *Production Studio.*
- (s) *Public Educational Facilities.*
- (t) *Recreational Facilities.*
- (u) *Repair Shop.*
- (v) *Retail Store.*
- (w) *Senior Citizens Care Facility.*
- (x) *Seniors-Oriented Multiple Unit Residential.*
- (y) *Telephone Call Centre.*
- (z) *Tourist Accommodation.*

Notwithstanding any other provisions within this Bylaw, the following uses are permitted on the site, as described under Sub-Section 3 ("Site Dimensions"), subject to the conditions outlined below:

- (a) Automotive Sales and Rental, in a storefront format where any and all vehicles on offer are located within a *building* or on another property.
- (b) *Beauty and Wellness Center*, to a maximum number of eight (8) on the site.
- (c) Pharmacy, to a maximum number of three (3) on the site, one (1) of which may only be located within a larger, non-pharmacy retail store.

3. Site Dimensions

The following lots shall form the site and shall be zoned CD100 Comprehensive Development Zone on the Zoning Map, City of Langley Zoning Bylaw, 1996, No. 2100, Schedule "A":

- (a) PID: 004-111-192

Lot 375, District Lot 36, Group 2, New Westminster District, Plan 46221

- (b) PID: 027-423-697
Parcel A, District Lots 305 and 36, Group 2, New Westminster District, Plan BCP35185

4. Maximum Density

The maximum floor area ratio permitted in the CD100 Zone is 5.500.

5. Siting, Site Coverage, and Size of Buildings, Structures, Internal Streets/Lanes, and Pedestrian Open Spaces

The siting and site coverage of the buildings and structures, along with the siting and size of the private internal streets/lanes and pedestrian open spaces, of the Development shall generally conform to the phased site master plan as set out in *Figure 1* below.

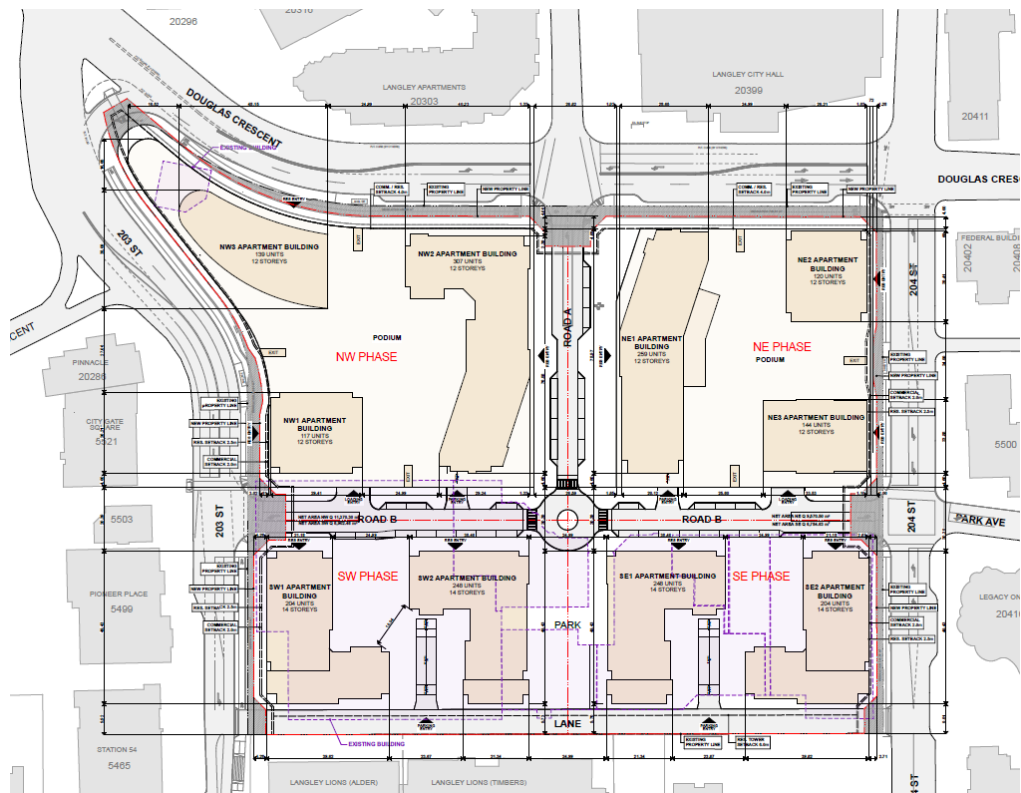


Figure 1

Deviations to the siting and site coverage of the buildings and structures, but not of the private internal streets/lanes and pedestrian open spaces, within the *Figure 1* master plan shall also be permitted if they adhere to the setback boundaries as identified in *Figure 2* below, subject to any Phased Development Agreement in effect from time to time pursuant to Part 14, Division 12, of the *Local Government Act*.

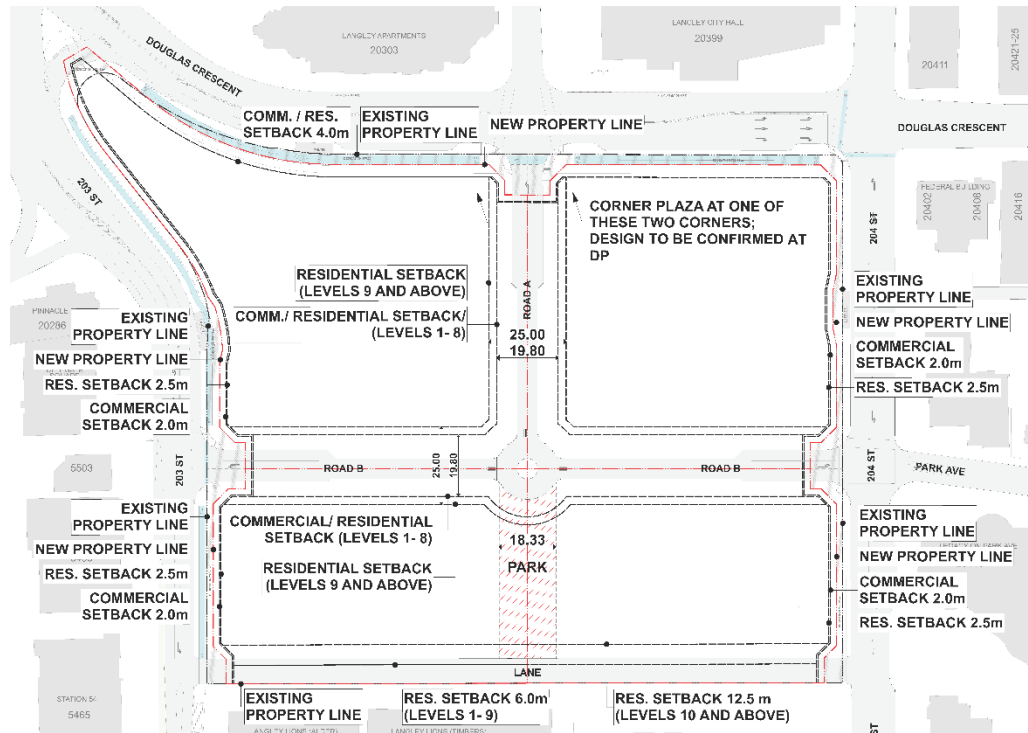


Figure 2

Subject to the Airport Zoning Regulation, the maximum height of the buildings and structures of the Development shall be 15 *storeys*, unless a greater height is permitted by Transport Canada as an exemption to the Airport Zoning Regulation (AZR) and identified in the Official Community Plan, as amended from time to time.

6. Off-Street Parking, Loading and Storage

Off-street parking and storage shall be provided and maintained in accordance with Section I.E. of Part I of this Bylaw, subject to Section I.D.4(i) of this Bylaw.

In addition to the non-residential loading provisions in Section I.E. of Part I of this Bylaw, loading for residential uses shall be provided as follows:

- Minimum 1 loading space per residential building with up to 250 *dwelling units*.
- Minimum 2 loading spaces per residential building with more than 250 *dwelling units*.

- Minimum loading space dimensions of 3.0 metres width, 7.0 metres length, and 3.0 metres height.

7. Landscaping

Landscaping, screening, and fencing shall be provided and maintained in accordance with Section I.F. of this Bylaw.

8. Special Regulations

Unless permitted to be lower by any general regulations that may be applicable at the time of issuance of individual Development Permits, indoor and outdoor *amenity space* shall be provided on the site at a combined minimum rate of 3 m² per *dwelling unit*, with indoor *amenity space* provided at a minimum rate of 1 m² per dwelling unit and outdoor *amenity space* provided at a minimum rate of 1 m² per *dwelling unit*. For clarity, the proposed park will be considered as outdoor amenity space for the purposes of this Sub-Section.

9. Other Regulations

In addition, land use regulations including the following are applicable:

- (a) General provisions on use are set out in Section I.D. of this bylaw;
 - (b) Building Permits shall be subject to the City of Langley Building and Plumbing Regulation Bylaw and the Development Cost Charge Bylaw;
 - (c) Subdivisions shall be subject to the City of Langley Subdivision and Development Servicing Bylaw, any Phased Development Agreement in effect from time to time pursuant to Part 14, Division 12 of the *Local Government Act*, and the *Land Title Act*;
 - (d) Development Permits shall be required in accordance with the *Official Community Plan*; and
 - (e) Sign Permits shall be subject to the City of Langley Sign Bylaw.
- (2) Bylaw No. 2100, cited as the “Zoning Bylaw, 1996, No. 2100” is hereby amended by changing the zone classification of:
- (a) PID: 004-111-192
Lot 375, District Lot 36, Group 2, New Westminster District, Plan 46221
 - (b) PID: 027-423-697
Parcel A, District Lots 305 and 36, Group 2, New Westminster District, Plan BCP35185

Zoning Bylaw Amendment No. 210
Bylaw No. 3290

from the C1 Downtown Commercial Zone to the CD100 Comprehensive
Development Zone in Schedule "A" – Official Zoning Map.

READ A FIRST AND SECOND TIME this twenty seventh day of January, 2025.

READ A THIRD TIME this nth day of Month, Year.

FINALLY ADOPTED this nth day of Month, Year.

MAYOR

CORPORATE OFFICER



EXPLANATORY MEMO

July 18, 2024 Advisory Design Panel Recommendations and Applicant Response RZ 13-23 5501 204 Street & 20300 Douglas Crescent (Langley Mall)

Advisory Design Panel Recommendations and Applicant Response

On July 18, 2024 the Advisory Design Panel (ADP) reviewed the RZ 13-23 application, and provided the following recommendations (see attached minutes for further details):

1. Add a drawing of the site's context with the Langley Lions complex, look for opportunities to strengthen the relationship and connection between the subject and Langley Lions sites, improve connections between the southern park and the Langley Lions lane, and incorporate a unique surface treatment in the lane.
2. Consider more variation in height of podium levels.
3. Give consideration to prominent gateway features related to surrounding context (e.g. Douglas Park, SkyTrain station, etc.).
4. Design commercial frontages to effectively activate and engage with the adjacent public realm (uses spilling out, garage doors, etc.).
5. Ensure there is variation in façade design and material use and colours between different building phases, with consideration to existing and historical context (e.g. street grid and interurban alignment, greenhouse, etc.).
6. Consider solar access in building articulation and provide shadow diagrams, including in the articulation diagrams.
7. Look for opportunities to greater enhance the street ground space, including with further emphasis on pedestrians.
8. Enhance and provide more pedestrian view points around and through the site.
9. Allow design features within the park (water features, furniture, etc.) to be less compartmentalized and blend through each other more (and extend features further north into public realm), and consider more seniors-friendly programming.
10. Emphasize an engaging and visually interesting frontage at the northwest corner adjacent to the intersection of Douglas Crescent and 203 Street.
11. Incorporate enhanced bicycle parking facilities as part of development applications.
12. Mitigate the visual and pedestrian impacts of the loading and parkade entrances.
13. Incorporate level sidewalk heights across carriageway intersections wherever possible.
14. Include a diverse residential unit mix.

The applicant submitted finalized revised architectural drawings on October 7, 2024 (attached to the Zoning Bylaw amendment). The applicant has responded to the ADP's recommendations in the following manner:

1. Add a drawing of the site's context with the Langley Lions complex, look for opportunities to strengthen the relationship and connection between the subject and Langley Lions sites, improve connections between the southern park and the Langley Lions lane, and incorporate a unique surface treatment in the lane.

The relationship between the proposed site layout and the approved Langley Lions development plan is shown on the overhead site plan as well as the perspective massing diagrams. The proposed southern buildings show a step down from 14 storeys to 10 storeys across from the Langley Lions site to transition to the 8-storey heights on their side. Crosswalks across the lane between the subject application's southern park and the Langley Lions site have been added to the drawings to show the intent for a connection between them, with detailed design of these accesses and the lane treatment to be completed at the Development Permit stage.

2. Consider more variation in height of podium levels.

The refined height and massing of individual buildings will be considered as part of the more detailed phase-by-phase Development Permit applications.

3. Give consideration to prominent gateway features related to surrounding context (e.g. Douglas Park, SkyTrain station, etc.).

The existing site plan creates several opportunities for prominent gateway features, including a plaza on the northwest corner and a plaza at the intersection of Douglas Crescent with the city hall lane (both of which may be used as SkyTrain access routes), a proposed building at the intersection of Douglas Crescent and 204 Street across from the historic Federal Building, and two buildings flanking the entrance into the site from Park Avenue to the east, which connects to Douglas Park. These locations have strong potential for public art, iconic landscaping, and unique building designs that highlight entrances into the site and relate to the surrounding context. These specific features will be designed and identified as part of the more detailed phase-by-phase Development Permit applications.

The plaza, at the intersection of Douglas Crescent and the internal north-south street and City Hall lane, follows the direction of the OCP (Appendix B, Policy 1.34), and can be located on either the southeast corner or southwest corner of this intersection. The design of this plaza will be confirmed when the Development Permit is applied for and considered by Council, and the design of the plaza is to be consistent with the OCP Development Permit Area Guidelines 69 to 74.12.

4. Design commercial frontages to effectively activate and engage with the adjacent public realm (uses spilling out, garage doors, etc.).

Building setbacks, especially on the north-central plaza adjacent to Douglas Crescent, create the space necessary for commercial frontages to spill out into the public realm and create an engaging frontage for passers-by, such as dining areas and outdoor retail displays. The specific frontage designs will be completed as part of the more detailed phase-by-phase Development Permit applications.

5. Ensure there is variation in façade design and material use and colours between different building phases, with consideration to existing and historical context (e.g. street grid and interurban alignment, greenhouse, etc.).

Façade design and material/colour are determined as part of Development Permit applications and will be determined phase-by-phase. The large site and diverse context surrounding it help support design variation; for example, the northeast corner could respond to the use of brick within the Historic Downtown Core.

6. Consider solar access in building articulation and provide shadow diagram, including in the articulation diagrams.

The proposed development plan was designed with solar access in mind through the emphasis on north-south oriented buildings and point towers on lower podiums. More refined solar access considerations will be made as part of the more detailed phase-by-phase Development Permit applications. Shadowing diagrams have been added to the architectural set.

7. Look for opportunities to greater enhance the street ground space, including with further emphasis on pedestrians.

The conceptual public realm design as shown in the subject architectural set will be further developed and refined as part of the more detailed phase-by-phase Development Permit applications. As with similar ADP recommendations, this may include varied frontages, different sizes and types of retail, opportunities for businesses to spill out into the public realm, and placemaking through landscaping, varied surface treatments, and public art.

8. Enhance and provide more pedestrian view points around and through the site.

Pedestrian view corridors were considered in the design of the project layout, including by angling of the buildings along the north-south internal street, taking advantage of the curved property lines in the northwest quadrant, and aligning the internal east-west street with Park Avenue to maintain the view corridor to Douglas

Park. Further enhancements will be considered as part of the more detailed phase-by-phase Development Permit applications.

9. Allow design features within the park (water features, furniture, etc.) to be less compartmentalized and blend through each other more (and extend features further north into public realm), and consider more seniors-friendly programming.

The park design shown in the rezoning-level architectural set is conceptual and will be updated as part of the relevant Development Permit application(s). This recommendation will be incorporated into the park's design at that time.

10. Emphasize an engaging and visually interesting frontage at the northwest corner adjacent to the intersection of Douglas Crescent and 203 Street.

The large plaza and flatiron-style building footprint formed by the acute curved angles of the site at this intersection create the opportunity for a striking building frontage and public realm. This recommendation will be incorporated into the architectural and landscape design as part of the associated phase's Development Permit application.

11. Incorporate enhanced bicycle parking facilities as part of development applications.

Bicycle parking facilities will be designed as part of the more detailed phase-by-phase Development Permit applications and will be subject to Zoning Bylaw requirements as may apply from time to time.

12. Mitigate the visual and pedestrian impacts of the loading and parkade entrances.

The development layout has been designed to keep all loading and parkade entrances on the private internal streets and screened by wraparound building spaces to keep the gaps in the building frontages as small as possible while maintaining their functionality. More refined design-based interventions and mitigating measures will be incorporated as part of the more detailed phase-by-phase Development Permit applications.

13. Incorporate level sidewalk heights across carriageway intersections wherever possible.

This recommendation will be considered as part of the application's civil design review process with the City's Engineering staff and as part of the more detailed phase-by-phase Development Permit applications.

14. Include a diverse residential unit mix.

Unit mix will be considered as part of the more detailed phase-by-phase Development Permit applications and will be subject to any City bylaw requirements that may apply from time to time.

Staff Commentary

Staff support the updates made by the applicant in response to ADP recommendations.

The recommendations put forward by the ADP and the responses provided by the applicant for this project reflect the nature of the subject application, which is only for a Zoning Bylaw amendment (“rezoning”) dealing with use, density, and overall layout for a redevelopment project, that if approved will involve multiple buildings that are constructed phase-by-phase over many years, as opposed to the form and character considerations involved in a Development Permit application for a smaller single-phase development.

The common practice at the City is for rezoning and Development Permit applications to be processed together at the same time but, given the scale and complexity of the subject project, the rezoning was applied for independently to finalize the site’s fundamentals and layout before more detailed Development Permit applications for individual buildings could be made that fit into the site’s overall plan. These Development Permit applications will need to be reviewed by the ADP and approved by Council prior to proceeding to building permit and construction. Since the ADP’s mandate is to provide form and character-related input, this means that responses to the recommendations are most appropriate not in the initial rezoning package but in subsequent Development Permit applications. A copy of this explanatory memo will be retained on this application file and referenced as part of staff review of these future Development Permit applications.

Engineering studies for the rezoning are underway and, should the application be given first, second, and third readings, these studies and site servicing requirements will be finalized prior to the application returning to Council for consideration of final adoption. Given the size and long-term buildout expected for the full project, it is possible that a Phased Development Agreement (PDA) may be used. A PDA is a type of bylaw related to a specific development that can be adopted as a condition of the adoption of the development. This is similar to Housing Agreement bylaws, which may be adopted prior to the adoption of a rezoning bylaw. A PDA Bylaw can remain in effect for a timeframe of 10-20 years and in this case, depending on engineering study results and required servicing and traffic improvements, a PDA Bylaw could enable site servicing requirements to be undertaken in specific phases as the overall redevelopment is built out, and also provide the City the legal assurance that these improvements will be provided over time.

In April 2024 the Province adopted Bill 16 and amended the Local Government Act to give local governments the authority to adopt an ‘inclusionary zoning’ bylaw. This bylaw can be used to require a certain percentage of below-market rental or strata housing units in new residential buildings, without rezoning. This bylaw would thus apply to ‘pre-zoned’ sites (already zoned for residential use), and would be enforced at the Development Permit and Building Permit stage. The City does not have an inclusionary zoning bylaw, but if Council adopts an inclusionary bylaw, it would apply to future individual Development Permit and Building Permit applications for residential buildings within a

certain geographical area, including future phases of this and other multi-phase redevelopment projects, and other future residential buildings in the City's Transit Oriented Areas (TOAs).

In response to a question posed to staff at the ADP meeting, staff have the following response:

1. Provide more information on the future design of the 203 Street & Michaud Crescent intersection

The intersection of Michaud Crescent and 203 Street will remain as a right-in, right-out intersection given the proximity of the adjacent signalized intersections, medians, and turn bays on 203 Street. The vehicle lanes will remain separated with a median with a laning configuration similar to the current condition. However, the general layout will include a land dedication to the City for widening to accommodate a boulevard, protected bicycle facilities, as well as widened sidewalks on 203 Street.



**MINUTES OF THE
ADVISORY DESIGN PANEL**

**HELD IN COUNCIL CHAMBERS,
LANGLEY CITY HALL**

**THURSDAY, JULY 18, 2024
AT 7:00 PM**

Present: Councillor Paul Albrecht (Chair)
Councillor Mike Solyom (Co-Chair)
Mayor Nathan Pachal
Blair Arbuthnot
Tony Osborn
Matt Hassett
Leslie Koole
Dammy Ogunseitan
Ella van Enter

Absent: Jaswinder Gabri
Ritti Suvilai

Staff: C. Johannsen, Director of Development Services
P. Kusack, Deputy Corporate Officer
A. Metalnikov, Planner

Chair Albrecht began by acknowledging that the land on which we gather is on the traditional unceded territory of the Katzie, Kwantlen, Matsqui and Semiahmoo First Nations.

1) AGENDA

Adoption of the July 18, 2024 agenda.

It was **MOVED** and **SECONDED**

THAT the agenda for the July 18, 2024 Advisory Design Panel be approved.

CARRIED

2) MINUTES

Adoption of minutes from the June 27, 2024 meeting.

It was **MOVED** and **SECONDED**

THAT the minutes of the June 27, 2024 Advisory Design Panel meeting be approved as circulated.

CARRIED

3) ZONING BYLAW AMENDMENT APPLICATION RZ 13-23

Multi-phase apartment & commercial mixed-use master plan at 5501 204 Street & 20300 Douglas Crescent.

Carl Johannsen, Director of Development Services introduced the project noting it is a large multiphase site planned to be built out over 20 years. The rezoning amendment phase is a high level overview of the site noting that more detail will be provided at the development permit stage.

Anton Metalnikov, Planner, spoke to the staff report dated July 2, 2024 and provided a brief overview of the Zoning Bylaw amendment application noting that it is a large site and is a multi-phase mixed-use plan. He provided some examples of the potential building look and size that could be considered for the site.

Panel members provided the following comments about the proposal:

- Cohesion between the proposed site master plan and the neighbouring Langley Lions housing site master plan should be considered due to the proximity and function of the sites.
 - Staff noted that there will be a cohesive pedestrian access from the Lions site to the Langley mall site and ultimately to the Skytrain station.
- Northwest corner building – consider an office building instead of a residential building and include a podium style to increase light and air toward the center of the development, between towers.
- The amount of commercial space planned for the site is approximately 80%-90% of what is currently there now.
 - Staff noted that it is a fundamental requirement of the applicant to retain a grocery store.
- Generally, the north side of site will be commercial and south of the east-west through road will be residential.
- Street parking, bike lanes and sidewalks will increase from current levels. There will be underground and surface parking.
 - Parking will be provided phase by phase
 - Staff noted that provincial law prohibits municipalities from regulating levels of residential parking, however the City can set accessible parking requirements.
 - Staff will review required parking based on use as development applications are submitted.
 - Commercial tenants have their own minimum parking requirements.
 - Three levels of underground parking are proposed.

The Chair noted that each development phase will come back to the Advisory Design Panel for consideration before it is presented to City Council.

The Applicant team entered the meeting:

Jeremy Paquin, Manager, Development, Orion Construction
Tyler Knoepfel, Senior Development Manager, Cedar Coast
Mo Ahmed, Landscape Designer, KM Civil Consultants Ltd.
Rhys Leitch, Principal, Integra Architecture Inc.

On behalf of the applicant, Jeremy Paquin provided opening remarks with respect to this multi-phased project noting that Orion is a leading developer in the area, and they are very active in Langley. He introduced Tyler Knoepfel, Cedar Coast and advised they are active in BC, Washington and Oregon.

Rhys Leitch presented the application and provided a high-level overview of the vision for the development including the following:

- Site location
- Adjacent properties and uses
- Design rationale
 - The site has been broken down into sections enabling the development of a vibrant site in downtown Langley
 - Connections to the major streets in the north, east and west
 - Over 200,000 square feet of commercial space
 - Residential density has considered neighbouring properties and introduced significant greenspace on the site
- Building massing
 - Overall density of the site
 - Adding trees and greenbelts
 - Generous pedestrian realm with restaurants, walkways, vibrant environment
- Site data, commercial / residential mix
- Aerial view of the master plan including access roads, building placement, plaza location
- Ground floor plan – commercial activity, loading access, parkade access
- Overview of floor plans levels 1 – 14
- Three levels of underground parking
- Towers are 83 feet apart to allow for good visibility
- Overall landscape plan includes 230 trees on the site
- Focus on pedestrian friendly spaces, a park, public plaza, courtyards, and outdoor seating
- CPTED principles

The panel members offered the following comments and responses were provided as noted:

- Consideration should be given to pedestrian only access from the north and south of the site, instead of including vehicular access at those points.
- Consider a variation in podium sizes, not just two on each building.
- Increase commercial space.
- Not determined if strata or rental at this point.
- Podium design has upper amenity space, community garden

- It is a central location, a hub in the community. Consider enhancing the pedestrian corridor to connect Park Ave, Douglas Park and City Hall, consider a gateway feature.
- Use the buildings at the north, coming from the future Skytrain and running along Douglas Crescent to highlight public art and pull the flow of people to the site.
- Utilize open patios and flexible indoor/outdoor spaces that spill people into pedestrian corridors.
- Differentiate buildings with use of materials, colour, and style.
 - The applicant noted that the intention is to have different features but with links that connect the buildings visually.
- Space is intended to have seating areas and connections to the outdoors from the restaurants to engage people walking through. This is an important part of the central spine design concept.
- Quadrants would take close to twenty years to build out and development would be staggered. The starting point being considered is the southwest quadrant, which is residential.
 - The applicant noted that the intention is to retain existing commercial spaces for tenants while building the new space.
- Be informed by adjacencies to make improvements. Consider logical alignments to serve adjacencies.
- Park Avenue has interesting character, consider using east/west street to make a full connection to Douglas Park.
- Take connection to the Lions housing site more seriously. Termination is a wall and it could be a park instead.
 - The applicant noted that the lane between the sites is challenging and the City requires a full intersection.
 - Challenge to provide connections between two private properties with public access. The intention was that the park was the terminus.
 - Staff noted because it is a multi-phase development the lane must be maintained for 10+ years to service the commercial tenants. As the development permit phases occur it will determine what is built out and what happens around the space.
 - Staff further noted the lane is required for fire access and it will also distribute traffic.
- Consider adjusting some placements to make the two sites look more intentional.
- Consider the opportunity to provide solar access to make sure people use those spaces most of the year.
- The intention is to provide opportunities for people to move through the site both east/west and north/south.
- Put a greater focus on the pedestrian perspective.
 - Consider a peek-a-boo view from the northwest corner along Douglas Crescent to invite interest in visiting the site, not just building massing along Douglas Crescent.
 - Consider pedestrian only laneways through the space.
 - Expand impression (not footprint) of the south end park space, spill out into town center area and bring more interest to the rest of the space.
 - Encourage treatments all the way through the north half of the pedestrian space. There is more opportunity to spill out into the town center. Push north to more public facing elements.
- South lane will be expanded from 6m to 8m and will have residential patios.
- Planting will define the park space, possibly a gate.
- Consider shade study and how plantings grow.

- The applicant noted that shadow studies were done and the way the buildings shade each other, and the public realm was considered in the design and building placement.
- Consider separation of upper amenity space from commercial areas, ensure for the resident use only.
- Ensure adequate parking is provided.
 - The applicant noted that commercial and residential visitor parking will be overlapped as they are used at different times of day.
 - Staff noted that the City will be diligent about how growth is shaped. The applicant has an optimal design grid for this site.
 - As phases develop parking needs will diminish.
 - It was noted that the provincial government regulates residential parking requirements.
- Consider east/west connection to Michaud Crescent as it is a major connection point for pedestrians and cyclists.
- Retain some historical feel to the space.
 - Consider a road treatment to acknowledge the heritage of the original interurban rail route.
 - Originally the site of a greenhouse operation, consider ways to bring back the history of the site, perhaps a design element that hints to the past.
- The northwest intersection will be viewable from the new Skytrain station. That is a key viewpoint for the City.
 - Ensure the public realm is interesting at that location.
- Consider improvements to the lane between the Langley Lions site and this site. There will be 1000 residents when the Lions project is complete and it is an active access point.
- The play area could be better utilized. Perhaps focus on seniors and the need for passive space for them.
- Consider providing / enhancing public bike parking space.
- Improve the look of the loading zone.
 - The applicant noted that there is one entry point and then commercial trucks will be hidden behind the commercial area.
- Consider the opportunity to have the sidewalk continue through, and not let down for the road. This provides a clear message it is intended for pedestrians.
- Staff noted that a public access agreement will ensure the public can use the onsite park.

The applicant team left the meeting.

It was MOVED and SECONDED

THAT:

1. The ADP receive the staff report for information; and
2. The ADP recommends the applicant give further consideration to the following prior to the application proceeding to Council:
 - a. Add a drawing of the site's context with the Langley Lions complex, look for opportunities to strengthen the relationship and connection between the subject and Langley Lions sites, improve connections between the southern park and the Langley Lions lane, and incorporate a unique surface treatment in the lane

- b. Consider more variation in height of podium levels
- c. Give consideration to prominent gateway features related to surrounding context (e.g. Douglas Park, SkyTrain station, etc.)
- d. Design commercial frontages to effectively activate and engage with the adjacent pedestrian realm (uses spilling out, garage doors, etc.)
- e. Ensure there is variation in façade design and material use and colours between different building phases, with consideration to existing and historical context (e.g. street grid and interurban alignment, greenhouse, etc.)
- f. Consider solar access in building articulation and provide shadow diagrams, including in the articulation diagrams
- g. Look for opportunities to greater enhance the street ground scape, including with further emphasis on pedestrians
- h. Enhance and provide more pedestrian view points around and through the site
- i. Allow design features within the park (water features, furniture, etc.) to be less compartmentalized and blend through each other more (and extend features further north into public realm), and consider more seniors-friendly programming
- j. Emphasize an engaging and visually interesting frontage at the northwest corner adjacent to the intersection of Douglas Crescent and 203 Street
- k. Incorporate enhanced bicycle parking facilities as part of development applications
- l. Mitigate the visual and pedestrian impacts of the loading and parkade entrances
- m. Incorporate level sidewalk heights across carriageway intersections wherever possible
- n. Include a diverse residential unit mix

Staff note: Provide more information on the future design of the 203 Street & Michaud Crescent intersection.

BEFORE QUESTION WAS CALLED there was discussion about solar access / shadow studies and loss of parking in the mall parking lot. It was noted that on-street parking will be improved. The City will be conducting a parking strategy, and looking at parking in relation to the development of SkyTrain.

THE QUESTION WAS CALLED and same was

CARRIED

**4) DEVELOPMENT PERMIT APPLICATION DP 14-23
ZONING BYLAW AMENDMENT APPLICATION RZ 12-23**

6-storey, 64-unit apartment building at 20220-20230 Michaud Crescent

Anton Metalnikov, Planner introduced the project and provided context to the application. He further spoke to the staff report dated July 3, 2024 and provided a brief overview of the Development Permit application.

The Applicant team entered the meeting:

Matthew Cheng, Architect, Matthew Cheng Architect Inc.

Ali Tahmoresi, Intern Architect, Matthew Cheng Architect Inc.
Caelan Griffiths, Landscape Architect, PMG Landscape Architects Ltd.
Namanmeet Singh, Developer, Elegant Glass Holdings

Matthew Cheng provided information on the following:

- Development location
- Underground parking
- Vehicular access and parking details
- Indoor / outdoor amenities
- Form and character
- Elevations and finishings
- CPTED
- Landscape design and outdoor amenity space

The applicant team responded to questions from panel members regarding the following:

- Visitor parking stalls would be reduced by 3 stalls if a gate is installed to separate it from the resident parking.
- Consider better visitor access to the building and resident areas, there are no sidewalks or lane. It is not clear how one enters the building from there.
- Consider improvements to the entry lobby.
 - A unique condition exists where it is possible to combine the stair and ramp area and change the entry point to enable everyone to use the same space equally, instead of separating.
 - Change the orientation of the entry to improve access and attain a better view of the landscape areas.
- Consider limiting the number of colours used on the exterior, increase use of woodgrain colour, or use brick.
- Orange highlights don't match from left side to right side of building. Needs more consistency. Possibly include colour on the inside as well.
- Consider replacing the 'spinner' play unit with something more usable for multiple children at once, ie: swing set.
- Provide a rendering of what size bed can fit in the bedrooms.
- Plug ins for ebikes will be included.
- Consider moving bike parking from the street to the lobby, perhaps the existing 'office' space.
- Air conditioning provided is for one room, not the whole suite.

The co-chair left the meeting at 9:32pm.

- Consider warmer tones in the back of the building. Back to front feel disconnected visibly.
- Improve aesthetics in the lane for residents that are facing it.
- Consider improvements to parkade bike stall access to the building. There are a lot of doors. Can the number of doors you need to pass through be reduced. Mechanical doors are ideal if you must pass through them with bikes.
- Install Canada Post grade mail hardware as it is more theft resistant.
- Utilize fob access for building doors.

- Parking ramp - ensure clear visibility east/west as the lane will have traffic in both directions.
 - The applicant noted that there will be a 6m flat area at the top of the ramp.

The applicant team left the meeting.

Further discussion took place about parking and the new provincial laws.

It was **MOVED** and **SECONDED**

THAT:

1. The ADP receive the staff report for information; and
2. The ADP recommends the applicant give further consideration to the following prior to the application proceeding to Council:
 - a. Consider redesigning the lobby entrance to integrate the stairs and ramp, including by shifting the location of the entry door, face the northeast landscape island, and move bicycle rack (preferably with two-point locking racks) closer to lobby entrance
 - b. Consider design enhancements and variation to the roof line
 - c. Consider colour palette adjustments (e.g. replacing tan material with greater use of wood grain siding, review extent of tan material along extruded frames for harmony, consider incorporating it more on the rear elevations, etc.)
 - d. Consider an alternative play feature that could be used by more children at a time
 - e. Clarify the size of beds that could fit into bedrooms
 - f. Incorporate Canada Post mailbox standards for security
 - g. Look for potential improvements to walking bicycles through the building (e.g. reconfiguring locations, automatic doors, etc.)
 - h. Review use of enterphones at parkade entrances
 - i. Ensure adequate sightlines are provided at intersection of south lane and parkade accesses
 - j. Review the interface of the west lane and its fronting units
 - k. Clarify the intent of the office space

BEFORE THE QUESTION WAS CALLED it was noted that the City's tenant relocation policy will apply to this development. Staff will review the land use with regard to the proposed residential office space in the lobby and will inquire further as to the intended use.

THE QUESTION WAS CALLED and same was

CARRIED

5) NEXT MEETING

September 11, 2024

6) ADJOURNMENT

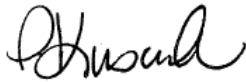
It was MOVED and SECONDED

THAT the meeting adjourn at 9:50 pm.

CARRIED



ADVISORY DESIGN PANEL CHAIR



DEPUTY CORPORATE OFFICER



ADVISORY DESIGN PANEL REPORT

To: **Advisory Design Panel**

Subject: **Rezoning Application RZ 13-23
(5501 204 St & 20300 Douglas Cres)**

From: Anton Metalnikov, RPP, MCIP
Planner

File #: 6620.00

Bylaw #: 3290

Doc #:

Date: July 2, 2024

RECOMMENDATION:

THAT this report be received for information.

PURPOSE OF REPORT:

To consider a Zoning Bylaw amendment application by Orion Construction for a multi-phase mixed-use master plan at 5501 204 St and 20300 Douglas Cres.

POLICY:

The subject property is currently zoned C1 Downtown Commercial Zone in Zoning Bylaw No. 2100 and designated "Transit-Oriented Core" in the Official Community Plan Land Use map.

OCP Policy 1.13. (Master Planning) requires all proposed developments on sites greater than 2 acres involving multiple phases to prepare a master plan. The subject site is 9 acres in size and is intended to be developed in phases. Accordingly, a rezoning application has been submitted to align the site's zoning with its OCP designation and enable Development Permit applications for individual buildings to be made in the future and adopt a master plan site layout these buildings will generally conform to. Specific policies guiding the redevelopment of the Langley Mall are contained in OCP Appendix B.

A Comprehensive Development (CD) Zone is proposed to implement the site-specific master plan.

COMMENTS/ANALYSIS:

Background Information:

Applicant:	Orion Construction
Owner:	0622215 B.C. LTD.
Civic Addresses:	5501 204 Street & 20300 Douglas Crescent
Legal Description:	Lot 375, District Lot 36, Group 2, New Westminster District, Plan 46221; Parcel A, District Lots 305 and 36, Group 2, New Westminster District, Plan BCP35185
Number of Units	Approximately 1,900 (subject to change)
Site Area:	3.6 hectares (9.0 acres)
Floor Area Ratio:	Maximum 5.5
OCP Designation:	Transit-Oriented Core
Existing Zoning:	C1 Downtown Commercial
Proposed Zoning:	CD100 Comprehensive Development Zone
Development Cost Charges:	To be calculated at Building Permit stage
Community Amenity Contributions (CACs):	To be calculated at Building Permit stage

Discussion:

1. Context

The applicant is proposing a multi-phase mixed-use development intended to be built out, in four phases, over 10 to 20 or more years on a large outdoor commercial centre site composed of two properties: the Langley Mall and its parking lot at 5501 204 Street and the Tim Hortons at 20300 Douglas Crescent.

The site is strategically located on Douglas Crescent and between 203 Street and 204 Street, with frontages on all of these streets, and south of City Hall and Timms Community Centre. As a key 'hinge point' between the adjacent Historic Downtown, commercial areas on Fraser Highway and 56 Avenue and residential neighbourhoods to the west and south, the site has the potential to add significant residential density and enhanced commercial activity, and new public open spaces and amenities that will benefit both residents and businesses.

This site is well-served by existing arterial road connections and a high concentration of shops and services, including those provided by the existing commercial centre itself. A mix of both commercial and low-rise apartment buildings sit across from the site to both the east, north, and west. To the south, the site is neighbored by the Langley Lions senior housing complex, which itself had a site-wide master plan rezoning approved in 2019 with building heights of up to 15 storeys.



Site context

The site is well positioned with connections to retail and service areas given its location at a major Downtown intersection. It also benefits from proximity to key neighbourhood amenities, including:

- Timms Community Centre (across the street);
- Douglas Park (5-minute walk); and
- Douglas Park Elementary School (5-to-10-minute walk).

The site is also located near major transportation services, including:

- Seven bus routes (directly adjacent);
- The Langley Centre transit exchange and the fifteen bus routes it serves, including the frequent 503 Fraser Highway Express (5-to-10-minute walk); and
- The planned Langley City Centre SkyTrain station and its associated transit exchange (5-to-7-minute walk).

2. Proposed Rezoning and the Official Community Plan (OCP)

The site is designated Transit-Oriented Core in the City's OCP, which allows for residential and commercial development of up to 15 storeys in height (subject to the federal Airport Zoning Regulation) and a Floor Area Ratio (FAR) of up to 5.5.

Within the OCP's Appendix B: District Policies, the Langley Mall has a dedicated set of policies on its redevelopment. These include requirements for a master-planned two-property assembly, high-rise apartment buildings, commercial frontage and public open space on Douglas Crescent, pedestrian access both north-south and east-west through site, adding on-street parking to Douglas Crescent, and maintaining three vehicle accesses near their existing locations.

The site is also located within the Transit-Oriented Areas (TOAs) of the Langley City Centre SkyTrain station and Langley Centre bus exchange, as identified in the City's Zoning Bylaw. These TOAs are required by Provincial legislation (namely the *Local Government Act*, as amended by Bill 47 passed in November 2023) which introduced TOAs to set specific heights and densities (based on distance from transit) which must be allowed by local governments, along with a prohibition on residential parking requirements except for accessible parking. The City's OCP allows for greater height and density (15 storeys and 5.5 FAR) than would be permitted by the site's TOA tier (12 storeys and 4 FAR). In accordance with the TOA, future Development Permit applications will not be subject to minimum residential parking requirements but will be subject to minimum accessible residential and commercial parking requirements.

The site is also currently zoned C1 Downtown Commercial which permits high density mixed-use development and a height limit of 46 metres or about 150 ft, which typically equates to 15 residential floors or storeys. The 150 foot building height limit has been in the C1 zone since 1996. The site has been envisioned to accommodate buildings up to 15 storeys in height since 2009, when a site concept for the future redevelopment of the Langley Mall was included in the Downtown Master Plan showing 14 storey residential buildings situated on top of a commercial podium (total of 15 storeys).

The subject property is proposed to be rezoned to a site-specific Comprehensive Development (CD) Zone to allow higher densities in future Development Permit applications that are anticipated to be higher than the density permitted by its existing C1 zoning, but still involving a maximum height of 15 storeys. The CD zone will also include a master plan layout to guide the future phased development of the site. Noting that the site is to be built out over multiple phases, this CD Zone-based approach provides flexibility for future individual buildings to respond to different market and policy contexts over time, while maintaining certainty as to the general street and block pattern, building location

and pedestrian open space layout of this future development. The primary effect of the site's CD100 Comprehensive Development zoning will be to allow a mix of uses and higher densities and identify the general street alignments, open space configurations, and building footprints. Within these parameters, the CD100 Zone will allow for different heights, densities and uses, and individual Development Permits will be required prior to any redevelopment occurring, and these Development Permits will include more detail on building integration with the master plan, individual building design and form and character, pedestrian open space design and landscaping. As such, the unit count and density as shown in the proposal's conceptual massing and in this report are approximate.

2. Design

The proposed master plan was designed with the goal of urbanizing the subject site and developing it as an extension of the Downtown area, by way of expanding the adjacent and existing street grid, emphasizing a pedestrian-friendly environment with slow streets and vibrant public spaces, and maintaining of a significant commercial floor area supported by high residential densities, which in turn will support the Downtown's existing offerings and future transit improvements. It is important to note that while relatively detailed assumptions about the ultimate development have been made in the attached drawing package, including on building heights and uses, the master plan is intended to be flexible in response to market and policy conditions as may exist in the future.

Though subject to change, the site is intended to be developed in at least four phases or quadrants over the next 10 to 20 or more years, with the possibility of subphases. The order of these phases is expected to start with the southwest quadrant (5 years to completion), followed by the northwest (5 to 10 years), then the southeast (10-15 years), and finishing with the northeast quadrant (15-20 years). This phasing plan is largely based on the lease obligations with the site's existing tenants, including the No Frills grocery store. The applicant has indicated that a grocery store use will be maintained as a part of the redevelopment of the site (although likely relocated to a phase fronting Douglas Crescent) and the existing mall commercial space will be largely replaced within new phases on Douglas Crescent. Another tenancy of note is the Tim Hortons located on the northwest corner, which has a multi-decade lease in place.

The proposed master plan shows an overall FAR of 4.43 and about 1,900 residential units, although this is subject to change and will be confirmed through future Development Permit applications. As noted above, the maximum FAR for this site in the OCP is 5.5.

Overall Site Concept: Walkable Blocks, High-quality Pedestrian Experience

The master plan site layout and phasing is based on an urban street and block pattern that divides the 9 acre site into four smaller blocks or quadrants/phases, and follows the existing street and block pattern of the surrounding Downtown area. This street and block pattern is organized around a new internal east-west street between 203 Street and 204 Street and a new north-south street that connects Douglas Crescent to the new east-west street. These streets will make the site much more walkable by enabling direct pedestrian and cycle access through the site and to/from adjacent properties, and will distribute vehicle traffic evenly through and into and out of the site, and enable easy access for current and future parking and commercial operations, loading and waste management.

This new street and block pattern is also centred on an interconnected plaza and pocket park promenade or 'spine' that will create a vibrant, attractive and high-quality pedestrian experience and distinct sense of place, following the policies in OCP Appendix B. This plaza-to-pocket park journey begins at the intersection of Douglas Crescent and the new north-south street, where an urban plaza is envisioned to be located and lined with ground floor retail, restaurants, cafes, and street trees, and including outdoor seating, landscaping and public art, and then progressing southward along a wide sidewalk space with an outdoor seating corridor on the east side of the north-south street, and culminating in a pocket park 'anchor' at the south end of the site. This pocket park, accessible to the public, is envisioned to act as the 'green heart' of the site, complete with grassed/landscaped areas, trees and outdoor play features. This park will also create a pedestrian connection between the site and the Langley Lions site.

The proposed new street frontages along 203 Street, 204 Street and Douglas Crescent will feature a high-quality public realm design that is consistent with adjacent Downtown areas, including wide sidewalks, bike lanes, street trees and landscaping pockets and on-street parking to support new street-fronting ground floor commercial spaces along Douglas Crescent and 204 Street.

New Street Grid Details

At build-out the master plan proposes a new east-west street that will upgrade and realign the existing east-west drive aisle on the existing Mall site, and act as an extension of Park Avenue through the site to 203 Street. This east-west street will also enable commercial parking, loading and waste management access for the phases fronting Douglas Crescent. The Douglas Crescent intersection with the new north-south street will be shifted slightly to improve safety at the intersection, and the existing rear lane will be maintained but widened, both to support Fire Rescue access and its potential to provide residential parkade access, and maintain delivery access to the No Frills grocery store.

All streets and lanes on-site are proposed to be private with statutory right of ways to permit public passage. As self-contained thoroughways with limited connections beyond this site, this approach is feasible and allows for the streets to be owned and maintained by the site owner, including allowing the space under these streets to be used for parking. All internal streets will have on-street parking bays. Dedications will be required from all three fronting streets (Douglas, 203 and 204) to accommodate upgrades including lane reconfigurations, sidewalk and bike lane upgrades, new treed boulevards, and on-street parking. Building accesses shown in the master plan are conceptual. Actual locations and detailed designs are to be confirmed as part of Development Permit applications to be made for individual building phases in the future and based on the results of Traffic Impact Assessments (TIAs).

Conceptual buildings and uses

The buildings in the two northern phases, located between the east-west street and Douglas Crescent, are envisioned to take on a more commercial character, including ground-floor commercial spaces and the potential for an office building on the northwest corner (subject to market conditions). Total commercial floor space at this time is expected to total approximately 11,360 m² (122,000 ft²) if the northwest corner is developed with an apartment building or 22,060 m² (237,000 ft²) if it is developed with an office building, compared to the site's existing commercial floor area of approximately 13,000 m² (140,000 ft²). Above the commercial ground floors, six residential high-rises are proposed, including two longer buildings flanking a plaza on the southeast corner of the Douglas Crescent intersection and the north-south street. These longer buildings are proposed be angled or 'canted' to reduce their apparent massing and floorplate when viewed from the street and to ensure more light access at street level. This approach is based on OCP Development Permit Area Guidelines for high-rises.

On the south side of the east-west street, in the two southern phases, four high-rise buildings are proposed with residential uses only. While height and massing will be finalized at the associated Development Permit stages, these buildings will be required to step down in height (from 14 to 10 storeys) toward the south to create a more sensitive transition to the shorter buildings on the neighbouring Langley Lions site and existing buildings on properties to the east and west. The top of the stepped down portion of these high-rises are also envisioned to include roof-top amenity areas and landscaping/trees.

All of the proposed high-rise buildings on the site are based on best design practice and generally follow the OCP Development Permit Area guidelines for high-rises, with a particular focus on ensuring the high-rise building faces above 10 storeys are located at least 25 metres or 82 feet apart from each other, to reduce shadowing and massing impacts at street level, allow more light access and a comfortable sense of enclosure at street level, and to help maintain privacy

for occupants of these buildings. The spaces between these buildings also enables large outdoor amenity courtyard areas to be placed between towers, for use by the residents of the high-rise residential buildings and complete with landscaping, outdoor play areas, community garden plots and trees.

3. Sustainability

Sustainability has been considered in the site design by way of prioritizing easy pedestrian movement through the site, accommodating new and upgraded bike lanes and boulevards along the fronting streets, and incorporating large green spaces at grade level and as raised courtyards on top of buildings' parkades. More detailed building-level sustainability features will be identified as part of future individual Development Permit applications. Overall, the site is designed to be a model transit-oriented development, in close proximity to the SkyTrain station, with high densities and a mix of uses that support increased transit ridership and the use of active transportation options, and will reduce automobile dependence and emissions over time.

The redevelopment concept also shows the potential for over 210 trees at full build-out, which is almost three times more trees than the existing amount of trees (75) on the site. Efforts will be made throughout build-out, by way of implementing existing and future urban forest management plan policy, to maximize the number of potential trees on site. The total landscaped area proposed in the redeveloped site is almost 5 times more than the current site. These green features, along with high albedo roof covers, will greatly assist in reducing the significant heat island effect that the Langley Mall creates in the Downtown area during hot weather, and provide a greener and more pleasant pedestrian and urban experience compared to the present site condition.

CPTED

CPTED (Crime Prevention Through Environmental Design) is addressed by the master plan through its high density and mix of uses, which will encourage the area to be well-used and keep eyes on the street. design principles will be considered through individual phases and their Development Permit applications, which will require CPTED reports with design assessments and recommendations for improvement to be completed by a qualified consultant. All of the public open spaces on the site will be bounded by active commercial and residential uses to ensure there are eyes of the street throughout a 24 hour day.

4. Variances

As a master plan implemented through a site-specific Comprehensive Development (CD) Zone, no variances are requested or required.

5. Summary

The proposed development is consistent with the City's OCP and District Policies and would convert a large low-density commercial site into a transit-oriented development expanding Downtown.

Engineering Requirements:

As part of the proposed rezoning the applicant is required to fulfil multiple engineering requirements and conditions to ensure the final expected buildout meets City standards on servicing, transportation, and environmental protection. More detailed building-level engineering requirements will apply at the time of individual Development Permit applications. In recognition of the flexibility incorporated into the master plan, engineering studies at this stage will assume a highest infrastructure demand scenario.

Engineering requirements applicable to the subject master plan are as follows, with the Developer responsible for the work which shall be designed by a Professional Engineer:

- I. All work to be done to the City of Langley's Design Criteria Manual (DCM) and the City's Subdivision and Development Servicing Bylaw (SDSB).
- II. Per the City's DCM requirement, the Developer and their consulting engineer shall submit to the City Engineer a signed and sealed copy of Form F-1 (Commitment by Owner and Consulting Engineer) prior to starting their design works.
- III. At the Developer's expense, the capacity of the existing water and sanitary sewer systems shall be assessed through hydraulic modeling performed by the City's standing hydraulic modeling consultant per the DCM, Sections 3.8 & 6.5.
 - a. Any upgrade requirement for either sanitary or water mains not covered under the City's DCC bylaw shall be designed and installed by the Developer at the Developer's expense.
 - b. At the Developer's expense, the City's standing hydraulic modeling consultant shall conduct a fire hydrant flow test to be used in the City's water modeling to determine if the existing water network is adequate for fire flows (based on architectural data supplied by the Developer's Architect). Upgrading of existing watermains may be necessary to achieve the necessary pressure and flows to conform to Fire Underwriters Survey (FUS) "Water Supply for a Public Fire Protection, a Guide to Recommended Practice, 1995."
- IV. Land dedications and rights-of-way shall be granted to the City based on the design produced by staff and provided to the Developer via email on April 8, 2024.

- V. At the Developer's expense, a Traffic Impact Assessment (TIA) will be completed per DCM Section 8.21. The proposed development plan and statistics, once ready, should be forwarded to the City Engineer to develop the scope of this traffic study. TIA reports must be approved by the City Engineer prior to taking the application to Council. The TIA completion timing must be:
 - a. *For OCP Amendment / Rezoning Applications:* Prior to Council's first and second readings; and
 - b. *For Development Permits (DP):* Prior to Council consideration of the application.
- VI. The scope and extent of the off-site works shall be determined in part from the TIA. All road frontages will be upgraded in accordance with the City's DCM including new sidewalks, curbs, streetlighting, street trees, landscape strip and cycling facilities. The new road frontages shall tie into existing sidewalks, curb & gutters and cycling network at each end.
- VII. The condition of the existing pavement along all the proposed project's frontages shall be assessed by a geotechnical engineer. Pavements shall be adequate for an expected road life of 20 years under the expected traffic conditions for the class of road. Road construction and asphalt overlay designs shall be based on the analysis of the results of Benkelman Beam tests and test holes carried out on the existing road which is to be upgraded. If the pavements are inadequate, they shall be remediated by the Developer, at the Developer's expense.
- VIII. Existing street lighting along the entire project frontages shall be analyzed (excluding any BC Hydro lease lights) by a qualified electrical consultant to ensure street lighting and lighting levels meet the criteria outlined in the DCM. Any required street lighting upgrades, relocation, and/or replacement shall be done by the Developer at the Developer's expense.
- IX. The site layout shall be reviewed by a qualified Professional Engineer to ensure that the parking layout, vehicle circulation, turning paths and access design meet applicable standards and sightline requirements, including setbacks from property lines. Appropriate turning templates should be used to prove parking stalls, loading areas and drive aisles are accessible by service vehicles. Refer to DCM Section 8.0. The design shall be adequate for MSU trucks as the design vehicle.
- X. The Developer is required to deposit all requisite bonding and fees as outlined in the Subdivision and Development Servicing Bylaw.

Fire Department Comments:

The department has reviewed the overall Master Plan for this property. The department's main concern is around access to all buildings on the site. The primary access concern is from the south along the laneway as well ensuring

minimum 8 metre wide unobstructed internal roads throughout the property. The department will continue to work with each individual building development to ensure adequate access for fire apparatus and personnel to each building on site.

Advisory Design Panel:

In accordance with Development Application Procedures Bylaw No. 2488, the subject Zoning Bylaw amendment application will be reviewed by the Advisory Design Panel (ADP) at the July 18, 2024 meeting.

According to the Council-approved ADP Terms of Reference, the ADP is to provide form and character and urban design-related advice and recommendations for Council's consideration. In the absence of an associated Development Permit application, the ADP's role is to provide input on public realm and building interfaces to be considered in the detailed design of future phases. Presentation of this master plan to the ADP will also provide the necessary context for future evaluation of Development Permit applications by the ADP (i.e. how does the subject building relate to the rest of the master-planned site). ADP recommendations will be presented to Council through the ADP meeting minutes and, if applicable, through an additional City staff report, prior to Council consideration of the proposed Zoning Bylaw amendment.

A copy of the ADP minutes will be presented to Langley City Council at a future Regular Council meeting.

BUDGET IMPLICATIONS:

Development Cost Charges (DCCs) and Community Amenity Contributions (CACs) are payable to the City at time of Building Permit issuance, which are preceded by Development Permit applications. As this application is solely for a rezoning, no DCCs or CACs will be provided with this application.

Prepared by:



Anton Metalnikov, RPP, MCIP
Planner

Concurrence:



Roy M. Beddow, RPP, MCIP
Deputy Director of Development Services

Concurrence:



Carl Johannsen, RPP, MCIP
Director of Development Services

Concurrence:



David Pollock, P.Eng.
Director of Engineering, Parks,
& Environment

Concurrence:



Scott Kennedy
Fire Chief

Attachments

CEDAR LANGLEY

5501 204TH ST, CITY OF LANGLEY, BC

ISSUE 07 - REZONING RESUBMISSION - OCTOBER 04, 2024

CONTACT LIST

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Civil	Centras Unit 306, 2650 Croydon Drive, Surrey, BC, V4C 8T3	Gurpreet Parmar Tommy Bachman	804.771.9857 804.417.3115	gurpreet@centras.ca tommy@centras.ca
Landscape	KD Planning & Design 403-34077 Steeles Avenue, Abbotsford, BC, V2S 2E8	Jessica Thiessen Dallas Cameron	778.808.3738 804.853.881x127	jessica@kdrhn.com dallasc@kdrhn.com



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(PROJECT TEAM)



CEDAR COAST

ORION
CONSTRUCTION



(SEAL)

Orion Construction

(PROJECT)

CEDAR LANGLEY

5501 204TH ST

CITY OF LANGLEY, BC

(TITLE)

COVER

21880 (PROJECT)

NOT TO SCALE (SCALE)

2024-10-04 (DATE)

COORDINATION (STATUS)

(DRAWING)

A.0.001

ARCHITECTURAL DRAWING INDEX

A.0.001	COVER	NOT TO SCALE
A.0.002	DRAWING INDEX	NOT TO SCALE
A.0.003	AREA CONTEXT - PHOTOS	NOT TO SCALE
A.0.004	SITE CONTEXT - PHOTOS	NOT TO SCALE
A.0.005	DESIGN RATIONALE	NOT TO SCALE
A.0.006	DESIGN RATIONALE	NOT TO SCALE
A.0.007	DESIGN RATIONALE	NOT TO SCALE
A.0.008	DESIGN RATIONALE	NOT TO SCALE
A.0.009	DESIGN RATIONALE	NOT TO SCALE
A-0.010	3D MASSING	NOT TO SCALE
A-0.011	3D MASSING	NOT TO SCALE
A-0.012	3D MASSING	NOT TO SCALE
A-0.013	3D MASSING	NOT TO SCALE
A.0.014	PERSPECTIVES	NOT TO SCALE
A.0.015	PERSPECTIVES	NOT TO SCALE
A.0.016	PERSPECTIVES	NOT TO SCALE
A.0.017	PERSPECTIVES	NOT TO SCALE
A.0.018	SITE DATA	NOT TO SCALE
A.0.019	SITE DATA	NOT TO SCALE
A.0.020	SITE DATA	NOT TO SCALE
A.0.021	SITE DATA	NOT TO SCALE
A-1.000	SURVEY	1:250
A-1.001	MASTER PLAN	1/32" = 1'-0"
A-1.002	DRAFT SUBDIVISION	1/32" = 1'-0"
A-2.001	LEVEL 1 FLOOR PLAN	1/32" = 1'-0"
A-2.002	LEVEL 2 FLOOR PLAN	1/32" = 1'-0"
A-2.003	LEVEL 3 FLOOR PLAN	1/32" = 1'-0"
A-2.004	LEVEL 4-10 FLOOR PLAN	1/32" = 1'-0"
A-2.007	LEVEL 11 FLOOR PLAN	1/32" = 1'-0"
A-2.008	LEVEL 12-14 FLOOR PLAN	1/32" = 1'-0"
A-3.001	SITE SECTIONS	1/32" = 1'-0"
A-3.002	SITE SECTIONS	1/32" = 1'-0"
A-5.003	STREET SECTIONS	1/16" = 1'-0"
A-8.001	SHADOW STUDIES MARCH	NOT TO SCALE
A-8.002	SHADOW STUDIES JUNE	NOT TO SCALE
A-8.003	SHADOW STUDIES SEPTEMBER	NOT TO SCALE



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(PROJECT TEAM)

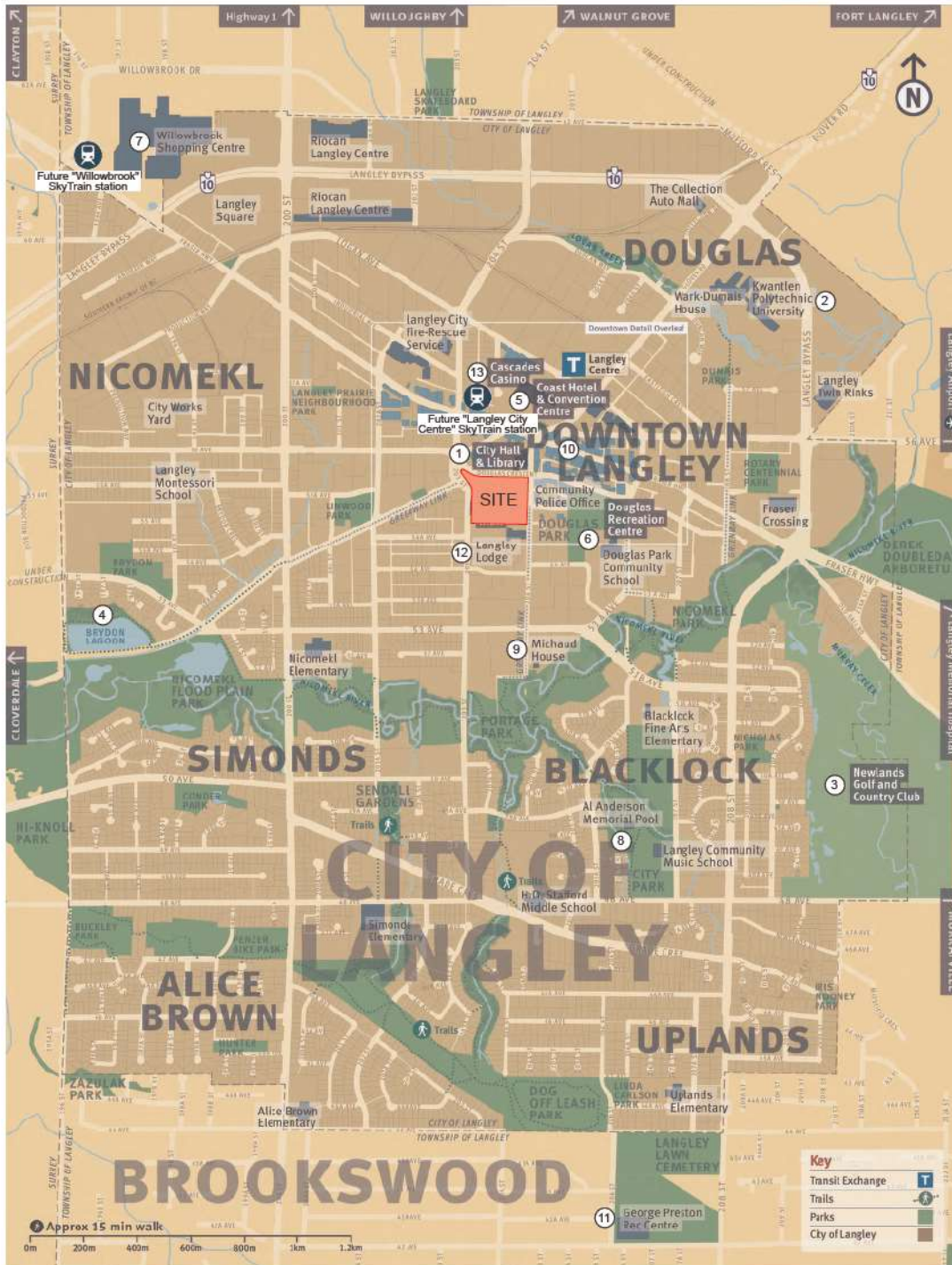


Orion Construction
(PROJECT)

CEDAR LANGLEY
5501 204TH ST
CITY OF LANGLEY, BC
(CLIENT)

DRAWING INDEX
21888 (PROJECT)
NOT TO SCALE (SCALE)
2024-10-04 (DATE)
COORDINATION (DRAWING)

A.0.002



1 - CITY HALL & LIBRARY



2 - KWANTLEN POLYTECHNIC UNIVERSITY



3 - NEWLANDS GOLF AND COUNTRY CLUB



4 - BRYDON LAGOON



5 - COAST HOTEL & CONVENTION CENTRE



6 - DOUGLAS PARK



7 - WILLOWBROOK SHOPPING CENTRE



8 - AL ANDERSON MEMORIAL POOL



9 - MICHAUD HOUSE



10 - DOWNTOWN LANGLEY



11 - GEORGE PRESTON REC. CENTRE



12 - LANGLEY LODGE



13 - CASCADES CASINO



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CONTRACTOR: ORION CONSTRUCTION INC. (ORION)
GENERAL CONTRACTOR: CEDAR COAST CONSTRUCTION (CEDAR COAST)
ARCHITECT: INTEGRATION ARCHITECTURE (INTEGRATION)

PROJECT TEAM

CEDAR COAST

ORION
CONSTRUCTION



Orion Construction

PROJECT

CEDAR LANGLEY

5601 204TH ST

CITY OF LANGLEY, BC

AREA CONTEXT -
PHOTOS

21980 PROJECT

NOT TO SCALE PROJECT

2024-10-04 DATE PROJECT

COORDINATION PROJECT

PROJECT

A.0.003



1 - DOUGLAS CRESCENT, LANGLEY APARTMENT ON THE LEFT, LANGLEY CITY HALL ON THE RIGHT



2 - TIM HORTONS



3 - PARKING, TIM HORTONS



4 - 204 STREET, LEGACY ON PARK AVENUE ON THE RIGHT



5 - 204 STREET, LANGLEY MALL ON THE RIGHT



6 - LANE, LANGLEY LODGE ON THE LEFT



7 - LANE, LANGLEY LODGE ON THE RIGHT



8 - LANGLEY LIONS (TIMBERS)



9 - LANE, LANGLEY LIONS (TIMBERS) ON THE RIGHT



10 - 203 STREET, LANGLEY MALL ON THE RIGHT



11 - PARKING, LANGLEY MALL ON THE RIGHT



12 - 203 STREET, CITY GATE SQUARE, PINNACLE



12 - PARKING, LANGLEY MALL



13 - PARKING, LANGLEY MALL



14 - PARKING, LANGLEY MALL



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(PROJECT TEAM)

CEDAR COAST

ORION
CONSTRUCTION



Orion Construction

(PROJECT)

CEDAR LANGLEY

5801 204TH ST

CITY OF LANGLEY, BC

SITE CONTEXT -
PHOTOS

25980 (PROJECT)

NOT TO SCALE (SCALE)

2024-10-04 (DATE)

COORDINATION (ISSUE)

(DRAWING)

A.0.004

LANGLEY MALL MASTER PLAN & REZONING RATIONALE

SITE:

The Langley Mall site is located at 5501 204th St and 20300 Douglas Crescent, City of Langley. The site is bound by Douglas Crescent on the north, 203rd St to the west, 204th St to the east, and a private lane along the south property line. The site is currently comprised of one large contiguous retail building with multiple CRU tenancies at the south of the site and one small retail building (Tim Hortons) located at the north-west corner. The site is otherwise covered with at-grade parking and encumbered with a number of easements. Sitting on approx. 36,500 sq.m., the property is neighbored by the Langley Lions and Langley Lodge to the south, City of Langley City Hall and residential buildings to the north, along with a mix of commercial and residential uses to the east and west. The property is relatively flat throughout, with only 0.3 - 0.6m in grade change across the site.

MASTER PLAN:

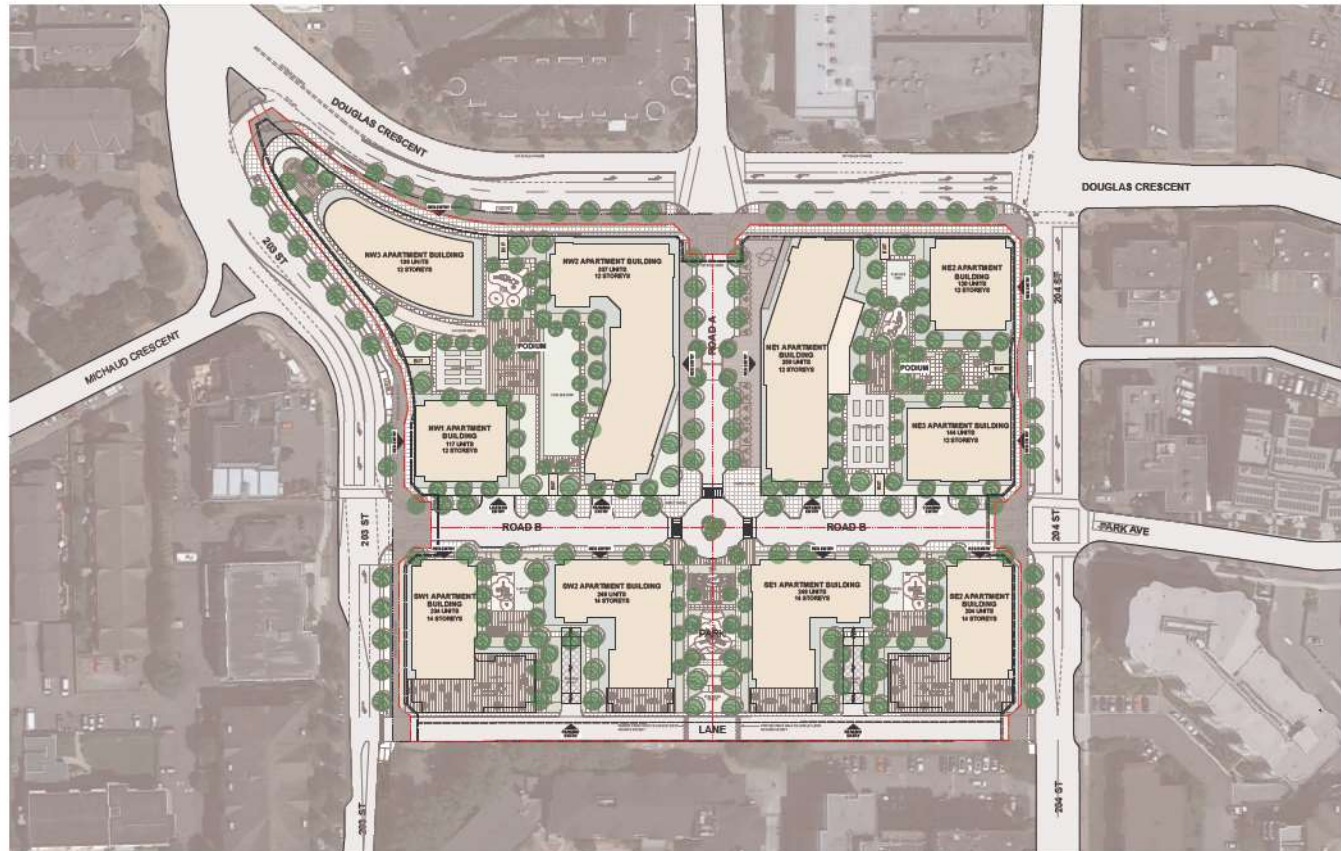
In working closely with the City of Langley's Development Services Department and Department of Engineering, Parks, and Environment through multiple pre-application master plan submissions, the design team has developed a cohesive and exciting plan to invigorate this iconic downtown Langley property. When built-out, the site will provide thousands of units of housing, employment opportunities including office space, a welcoming high-street, and a variety of public and private greenspaces and amenities.

As identified in the OCP, this site is within the transit oriented core that establishes the intent to create a vibrant transit-oriented area with transit-supportive density and a mix of uses in close proximity to the future SkyTrain terminus station and existing high-frequency bus transit.

The project is influenced by other successful master planned urban centre developments across British Columbia and North America, whilst closely following the City of Langley's OCP vision for the site. The master plan follows the four Urban Design Principles in the OCP: people-friendly buildings and streets; great public spaces; inclusive, memorable and sustainable design and good neighbour adjacencies. The relationship of commercial and residential uses has been carefully curated for a sustainable development. The Master plan centres around the four quadrants divided by the "high street" (Road A), a pedestrian-focused retail and restaurant row with engaging public amenities and art ending in the park at the south end.



"HIGH STREET" CONCEPT



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PROJECT TEAM

CEDAR COAST

ORION
CONSTRUCTION



Orion Construction

PROJECT

CEDAR LANGLEY

5501 204TH ST
CITY OF LANGLEY, BC

DESIGN
RATIONALE

2580 PROJECT

NOT TO SCALE DRAWN

2024-10-04 DATE

COORDINATION DRAWN

DATE

A.0.005

LANGLEY MALL MASTER PLAN & REZONING RATIONALE

GENERAL FORM & CHARACTER GUIDELINES

Building Siting + Orientation (OCP 8-19)

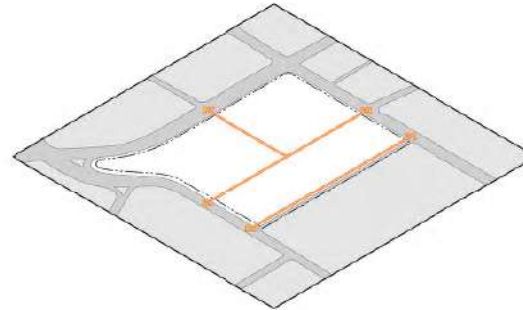
The building volumes are aligned to engage with public and internal streets. The massing along Douglas Crescent supports commercial spaces with the public interface of the busier street. Corner cuts and larger public plazas along the main retail spaces on Douglas Crescent provides an opening into the site from the north. The "high street" (Road A) running through the middle of the site draws pedestrians into the pedestrian friendly "market row" of shopping and restaurants. The architecture along the "high street" will respond and engage the public through a multitude of open and activated spaces.

Commercial podiums are incorporated in the two northern blocks within the site. This locates commercial spaces closer to the busier streets and the transit hubs providing a buffer to the residentially focused southern quadrants. The podiums create large outdoor courtyards for the residential towers. These semi-private amenity and landscape spaces create opportunities for play that adds community value. The podiums also provide significant additional trees and planting that do not currently exist on the site. This lush landscape contributes to the reduction of the heat island effect within the development whilst also bringing opportunities for urban fauna to return to the downtown Langley core.

The massing of the NW2 and NE1 buildings is orientated in a north-south direction to limit the shadowing on adjacent sites and public outdoor areas and to minimize the impact to daylight access, sunlight and ventilation, whilst maintaining visual privacy. These buildings have been kinked in plan to reduce their visible and apparent building length. They are the two gateway buildings juxtaposed in position, creating view corridors within the site and openings for visual relief at both the ground plane and podium levels, as is illustrated by the diagrams provided on the following page.

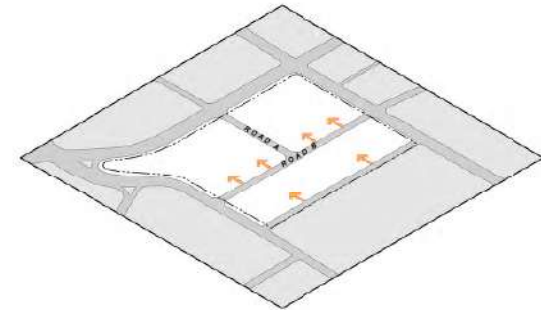
NW3 building form has two options within the rezoning, designed as either a residential or commercial office tower, the flat iron shape of the building reflects the unique position on the site that it holds. The leading iconic corner of the development is shaped by the confluence of Douglas Crescent and 203 St and is the closest point on the site to the future SkyTrain terminus.

The remaining buildings on the northern quadrants are a point tower typology, providing a range of unit types in an efficient floor plate that limits the shadowing impact on the adjacent public spaces.



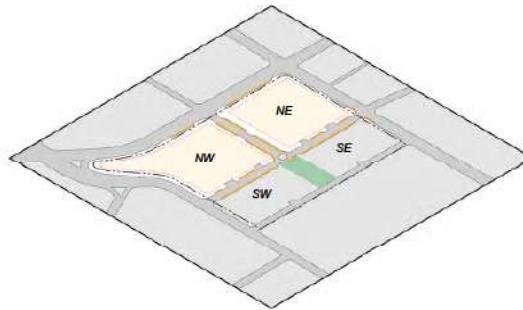
1. CIRCULATION THROUGH SITE

provide access across the site by internal roads, the linear park and widening the rear lane



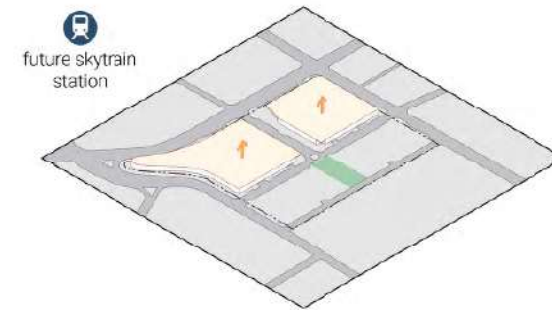
2. INTERNAL ACCESS

provide access to parkade and loading from internal roads only



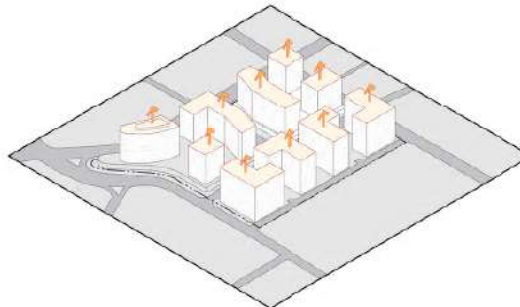
3. COMMERCIAL RELIEF

soften street edge along commercial fronts, encourage activity and movement into green space



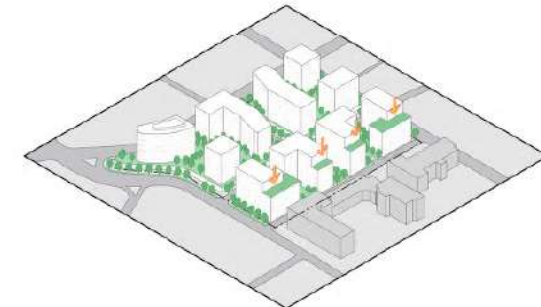
4. COMMERCIAL PODIUM

commercial area provides employment and transitions the site towards future SkyTrain development



5. RESIDENTIAL DENSITY

building massing and heights allow for thousands of residential units



6. HEIGHT TRANSITION & GREEN SPACE

reduce storeys along residential edge and increase natural spaces for social interactions



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PROJECT TEAM

CEDAR COAST

ORION CONSTRUCTION



Orion Construction

PROJECT

CEDAR LANGLEY

5801 204TH ST

CITY OF LANGLEY, BC

DATE

DESIGN RATIONALE

2188 PROJECT

NOT TO SCALE DATE

2024-10-24 DATE

COORDINATION DATE

2024-10-24 DATE

A.0.006

LANGLEY MALL MASTER PLAN & REZONING RATIONALE

GENERAL FORM & CHARACTER GUIDELINES

The four buildings within the southern quadrants are strictly residential from the ground up to the 14th floor. The buildings scale has been sensitively considered to transition from the Langley Lions, utilizing 10 story volumes stepping up to the full 14 storeys in the northern end of the quadrant. This transitions appropriately to the north quadrant tower heights. All buildings maintain 82ft separation above 10 floors to ensure open sight lines, visual privacy and adequate solar access for lower levels and landscaped areas including the park.

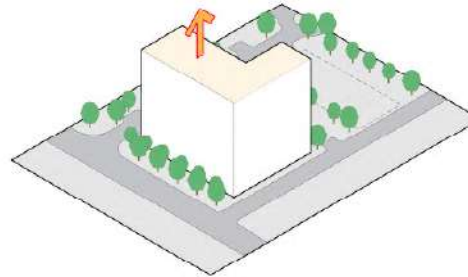
Vehicular Access + Parking (OCP 20-27)

Loading and parkade entrances have been located off the lane or internal streets, maintaining the higher quality of building interface with external streets. Parkade access and projections have been minimized. The two north quadrants parkade and loading access face south to the internal street and are wrapped in ground floor commercial. The two southern quadrants parkade access are off the lane. Small amounts of on street parking and short-term loading are located on the internal east/west road.

Massing + Articulation (OCP 2-44)

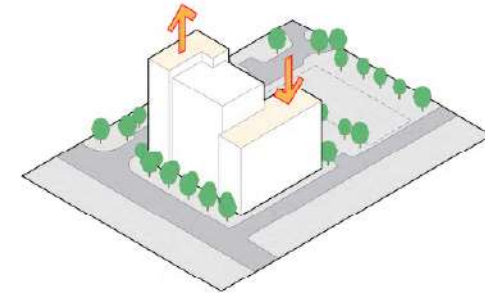
As previously highlighted, the design team has incorporated "good neighbour transitions" by stepping building heights and massing to relate to adjacent buildings and open spaces to soften height transitions as discussed with the City of Langley Development Services Department during the master planning process. Although detailed Architectural articulation and adherence to the OCP guidelines under this section will be addressed during the Development Permit application process, the rezoning application package has suggested building articulation and massing that addresses appropriate building design.

The architectural diagrams provided show a more detailed articulation that could be possible for the SW1 building. The building length along 203 St is broken into three main vertical sections, each corner addressing the north and south orientation and a middle section articulated with balcony and framed elements. The building height also reiterates these three volumes, the northern volume stands tall, with an over-height top floor to accentuate the stepping roof line of the southern volume. Each section is then also broken into a base, middle and top, creating a pedestrian friendly scale and interface whilst also working to reduce the overall height appearance. The design team has provided these massing diagrams with the intent of illustrating how successful the building height and density are on this site. The articulation provided is not intended to show aesthetic design direction or materiality, however suggest good design principals to be followed during the Development Permit application.



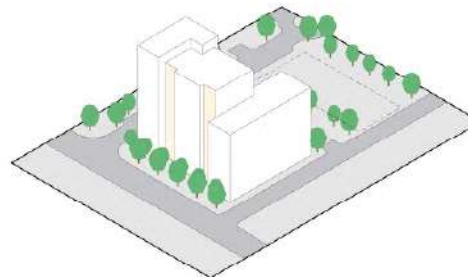
1. DENSITY

maximizing height to provide residential density



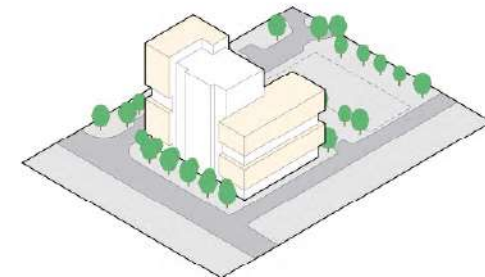
2. DIVISION BY THIRDS

push and pull to reduce massing & reduce building stories along residential edge



3. CENTRAL SPINE

emphasize verticality at central section



4. VISUAL INTEREST

create relationship between building ends & provide facade interest at street level



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PROJECT TEAM

CEDAR COAST

ORION
CONSTRUCTION



Orion Construction

PROJECT TEAM

CEDAR LANGLEY

5501 204TH ST

CITY OF LANGLEY, BC

DATE

DESIGN
RATIONALE

21980 PROJECT

NOT TO SCALE SCALE

2024-10-24 DATE

COORDINATION DATE

DRAWING

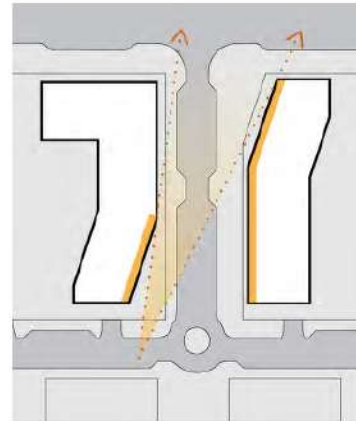
A.0.007

LANGLEY MALL MASTER PLAN & REZONING RATIONALE

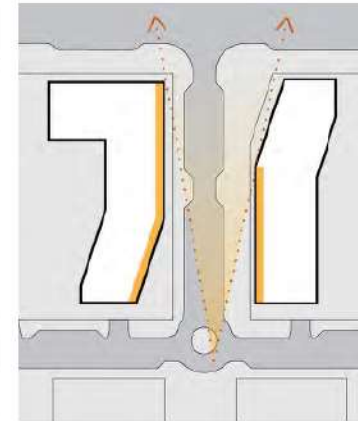
GENERAL FORM & CHARACTER GUIDELINES

Pedestrian Circulation + Accessibility (OCP 1-7)

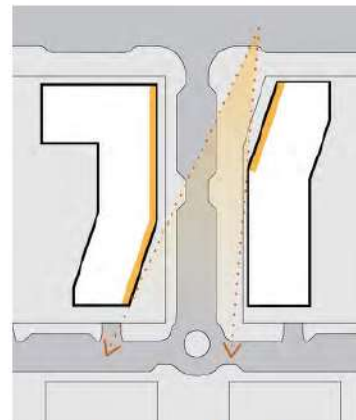
The development seeks to tie into and extend existing street networks and infrastructure with the introduction of private roads adjoining adjacent streets. This dissects the development site into a finer grain block pattern with smaller sites and buildings, with publicly accessible streets, lanes and walkways running through them. Clearly defined and well-lit pedestrian connections will be provided between buildings, pedestrian spaces, the main park and restaurant row to connection points outside the site. Infrastructure upgrades have been incorporated in the off-site civil works to accommodate the new cycling path along Douglas Crescent, as well as dedications along all road frontages. Applicants will work through the detailed DP applications for each phase to ensure appropriate secure bicycle parking adjacent to building entries; primary pedestrian spaces will be well lit, visible and linked to a comprehensive pedestrian network. The site design encourages access to buildings and open spaces through on-site pedestrian routes. Connectivity to adjacent sites such as the Langley Lions has been introduced at the south of the site, including traffic calming and defined pedestrian crossing location that aligns with the future design of the Lions site. Transitions between the public, semi-public, semi-private, and private realms have been defined to enhance both the privacy of residences and the pedestrian experience.



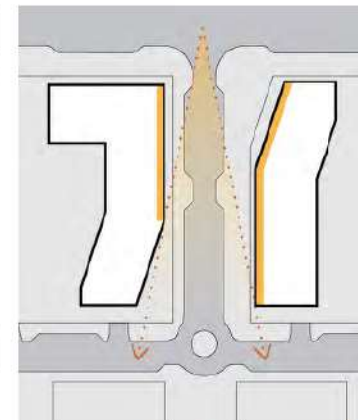
view from Road B (point 1)



view from Road B (point 2)



view from Douglas Cres. (point 1)



view from Douglas Cres. (point 2)

VIEW CORRIDORS
strategic massing and view corridors
reduce building length and provide visual relief



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(PROJECT TEAM)

CEGAR COAST

ORION
CONSTRUCTION



Orion Construction

(PROJECT)

CEGAR LANGLEY

5501 204TH ST

CITY OF LANGLEY, BC

DESIGN
RATIONALE

21888 (PROJECT)

NOT TO SCALE (SCALE)

2024-10-24 (DATE)

COORDINATION (SCALE)

(DRAWING)

A.0.008

LANGLEY MALL MASTER PLAN & REZONING RATIONALE

PUBLIC OPEN SPACE

(OCP 69-74.12) The site is reimagined with a focus on public enjoyment, and contains a variety of open spaces designed to cultivate inter-site travel, play and exercise, community building, relaxation, and shopping experiences. These outdoor spaces begin at the north-east and north-west corners of the Douglas Crescent intersection, offering public plaza space and drawing in visitors. The public spaces continue down the "high street" to the large greenspace.

The public retail "high street" contains pavilions that create activity nodes and visual interest. The landscape design of the public plazas and corner spaces contain public art and significant hardscape which facilitate flexibility of uses and ease of travel. They are accessible and contain engaging seating and other uses. The streets are lined with trees to define pedestrian spaces and provide comfort, shade and interest.

The main public open park space is located at the end of the "high street" as a public amenity to draw visitors through the site and provide amenity space for the surrounding residential buildings. The park has excellent sightlines into, through, and out of this space, following CPTED best practices. It will contain public art as well as areas for both play and leisure. It will contain public art as well as areas for both play and leisure, including multi-generational spaces and activities. These provide interest for both the younger generation and the elderly neighbours to the south located in the Langley Lions.



PUBLIC PLAZA



PUBLIC SITTING



PUBLIC ART



FLEX USE TURF



PLAYGROUND



OUTDOOR GYM



ENTERTAINMENT



COMMUNITY GARDEN



BBQ



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CONTRACT AGREEMENT FOR SERVICES AND DESIGN
AND/OR FOR ARCHITECTURAL SERVICES
OF PROFESSIONAL ARCHITECTURE AND DESIGN
AND/OR FOR ARCHITECTURAL DESIGN

(PROJECT TEAM)

CEDAR COAST

ORION
CONSTRUCTION



Orion Construction

(PROJECT)

CEDAR LANGLEY

5601 204TH ST

CITY OF LANGLEY, BC

(TITLE)

DESIGN
RATIONALE

25980 (PROJECT)

NOT TO SCALE (SCALE)

2024-10-04 (DATE)

COORDINATION (SCALE)

(DRAWING)

A.0.009

VIEW FROM THE NORTH-WEST CORNER



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PROJECT TEAM

CEDAR COAST

ORION
 CONSTRUCTION



Orion Construction

PROJECT

CEDAR LANGLEY

5501 204TH ST

CITY OF LANGLEY, BC

TITLE

3D MASSING

21980 PROJECT

NOT TO SCALE DRAWN

2024-10-24 DATE

COORDINATION DRAWN

DRAWING

A-0.010

VIEW FROM THE NORTH-EAST CORNER



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PROJECT TEAM

 CEDAR COAST

 ORION
 CONSTRUCTION



Orion Construction

PROJECT

CEDAR LANGLEY

5501 204TH ST

CITY OF LANGLEY, BC

TITLE

3D MASSING

21880 PROJECT

NOT TO SCALE SCALE

2024-10-24 DATE

COORDINATION DRAWING

DRAWING

A-0.011

VIEW FROM THE SOUTH-EAST CORNER



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(PROJECT TEAM)

 CEDAR COAST

 ORION
 CONSTRUCTION



Orion Construction

(PROJECT)

CEDAR LANGLEY

5501 204TH ST

CITY OF LANGLEY, BC

(TYPE)

3D MASSING

21880 (PROJECT)

NOT TO SCALE (SCALE)

2024-10-24 (DATE)

COORDINATION (SCALE)

(DRAWING)

A-0.012

VIEW FROM THE SOUTH-WEST CORNER



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PROJECT TEAM

CEDAR COAST

ORION
 CONSTRUCTION



Orion Construction

PROJECT

CEDAR LANGLEY

5501 204TH ST

CITY OF LANGLEY, BC

TITLE

3D MASSING

2188 PROJECT

NOT TO SCALE SCALE

2024-10-24 DATE

COORDINATION DRAWING

DRAWING

A-0.013



PERSPECTIVE 1
 VIEW FROM "HIGH STREET" (ROAD A) TOWARDS CENTRAL INTERSECTION



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(PROJECT TEAM)



Orion Construction

CEDAR LANGLEY

5601 204TH ST
 CITY OF LANGLEY, BC

PERSPECTIVES

2580 (PROJECT)

NOT TO SCALE (SCALE)

2024-10-04 (DATE)

COORDINATION (SCALE)

(DRAWING)

A.0.014



Key Plan



PERSPECTIVE 2
VIEW OF COMMERCIAL STREET FRONT ALONG 203 ST



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PROJECT TEAM

CEDAR COAST

ORION
CONSTRUCTION



Orion Construction

PROJECT

CEDAR LANGLEY

5601 204TH ST

CITY OF LANGLEY, BC

TITLE

PERSPECTIVES

2580 PROJECT

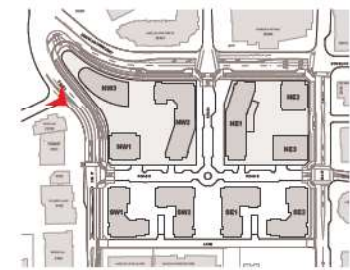
NOT TO SCALE DRAWN

2024-10-04 DATE

COORDINATION DRAWN

DRAWING

A.0.015



Key Plan



PERSPECTIVE 3
VIEW OF "HIGH STREET" (ROAD A) FROM DOUGLAS CRESCENT



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PROJECT TEAM



Orion Construction

PROJECT 1

CEDAR LANGLEY
5601 204TH ST
CITY OF LANGLEY, BC

PERSPECTIVES

2580 PROJECT 1

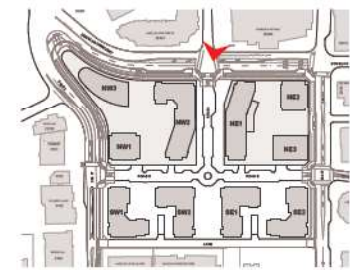
NOT TO SCALE PROJECT 1

2024-10-04 DATE PROJECT 1

COORDINATION PROJECT 1

PROJECT 1

A.0.016



Key Plan



PERSPECTIVE 4
 VIEW OF RESIDENTIAL BUILDING FROM SW CORNER AT 203 ST AND LANE



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PROJECT TEAM



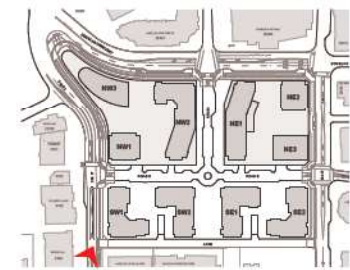
Orion Construction

CEDAR LANGLEY
 5601 204TH ST
 CITY OF LANGLEY, BC

PERSPECTIVES

2580
 NOT TO SCALE
 2024-10-04
 COORDINATION

A.0.017



Key Plan



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CONTRACT DOCUMENTS ARE CONTROLLED DOCUMENTS AND SHALL BE KEPT IN THE ORIGINAL FORM AND SHARED TO ALL PROJECT TEAM MEMBERS.

(PROJECT TEAM)



SOUTH-WEST QUADRANT

SITE AREA			
Total Site Area			
Total Gross Site Area	1.77 Acres	77,071.89 sq ft	7,160.15 m ²
Dedication	0.05 Acres	2,174.45 sq ft	202.75 m ²
Total Net Site Area	1.71 Acres	74,897.43 sq ft	6,957.40 m ²
FLOOR SPACE RATIO (FSR)			
Maximum FSR			
Maximum Floor Area	5.60	423,895.40 sq ft	39,380.94 m ²
Proposed FSR			
Proposed Floor Area	4.67	360,003.68 sq ft	33,445.16 m ²
Amenity Interior req	452 m ²	4,865.33 sq ft	Provided 479 m ² 5,160.75 sq ft
Amenity Exterior req	304 m ²	3,302.66 sq ft	Provided 329 m ² 3,536.00 sq ft
UNITS			
Apartment Building SW 1			204 Units
Apartment Building SW 2			248 Units
Total Number of Units			452 Units
OFA CALCULATION SUMMARY			
RESIDENTIAL (sq ft)			
	SW 1	SW 2	
Level 1-10	13,757.57	14,124.58	
Level 11-14	8,487.29	12,444.33	
Level 15 (Mechanical)	1,060.91	1,555.54	
Subtotal	172,585.77	192,578.66	
Total Residential area			365,164.43 sq ft 33,924.80 m ²
Total OFA			365,164.43 sq ft 33,924.80 m ²



SOUTH-EAST QUADRANT

SITE AREA			
Total Site Area			
Total Gross Site Area	1.74 Acres	75,656.27 sq ft	7,028.54 m ²
Dedication	0.05 Acres	2,527.08 sq ft	244.06 m ²
Total Net Site Area	1.68 Acres	73,029.19 sq ft	6,784.58 m ²
FLOOR SPACE RATIO (FSR)			
Maximum FSR			
Maximum Floor Area	5.60	416,109.49 sq ft	38,657.51 m ²
Proposed FSR			
Proposed Floor Area	4.76	360,003.68 sq ft	33,445.16 m ²
Amenity Interior req	452 m ²	4,865.33 sq ft	Provided 479 m ² 5,160.75 sq ft
Amenity Exterior req	304 m ²	3,302.66 sq ft	Provided 329 m ² 3,536.00 sq ft
UNITS			
Apartment Building SE 1			248 Units
Apartment Building SE 2			204 Units
Total Number of Units			452 Units
OFA CALCULATION SUMMARY			
RESIDENTIAL (sq ft)			
	SE 1	SE 2	
Level 1-10	14,124.58	13,757.57	
Level 11-14	8,487.29	8,487.29	
Level 15 (Mechanical)	1,555.54	1,060.91	
Subtotal	192,578.66	172,585.77	
Total Residential area			365,164.43 sq ft 33,924.80 m ²
Total OFA			365,164.43 sq ft 33,924.80 m ²

CEDAR COAST

ORION
CONSTRUCTION



Orion Construction

CEDAR LANGLEY

5601 20TH ST
CITY OF LANGLEY, BC

SITE DATA

2980 (PROJECT)

NOT TO SCALE (PROJECT)

2024-10-04 (DATE)

COORDINATION (REVISION)

(DRAWING)

A.0.018



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CONTRACTOR RESPONSIBILITY: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND AGENCIES.

(PROJECT YEAR)



NORTH-WEST QUADRANT OPTION 1 - OFFICE BUILDING

SITE AREA					
Total Site Area					
Total Gross Site Area	2.96 Acres	128,937.66 sq ft		11,978.66 m ²	
Dedication	0.15 Acres	6,548.81 sq ft		608.40 m ²	
Total Net Site Area	2.81 Acres	122,388.85 sq ft		11,370.26 m²	
FLOOR SPACE RATIO (FSR)					
Maximum FSR					
Maximum Floor Area	5.50	709,157.13 sq ft		65,882.30 m ²	
Proposed FSR					
Proposed Floor Area	4.13	532,275.76 sq ft		49,449.52 m ²	
Amenity Interior req	424 m ²	4,563.94 sq ft	Provided	509 m ²	5,474.01 sq ft
Amenity Exterior req	848 m ²	9,127.87 sq ft	Provided	929 m ²	10,000.00 sq ft
UNITS					
Apartment Building NW 1					117 Units
Apartment Building NW 2					307 Units
Total Number of Units					424 Units
OFA CALCULATION SUMMARY					
RESIDENTIAL (sq ft)	NW 1		NW 2		COMMERCIAL (sq ft)
Level 1	3,547.07	3,445.99	-	-	72,595.85
Level 2	-	-	-	-	-
Level 3	8,067.00	20,413.45	-	-	21,229.44
Level 4	8,067.00	20,413.45	-	-	-
Level 5-12	8,067.00	20,413.45	-	-	11,274.58
Level 13-14	8,067.00	20,413.45	-	-	-
Level 15 (Mechanical)	1,008.38	2,551.68	-	-	1,409.32
Subtotal	101,359.45	250,959.07			185,431.25
Total Residential area	262,318.62 sq ft				92,791.18 m²
Total Commercial area	186,431.26 sq ft		17,228.88 m²		
Total OFA					637,748.77 sq ft
					49,868.17 m²

NORTH-WEST QUADRANT OPTION 2

SITE AREA							
Total Site Area							
Total Gross Site Area	2.96 Acres	128,937.66 sq ft		11,978.66 m ²			
Dedication	0.15 Acres	6,548.81 sq ft		608.40 m ²			
Total Net Site Area	2.81 Acres	122,388.85 sq ft		11,370.26 m²			
FLOOR SPACE RATIO (FSR)							
Maximum FSR							
Maximum Floor Area	5.50	709,157.13 sq ft		65,882.30 m ²			
Proposed FSR							
Proposed Floor Area	4.31	556,310.20 sq ft		51,682.48 m ²			
Amenity Interior req	593 m ²	6,060.13 sq ft	Provided	596 m ²	6,310.99 sq ft		
Amenity Exterior req	1,126 m ²	12,120.26 sq ft	Provided	1,161 m ²	12,500.00 sq ft		
UNITS							
Apartment Building NW 1					117 Units		
Apartment Building NW 2					307 Units		
Apartment Building NW 3					139 Units		
Total Number of Units					668 Units		
OFA CALCULATION SUMMARY							
RESIDENTIAL (sq ft)	NW 1		NW 2		NW 3		NW
Level 1	3,547.07	3,445.99	3,331.04	-	-	-	70,267.35
Level 2	-	-	-	-	-	-	-
Level 3-14	8,067.00	20,413.45	11,274.58	-	-	-	-
Level 15 (Mechanical)	1,008.38	2,551.68	1,409.32	-	-	-	-
Subtotal	101,359.45	250,959.07	140,035.32				70,267.35
Total Residential area	482,365.84 sq ft		46,740.78 m²				
Total Commercial area	79,297.36 sq ft		6,629.08 m²				
Total OFA							662,821.18 sq ft
							52,288.78 m²

CEDAR COAST

ORION CONSTRUCTION



Orion Construction

CEDAR LANGLEY

5601 20TH ST
CITY OF LANGLEY, BC

SITE DATA

2980
NOT TO SCALE
2024-10-04
COORDINATION

(PROJECT YEAR)

A.0.019



NORTH-EAST QUADRANT

SITE AREA				
Total Site Area				
Total Gross Site Area	3.54 Acres	110,858.71 sq ft	10,299.03 m ²	
Dedication	0.18 Acres	7,842.86 sq ft	728.69 m ²	
Total Net Site Area	2.36 Acres	103,015.85 sq ft	9,570.42 m²	
FLOOR SPACE RATIO (FSR)				
Maximum FSR				
Maximum Floor Area	5.55	609,722.91 sq ft	56,644.64 m ²	
Proposed FSR				
Proposed Floor Area	4.18	463,536.34 sq ft	43,063.58 m ²	
Amenity Interior req				
	523 m ²	5,629.57 sq ft	Provided	526 m ² 5,660.94 sq ft
Amenity Exterior req				
	1,046 m ²	11,259.14 sq ft	Provided	1,068 m ² 11,500.00 sq ft
UNITS				
Apartment Building NE 1				
				259 Units
Apartment Building NE 2				
				120 Units
Apartment Building NE 3				
				144 Units
Total Number of Units				
				623 Units
GFA CALCULATION SUMMARY				
RESIDENTIAL (sq ft)			COMMERCIAL (sq ft)	
	NE 1	NE 2	NE 3	NE
Level 1	2,512.87	2,352.84	3,364.16	52,026.93
Level 2	-	-	-	-
Level 3	19,430.07	8,067.00	8,383.33	-
Level 4-14	17,083.16	8,067.00	8,383.33	-
Level 15 (Mechanical)	2,135.40	1,008.38	1,047.92	-
Subtotal	211,993.10	100,165.22	105,012.04	52,026.93
Total Residential area	417,170.36 sq ft			98,768.07 m²
Total Commercial area	62,028.93 sq ft			4,833.42 m²
Total GFA	489,199.29 sq ft			43,899.48 m²



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CONTRACT DOCUMENTS FOR RESIDENTIAL AND COMMERCIAL DEVELOPMENT
AND/OR ARE SUBJECT TO THE REGULATORY REQUIREMENTS OF THE
CITY OF VANCOUVER, BC. THE CLIENT IS ADVISED THAT THE CONTRACT DOCUMENTS
ARE SUBJECT TO THE REGULATORY REQUIREMENTS OF THE CITY OF VANCOUVER, BC.

(PROJECT TEAM)

CEDAR COAST

ORION
CONSTRUCTION



Orion Construction

(PROJECT)

CEDAR LANGLEY

5801 204TH ST
CITY OF LANGLEY, BC

(TITLE)

SITE DATA

21980 (PROJECT)

NOT TO SCALE (SCALE)

2024-10-04 (DATE)

COORDINATION (REVISION)

(DRAWING)

A.0.020

OVERALL OPTION 1

SITE AREA			
Total Site Area			
Total Gross Site Area	9.01 Acres	393,534.53 sq ft	36,466.42 m ²
Dedication	0.45 Acres	19,793.01 sq ft	1,838.92 m ²
Total Net Site Area	8.56 Acres	372,731.52 sq ft	34,627.50 m ²
FLOOR SPACE RATIO (FSR)			
Maximum FSR			
Maximum Floor Area	5.50	2,158,894.92 sq ft	200,565.30 m ²
Proposed FSR			
Proposed Floor Area	4.37	1,715,819.46 sq ft	159,403.52 m ²
Amenity Interior req	1,851 m ²	19,924.16 sq ft	Provided
Amenity Exterior req	3,702 m ²	39,848.33 sq ft	Provided
			1,993 m ²
			21,456.45 sq ft
			3,855 m ²
			41,500.00 sq ft

UNITS	
Apartment Building SW 1	204 Units
Apartment Building SW 2	248 Units
Apartment Building SE 1	248 Units
Apartment Building SE 2	204 Units
Apartment Building NW 1	117 Units
Apartment Building NW 2	307 Units
Apartment Building NE 1	259 Units
Apartment Building NE 2	120 Units
Apartment Building NE 3	144 Units
Total Number of Units	1,861 Units

GFA CALCULATION SUMMARY			
Total Residential area	1,489,817.75 sq ft	139,338.47 m ²	
Total Commercial area	237,468.18 sq ft	22,080.40 m ²	
Total GFA		1,727,276.91 sq ft	161,398.87 m²

OVERALL OPTION 2

SITE AREA			
Total Site Area			
Total Gross Site Area	9.01 Acres	393,534.53 sq ft	36,466.42 m ²
Dedication	0.45 Acres	19,793.01 sq ft	1,838.92 m ²
Total Net Site Area	8.56 Acres	372,731.52 sq ft	34,627.50 m ²
FLOOR SPACE RATIO (FSR)			
Maximum FSR			
Maximum Floor Area	5.50	2,158,894.92 sq ft	200,565.30 m ²
Proposed FSR			
Proposed Floor Area	4.43	1,739,853.90 sq ft	161,636.37 m ²
Amenity Interior req	1,990 m ²	21,420.36 sq ft	Provided
Amenity Exterior req	3,980 m ²	42,840.72 sq ft	Provided
			2,071 m ²
			22,293.43 sq ft
			4,088 m ²
			44,000.00 sq ft

UNITS	
Apartment Building SW 1	204 Units
Apartment Building SW 2	248 Units
Apartment Building SE 1	248 Units
Apartment Building SE 2	204 Units
Apartment Building NW 1	117 Units
Apartment Building NW 2	307 Units
Apartment Building NW 3	139 Units
Apartment Building NE 1	259 Units
Apartment Building NE 2	120 Units
Apartment Building NE 3	144 Units
Total Number of Units	1,990 Units

GFA CALCULATION SUMMARY			
Total Residential area	1,839,863.05 sq ft	167,348.07 m ²	
Total Commercial area	122,294.28 sq ft	11,381.42 m ²	
Total GFA		1,762,147.33 sq ft	165,767.48 m²



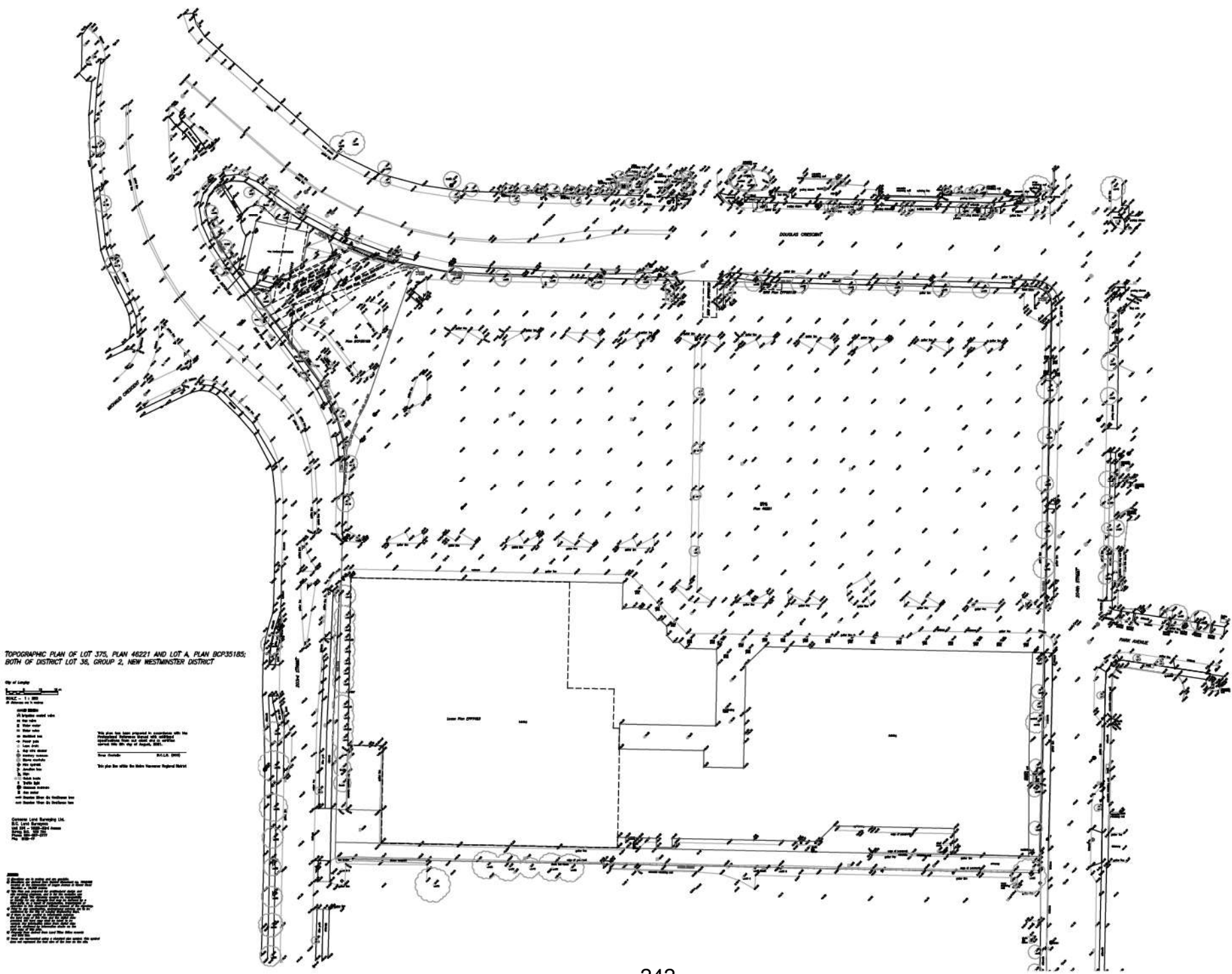


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TOPOGRAPHIC PLAN OF LOT 375, PLAN 46221 AND LOT A, PLAN BCP35185;
BOTH OF DISTRICT LOT 36, GROUP 2, NEW WESTMINSTER DISTRICT

- Key of Symbols
- 1. Proposed building
 - 2. Existing building
 - 3. Proposed driveway
 - 4. Existing driveway
 - 5. Proposed parking
 - 6. Existing parking
 - 7. Proposed fence
 - 8. Existing fence
 - 9. Proposed utility
 - 10. Existing utility
 - 11. Proposed road
 - 12. Existing road
 - 13. Proposed sidewalk
 - 14. Existing sidewalk
 - 15. Proposed landscaping
 - 16. Existing landscaping
 - 17. Proposed site
 - 18. Existing site
 - 19. Proposed site
 - 20. Existing site

Notes

1. This plan is a topographic plan of the site and is not a site plan.
2. The site is bounded by Lot 375, Plan 46221 to the north, Lot A, Plan BCP35185 to the east, and the existing site to the south and west.
3. The site is bounded by Douglas Street to the north, and the existing site to the south and west.
4. The site is bounded by the existing site to the south and west.
5. The site is bounded by the existing site to the south and west.
6. The site is bounded by the existing site to the south and west.
7. The site is bounded by the existing site to the south and west.
8. The site is bounded by the existing site to the south and west.
9. The site is bounded by the existing site to the south and west.
10. The site is bounded by the existing site to the south and west.
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15. The site is bounded by the existing site to the south and west.
16. The site is bounded by the existing site to the south and west.
17. The site is bounded by the existing site to the south and west.
18. The site is bounded by the existing site to the south and west.
19. The site is bounded by the existing site to the south and west.
20. The site is bounded by the existing site to the south and west.

CEDAR COAST

ORION CONSTRUCTION



Orion Construction

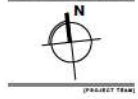
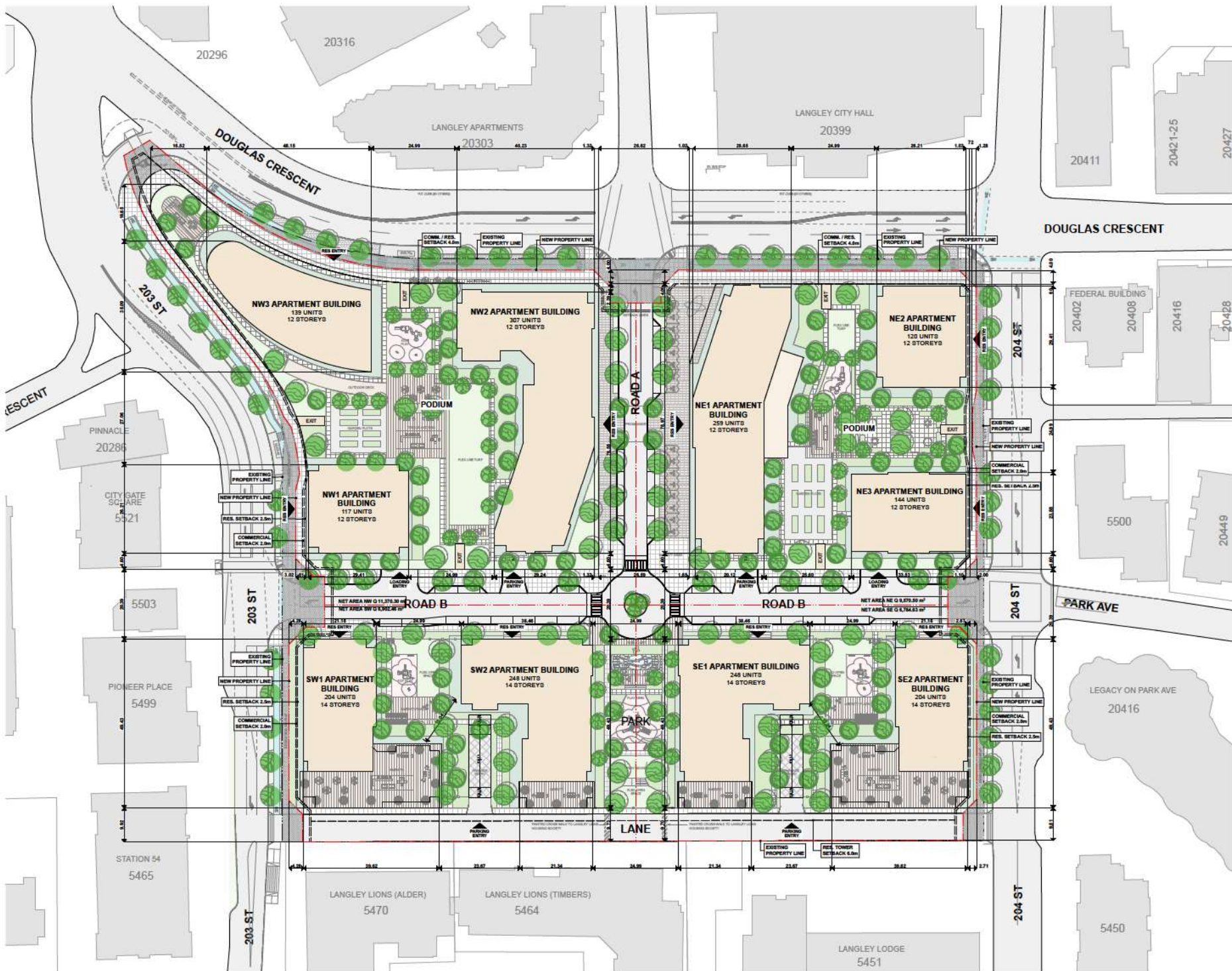
CEDAR LANGLEY

5501 204TH ST
CITY OF LANGLEY, BC

SURVEY

2180	(PROJECT)
1226	(DATE)
2024-10-24	(DATE)
COORDINATION	(DATE)
	(DRAWING)

A-1.000

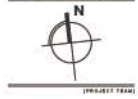
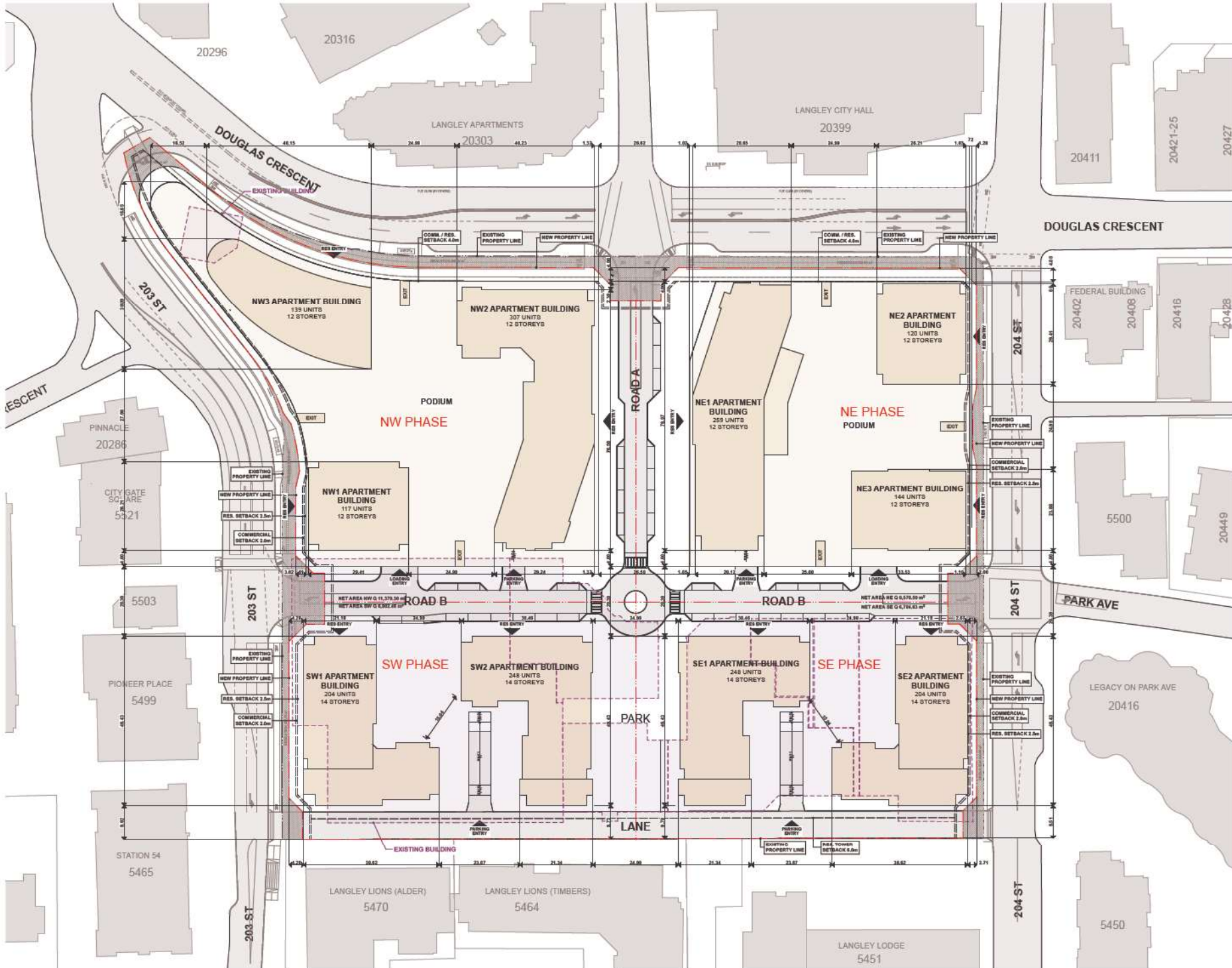


Orion Construction
 5501 204TH ST
 CITY OF LANGLEY, BC

MASTER PLAN

21980	(PROJECT)
102" x 14"	(SCALE)
2024-10-04	(DATE)
COORDINATION	(STATUS)
	(DRAWING)

A-1.001



Orion Construction
 CEDAR LANGLEY
 5601 204TH ST
 CITY OF LANGLEY, BC

DRAFT SUBDIVISION

21980	(PROJECT)
182' x 1'-0"	(SCALE)
2024-10-04	(DATE)
COORDINATION	(STATUS)



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CONTRACT DOCUMENTS HAVE PREVIOUSLY BEEN REVIEWED AND APPROVED BY THE CITY OF VANCOUVER AND THE BC BUILDING DEPARTMENT. THIS PLAN IS A REVISION TO THE PREVIOUS EDITIONS OF THESE DOCUMENTS. ALL THE SHEETS IN THIS SET SHOULD BE CONSULTED TOGETHER TO OBTAIN THE COMPLETE INFORMATION.



(PROJECT TEAM)

CEDAR COAST

ORION
CONSTRUCTION



Orion Construction

(PROJECT)

CEDAR LANGLEY

5801 204TH ST

CITY OF LANGLEY, BC

LEVEL 1 FLOOR
PLAN

21980 (PROJECT)

182" = 1'-0" (SCALE)

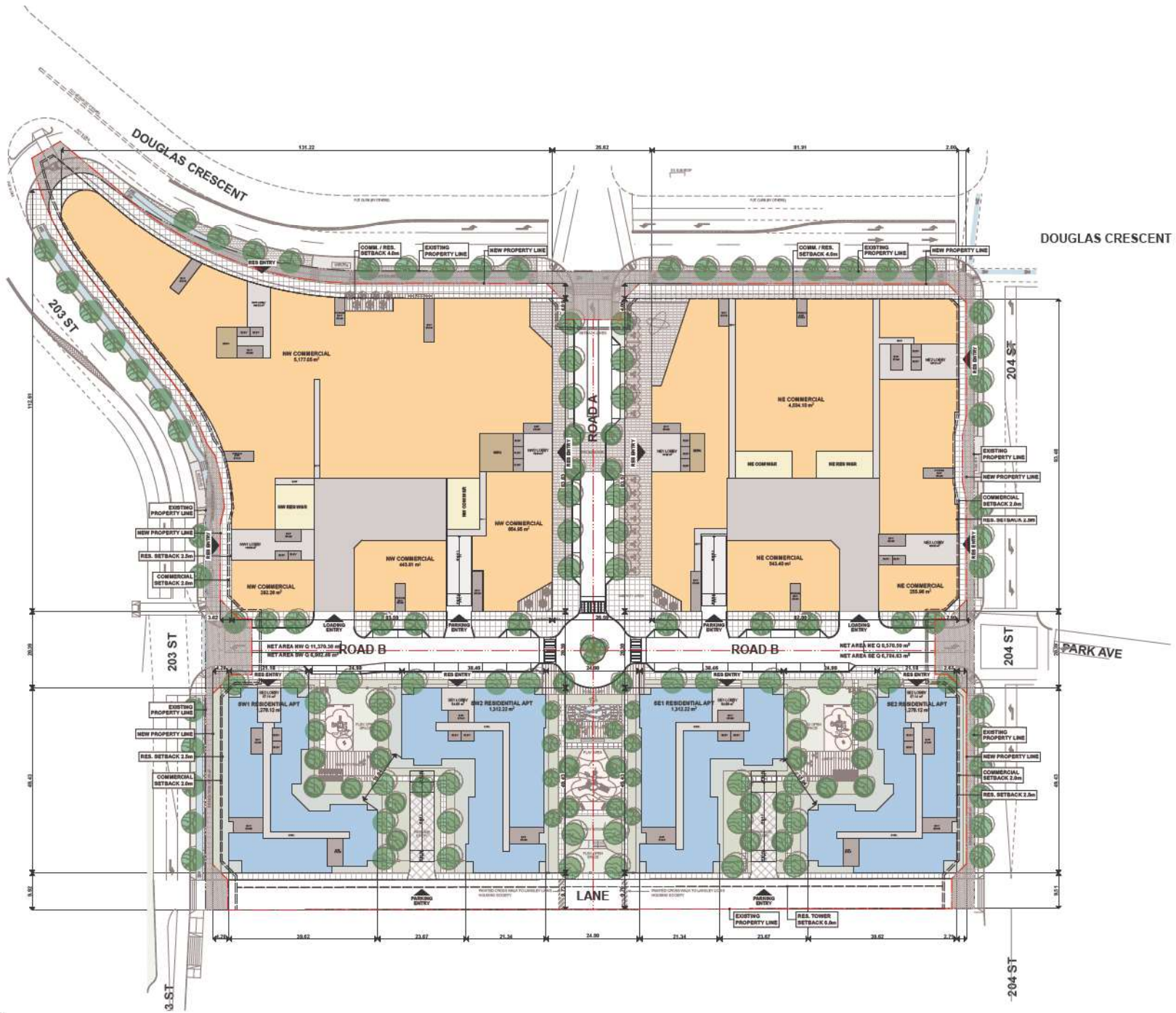
2024-10-04 (DATE)

COORDINATION (REVISION)

(DRAWING)

A-2.001

- AREA LEGEND:
- RESIDENTIAL AREA
 - COMMERCIAL AREA
 - SERVICE / STORAGE
 - W/R
 - CIRCULATION VERTICAL
 - CIRCULATION HORIZONTAL



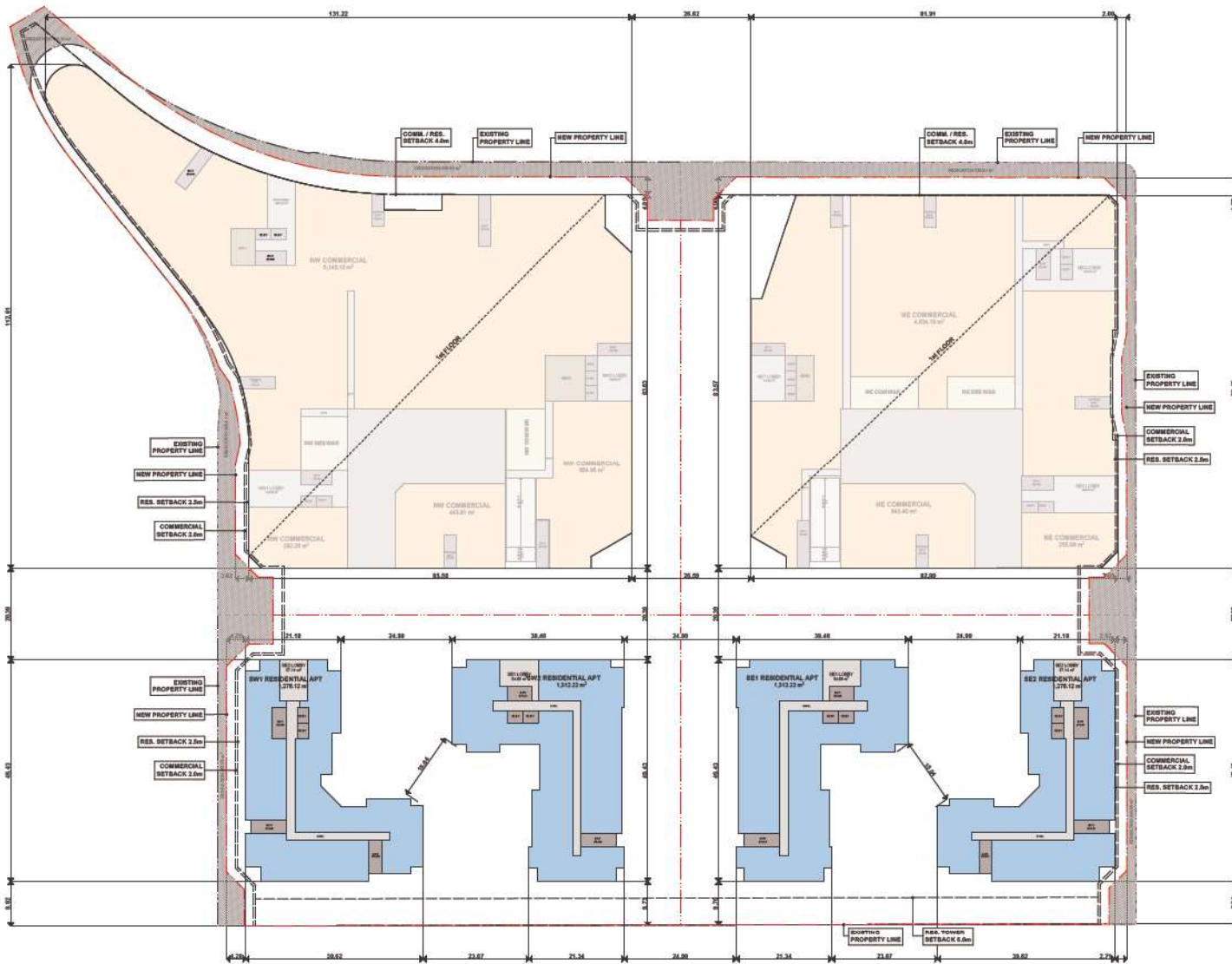


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Contract documents take precedence over addenda and drawings. In the event of a discrepancy between the contract documents, the contract documents shall prevail. The client is responsible for obtaining all necessary permits and approvals from the appropriate authorities.



- AREA LEGEND:**
- RESIDENTIAL AREA
 - COMMERCIAL AREA
 - SERVICE / STORAGE
 - WSR
 - CIRCULATION VERTICAL
 - CIRCULATION HORIZONTAL

CEDAR COAST

ORION CONSTRUCTION



Orion Construction

CEDAR LANGLEY

5801 20TH ST
CITY OF LANGLEY, BC

LEVEL 2 FLOOR PLAN

2580 PROJECT

182' x 1'-0" SCALE

2024-10-04 DATE

COORDINATION DRAWING

A-2.002



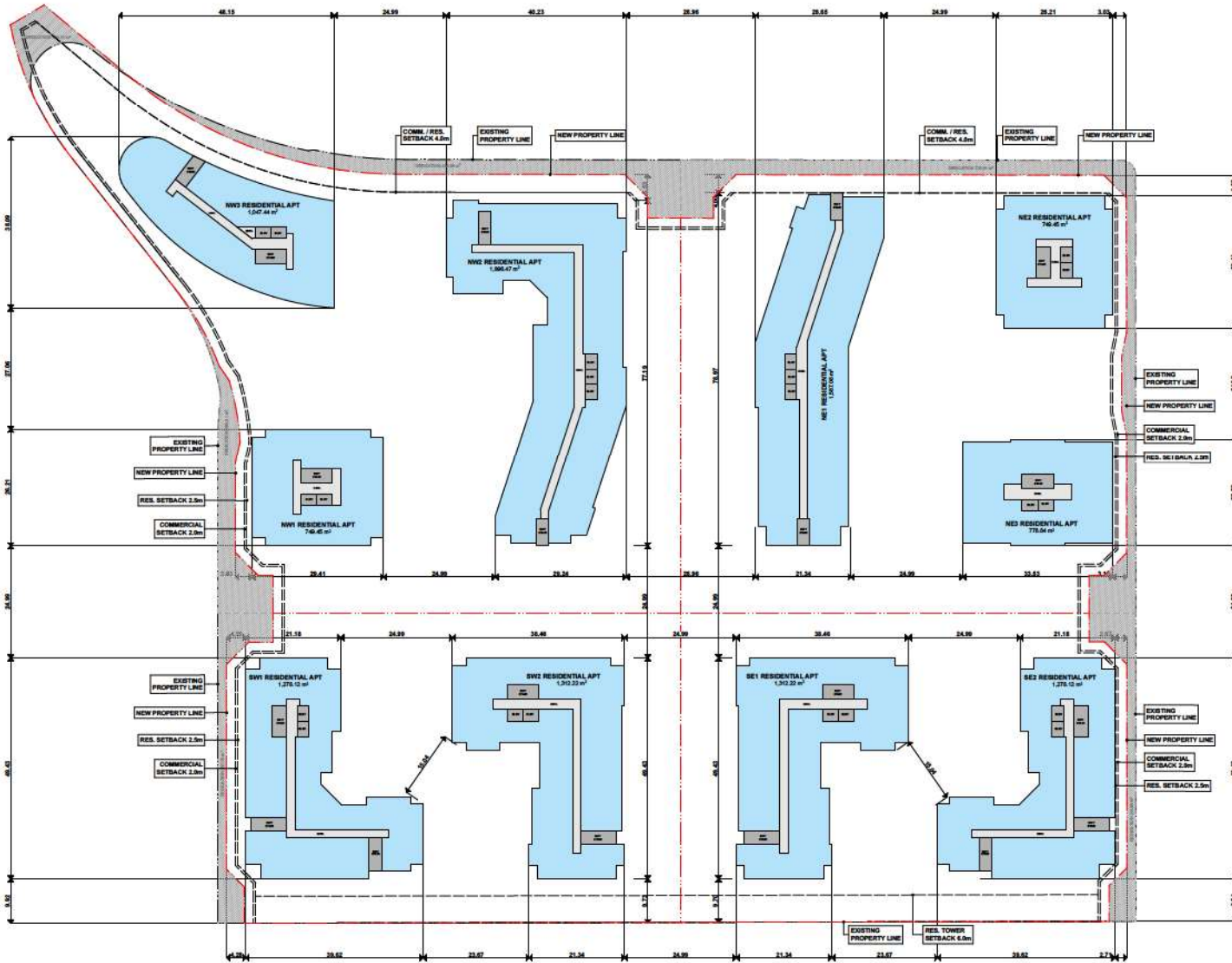
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(PROJECT TEAM)



- AREA LEGEND:**
- RESIDENTIAL AREA
 - COMMERCIAL AREA
 - SERVICE / STORAGE
 - WALL
 - CIRCULATION VERTICAL
 - CIRCULATION HORIZONTAL

CEDAR COAST

ORION
CONSTRUCTION



Orion Construction

CEDAR LANGLEY

5501 204TH ST
CITY OF LANGLEY, BC

**LEVEL 4-10
FLOOR PLAN**

21980	(PROJECT)
1022 - 11-07	(DATE)
2024-10-04	(DATE)
COORDINATION	(DATE)
	(DATE)

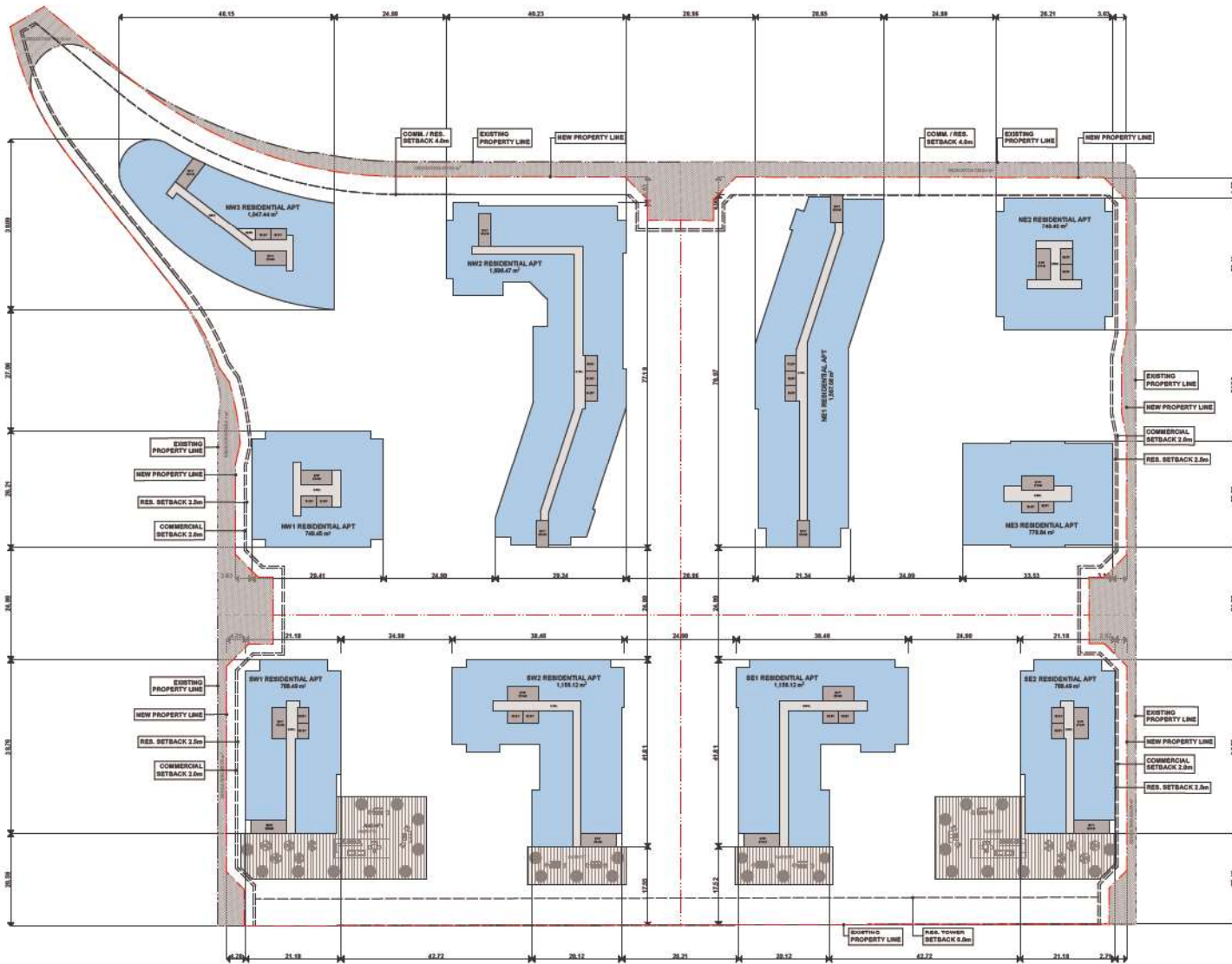


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OR OTHER PROFESSIONAL AS THE CLIENT IS
NOT BEING THE CLIENT'S OBLIGATION



- AREA LEGEND:
- RESIDENTIAL AREA
 - COMMERCIAL AREA
 - SERVICE / STORAGE
 - WSR
 - CIRCULATION VERTICAL
 - CIRCULATION HORIZONTAL

CEDAR COAST

ORION
CONSTRUCTION



Orion Construction

CEDAR LANGLEY

5601 204TH ST
CITY OF LANGLEY, BC

LEVEL 11 FLOOR
PLAN

2980 PROJECT 1

182' x 1'-0" PROJECT 1

2024-10-04 DATE 1

COORDINATION DATE 1

COORDINATION DATE 1

A-2.007



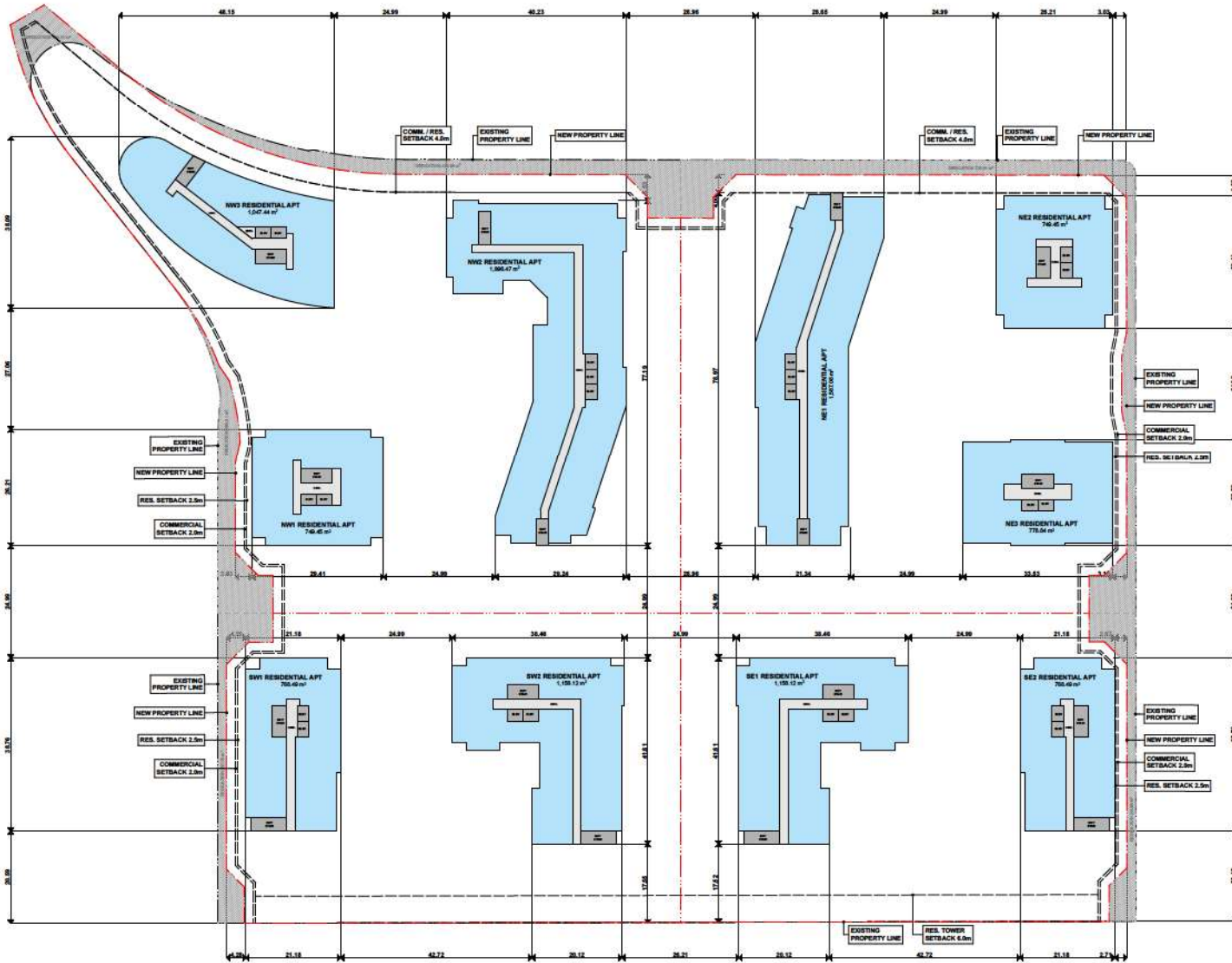
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(PROJECT TEAM)



- AREA LEGEND:**
- RESIDENTIAL AREA
 - COMMERCIAL AREA
 - SERVICE / STORAGE
 - WSR
 - CIRCULATION VERTICAL
 - CIRCULATION HORIZONTAL

CEDAR COAST

ORION
CONSTRUCTION



Orion Construction

(PROJECT)

CEDAR LANGLEY

5501 204TH ST

CITY OF LANGLEY, BC

(1/17/17)

**LEVEL 12-14
FLOOR PLAN**

21980 (PROJECT)

1/22' = 1/4" (SCALE)

2024-10-04 (DATE)

COORDINATION (DATE)

(DRAWING)

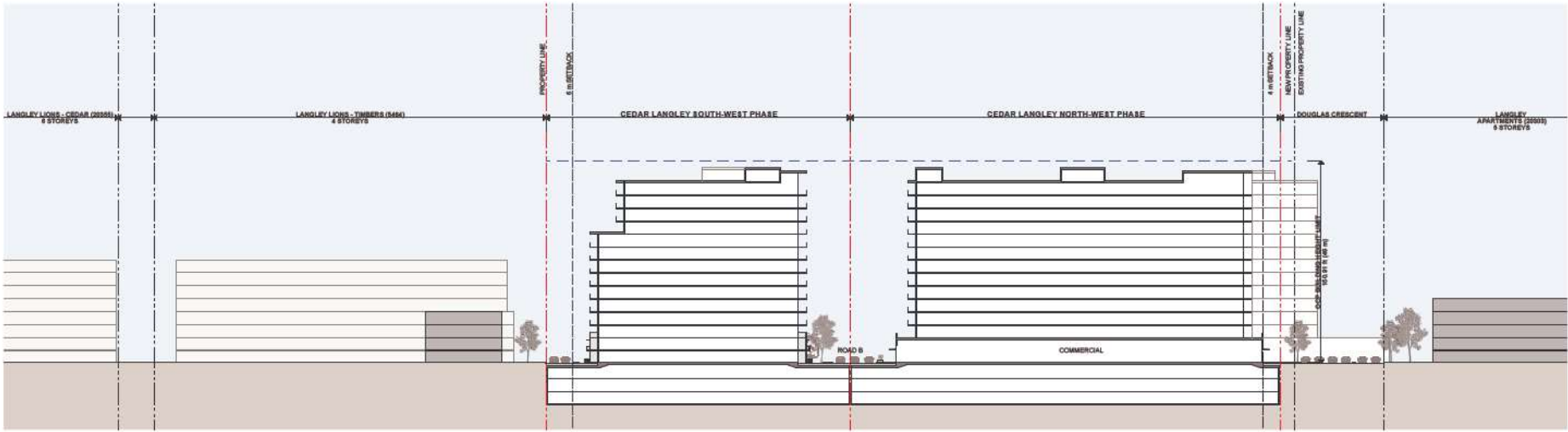


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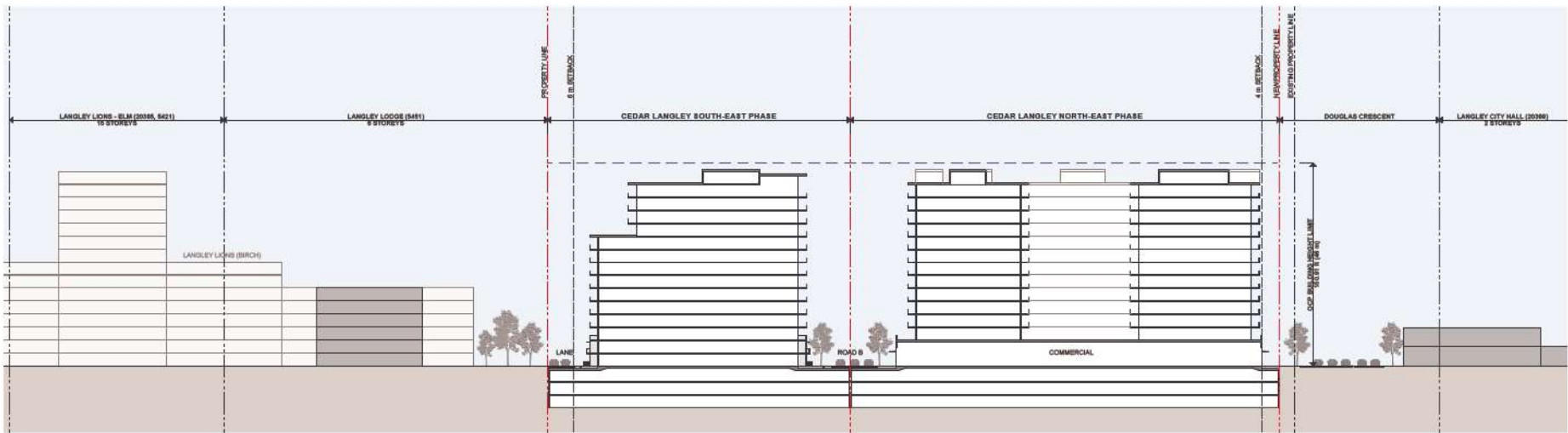
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(PROJECT TEAM)



1 SITE SECTION SW-NW
SCALE: 1/32" = 1'-0"



2 SITE SECTION SE-NE
SCALE: 1/32" = 1'-0"



Orion Construction

(PROJECT NAME)

CEDAR LANGLEY

5601 20TH ST

CITY OF LANGLEY, BC

(TITLE)

SITE SECTIONS

2580 (PROJECT)

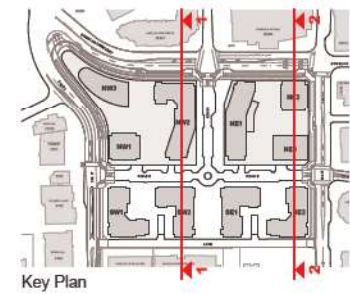
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2024-10-04 (DATE)

COORDINATION (REVISION)

(DRAWING)

A-3.001



Key Plan

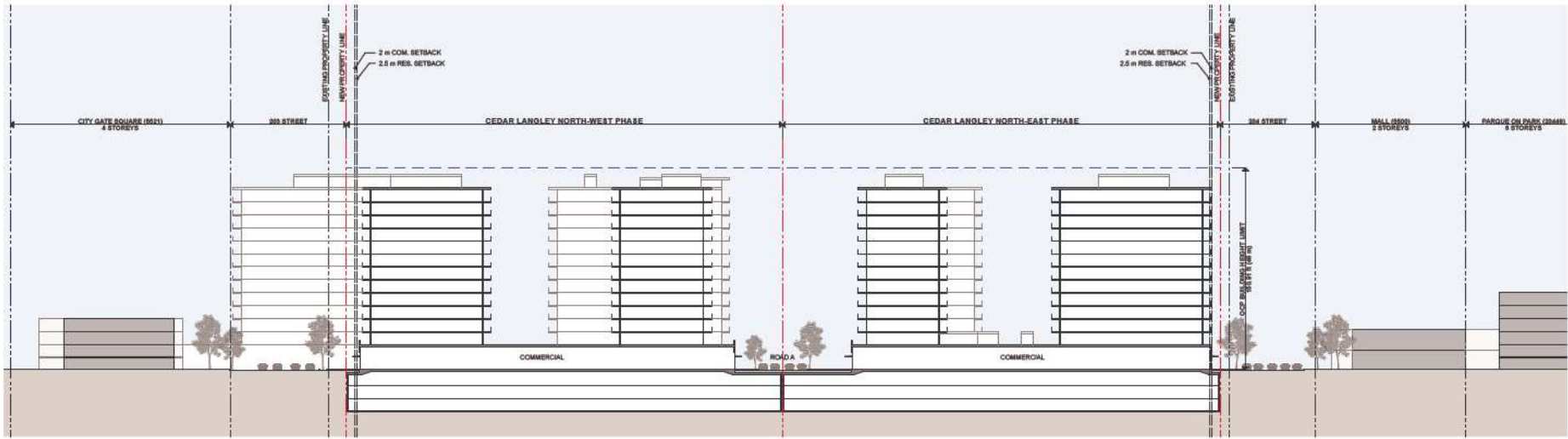


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(PROJECT TEAM)



1 SITE SECTION NW-NE
SCALE: 1/32" = 1'-0"



2 SITE SECTION SW-SE
SCALE: 1/32" = 1'-0"

CEDAR COAST

ORION
CONSTRUCTION



Orion Construction

(PROJECT)

CEDAR LANGLEY

5601 204TH ST

CITY OF LANGLEY, BC

(TITLE)

SITE SECTIONS

2580 (PROJECT)

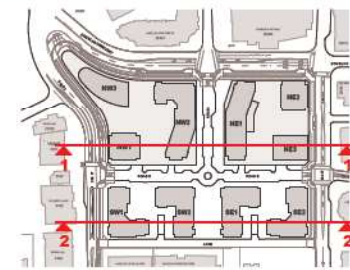
1/32" = 1'-0" (SCALE)

2024-10-04 (DATE)

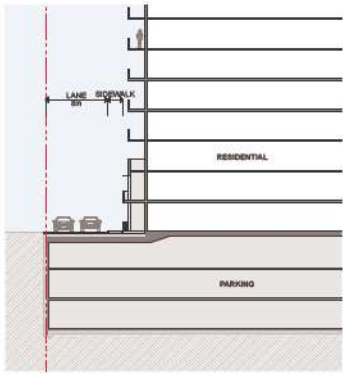
COORDINATION (REVISION)

(DRAWING)

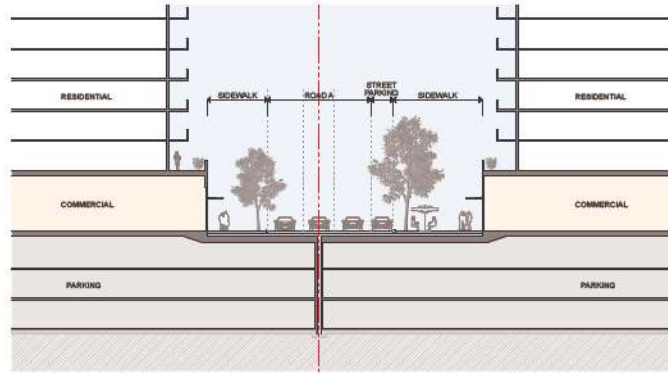
A-3.002



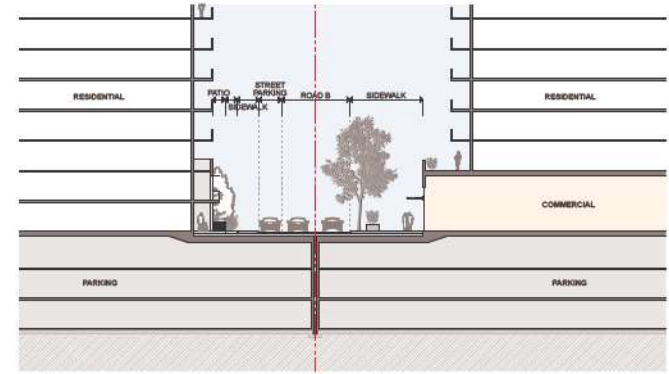
Key Plan



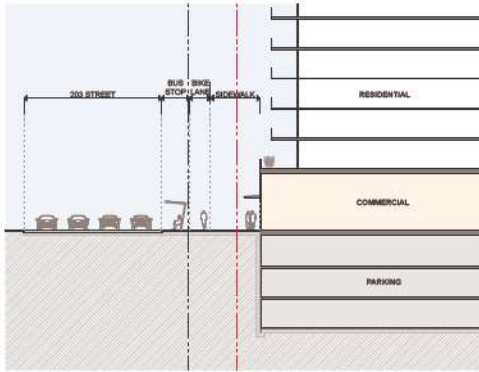
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SCALE: 1/16" = 1'-0"



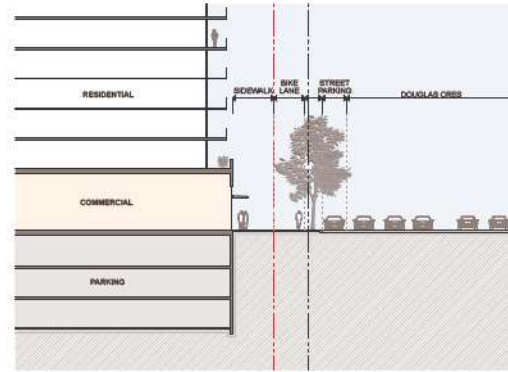
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SCALE: 1/16" = 1'-0"



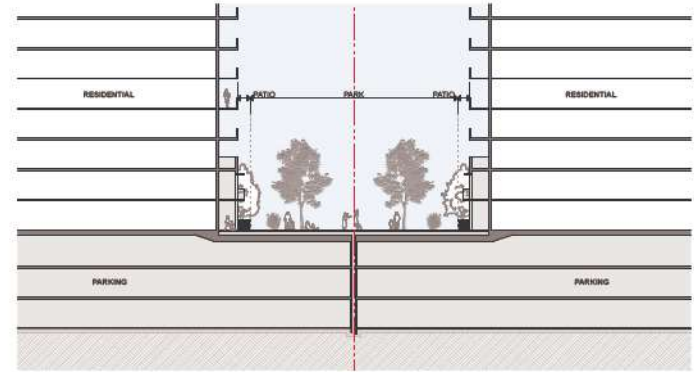
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SCALE: 1/16" = 1'-0"



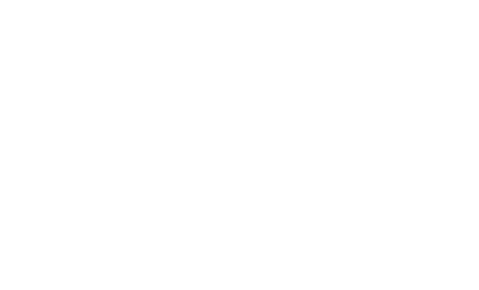
4 STREET SECTION 4
SCALE: 1/16" = 1'-0"



5 STREET SECTION 5
SCALE: 1/16" = 1'-0"



6 STREET SECTION 6
SCALE: 1/16" = 1'-0"



Key Plan



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(PROJECT TEAM)

CEDAR COAST

ORION
CONSTRUCTION



Orion Construction

(PROJECT)

CEDAR LANGLEY

5601 204TH ST

CITY OF LANGLEY, BC

STREET
SECTIONS

2580 (PROJECT)

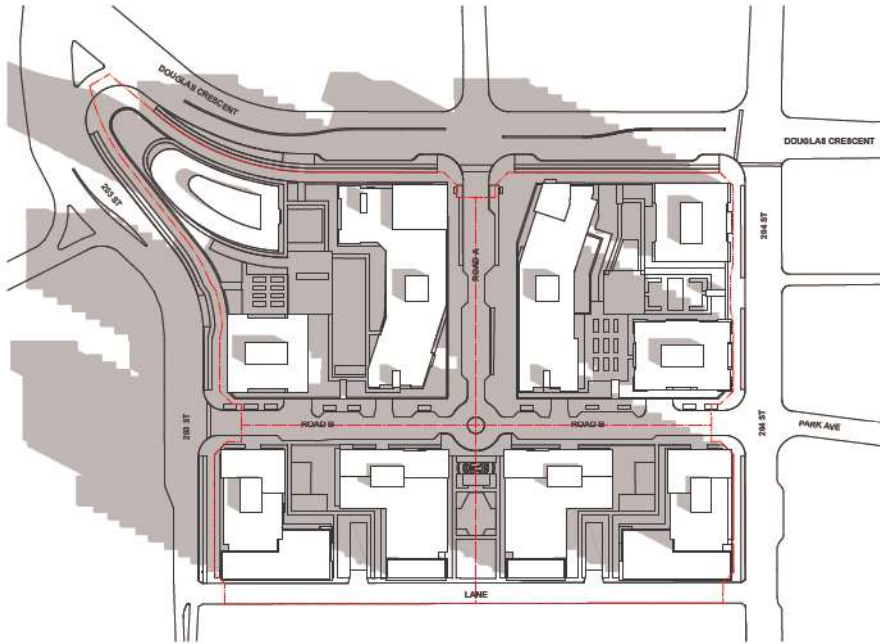
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2024-10-04 (DATE)

COORDINATION (REVISION)

(DRAWING)

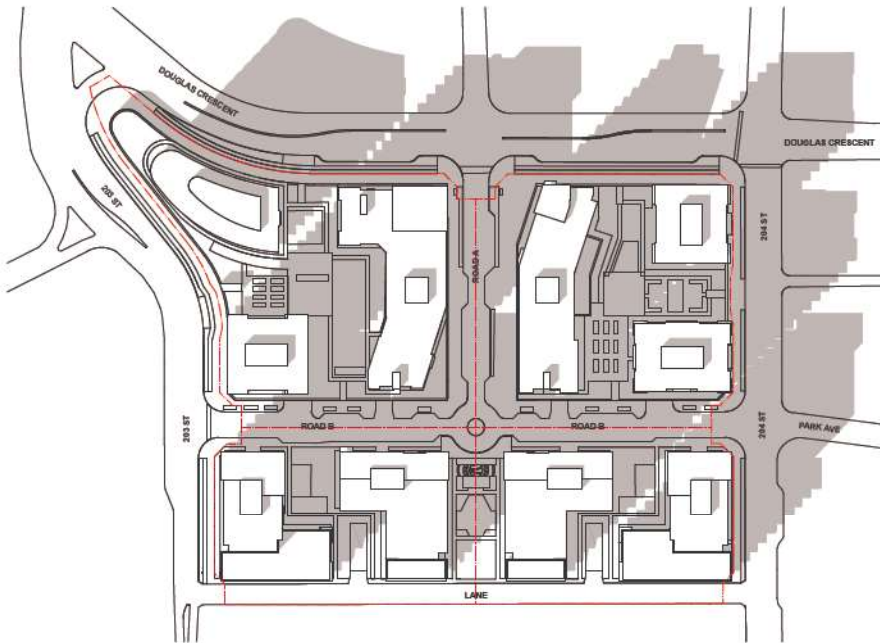
A-5.003



March 21st @ 9:00



March 21st @ 12:00



March 21st @ 15:00



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(PROJECT TEAM)

CEDAR COAST

ORION
 CONSTRUCTION



Orion Construction

(PROJECT)

CEDAR LANGLEY

5801 204TH ST
 CITY OF LANGLEY, BC

SHADOW
STUDIES MARCH

2580 (PROJECT)

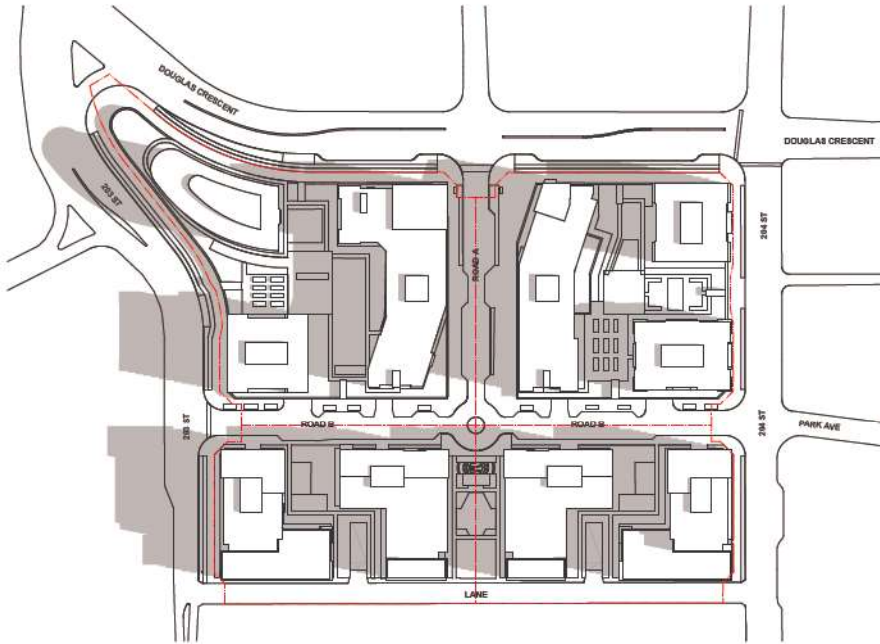
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2024-10-04 (DATE)

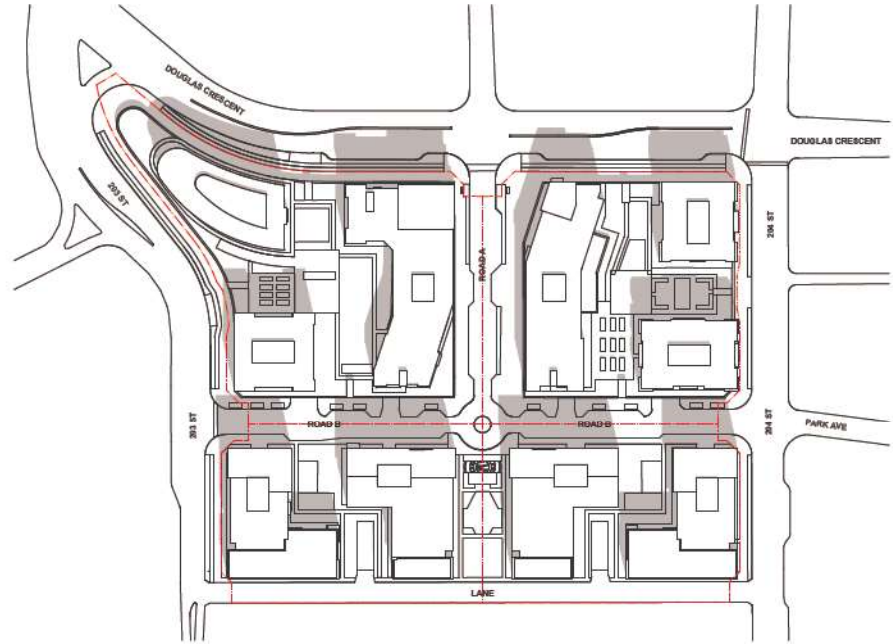
COORDINATION (DRAWN)

(DRAWN)

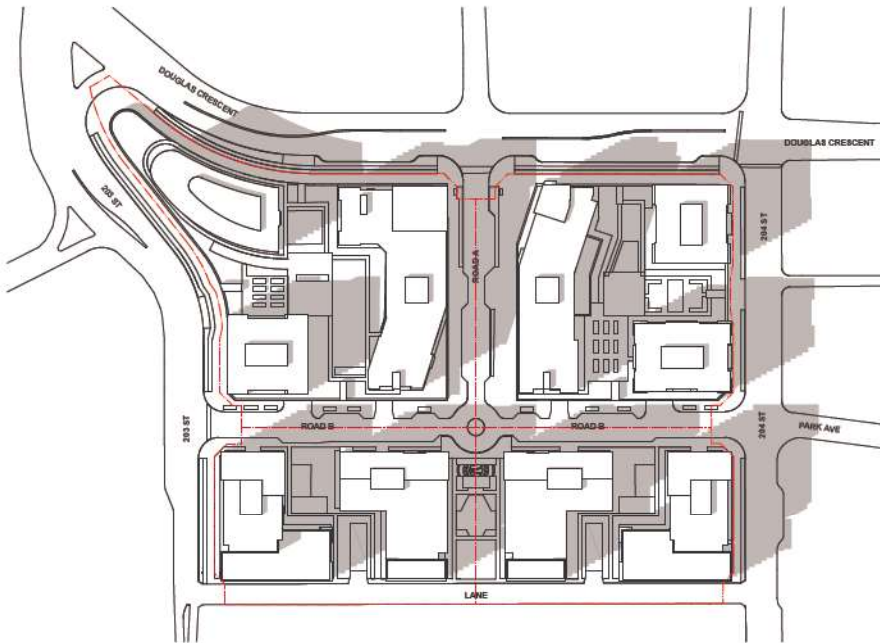
A-8.001



June 21st @ 9:00



June 21st @ 12:00



June 21st @ 15:00



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CEDAR COAST

ORION
CONSTRUCTION



Orion Construction

PROJECT 1

CEDAR LANGLEY

5801 204TH ST
CITY OF LANGLEY, BC

SHADOW
STUDIES JUNE

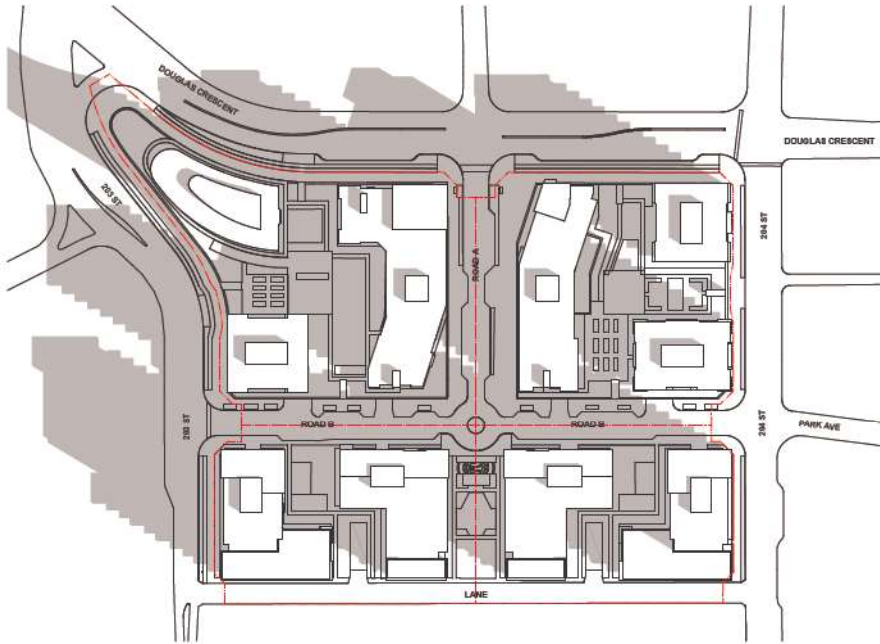
2580 PROJECT 1

2024-10-04 DATE

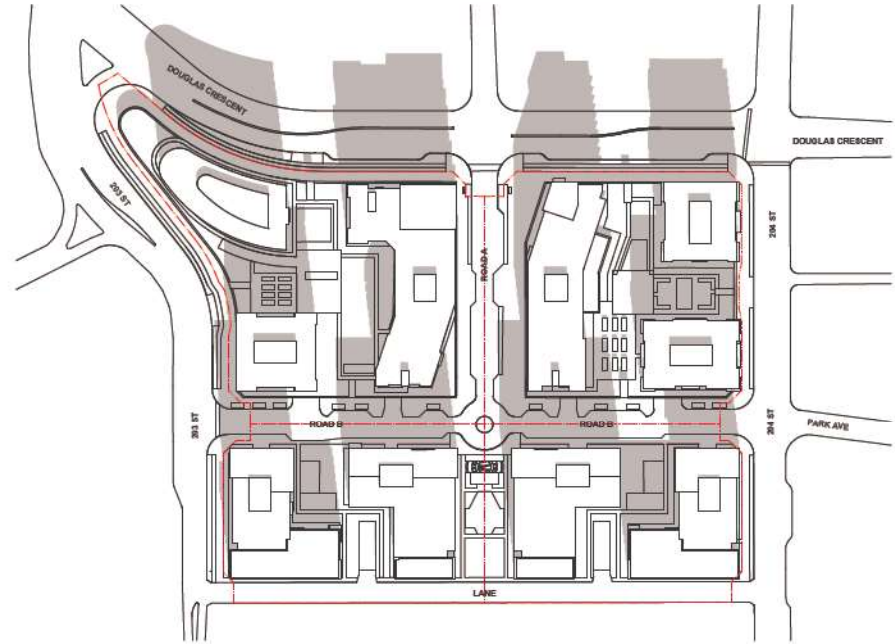
COORDINATION DRAWING

PROJECT TEAM

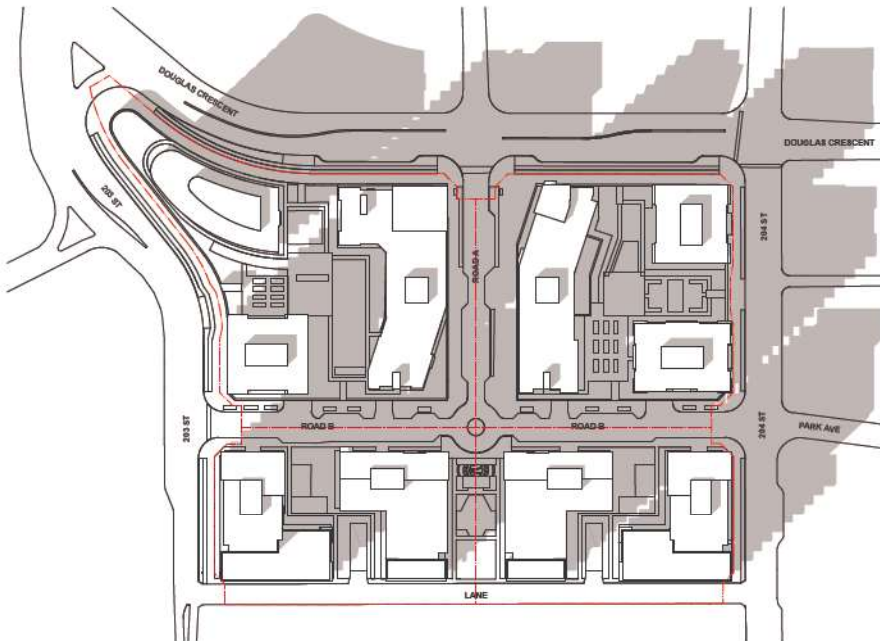
A-8.002



September 21st @ 9:00



September 21st @ 12:00



September 21st @ 15:00



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(PROJECT TEAM)

CEDAR COAST

ORION
CONSTRUCTION



Orion Construction

(PROJECT)

CEDAR LANGLEY

5801 204TH ST

CITY OF LANGLEY, BC

(TITLE)

SHADOW
STUDIES
SEPTEMBER

2580 (PROJECT)

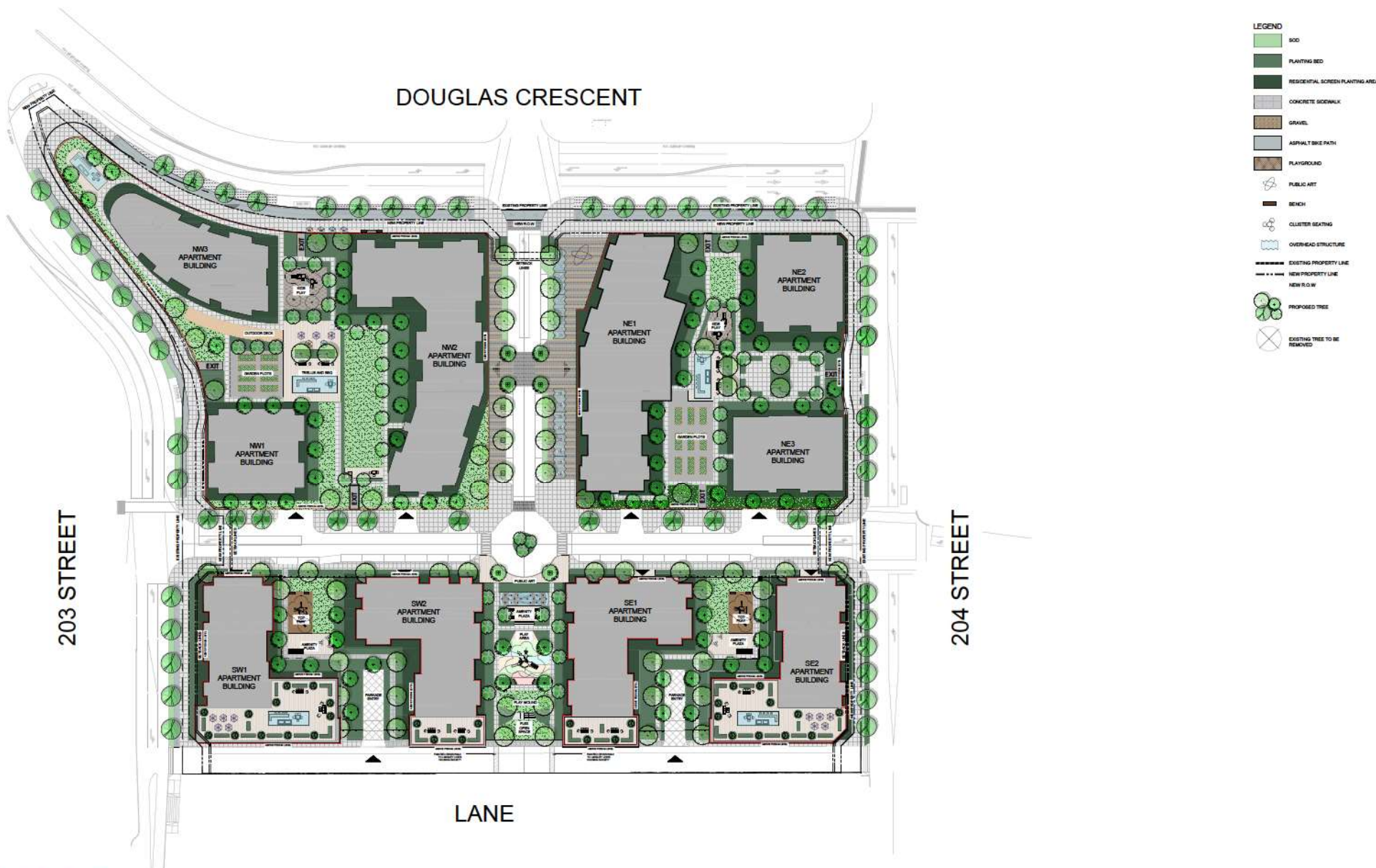
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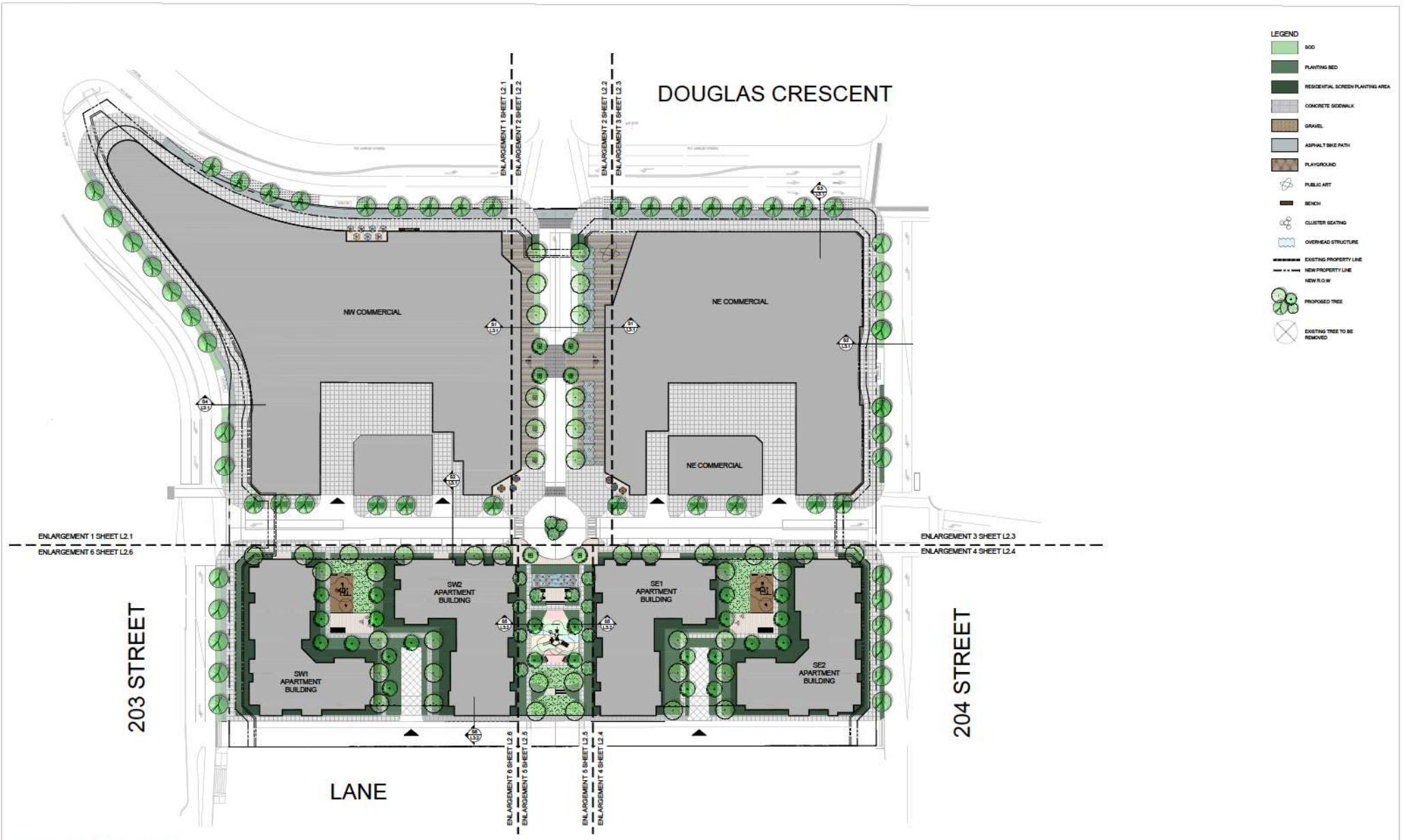
2024-10-04 (DATE)

COORDINATION (DRAWN)

(DATE)

A-8.003





CEDAR COAST LANGLEY MALL
5501 204th STREET | CITY OF LANGLEY | BRITISH COLUMBIA



GROUND LEVEL OVERALL LANDSCAPE PLAN
SCALE: 1:500
220419

L1.1



CEDAR COAST LANGLEY MALL
 5501 204th STREET | CITY OF LANGLEY | BRITISH COLUMBIA



PODIUM LEVEL OVERALL LANDSCAPE PLAN
 SCALE: 1:500
 PROJECT NUMBER: 220419

L1.2



GROUND LEVEL



UPPER LEVEL



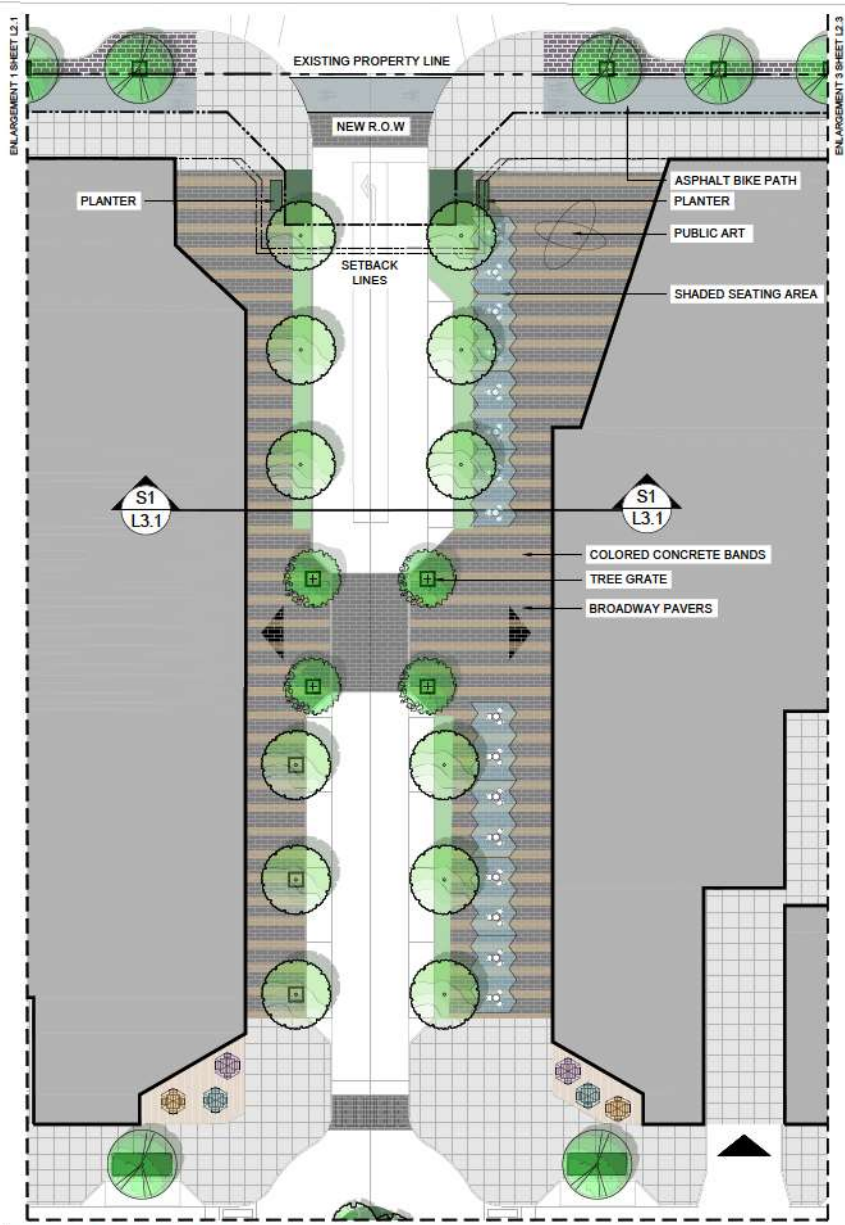
CEDAR COAST LANGLEY MALL
 5501 204th STREET | CITY OF LANGLEY | BRITISH COLUMBIA



ENLARGEMENT 1
 SCALE 1:300

PROJECT NUMBER
 220419

L2.1



- LEGEND**
- SOIL
 - PLANTING BED
 - RESIDENTIAL SCREEN PLANTING AREA
 - CONCRETE SIDEWALK
 - GRAVEL
 - ASPHALT BIKE PATH
 - PLAYGROUND
 - PUBLIC ART
 - BENCH
 - CLUSTER SEATING
 - OVERHEAD STRUCTURE
 - EXISTING PROPERTY LINE
 - NEW PROPERTY LINE
 - NEW R.O.W
 - PROPOSED TREE
 - EXISTING TREE TO BE REMOVED

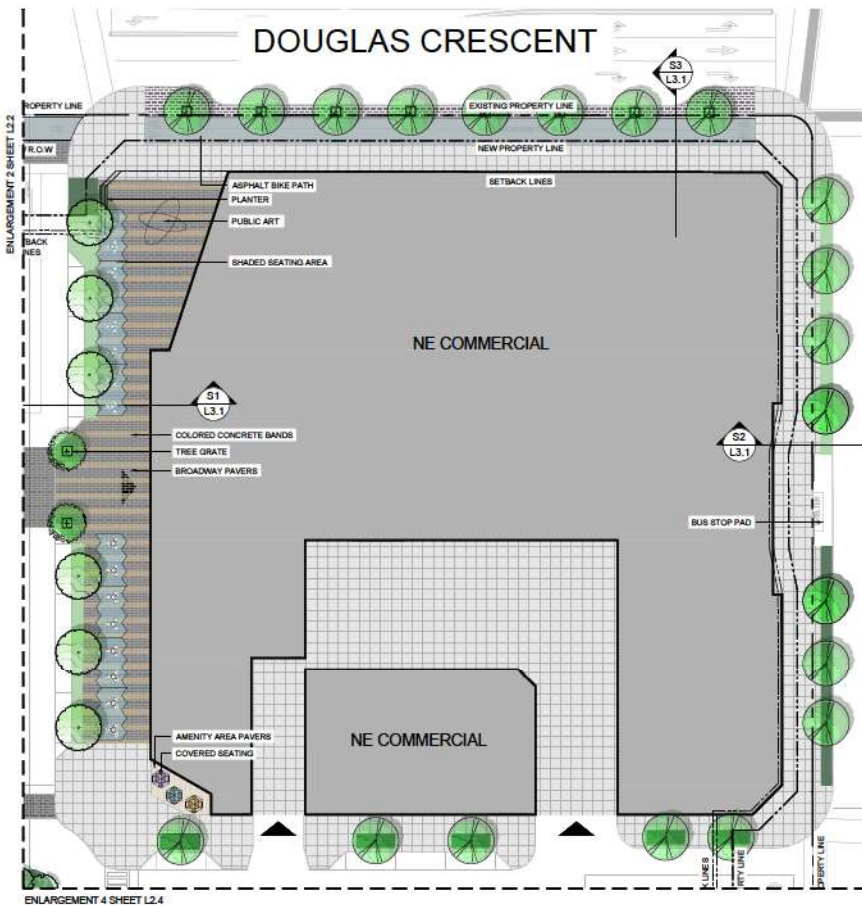


CEDAR COAST LANGLEY MALL
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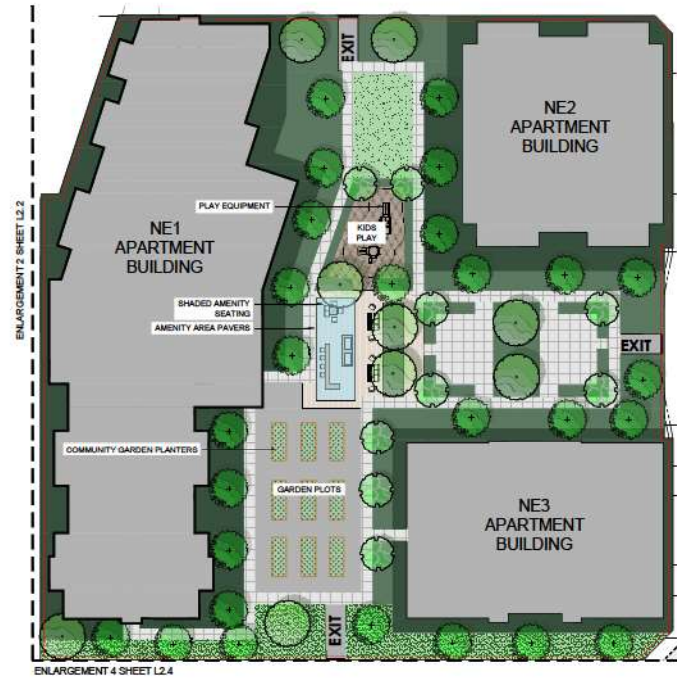


ENLARGEMENT 2
 SCALE 1:200
 PROJECT NUMBER 220419

L2.2



GROUND LEVEL



UPPER LEVEL

- LEGEND**
- BOD
 - PLANTING BED
 - RESIDENTIAL SCREEN PLANTING AREA
 - CONCRETE SIDEWALK
 - GRAVEL
 - ASPHALT BIKE PATH
 - PLAYGROUND
 - PUBLIC ART
 - BENCH
 - CLUSTER SEATING
 - OVERHEAD STRUCTURE
 - EXISTING PROPERTY LINE
 - NEW PROPERTY LINE
 - NEW R.O.W
 - PROPOSED TREE
 - EXISTING TREE TO BE REMOVED



CEDAR COAST LANGLEY MALL
 5501 204th STREET | CITY OF LANGLEY | BRITISH COLUMBIA



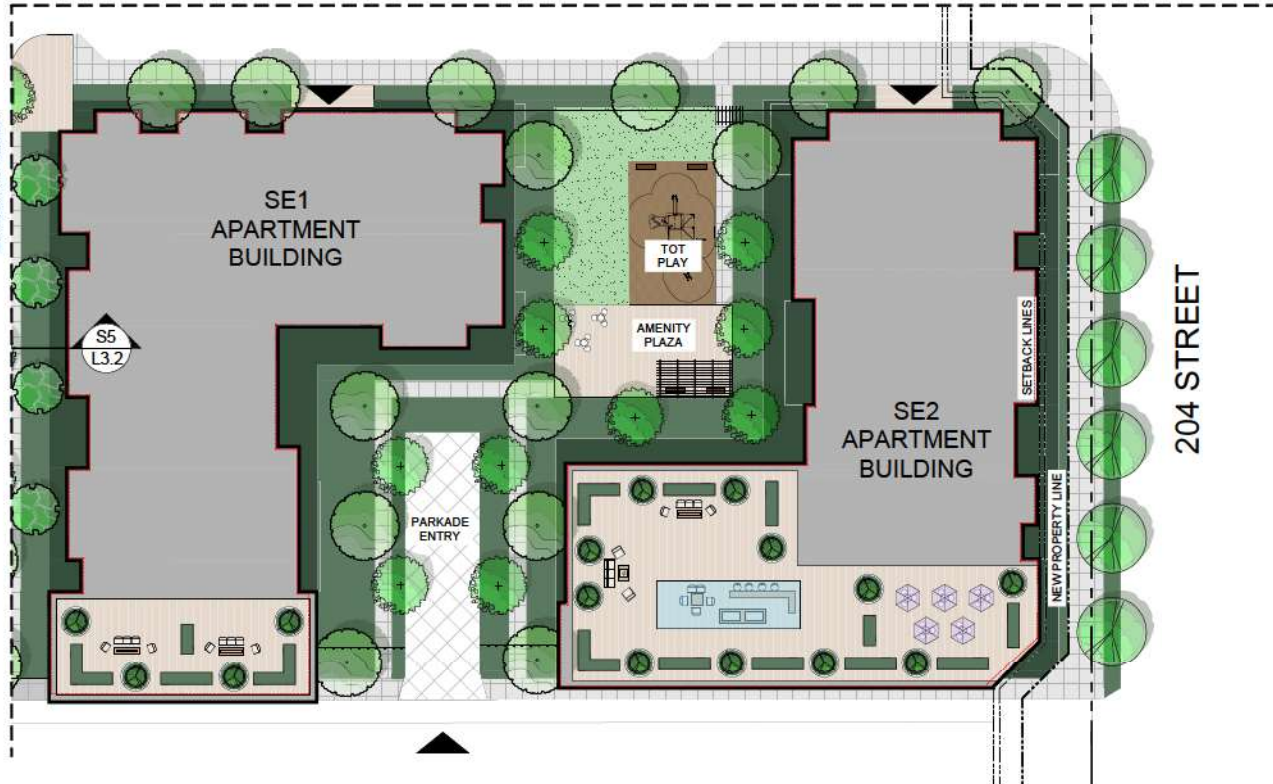
ENLARGEMENT 3
 SCALE 1:300

PROJECT NUMBER
 220419

L2.3

ENLARGEMENT 3 SHEET L2.3

ENLARGEMENT 3 SHEET L2.3



- LEGEND**
- SOIL
 - PLANTING BED
 - RESIDENTIAL SCREEN PLANTING AREA
 - CONCRETE SIDEWALK
 - GRAVEL
 - ASPHALT BIKE PATH
 - PLAYGROUND
 - PUBLIC ART
 - BENCH
 - CLUSTER SEATING
 - OVERHEAD STRUCTURE
 - EXISTING PROPERTY LINE
 - NEW PROPERTY LINE
 - NEW R.O.W
 - PROPOSED TREE
 - EXISTING TREE TO BE REMOVED



CEDAR COAST LANGLEY MALL

5501 204th STREET | CITY OF LANGLEY | BRITISH COLUMBIA



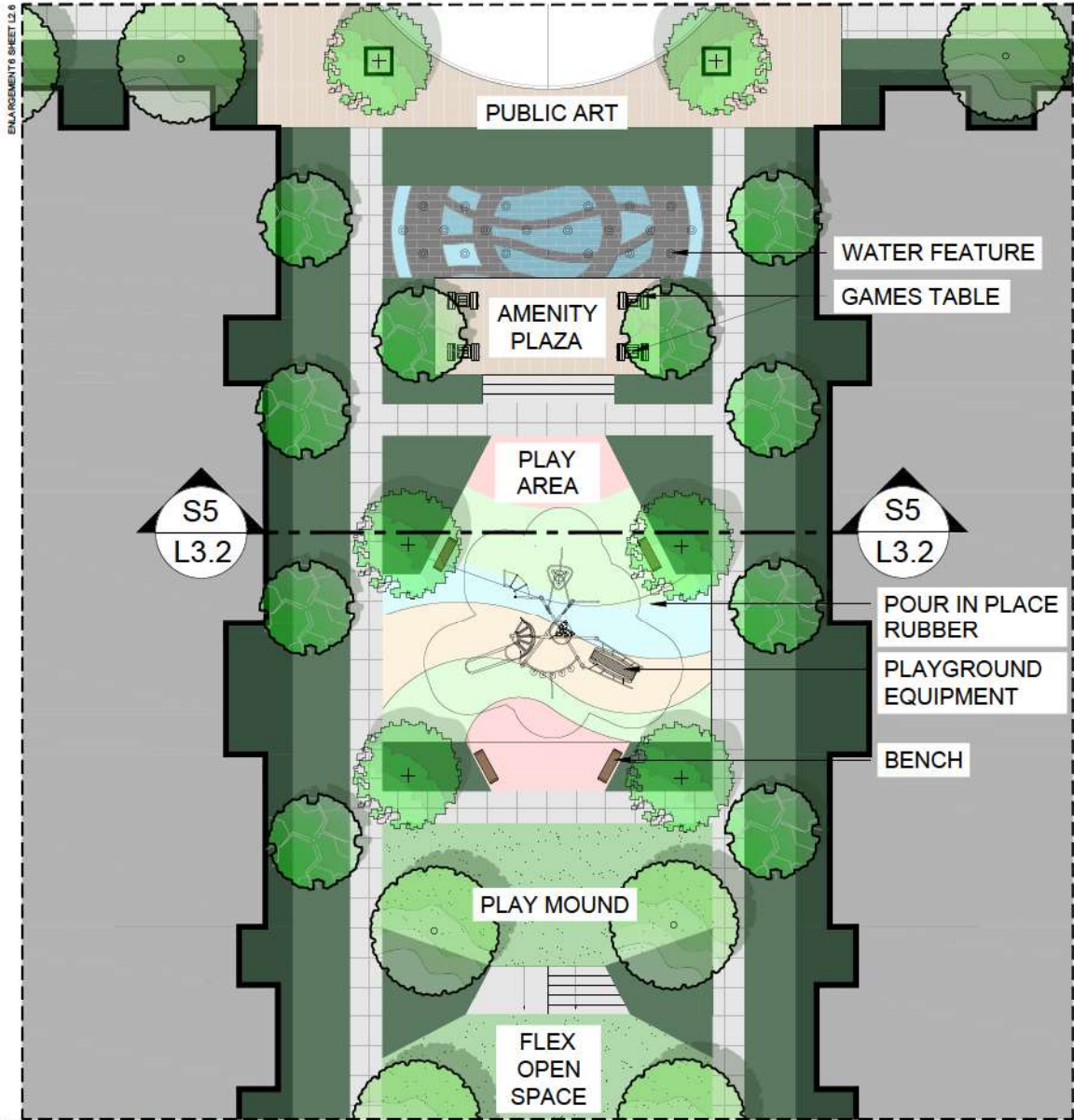
ENLARGEMENT 4

SCALE
1:200

PROJECT NUMBER
220419

L2.4

ENLARGEMENT 2 SHEET L2.2



- LEGEND**
- SOIL
 - PLANTING BED
 - RESIDENTIAL SCREEN PLANTING AREA
 - CONCRETE SIDEWALK
 - GRAVEL
 - ASPHALT BIKE PATH
 - PLAYGROUND
 - PUBLIC ART
 - BENCH
 - CLUSTER SEATING
 - OVERHEAD STRUCTURE
 - EXISTING PROPERTY LINE
 - NEW PROPERTY LINE
 - NEW P.O.W.
 - PROPOSED TREE
 - EXISTING TREE TO BE REMOVED



CEDAR COAST LANGLEY MALL
 5501 204th STREET | CITY OF LANGLEY | BRITISH COLUMBIA



ENLARGEMENT 5
 SCALE: 1:100

PROJECT NUMBER: 220419

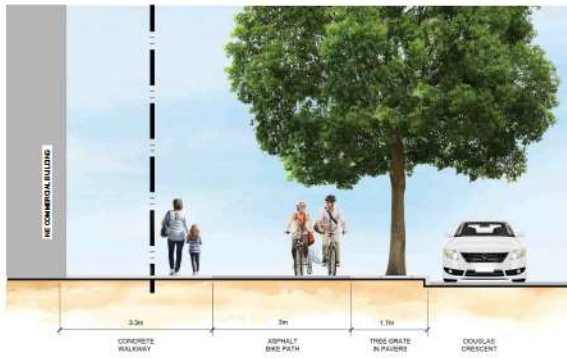
L2.5



- LEGEND**
- SOIL
 - PLANTING BED
 - RESIDENTIAL SCREEN PLANTING AREA
 - CONCRETE SIDEWALK
 - GRAVEL
 - ASPHALT BIKE PATH
 - PLAYGROUND
 - PUBLIC ART
 - BENCH
 - CLUSTER SEATING
 - OVERHEAD STRUCTURE
 - EXISTING PROPERTY LINE
 - NEW PROPERTY LINE
 - NEW R.O.W
 - PROPOSED TREE
 - EXISTING TREE TO BE REMOVED



GREEN SPACE COMPARISON	
<u>EXISTING SITE:</u>	<u>PROPOSED SITE:</u>
LANDSCAPED AREA: 1882 m ²	LANDSCAPED AREA: 9325 m ²
APPROXIMATE TREE COUNT: 75	APPROXIMATE TREE COUNT: 213



S1 SECTION THROUGH NORTH PEDESTRIAN CORRIDOR 1:50



S2 SECTION THROUGH EAST PEDESTRIAN CORRIDOR 1:50



S3 SECTION THROUGH CENTRAL CORRIDOR 1:50

- LEGEND**
- SOIL
 - PLANTING BED
 - RESIDENTIAL SCREEN PLANTING AIR
 - CONCRETE SIDEWALK
 - GRAVEL
 - ASPHALT BIKE PATH
 - PLAYGROUND
 - PUBLIC ART
 - BENCH
 - CLUSTER SEATING
 - OVERHEAD STRUCTURE
 - EXISTING PROPERTY LINE
 - NEW PROPERTY LINE
 - NEW R.O.W
 - PROPOSED TREE
 - EXISTING TREE TO BE REMOVED



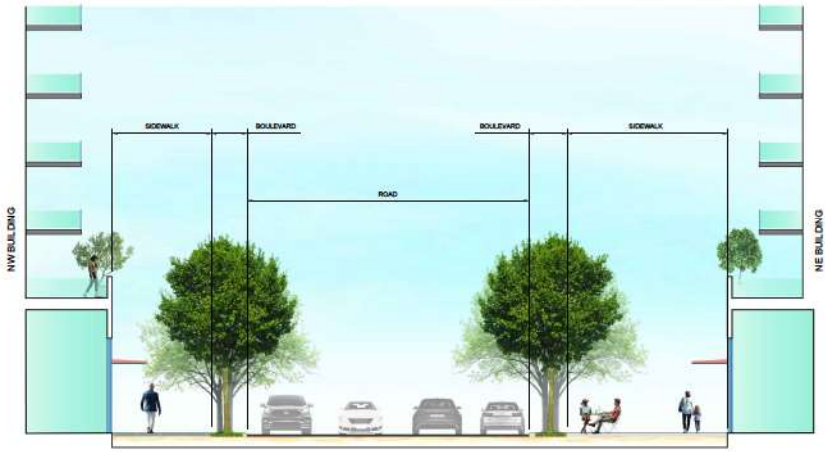
CEDAR COAST LANGLEY MALL
 5501 204th STREET | CITY OF LANGLEY | BRITISH COLUMBIA



SECTIONS
 AS SHOWN

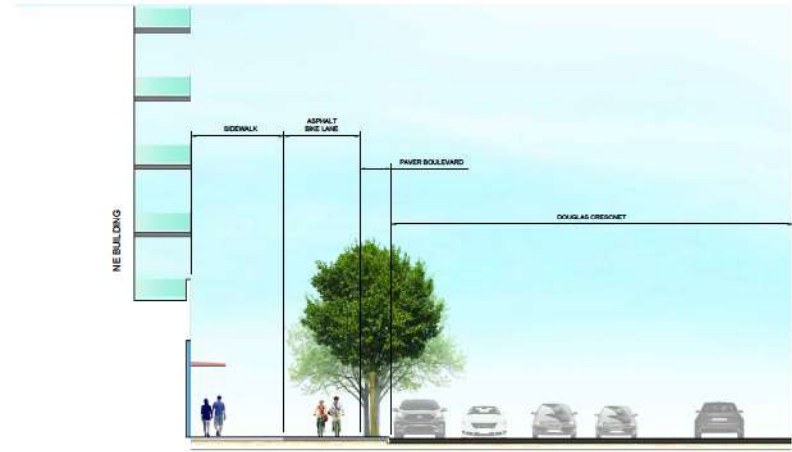
PROJECT NUMBER
 220419

L3.1



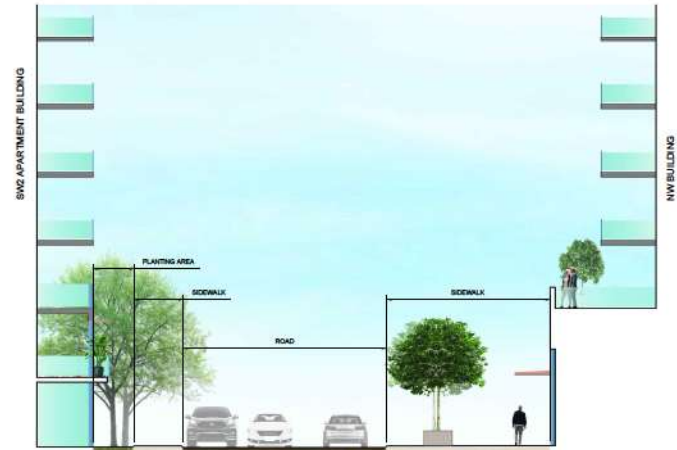
S1 SECTION THROUGH NORTH PROMENADE CORRIDOR

1:100



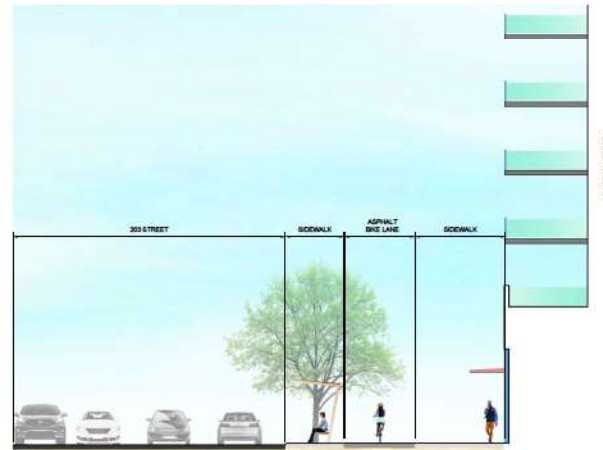
S3 SECTION THROUGH NORTH EAST DOUGLAS CRES.

1:100



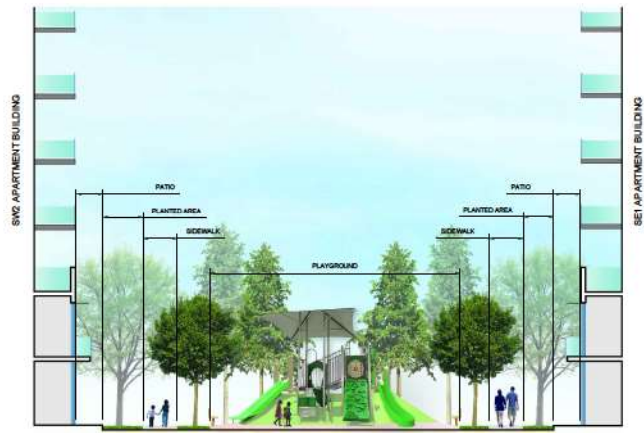
S2 SECTION THROUGH CENTER HORIZONTAL STREET

1:100



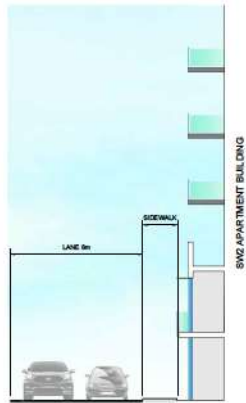
S4 SECTION THROUGH 203 STREET BOULEVARD

1:100



S5 SECTION THROUGH VERTICAL AMENITY CORRIDOR

1:100



S6 SECTION THROUGH SOUTH BOULEVARD LANE

1:100



EXPLANATORY MEMO COUNCIL MEETING FOLLOW-UP

**20815 45A Avenue & 4560-4580 208 Street
Development Permit 07-24
Zoning Bylaw Amendment Bylaw No. 3296**

Information Requested at Council Meeting

The purpose of this memo is to provide clarification on questions and discussion at the January 27, 2025 Council meeting regarding the proposed redevelopment of 20815 45A Avenue & 4560-4580 208 Street.

1. DCC and CAC amounts.

As with all multi-unit residential developments, the subject application would be required to provide Development Cost Charges (DCCs), Community Amenity Contributions (CACs), and other payments as applicable if approved by Council. The amounts are set based on the number of units proposed and the existing property uses, and would be as follows:

Development Cost Charges (DCCs):

Total of \$815,170.00, including:

- \$303,442.00 City of Langley DCCs; to fund street upgrades, parks, and water, storm, and sanitary sewer systems;
- \$214,618.00 Greater Vancouver Sewer & Drainage District DCCs;
- \$212,006.00 Greater Vancouver Water District DCCs;
- \$9,528.00 Metro Vancouver Regional Parks DCCs;
- \$19,400.00 SD35 School Site Acquisition Charges; and
- \$56,176.00 TransLink DCCs.

Amenity Contributions:

Community Amenity Contributions (CACs)

\$104,000.00 in CACs would be provided to the City, based on a rate of \$4,000.00 per residential unit (Council Policy CO-80).

Cash-in-lieu of outdoor amenity space

Following the Official Community Plan (OCP) and Townhome & Plex-Home Best Practices Guide, townhome applications are required to either provide on-site outdoor amenity space for their residents or provide cash-in-lieu that is used to fund upgrades to nearby public spaces such as City parks. The applicant has elected to provide a cash contribution of \$34,351.12 as calculated by staff based on the subject properties'

assessed values. Options for the use of this money, for improvements to Iris Mooney and/or Linda Carlson Parks, are currently being reviewed for implementation.

In addition to these funds being provided directly to the City and other government agencies for infrastructure and amenity improvements, the applicant would be required to construct certain infrastructure upgrades at the time of development at their cost. These upgrades would make use of the 5-metre property dedication being provided to the City on 208 Street and would include new frontages on all three sides with new sidewalks or multi-use paths, boulevards and street trees, and any other upgrades as determined to be necessary by staff as part of the civil design process.



ZONING BYLAW, 1996, No. 2100
AMENDMENT NO. 215, 2025, BYLAW NO. 3296
DEVELOPMENT PERMIT APPLICATION DP 07-24

To consider rezoning and Development Permit applications from Leone Homes Inc. to accommodate a 26-unit townhome development.

The subject properties are currently zoned RS1 Single Family Residential in Zoning Bylaw No. 2100 and designated “Ground Oriented Residential” in the Official Community Plan Land Use Map. All lands designated “Ground Oriented Residential” are subject to a Development Permit to address building form and character.

Background Information:

Applicant:	Leone Homes Inc.
Owners:	Linda Stewart, Lea-Ann Stewart, Luke Morrow, Raqiya Khan, Abdul-Rahim Khan, Brenden Boux, Deborah Kellner, Robert Stare, & Heather Stare
Civic Addresses:	20815 45A Avenue & 4560-4580 208 Street
Legal Description:	Lot 109, Section 36, Township 7, New Westminster District, Plan 37721; Lot 49, Section 36, Township 7, New Westminster District, Plan 28249; Lot 50, North West Quarter Section 36, Township 7, New Westminster District, Plan 28249; Lot 1, Section 36, Township 7, New Westminster District, Plan 85129
Site Area:	4,010 m ² (0.99 acres)
Number of Units:	26 townhomes
Gross Floor Area:	4,527.2 m ² (48,733 ft ²)
Floor Area Ratio:	1.129
Lot Coverage:	43.6%
Total Parking Required:	57 spaces (including 1 h/c space)
Parking Provided:	
Resident	52 spaces
Visitor	6 spaces
Total	58 spaces (including 1 h/c space)
OCP Designation:	Ground Oriented Residential
Existing Zoning:	RS1 Single Family Residential
Proposed Zoning:	CD104 Comprehensive Development Zone
Development Cost Charges:	\$815,170.00 (City - \$303,442.00, GVS&DD - \$214,618.00, GVWD - \$212,006.00, MV Parks – \$9,528.00, SD35 - \$19,400.00, TransLink - \$56,176.00)
Community Amenity Contributions (CACs):	\$104,000.00



**ZONING BYLAW, 1996, No. 2100
AMENDMENT NO. 215**

BYLAW NO. 3296

A Bylaw to amend City of Langley Zoning Bylaw, 1996, No. 2100 to rezone the properties located at 20815 45A Avenue & 4560-4580 208 Street to the CD104 Comprehensive Development Zone.

WHEREAS the *Local Government Act* authorizes a local government to zone areas of a municipality and to make regulations pursuant to zoning;

NOW THEREFORE the Council of the City of Langley, in open meeting assembled, enacts as follows:

1. Title

This bylaw shall be cited as the “Zoning Bylaw 1996, No. 2100 Amendment No. 215, 2025, No. 3296”.

2. Amendment

(1) Bylaw No. 2100, cited as the “Zoning Bylaw, 1996, No. 2100” is hereby amended by adding in Part VII Comprehensive Development Zones the following as the new Zone classification of Comprehensive Development – 104 (CD104) Zone immediately after Comprehensive Development – 103 (CD103) Zone:

“WWW. CD104 COMPREHENSIVE DEVELOPMENT ZONE

1. Intent

This Zone is intended to accommodate and regulate a 26-unit townhome development.

2. Permitted Uses

The Land, buildings, and structures shall be used for the following uses only:

- (a) Multiple-Unit Residential; and
- (b) Accessory uses limited to the following:

- (i) *Home Occupations* excluding bed and breakfast and *child care centre*.

3. Site Dimensions

The following lots shall form the site and shall be zoned CD104 Comprehensive Development Zone on the Zoning Map, City of Langley Zoning Bylaw, 1996, No. 2100, Schedule "A":

- (a) PID: 008-460-591
Lot 109, Section 36, Township 7, New Westminster District, Plan 37721
- (b) PID: 000-666-742
Lot 49, Section 36, Township 7, New Westminster District, Plan 28249
- (c) PID: 000-468-053
Lot 50, North West Quarter, Section 36, Township 7, New Westminster District, Plan 28249
- (d) PID: 016-023-650
Lot 1, Section 36, Township 7, New Westminster District, Plan 85129

4. Siting and Size of Buildings and Structures and Site Coverage

The location, size, and site coverage of the buildings and structures of the development shall generally conform to the plans and specifications prepared by F. Adab Architects Inc. (dated January 3, 2025) and PMG Landscape Architects (dated January 7, 2025), one copy each of which is attached to Development Permit No. 07-24.

5. Other regulations

In addition, land use regulations including the following are applicable:

- (a) General provisions on use are set out in Section I.D. of this bylaw;
- (b) Building Permits shall be subject to the City of Langley Building and Plumbing Regulation Bylaw and the Development Cost Charge Bylaw; and
- (c) Subdivisions shall be subject to the City of Langley Subdivision and Development Servicing Bylaw and the *Land Title Act*.

(2) Bylaw No. 2100, cited as the “Zoning Bylaw, 1996, No. 2100” is hereby amended by changing the zone classification of:

- (a) PID: 008-460-591
Lot 109, Section 36, Township 7, New Westminster District, Plan 37721
- (b) PID: 000-666-742
Lot 49, Section 36, Township 7, New Westminster District, Plan 28249
- (c) PID: 000-468-053
Lot 50, North West Quarter, Section 36, Township 7, New Westminster District, Plan 28249
- (d) PID: 016-023-650
Lot 1, Section 36, Township 7, New Westminster District, Plan 85129

from the RS1 Single Family Residential Zone to the CD104 Comprehensive Development Zone in Schedule “A” – Official Zoning Map.

READ A FIRST AND SECOND TIME this twenty-seventh day of January, 2025.

READ A THIRD TIME this day of , XXXX.

FINALLY ADOPTED this day of , XXXX.

MAYOR

CORPORATE OFFICER

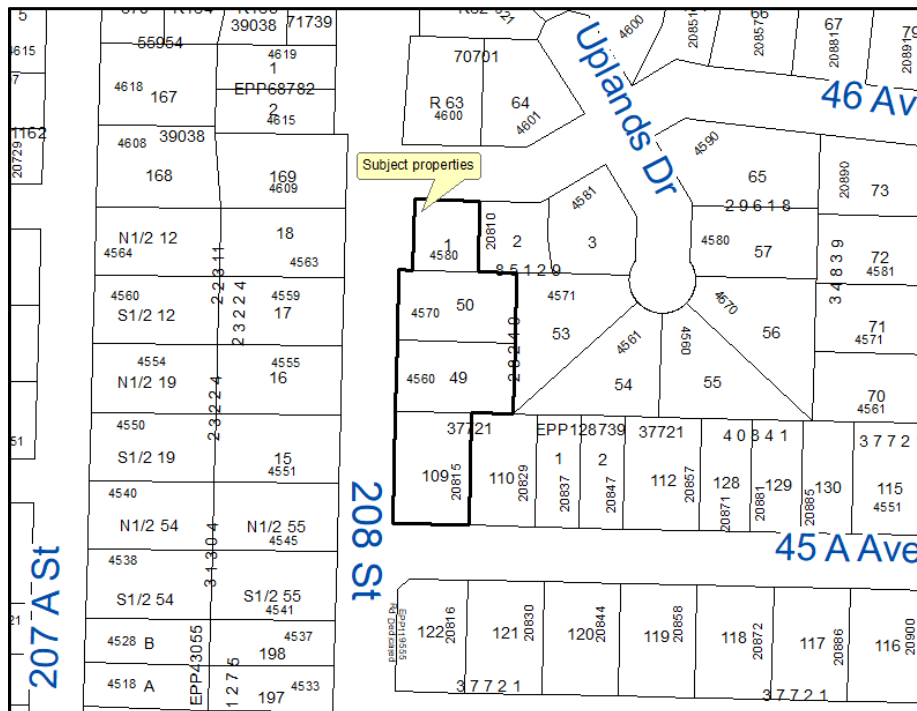
CITY OF
LANGLEY



REZONING APPLICATION RZ 06-24 DEVELOPMENT PERMIT APPLICATION DP 07-24

Civic Address: 20815 45A Avenue & 4560-4580 208 Street
Legal Description: Lot 109, Section 36, Township 7, New Westminster District, Plan 37721; Lot 49, Section 36, Township 7, New Westminster District, Plan 28249; Lot 50, North West Quarter Section 36, Township 7, New Westminster District, Plan 28249; Lot 1, Section 36, Township 7, New Westminster District, Plan 85129

Applicant: Leone Homes Inc.
Owners: Linda Stewart, Lea-Ann Stewart, Luke Morrow, Raqiya Khan, Abdul-Rahim Khan, Brenden Boux, Deborah Kellner, Robert Stare, & Heather Stare





EXPLANATORY MEMO

November 6, 2024 Advisory Design Panel Recommendations and Applicant Response DP 07-24 20815 45A Avenue & 4560-4580 208 Street

Advisory Design Panel Recommendations and Applicant Response

On November 6, 2024 the Advisory Design Panel (ADP) reviewed the DP 07-24 application, and provided the following recommendations (see attached minutes for further details):

1. Provide a clearer tree plan (trees retained, removed, and added)
2. Review the tree species used in front yards to ensure they will not impact townhome foundations
3. Provide more design interest to end elevations and garage-level façades
4. Consider a more creative and less formal approach to the Building 4 yards
5. Expand accent paving within the internal lanes and review traffic calming measures (e.g. pathway crosswalks, elevated crosswalks/table)
6. Provide unit numbers and doorbells on garage side of blocks
7. Review kitchen and smoke alarm locations to prevent false alarms
8. Provide front yard fencing as close to the property line as possible
9. Incorporate additional permeable surfaces into the site as possible

The applicant submitted finalized revised architectural and landscape drawings on January 7, 2025 (both attached to the Development Permit). The applicant has responded to the ADP's recommendations in the following manner:

1. Provide a clearer tree plan (trees retained, removed, and added)

A clearer tree plan has been provided within the landscape architecture set identifying the trees proposed to be retained, removed, and added.

2. Review the tree species used in front yards to ensure they will not impact townhome foundations

The project landscape architect has considered this recommendation and confirmed that the tree species proposed will not impact building foundations at their proposed locations.

3. Provide more design interest to end elevations and garage-level façades

End elevations have been improved by providing additional windows and decorative vent grilles. The garage level façades have had unit numbers and lighting fixtures added to provide more visual interest at the ground floor.

4. Consider a more creative and less formal approach to the Building 4 yards

The Building 4 walkway has had its corners updated to curves and the backyards made larger to provide a less formal and more usable rear yard design.

5. Expand accent paving within the internal lanes and review traffic calming measures (e.g. pathway crosswalks, elevated crosswalks/table)

Crosswalks, finished with unit pavers, have been provided to connect the Building 4 walkway with the paths connecting to 208 Street. Speed humps have been provided before both these crosswalks to calm on-site traffic speeds.

6. Provide unit numbers and doorbells on garage side of blocks

Unit numbers have been provided over all garage doors. Doorbells have been kept only at principal entrances to avoid confusion over which door to answer.

7. Review kitchen and smoke alarm locations to prevent false alarms

The applicant acknowledges the recommendation of positioning smoke alarms so as to avoid false alarms associated with cooking and will incorporate it as part of the detailed Building Permit stage with their electrical consultant.

8. Provide front yard fencing as close to the property line as possible

Front yard fencing has been shifted to be right on the property line.

9. Incorporate additional permeable surfaces into the site as possible.

The applicant has responded that permeable surfaces have already been maximized on the site. The project will be required to meet City bylaws on stormwater management, including creating no net additional surface runoff.

Staff Commentary

Staff support the updates made by the applicant in response to ADP recommendations.

In response to questions posed to staff at the ADP meeting, staff have the following responses:

1. Consider sidewalk design along 208 Street in terms of tree preservation and active transportation design

The new sidewalk and bicycle lane, which the applicant would be required to provide as part of the development's 208 Street frontage upgrades, will be designed to meet City standards and maximize the number of existing street trees being retained. This may include curving to create more distance from trees and being finished with low-impact surfacing (such as rubber) to protect root systems.

2. Seek opportunities to plant more coniferous trees, and spec columnar trees for boulevard (noting overhead wires)

Four coniferous trees, including two cypress and two spruce trees, are proposed within the on-site landscaping. Additional coniferous trees will be reviewed for the new City boulevards as part of the project's off-site landscaping in conjunction with City standards and applicable considerations such as overhead wires, sightlines, and maintenance.



**MINUTES OF THE
ADVISORY DESIGN PANEL**

**HELD IN CKF ROOM,
LANGLEY CITY HALL**

**WEDNESDAY, NOVEMBER 6, 2024
AT 7:00 PM**

Present: Councillor Paul Albrecht (Chair)
Councillor Mike Solyom (Co-Chair)
Mayor Nathan Pachal
Blair Arbuthnot
Jaswinder Gabri
Matt Hassett
Leslie Koole
Dammy Ogunseitan
Ritti Suvilai

Absent: Tony Osborn
Ella van Enter

Staff: C. Johannsen, Director of Development Services
K. Kenney, Corporate Officer
A. Metalnikov, Planner

Chair Albrecht began by acknowledging that the land on which we gather is on the traditional unceded territory of the Katzie, Kwantlen, Matsqui and Semiahmoo First Nations.

1) AGENDA

Adoption of the November 6, 2024 agenda.

It was **MOVED** and **SECONDED**

THAT the agenda for the November 6, 2024 Advisory Design Panel be approved.

CARRIED

2) **MINUTES**

Adoption of minutes from the October 16, 2024 meeting.

It was MOVED and SECONDED

THAT the minutes of the October 16, 2024 Advisory Design Panel meeting be approved as circulated.

CARRIED

3) **DEVELOPMENT PER DP 06-23 BALCONY UPDATE**

Balcony update for a previously approved 6-storey apartment building at 19948 55A Avenue.

Carl Johannsen, Director of Development Services provided information on the development permit application:

- The development application had received rezoning and development permit approval and is at the building permit stage;
- The applicant has requested a variance to add lumon-style glazing treatment to the patios;
- This is considered a minor variance, which could be approved by the Director of Development Services; however, staff wish to ensure the Advisory Design Panel is informed of what is being proposed and is given the opportunity to provide input.

The applicant team entered the meeting:

- Francis Yau, Senior Architect, Andrew Cheung Architects Inc.
- David Liu, Technical Drafter, Andrew Cheung Architects Inc.
- Tim Chen, Owner
- Jason Yang, Senior Manager - Contract & Construction, Golden Glory Development Ltd

The applicant team advised that the change will enclose the balcony, permitting year round use of the space. Their PowerPoint presentation included the following:

- Photos of other buildings with lumon enclosed balcony;
- Enlarged balcony plan;
- Renderings of current patio design and proposed enclosed balcony;
- Ability to fully open panels;
- North elevation comparison of building with closed and open balcony;
- East elevation comparison;
- West elevation comparison;
- Render views - open balcony;
- Render views – proposed balcony.

The team further advised that:

- Other benefits of this change to the patio design include energy savings, extra noise buffering and greater privacy;
- This style of enclosed patio has been used for many years in Europe;
- The main purpose of this change is to differentiate their building from others in the same price range in order to be more competitive and attract younger buyers.

In response to a question from a Panel member, staff advised that the enclosed patio is not considered additional floorspace.

The applicant team responded to questions from Panel members regarding the following:

- Motivation for the change in patio design;
- Ability to clean the windows;
- Who is responsible for maintaining and cleaning the windows;
- Whether a heater could be installed in the space to allow for use as separate living space.

Panel members provided feedback on the following:

- Potential for owners to turn these spaces into living areas;
- Strata may have issue maintaining uniform look of the building if owners use enclosed patios as living spaces.

The applicant team left the meeting.

In response to a question from a Panel member, staff advised this requested change to the application does not need to come to Council for approval.

Further discussion ensued regarding:

- Having an outlet on the patio would likely be a fire code violation;
- Owners may find a way to heat these spaces even though a power outlet is not being installed on the patios.

**4) DEVELOPMENT PERMIT APPLICATION DP 07-24
ZONING BYLAW AMENDMENT APPLICATION RZ 06-24**

26-unit townhome development at 20815 45A Avenue & 4560-4580 208 Street.

Mr. Metalnikov spoke to the staff report dated October 25, 2024 providing information on the proposed development.

Staff responded to questions from Panel members regarding:

- The rationale for boundaries of the multi-unit residential use designation in the OCP for this area;
- Installation of traffic signal in the area;

- Anticipated undergrounding of power lines in the area and City requirement that developer put in conduit;
- Purpose of area located at the western most corner of the development;
- Feasibility of retaining tree if accessible parking space is relocated to another area;
- Parking requirements for the development;
- Parking analysis done to determine number of viable on-street parking spaces in the area near this development;
- Intention to install curb in front of development on 208 St;
- Configuration of tandem units.

The Applicant team entered the meeting:

Dennis Chan, Developer (Leone Homes)

Fred Adab, Architect (F. Adab Architects)

Azar Ahmadi, Architect (F. Adab Architects)

Yiwen Ruan, Landscape Architect (PMG Landscape Architects)

Mr. Adab provided a PowerPoint presentation on the proposed development, providing information on the following:

- Context map;
- Site Plan;
- Unit Mix;
- North to south rendering on 208 St.;
- Elevations;
- Exterior finishes and colour;
- Floor plans for each building;
- Building sections;
- Energy saving green measures;
- CPTED features.

Mr. Ruan highlighted information on the landscape plan, including trees and pavers.

Panel members provided feedback on the form and character of the development and discussion took place regarding the following:

- Have a clearer tree map, showing trees to be retained and trees to be removed;
- Ensuring the types of trees planted don't have large roots that will break up the sidewalk as they grow;
- Adding visual interest to north and south elevations of Building 3;
- Potential to have a door for guest entry adjacent to garages in Building 4;
- Providing more visual interest above garage doors;
- Making yard space design for units in building 4 less formal;
- Expanding accent paving in interior drive aisle and providing traffic calming features to protect children playing in that area, potentially through extended walkway crosswalks from Building 4;
- Trade-offs between larger backyards and pedestrian walkways for Building 4;
- Having doorbells on garage side of units in addition to front door side;

- Reviewing location of smoke alarm in kitchen to prevent false alarms;
- Having front yard fencing right up to sidewalk to dissuade dog owners from having their dogs do their business in front of units;
- Adding permeable pavers where possible.

The applicant team responded to questions from Panel members regarding the following:

- Types of trees to be planted;
- View from front doors facing east;
- Maximum tree height of trees on the property;
- Rationale for jog in sidewalk;
- Keypad entry to garages;
- Different building designs in the area;
- Placement of unit numbers on garage side of units;
- Hiring of an acoustic consultant;
- Type of fencing to be provided on the east side of the development;
- Size of bed that can be accommodated in the smallest room of each unit;
- Placement of balconies on the internal side in Building 2;
- Developer amenity contribution for park.

The applicant team left the meeting.

There was further discussion on the types of trees being retained and the importance of ensuring there is enough room between these trees and trees on private property to maintain verticality of the trees.

It was MOVED and SECONDED

THAT:

1. The ADP receive the staff report dated October 25, 2024 for information; and
2. The ADP recommends the applicant give further consideration to the following prior to the application proceeding to Council:
 - a. Provide a clearer tree plan (trees retained, removed, and added)
 - b. Review the tree species used in front yards to ensure they will not impact townhome foundations
 - c. Provide more design interest to end elevations and garage-level façades
 - d. Consider a more creative and less formal approach to the Building 4 yards
 - e. Expand accent paving within the internal lanes and review traffic calming measures (e.g. pathway crosswalks, elevated crosswalks/table)
 - f. Provide unit numbers and doorbells on garage side of blocks
 - g. Review kitchen and smoke alarm locations to prevent false alarms
 - h. Provide front yard fencing as close to the property line as possible
 - i. Incorporate additional permeable surfaces into the site as possible

CARRIED

Staff notes:

- Consider sidewalk design along 208 Street in terms of tree preservation and active transportation design
- Seek opportunities to plant more coniferous trees, and spec columnar trees for boulevard (noting overhead wires)

The Chair advised Panel members that a group photo would be taken of the Panel at the next meeting for display at the next volunteer appreciation banquet.

5) **NEXT MEETING**

December 4, 2024 (TBC).

6) **ADJOURNMENT**

It was MOVED and SECONDED

THAT the meeting adjourn at 8:24 pm.

CARRIED



ADVISORY DESIGN PANEL CHAIR



CORPORATE OFFICER



ADVISORY DESIGN PANEL REPORT

To: **Advisory Design Panel**

Subject: **Development Permit Application DP 07-24
Rezoning Application RZ 06-24
(20815 45A Avenue & 4560-4580 208 Street)**

From: Anton Metalnikov, RPP, MCIP
Planner

File #: 6620.00

Date: October 25, 2024

Bylaw #: 3296
Doc #:

RECOMMENDATION:

THAT this report be received for information.

PURPOSE OF REPORT:

To consider Development Permit and Zoning Bylaw amendment applications by Leone Homes Inc. for a 26-unit townhome development at 20815 45A Avenue & 4560-4580 208 Street.

POLICY:

The subject properties are currently zoned RS1 Single Family Residential in Zoning Bylaw No. 2100 and designated "Ground Oriented Residential" in the Official Community Plan Land Use map. All lands designated for multi-unit residential use are subject to a Development Permit (DP) to address building form and character.

COMMENTS/ANALYSIS:

Background Information:

Applicant:	Leone Homes Inc.
Civic Addresses:	20815 45A Avenue & 4560-4580 208 Street
Legal Description:	Lot 109, Section 36, Township 7, New Westminster District, Plan 37721; Lot 49, Section 36, Township 7, New Westminster District, Plan 28249; Lot 50, North West Quarter Section 36, Township 7, New Westminster District, Plan 28249; Lot 1, Section 36, Township 7, New Westminster District, Plan 85129
Site Area:	4,010 m ² (0.99 acres)
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Lot Coverage:	43.6%
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Parking Provided:	
Resident	52 spaces
<u>Visitor</u>	<u>6 spaces</u>
Total	58 spaces (including 1 h/c space)
OCP Designation:	Ground Oriented Residential
Existing Zoning:	RS1 Single Family Residential
Proposed Zoning:	CD104 Comprehensive Development Zone
Development Cost Charges:	\$815,170.00 (City - \$303,442.00, GVS&DD - \$214,618.00, GVWD - \$212,006.00, MV Parks – \$9,528.00, SD35 - \$19,400.00, TransLink - \$56,176.00)
Community Amenity Contributions (CACs):	\$104,000.00

Discussion:

1. Context

The applicant is proposing to develop a 26-unit townhome complex on the site of 4 single-detached lots. This site is located in an area of single-detached homes where the properties generally along 208 Street, including the subject site, are designated Ground Oriented Residential in the City’s Official Community Plan (OCP). This designation allows for townhome and plex-home development of up to 3 storeys in height and a maximum Floor Area Ratio (FAR) density of 1.2. Policies in the City’s Townhome & Plex-Home Best Practices Guide also apply. The Ground Oriented Residential designation was introduced through the OCP to provide a broader range of family-oriented housing options in the neighbourhood and near Uplands Elementary School, improve traffic and pedestrian safety along 208 Street by removing driveways and providing an upgraded streetscape, and align with future frequent transit service. In response to the planned growth in this area and to improve access, a traffic light has recently been installed at the intersection of 208 Street and 45A Avenue, which is being financed by developments in the area, including an existing project under construction across the street and the subject application, should it be approved.



Site context

The site covers the full first row of properties along 208 Street between 45A Avenue to the south and 46 Avenue to the north. Properties across the streets to the west and south share the same Ground Oriented Residential OCP designation, with a 6-unit rowhome project currently under construction to the south. To the east, the site is neighbored by single-detached homes designated Suburban in the OCP, which corresponds to the City's RS1 Single Family Residential Zone. The properties across the street to the north fall within a small gap in the Ground Oriented Residential designation along 208 Street due to their challenging lot pattern and configuration and are also designated Suburban in the OCP. With zoning updates adopted earlier this year to align with 2023 Provincial housing legislation, these Suburban RS1 zoned properties, along with all other RS1 lots in the neighbourhood and City, now also have multi-unit potential at a density of up to 4 dwelling units per lot.

The site is located in a distinctly residential area but has convenient walking connections to key amenities including:

- Two bus lines (directly adjacent);
- Iris Mooney Park (5-minute walk); and
- Uplands Elementary School (5-minute walk).

2. Proposed Rezoning and the Official Community Plan (OCP)

The site is designated Ground Oriented Residential in the City's OCP, which allows for townhome and plex-home development of up to 3 storeys in height and a Floor Area Ratio (FAR) density of up to 1.2.

The subject properties are proposed to be rezoned to a site-specific Comprehensive Development (CD) Zone as no existing zones adequately accommodate the Ground Oriented Residential designation. A new Zoning Bylaw is currently in development and the project was designed to conform to the preliminary draft zoning regulations associated with this designation. Should the CD rezoning be adopted it is anticipated that, as part of adopting the new Zoning Bylaw, the City will rezone this site from its CD Zone to the new zone created to implement the Ground Oriented Residential designation.

The application is generally consistent with the City's Townhome & Plex-Home Best Practices Guide, including by incorporating the following features:

- No balconies facing neighbouring Suburban properties;
- Using peaked roofs;
- Upgrading the street frontage;
- Providing one extra visitor parking stall than required;
- Providing new, durable metal fencing for shared property lines;
- Planting 20 new trees on-site and approximately 10 new street boulevard trees, and retaining 25 existing trees (secured by deposit);

- Setting 3-storey townhomes back over 8 metres from adjacent Suburban properties and stepping down to a 2-storey height where closer;
- Achieving a mix of side-by-side (or 'double garage') and tandem parking units, with over 50% being side-by-side (58%); and
- Providing cash in lieu of outdoor amenity for nearby park improvements.

3. Design

The applicant is proposing a 4-block townhome complex that responds to its long, asymmetrical and generally narrow rectangular site with a private drive aisle set on the site's east edge which hosts a row of townhomes fronting the full length of the 208 Street block face in a single-loaded configuration, except for the middle of the site where deeper properties allow for an additional block to be located on the drive aisle's other side. As required by the Townhome & Plex-Home Best Practices Guide, this east block is set back 6 metres from the rear property line, with the 3-storey portion set back further at 8 metres to sensitively transition the massing down to the neighbouring single-detached homes. The development's configuration efficiently absorbs a large 5 metre road dedication and helps distribute vehicle trips by providing multiple routes in and out of the site (on to 46 and 45A Avenues which connect to 208 Street). The site layout also allows for additional visitor parking to be provided (for a total of 6 visitor spaces; 5 spaces are required by Zoning Bylaw) and for a high number of large trees to be retained with the development. The development consists of 11 three-bedroom units and 15 four-bedroom units, and all units have ground-level patios and balconies. The 1.13 FAR density is less than the max. 1.2 FAR for the Ground Oriented land use.

The proposed design incorporates a black brick first floor base along the street frontage, with the rest of the elevations using neutral tones in roughly equal proportions and generally vertical modules to add variation, highlight individual units, and break up the blocks. Select building projections help to further articulate the massing, while prominent window frames and siding and board and batten textures provide additional visual interest.

The project's landscaping uses a variety of shrubs, grasses, and perennials to soften the site's edges and separate private patios. Trees of five different species are also provided in these landscaped areas to add a total of 20 new trees on-site. While this total does not reach the one-tree-per-unit guideline in the Best Practices Guide, this results from retaining many of the existing trees adjacent to the site which have large root zones that would conflict with the locations where additional new trees could be planted. Staff supports this landscape design as it meets the intent of the Guide's tree policies. Pavers are used to help highlight the site's entrances and visitor parking spaces. All proposed fencing is metal, including taller near-solid fencing on shared property lines for privacy and shorter

picket fencing along 208 Street and internal walkways to better engage with the public realm and avoid over-enclosing private yards.

Given the challenging site configuration and proximity to multiple parks, and the aim to maximize visitor parking spaces on-site, a cash amenity contribution in lieu of an on-site outdoor amenity area is to be provided by the applicant to fund nearby park improvements. The retention of existing trees, along with numerous new trees and plantings will also provide a generous amount of on-site greenery.

4. Sustainability

The proposal incorporates the following sustainable development features:

- Using construction techniques that minimize site disturbance and protect air quality;
- Incorporating the use of recycled building materials;
- Achieving an energy performance of 25% above the current Model National Energy Code;
- Incorporating climate-resilient and drought-tolerant plantings served by a central irrigation system with rain sensors;
- Using water conserving toilets; and
- Providing a Level II electric vehicle (EV) charger in every unit.

5. CPTED

The applicant's proposal benefited from a comprehensive Crime Prevention Through Environmental Design (CPTED) review by a qualified consultant whose recommendations were incorporated into the plans.

6. Summary

The proposed development is consistent with the City's OCP, Development Permit Area guidelines, and Townhome & Plex-Home Best Practices Guide and provides family-oriented homes near transit, parks, and an elementary school.

Engineering Requirements:

PRELIMINARY ONLY

Additional design changes may be required upon further investigation, site inspections and receipt of other supporting reports and documents.

All work to be done to the City of Langley's Design Criteria Manual (DCM), and the City's Subdivision and Development Servicing Bylaw (SDSB).

Per the City's DCM requirement, the developer and their consulting engineer shall submit to the City Engineer a signed and sealed copy of Form F-1 (Commitment by Owner and Consulting Engineer) prior to starting their design works.

Per the City's Watercourse Protection Bylaw No. 3152, the developer's consulting engineer shall submit to the City Engineer a signed and sealed copy of Form F-1 (Confirmation of Commitment by Qualified Environmental Professional - QEP) prior to starting their site monitoring works.

These requirements have been issued to reflect the application for development for a proposed **26-unit Townhouse Development located at 4560-80 208; 20815 45A.**

These requirements may be subject to change upon receipt of a development application.

The City's Zoning Bylaw, 1996, #2100 has requirements concerning landscaping for buffer zonings, parking and loading areas, and garbage and recycling containers, all of which applies to this design.

A) The Developer is responsible for the following work which shall be designed by a Professional Engineer:

- I. A Qualified Environmental Professional (QEP) must be engaged to implement erosion and sediment control in accordance with the City of Langley Watercourse Protection Bylaw #3152, as amended.
- II. A storm water management plan for the site is required. Rainwater management measures used on site shall limit the release rate to pre-development levels to mitigate flooding and environmental impacts as detailed in the City's DCM. All calculations shall be based the City' DCM with 20% added to the calculated results to account for climate change. A safety factor of 20% shall be added to the calculated storage volume. *Pre-development release rates shall not include climate change effect.*
- III. All existing services shall be capped at the main by the City, at the Developer's expense prior to applying for a demolition permit.
- IV. New water, sanitary and storm sewer service connections are required. All pertinent pipe design calculations shall be submitted in spreadsheet format and shall include all formulas for review by the City. The Developer's engineer will determine the appropriate main tie-in locations and size the connections for the necessary capacity.
- V. At the Developer's expense, the capacity of the existing water and sanitary sewer mains shall be assessed through hydraulic modeling performed by the City's standing hydraulic modeling consultant per DCM 3.8 and 6.5.

- I. Any upgrade requirement for either sanitary or water mains not covered under the City's DCC bylaw shall be designed and installed by the Developer at the Developer's expense.
- II. At the Developer's expense, the City's standing hydraulic modeling consultant shall conduct a fire hydrant flow test to be used in the City's water modeling to determine if the existing water network is adequate for fire flows (based on architectural data supplied by the Developer's Architect). Upgrading of the existing watermain(s) may be necessary to achieve the necessary pressure and flows to conform to Fire Underwriters Survey (FUS) "Water Supply for a Public Fire Protection, a Guide to Recommended Practice, 1995."
- VI. Additional C71P fire hydrants may be required to meet bylaw and firefighting requirements. Hydrant locations must be per CoL DCM Section 3.10 and approved by the City Engineer and the City of Langley Fire Rescue Service.
- VII. A property dedication of approximately 5m (+/-) will be required along the 208 St. frontages of the proposed development at 4570, 4560 208 St., and 20815 45A Ave. to provide a new ROW width of 25m on 208 St. – dedication amount to be determined by a legal surveyor.
- VIII. A 5m corner truncation at 20815 45A Ave., and a 4m truncation at 4580 208 St. will be required.
- IX. At the Developer's expense, a Traffic Impact Assessment (TIA) will be completed per the CoL DCM Section 8.21. The proposed development plan and statistics along with the proposed traffic study terms of reference should be forwarded to the City Engineer when ready. Upon acceptance of the terms of reference for the TIA the study must be completed and approved by the City Engineer prior to taking the application to Council. The TIA completion timing **must** be:
 - a. *For OCP Amendment / Rezoning Applications:* Prior to Council's first and second readings; and
 - b. *For Development Permits (DP):* Prior to Council consideration of the application.
- X. The scope and extent of the off-site works be determined in part from the TIA. New sidewalk, barrier curb, gutter will be required along the entire 208 St., 45A Ave., and 46 Ave. frontages, complete with boulevard trees and a planting strip as per the City DCM cross-section SS-SS-R01, SS-R07, and DCM Section 11.0 - Specifications and Standards for Landscaping.
- XI. 45A and 46 Aves. will require curb bulges at 208 St. and either side of lane entrances per DCM 8.5.4.
- XII. The condition of the existing pavement along the proposed project's frontages shall be assessed by a geotechnical engineer. Pavements shall be adequate for an expected road life of 20 years under the expected traffic conditions for the class of road. Road construction and asphalt

overlay designs shall be based on the analysis of the results of Benkelman Beam tests and test holes carried out on the existing road which is to be upgraded. If the pavement is inadequate, it shall be remediated by the Developer, at the Developer's expense.

- XIII. The site layout shall be reviewed by a qualified Professional Engineer to ensure that the parking layout, vehicle circulation, turning paths and access design meet applicable standards and sightline requirements, including setbacks from property lines. Appropriate turning templates should be used to prove parking stalls, loading areas and drive aisles are accessible by service vehicles. Refer to DCM Section 8. The design shall be adequate for MSU trucks as the design vehicle.
- XIV. Existing street lighting along the entire project frontage shall be analyzed (excluding any BC Hydro lease lights) by a qualified electrical consultant to ensure street lighting and lighting levels meet the criteria outlined in DCM 9.0. Any required street lighting upgrades, relocation, and/or replacement shall be done by the Developer at the Developer's expense. Any existing BC Hydro lease-lights to be removed and disposed of off-site.
- XV. Eliminate the existing overhead BC Hydro/telecommunication infrastructure along the development's 208 St. project frontage by replacing with underground infrastructure. If BC Hydro/Shaw/Telus are unwilling to underground at this time (in writing), pre-ducting for future undergrounding will be required, and the future undergrounding satisfied by a CoL approved C-I-L contribution.

B) The Developer is required to deposit the following bonding and fees:

- I. The Developer will be responsible for a C-I-L contribution toward the recent traffic signal upgrades at the intersection of 208 St. and 45A Ave. Amount to be determined by CoL staff.
- II. The City will require a Security Deposit based on the estimated construction costs of installing civil works, as approved by the City Engineer.
- III. The City will require inspection and administration fees in accordance to the Subdivision Bylaw based on a percentage of the estimated construction costs, as per the City's Subdivision and Development Servicing Bylaw 2021 #3126.
- IV. A deposit for a storm, sanitary and water services is required, which will be determined by City staff after detailed civil engineering drawings are submitted, sealed by a Professional Engineer.
- V. The City will require a \$40,000 bond for the installation of a water meter to current City standards as per the DCM.
- VI. A signed and sealed pavement cut form (Form F-2 of the City's DCM) shall be completed by the developer's consulting engineer. Upon the review

and approval of the City Engineer of the submitted form, the corresponding Permanent pavement cut reinstatement and degradation fees shall be paid by the Developer.

NOTE: Deposits for utility services or connections are estimates only. The actual cost incurred for the work will be charged. The City will provide the developer with an estimate of connections costs, and the Developer will declare in writing that the estimate is acceptable.

C) The Developer is required to adhere to the following conditions:

- I. The Developer's Consulting Engineer shall perform their periodic Field Reviews, As required by EGBC, and send a copy of the Review to the City Engineer within a week of completion of each Review
- II. Unless otherwise specified by the City Engineer, all engineering works shall be designed based on the City's DCM specifications in accordance with the City's Subdivision and Development Servicing Bylaw 2021, No. 3126
- III. Undergrounding of hydro, telecommunication to the development site is required, complete with underground or at-grade transformer
- IV. Transformers servicing developments are to be located on private property with maintenance access located on private property. All transformers to be wrapped upon installation by the Developer.
- V. All survey costs and registration of documents with the Land Titles Office are the responsibility of the developer/owner. Please refer to the City's Subdivision and Development Servicing Bylaw 2021, No. 3126 for more details.
- VI. A water meter is required to be installed on private property, preferably in the mechanical room, in accordance to the City's DCM standards at the Developer's cost.
- VII. An approved backflow prevention assembly must be installed on the domestic water connection immediately upon entering the building to provide premise isolation.
- VIII. A *Stormceptor* or equivalent oil separator is required to treat site surface drainage.
- IX. A complete set of record drawings (as-built) of off-site works, service record cards and a completed tangible capital asset form (TCA) all sealed by a Professional Engineer shall be submitted to the City within 60 days of the substantial completion date. Digital drawing files in *.pdf* and *.dwg* formats shall also be submitted. All the drawing submissions shall:
 - a. Use City's General Note Sheet and Title Block; and
 - b. Closely follow the format and sequence outlined in the City's DCM that will be provided to the Developer's Consulting Engineer.

- X. The selection, location and spacing of street trees and landscaping are subject to the approval of the City Engineer. Please refer to the City's DCM for more details.
- XI. Stormwater run-off generated on the site shall not impact adjacent properties, or roadways.
- XII. Garbage and recycling enclosures shall accommodate on the site and be designed to meet Metro Vancouver's "Technical Specifications for Recycling and Garbage Amenities in Multi-family and Commercial Developments - June 2015 Update." Please refer to the City's Subdivision and Development Servicing Bylaw 2021, No. 3126 for more details.

Fire Department Comments:

Fire department access for the whole project was reviewed to ensure adequate access was in place for both apparatus and firefighters. A construction fire safety plan shall be completed. A lockbox will need to be provided, location to be determined at a later date.

Advisory Design Panel:

In accordance with Development Application Procedures Bylaw No. 2488, the subject Zoning Bylaw amendment and Development Permit application will be reviewed by the Advisory Design Panel (ADP) at the November 6, 2024 meeting.

According to the Council-approved ADP Terms of Reference, the ADP is to provide form and character and urban design-related advice and recommendations for Council's consideration. ADP recommendations will be presented to Council through the ADP meeting minutes and, if applicable, through an additional City staff report, prior to Council consideration of the proposed Zoning Bylaw amendment and Development Permit Applications.

A copy of the ADP minutes will be presented to Langley City Council at a future Regular Council meeting.

BUDGET IMPLICATIONS:

In accordance with Bylaw No. 2482, the proposed development would contribute \$303,442.00 to City Development Cost Charge accounts and \$104,000.00 in Community Amenity Contributions.

Cash to be provided in lieu of outdoor amenity space would be based on the properties' latest averaged assessed values at the time the application receives third reading. At current values, the amount would be \$34,286.28.

Prepared by:



Anton Metalnikov, RPP, MCIP
Planner

Concurrence:




Roy M. Beddow, RPP, MCIP
Deputy Director of Development Services

Concurrence:



Carl Johannsen, RPP, MCIP
Director of Development Services

Concurrence:



David Pollock, P.Eng.
Director of Engineering, Parks,
& Environment

Concurrence:



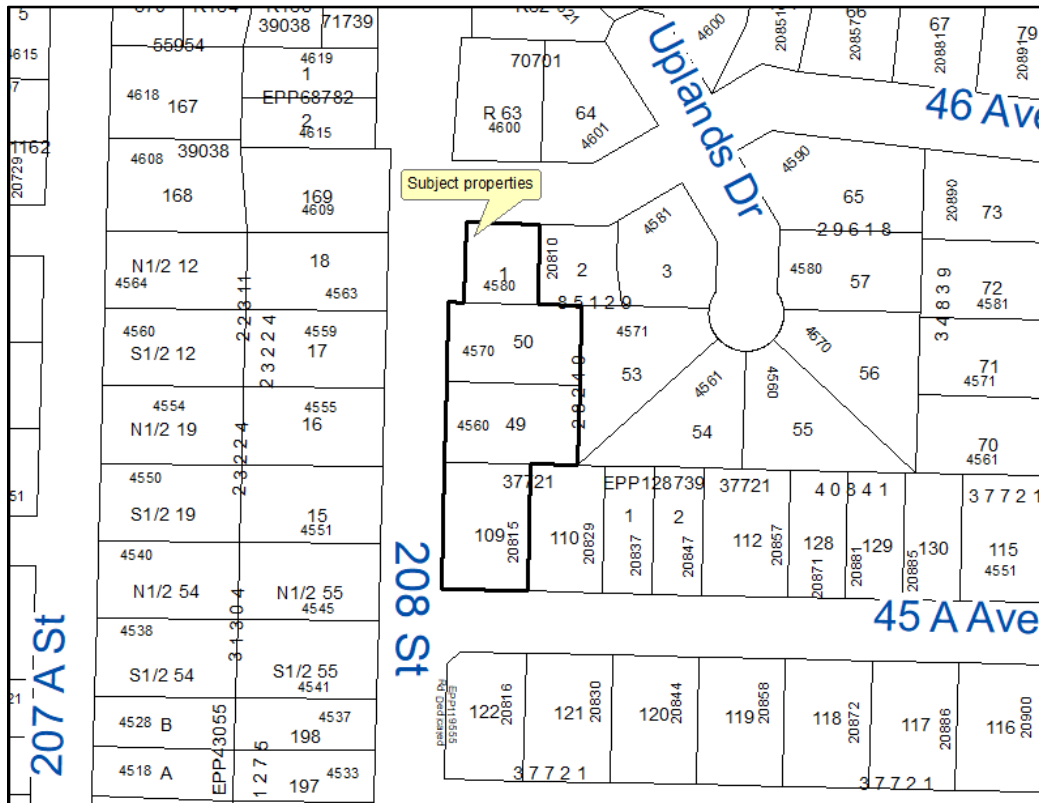
Scott Kennedy
Fire Chief

Attachments



DEVELOPMENT PERMIT APPLICATION DP 07-24 REZONING APPLICATION RZ 06-24

Civic Addresses: 20815 45A Avenue & 4560-4580 208 Street
Legal Description: Lot 109, Section 36, Township 7, New Westminster District, Plan 37721; Lot 49, Section 36, Township 7, New Westminster District, Plan 28249; Lot 50, North West Quarter Section 36, Township 7, New Westminster District, Plan 28249; Lot 1, Section 36, Township 7, New Westminster District, Plan 85129
Applicant: Leone Homes Inc.



26 UNIT TOWNHOUSE DEVELOPMENT

4560,4570,4580, 208 STREET &
20815, 45A AVENUE, LANGLEY



LIST OF DRAWINGS :

- A-1.0 PROJECT INDEX - CONTACTS LIST
- A-1.1 CONTEXT PLAN
- A-1.2 AERIAL MAP-CONTEXT PHOTOS
- A-1.3 SURVEY PLAN
- A-1.4 SITE PLAN
- A-1.4a SITE PLAN - PART 1
- A-1.4b SITE PLAN - PART 2
- A-1.5 PROJECT STATISTICS
- A-1.6 PERSPECTIVE VIEW FROM 208 STREET
- A-1.7 BUILDINGS 1 AND 3 COLORED ELEVATIONS
- A-1.8 BUILDINGS 3 AND 4 COLORED ELEVATIONS
- A-1.9 DESIGN RATIONALE- SITE, ZONING, ORIENTATION, MASSING, FORM AND CHARACTER
- A-1.10 DESIGN RATIONALE- LIVABILITY, ENERGY SAVING AND GREEN MEASURES
- A-1.11 DESIGN RATIONALE- CPTED
- A-1.12 EXTERIOR FINISH
- A-1.13 SHADOW ANALYSIS

- A-2.1a FLOOR PLANS - BUILDING 1 (1ST & 2ND FLOOR PLANS)
- A-2.1b FLOOR PLANS - BUILDING 1 (3RD FLOOR & ROOF PLANS)
- A-2.2a FLOOR PLANS - BUILDING 2 (1ST & 2ND FLOOR PLANS)
- A-2.2b FLOOR PLANS - BUILDING 2 (3RD FLOOR & ROOF PLANS)
- A-2.3 FLOOR PLANS - BUILDING 3 FLOOR PLANS
- A-2.4a FLOOR PLANS - BUILDING 4 (1ST & 2ND FLOOR PLANS)
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- A-3.1a ELEVATIONS (SOUTH & WEST) - BUILDING 1
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- A-3.2a ELEVATIONS (NORTH & WEST) - BUILDING 2
- A-3.2b ELEVATIONS (SOUTH & EAST) - BUILDING 2
- A-3.3a ELEVATIONS (SOUTH & WEST) - BUILDING 3
- A-3.3b ELEVATIONS (NORTH & EAST) - BUILDING 3
- A-3.4a ELEVATIONS (SOUTH & EAST) - BUILDING 4
- A-3.4b ELEVATIONS (NORTH & WEST) - BUILDING 4

- A-4.1 BUILDING1 SECTIONS
- A-4.2 BUILDING 2 SECTIONS
- A-4.2 BUILDING 3 SECTIONS
- A-4.2 BUILDING 4 SECTIONS

- L1 LANDSCAPE PLAN
- L2 SHRUB PLAN
- L3 PLANT IMAGES
- L4 GRADING PLAN
- L5 LANDSCAPE DETAILS

CONTACT LIST:

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EMAIL : dennis@leonehomes.ca

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PMG LANDSCAPE ARCHITECTS
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FAX : 604 294 0022
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CHILLIWACK, B.C. V2R 5S1
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1290 HOMER STREET,
VANCOUVER, B.C. V6B 2Y5
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MEC ENGINEERING CONSULTING LTD.
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ELECTRICAL :

LOADING ENGINEERING
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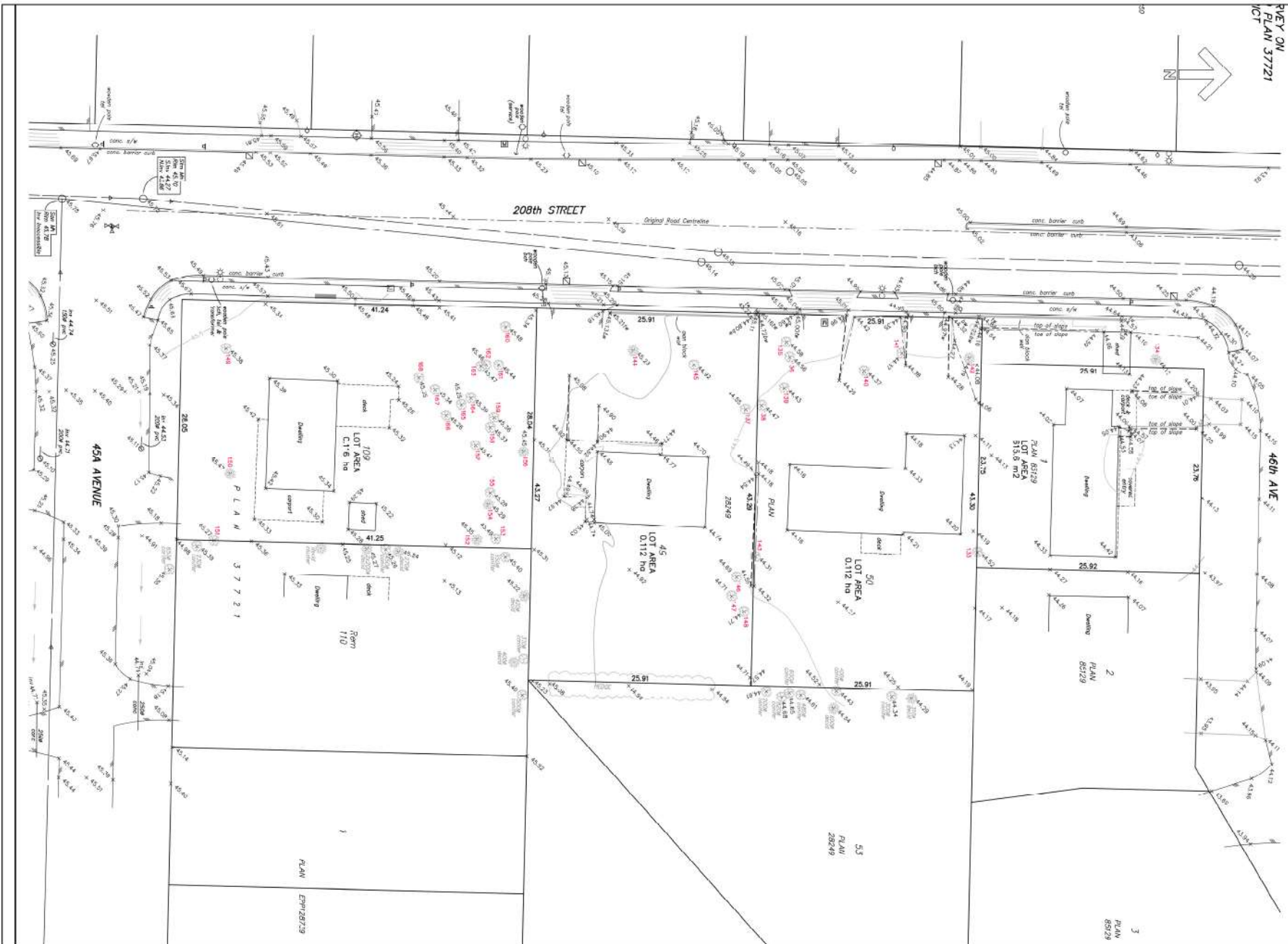
NO	DATE	REVISION / ISSUED
4	DEC 04 -24	ADP REVISIONS
3	SEP 10 -24	RESUBMITTED FOR REZONING & DP
2	AUG 16 -24	ISSUED FOR REZONING & DP
1	JUL 02 -24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20615 -45A AVENUE,
LANGLEY, BC.

FOR:
LEONE HOMES INC.
238 - 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
**COVER PAGE
INDEX AND
CONTACT LIST**

DATE	March 2024	SHEET NO:
SCALE	N/A	A-1.0
DESIGN	AA	
DRAWN	AA	
PROJECT NO:	-	



PLAN 37721
 208th STREET
 45th AVENUE

F. ADAB ARCHITECTS INC.

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1	JUL 02-24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
 20615 - 45th AVENUE,
 LANGLEY, BC.

FOR:
LEONE HOMES INC.
 230 - 13985 CAMBRIDGE BLVD,
 RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
SURVEY PLAN

DATE: March 2024	SHEET NO:
SCALE: NTS	A-1.3
DESIGN: A.A.	
DRAWN: A.A.	
PROJECT NO:	



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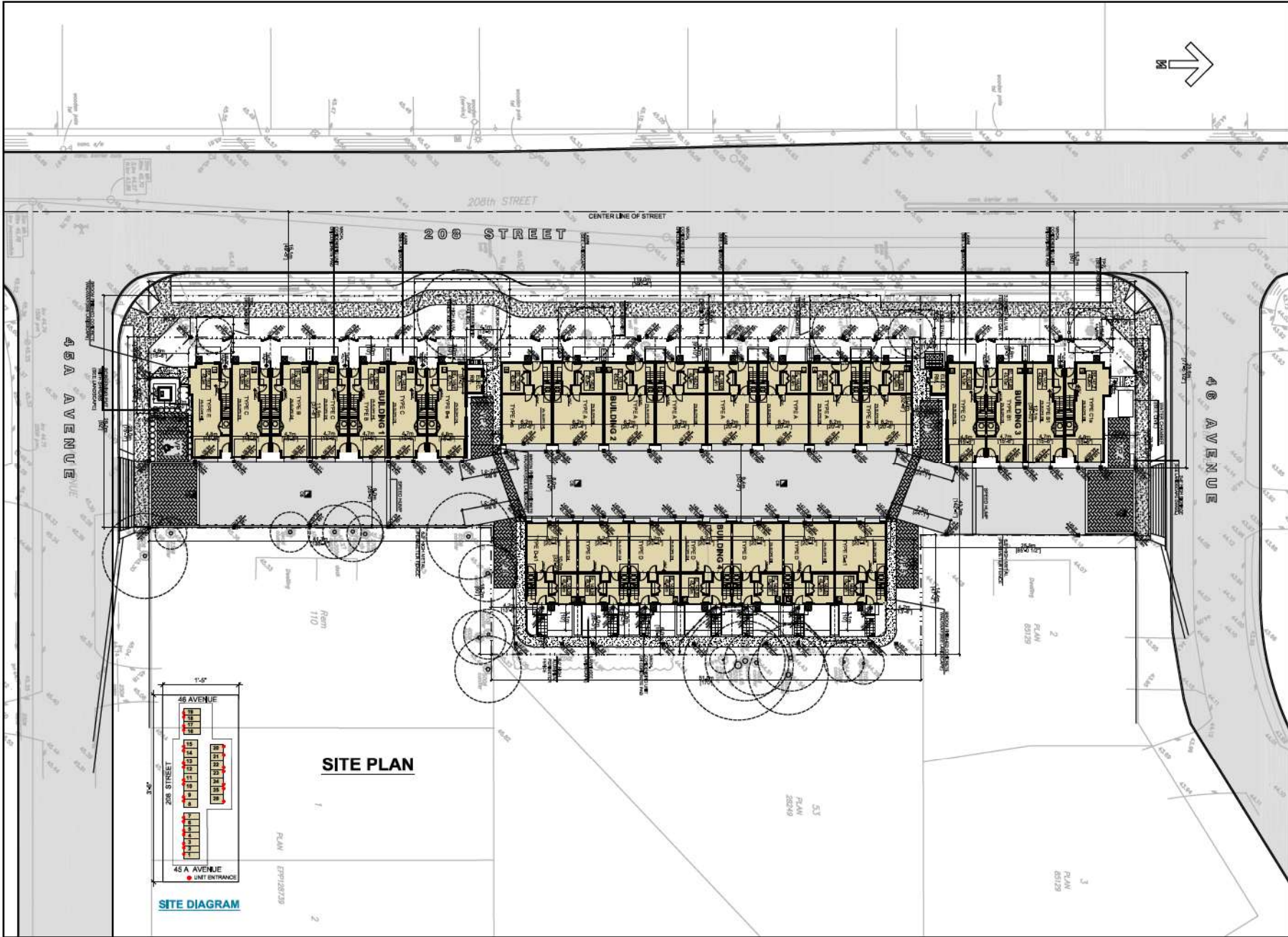
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PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.

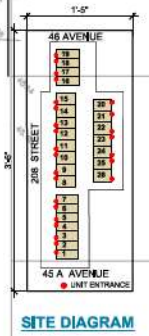
FOR:
LEONE HOMES INC.
238 - 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

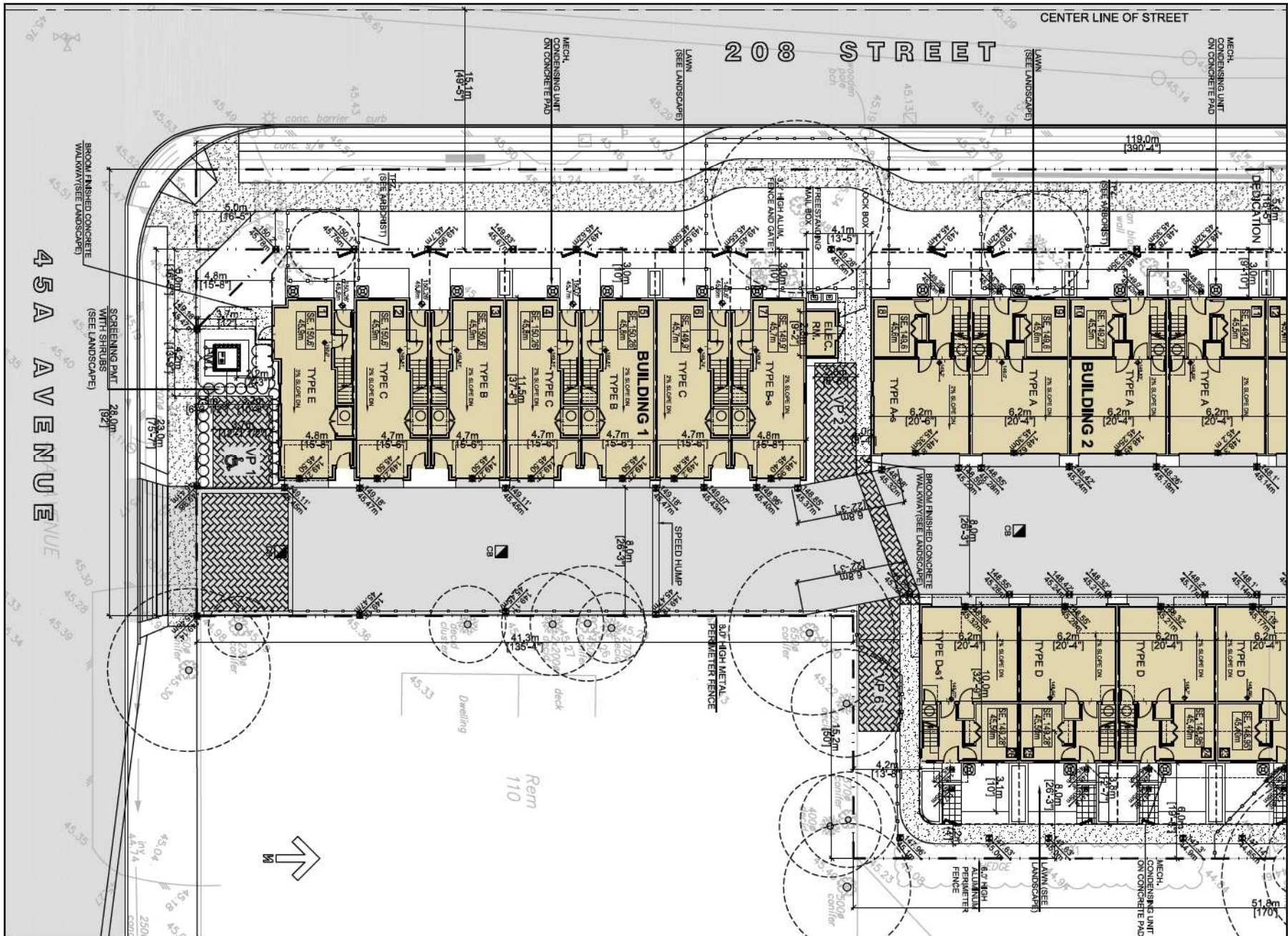
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SITE PLAN

DATE: March 2024	SHEET NO:
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DESIGN: AA	
DRAWN: AA	
PROJECT NO:	



SITE PLAN





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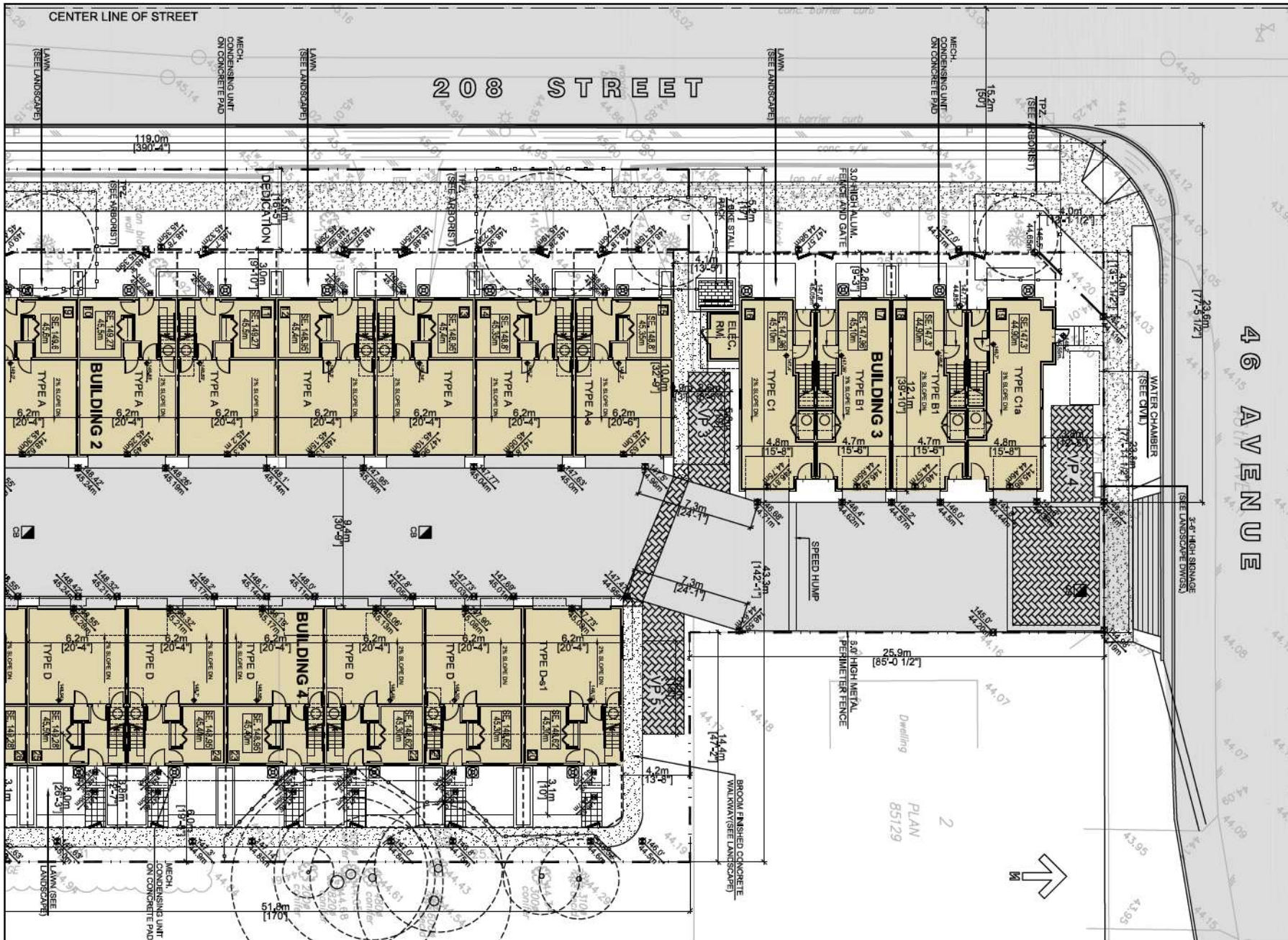
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PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
 20815 - 45A AVENUE,
 LANGLEY, BC.

FOR:
LEONE HOMES INC.
 238 - 13986 CAMBIE ROAD,
 RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
SITE PLAN - PART 1

DATE:	March 2024	SHEET NO.:	A-1.4a
SCALE:	N.T.S.		
DESIGN:	A.A.		
DRAWN:	A.A.		
PROJECT NO.:	-		



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46 AVENUE

NO.	DATE	REVISION	ISSUED
4	DEC 04 24	ADP REVISIONS	
3	SEP 10 24	ISSUED FOR REZONING & DP	
2	AUG 16 24	ISSUED FOR PREZONING & DP	
1	JUL 02 24	ISSUED FOR PRE-APPLICATION	

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
 20815 - 45A AVENUE,
 LANGLEY, BC.

FOR:
LEONE HOMES INC.
 238 - 13986 CAMBIE ROAD,
 RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
SITE PLAN-PART 2

DATE:	March 2024	SHEET NO.:	A-1.4b
SCALE:	NTS		
DESIGN:	AA		
DRAWN:	AA		
PROJECT NO.:	-		

STATISTICS :

CIVIC ADDRESS :

4560, 4570, 4580, 208 STREET & 20815, 45A AVENUE, LANGLEY, BC.

LEGAL DESCRIPTION:

LOT 1, PLAN 85129,
LOTS 49 & 50, PLAN 28249,
LOT 109, PLAN 37721,
SECTION 36, TOWNSHIP 7,
NEW WESTMINSTER DISTRICT

ZONING :

EXISTING : RS1
PROPOSED : CD

SITE AREA :

BEFORE DEDICATION : 0.40 HA. = 0.99 ACRE
43,164 SQ.FT. = 4,010 m²

AFTER DEDICATION : 37,773 SQ.FT. = 3509 m²
0.35 HA. = 0.86 ACRE

DEDICATIONS :

(5M = 16'-5" DEDICATION ALONG 208 STREET,
4M.X4M. TRIANGLE CORNER CUT AT NORTH-WEST &
5M.X5M. TRIANGLE CORNER CUT AT SOUTH-WEST)

GROSS FLOOR AREA :

BUILDING 1 : 12285 SQ.FT. 1141.2 M²
BUILDING 2 : 15956 SQ.FT. 1482.3 M²
BUILDING 3 : 7582 SQ.FT. 704.4 M²
BUILDING 4 : 12910 SQ.FT. 1199.3 M²

TOTAL AREA : 48733 SQ.FT. = 4527.2 m²

FSR :

(PRIOR TO ROAD DEDICATION)
ALLOWED : MAX. 1.200
PROVIDED : 48733 / 43164 = 1.13

FSR :

(AFTER ROAD DEDICATION)
ALLOWED : MAX. 1.200
PROVIDED : 36601 / 37773 = 0.968

DENSITY :

PROVIDED : 26 UNIT / 0.99 ACRE :
30.2 UNIT / ACRE
74.2 UNIT / HA.

UNIT MIX :

SIDE BY SIDE CAR UNITS : 15
(INCLUDING 7 UNITS WITH 2-1/2 STOREY)
TANDEM UNITS : 11
TOTAL NO. OF UNITS : 26

SITE COVERAGE :

ALLOWED : MAX 45%
PROPOSED : 43.6%
(1582 SQM.)

PARKING :

2 / UNIT : 52
VISITORS
REQUIRED : 0.2 TOTAL UNITS
0.2 X 26 = 5.2
PROVIDED : 6 (INCLUDING 1 ACCESSIBLE)

VISITOR BIKE RACK : 6

SITE SETBACKS :

REQUIRED & PROVIDED :
NORTH : 3.0 M. (10.0')
WEST : 3.0 M. (10.0')
SOUTH : 3.0 M. (10.0')
EAST : 6.0M.(FOR 1ST & 2ND FLOORS)
8.0M. (FOR 3RD FLOOR)

UNIT MIX						
UNIT TYPE	NO. OF BED RM.	NO. OF UNITS	AREA (INC. GARAGE) (SQ.FT.)	AREA (EXC. GARAGE) (SQ.FT.)	TOTAL AREA (INC. GARAGE) (SQ.FT.)	TOTAL AREA (EXC. GARAGE) (SQ.FT.)
A	4	8	1987	1555	11802	9330
A-s	4	2	2075	1584	4152	3328
B	3	2	1752	1294	3504	2588
B1	3	2	1841	1352	3582	2704
B-s	3	1	1823	1359	1823	1359
C	3	3	1709	1251	5127	3753
C1	3	1	1935	1439	1935	1439
C1a	3	1	1984	1439	1984	1439
D	4	5	1835	1423	9175	7115
D-s1	4	2	1882	1450	3724	2900
E	3	1	1845	1388	1845	1388
TOTAL		28			48733	37323

CODE ANALYSIS

1.0 PROJECT DESCRIPTION

The proposed development is planned for a site bounded by 208 Street on the west, 45A Avenue on the south and 46 Avenue on the north. The project will consist of 4 buildings containing :

- Building 1 : 7 units with two tandem parking garage
- Building 2 : 8 units with two side by side parking garage
- Building 3 : 4 units with two tandem parking garage
- Building 4 : 7 units with two side by side parking garage

2.0 BUILDING CLASSIFICATION

This project may be considered under part 9 of the 2024 BCBC. Since all four buildings are within 600 m² maximum building area and 3 storey height limit allowed under part 9.

The buildings have the characteristics shown in the following table :

CODE CLASSIFICATION SUMMARY

Building	Building area (m ²)	No. of Storeys	Occupancy	Classification
1	388	3	C	Table 9.10.8.1
2	516	3	C	Table 9.10.8.1
3	247	3	C	Table 9.10.8.1
4	438	3	C	Table 9.10.8.1

2.1 Building Classification Details

- 2.1.1. There are no storeys below ground
- 2.1.2. Storeys above ground (see 4.0 "Fire Separation")

- **Combustible construction is allowed** (Table 9.10.8.1)
- **Floor assemblies to have min. 45 minute F.R.R.** (Table 9.10.8.1)
- **Roof assemblies to have min. 60 minute F.R.R.** (Table 9.10.8.1)
- **Floor rating not required** (Table 9.10.8.1)

3.0 FIRE FIGHTING ACCESS

3.1 Unobstructed path of travel requirements

Part 9 is not specific about the fire department access requirements. Part 3 is more specific about fire fighters' path of travel and is used as a guide

4.0 FIRE SEPARATIONS

Party walls : 1 hour : 9,10,9,14(3)

Floor within suites are not required to be fire separations or to have a fire resistance rating. Roofs are required to have 1 hr. fire resistance rating

5.0 SPATIAL SEPARATIONS AND UNPROTECTED OPENING

Spatial separation and amount of unprotected openings have been reviewed by, for each building on sheets A-3.1 and A-3.2 building elevations.

6.0 FIRE ALARM SYSTEM

A fire alarm system is not required for this type of Part 9 residential occupancy where each suite has direct access to an exterior exit door at grade, as per 9.10.18.2.(5)

Article 9.10.1.3.(8) requires sprinklers to be installed according to certain Part 3 requirements.

Sprinkler system shall be designed in conformance with Articles 3.2.5.8 to 3.2.5.11 and 3.2.5.17(which refer only to the sprinkler system and not to fire alarms).Therefore no fire alarm system will be provided.

7.0 SPRINKLER SYSTEM

The project will be sprinklered

8.0 EGRESS

Egress from suites conforms to Sentence 9.9.9.1.(2)

9.0 REQUIREMENTS FOR PERSONS WITH DISABILITIES

The buildings are not required to be accessible.



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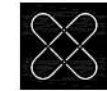
NO.	DATE	REVISION / ISSUED
4	DEC 04-24	ADP REVISIONS
3	SEP 10-24	ISSUED FOR REZONING & DP
2	AUG 16-24	ISSUED FOR REZONING & DP
1	JUL 02-24	ISSUED FOR PRE-APPLICATION

CONTRACT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:
LEONE HOMES INC.
238 - 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
STATISTICS

DATE:	March 2024	SHEET NO.:
SCALE:	NA	A-1.5
DESIGN:	A.A.	
DRAWING:	A.A.	
PROJECT NO.:		



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2	AUG 16-24	ISSUED FOR REVISIONS & DP
1	JUL 02-24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:
LEONE HOMES INC.
238 - 13936 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
BUILDING 2
PERSPECTIVE VIEW
FROM 208 STREET

DATE:	March 2024	SHEET NO.:	A-1.6
SCALE:	NTS.		
DESIGN:	A.A.		
DRAWN:	A.A.		
PROJECT NO.:	-		



**BUILDING 3
NORTH ELEVATION**



**BUILDING 1
WEST ELEVATION**



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1	JUL 02-24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:
LEONE HOMES INC.
238 - 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
BUILDINGS 1 AND 3
COLORED ELEVATIONS

DATE:	March 2024	SHEET NO.:
SCALE:	NTS.	A-1.7
DESIGN:	A.A.	
DRAWN:	A.A.	
PROJECT NO.:	-	



**BUILDING 3
WEST ELEVATION**



**BUILDING 4
WEST ELEVATION**



**F. ADAB
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1	JUL 02-24	ISSUED FOR PRE-APPLICATION
NO.	DATE	REVISION /ISSUED

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:
LEONE HOMES INC.
238 - 13936 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
**BUILDINGS 3 AND 4
COLORED ELEVATIONS**

DATE:	March 2024	SHEET NO.:
SCALE:	NTS	A-1.8
DESIGN:	A.A.	
DRAWN:	A.A.	
PROJECT NO.:	-	

Design Rationale

20815, 45A Avenue, Langley, BC.

Introduction

This Design Rationale is to be read as part of a rezoning and development application for a 26-unit townhome development at 20815, 45A Avenue & 4560, 4570, 4580 - 208 Street, Langley.

The project consists of 19 four-bedroom and 7 three-bedroom units. The four bedroom units have side-by-side garages and three bedroom units have tandem parking.

The areas of each unit are specified in the unit mix schedule and are all family oriented accommodations.

Site Characteristics, History, and Context

This development proposal would occupy four single family lots facing 208 Street to the west, 45A Avenue to the south, and 46 Avenue to the north.

There is a 5.0-meter dedication along 208 Street. There is also a 4.0m x 4.0m corner cut on the north-west and a 5.0m x 5.0m corner cut on the south-west.

The proposed development seeks rezoning from RS1 to CD (Townhouse) and consists of four building blocks.

The buildings follow the existing grade elevations and responds to natural topography of the site.

Zoning, Orientation

The building orientation responds to the size and shape of the site. 19 units are facing 208 Street and have pedestrian access off this street. One unit has a presence on 208 Street and 45A Avenue. Similarly, the end unit to the north has a presence on 46 Avenue as well as on 208 Street.

Low aluminum fences and gates are introduced along the street providing a safe and pleasant pedestrian route to the entries of the units.

Vehicular access is provided through an eight-meter internal road running from 45A Avenue to 46 Avenue.

Massing, Form, and Character

The building design is influenced by Georgian style architecture and along with the finishing materials stands out differently from the other townhouse developments in the City of Langley.

Architectural articulations and decorative character introduce a harmonized linear form with a simple combination of Georgian style and West Coast character.

Entries are identifiable with individual gables and brackets.

The height and massing are reduced on Building 4 facing east neighbouring properties. By cutting the building back and introducing a mid roof the building gives an impression of a 2-1/2 storey on the east side.

Articulations and variations in window sizes enrich the style and character of the design and help defining the Georgian style.



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4	DEC 04-24	ADP REVISIONS
3	SEP 10-24	REISSUED FOR REZONING & DP
2	AUG 16-24	ISSUED FOR REZONING & DP
1	JUL 02-24	ISSUED FOR PRE-APPLICATION
NO.	DATE	REVISION / ISSUED

PROJECT TITLE:
**TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.**

FOR:
**LEONE HOMES INC.,
230 - 15586 CAMBIE ROAD,
RICHMOND, B.C., V6V 2K3**

DRAWING TITLE:
**DESIGN RATIONALE
SITE, ZONING, ORIENTATION,
MASSING, FORM AND CHARACTER**

DATE:	Month 2024	SHEET NO.:
SCALE:	N/A	
DESIGN:	A.A.	A-1.9
DRAWING:	A.A.	
PROJECT NO.:	-	

Exterior Finishes and Colour

The selection of the exterior finishes has been based on the enhanced durability/longevity of the construction materials as part of a sustainable approach.

A variety of building materials are used with emphasis on richer urban elements. Brick is the main finish on base of the buildings. Board & batten is introduced on the projected bays with two contrast colors. Black panels combined with black vinyl windows in order to emphasize on vertical elements on bays. 4" lap siding is also provided with warm beige color between the bays. Natural maple wood is used under the entry gables and brackets.

No vinyl material is introduced on any facades of the buildings.

The colours are selected with emphasis on black brick, black and white board & batten, black panels and windows and the natural maple wood colour in selected areas.



BUILDING 1 WEST ELEVATION

EXTERIOR FINISH COLOUR SCHEME



**1 ASPHALT SHINGLE ROOF :
MOUNTAIN SLATE -
BY IKO ROYAL ESTATE**



**2 BRICK
ONYX IRONSPOT - BY I.X.L.**



**3 HARDIE SIDING
WEATHERED CLIFF-
BY JAMES HARDIE MAGNOLIA
COLLECTION**



**4 HARDIE PANELS, FASCIAS
& TRIMS
SW 6258 TRICORN BLACK -
BY SHERWIN WILLIAMS (251)**



**5 6" TRIMS, BAND BOARDS &
BRACKETS -
NATURAL MAPLE WOOD**



**6 HARDIE BOARD & BATTEN :
SW 7005 PURE WHITE-
BY SHERWIN WILLIAMS**



**7 HARDIE BOARD & BATTEN :
SW 7069 IRON ORE-
BY SHERWIN WILLIAMS**



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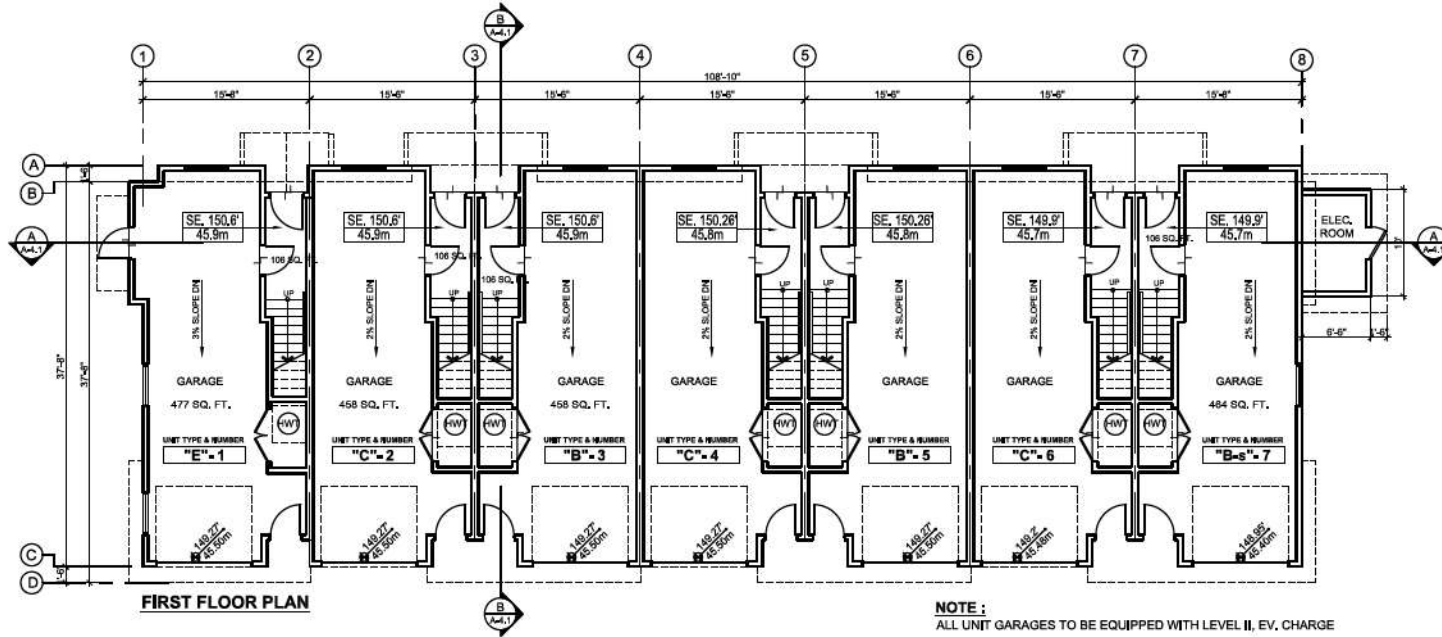
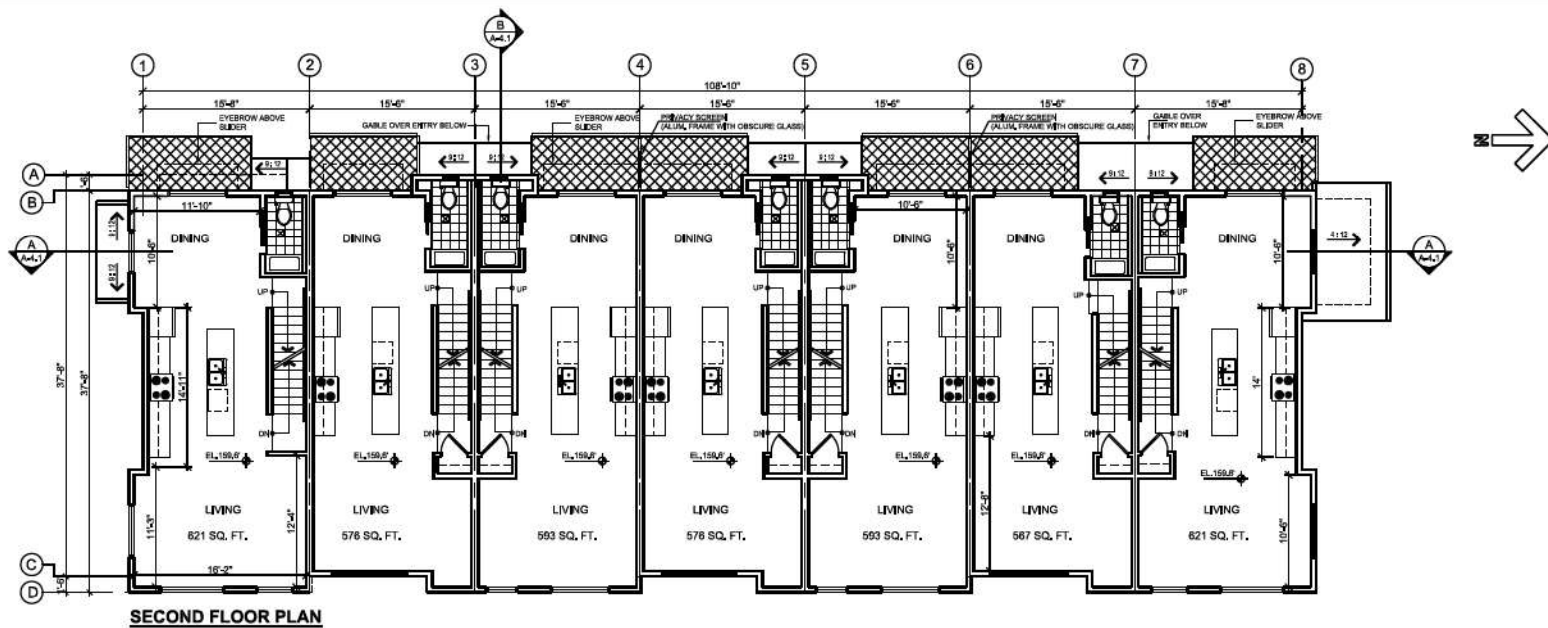
NO.	DATE	REVISION / ISSUED
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3	SEP 10-24	REISSUED FOR REZONING & DP
2	JUNE 19-21	ISSUED FOR REZONING & DP
1	JUL 02-24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:
**TOWNHOUSE DEVELOPMENT
20815-45A AVENUE,
LANGLEY, BC.**

FOR:
**LEONE HOMES INC.
238 - 13888 CUMBER ROAD,
RICHMOND, B.C. V6V 2K3**

DRAWING TITLE:
EXTERIOR FINISHES

DATE:	March 2024	SHEET NO:
SCALE:	N/A	A-1.12
DESIGN:	A.A.	
DRAWN:	A.A.	
PROJECT NO:	-	



NOTE :
ALL UNIT GARAGES TO BE EQUIPPED WITH LEVEL II, EV. CHARGE



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3	SEP 10-24	REISSUED FOR REVISION & DP
2	AUG 16-24	ISSUED FOR REVISION & DP
1	JUL 22-24	ISSUED FOR PRE-APPLICATION

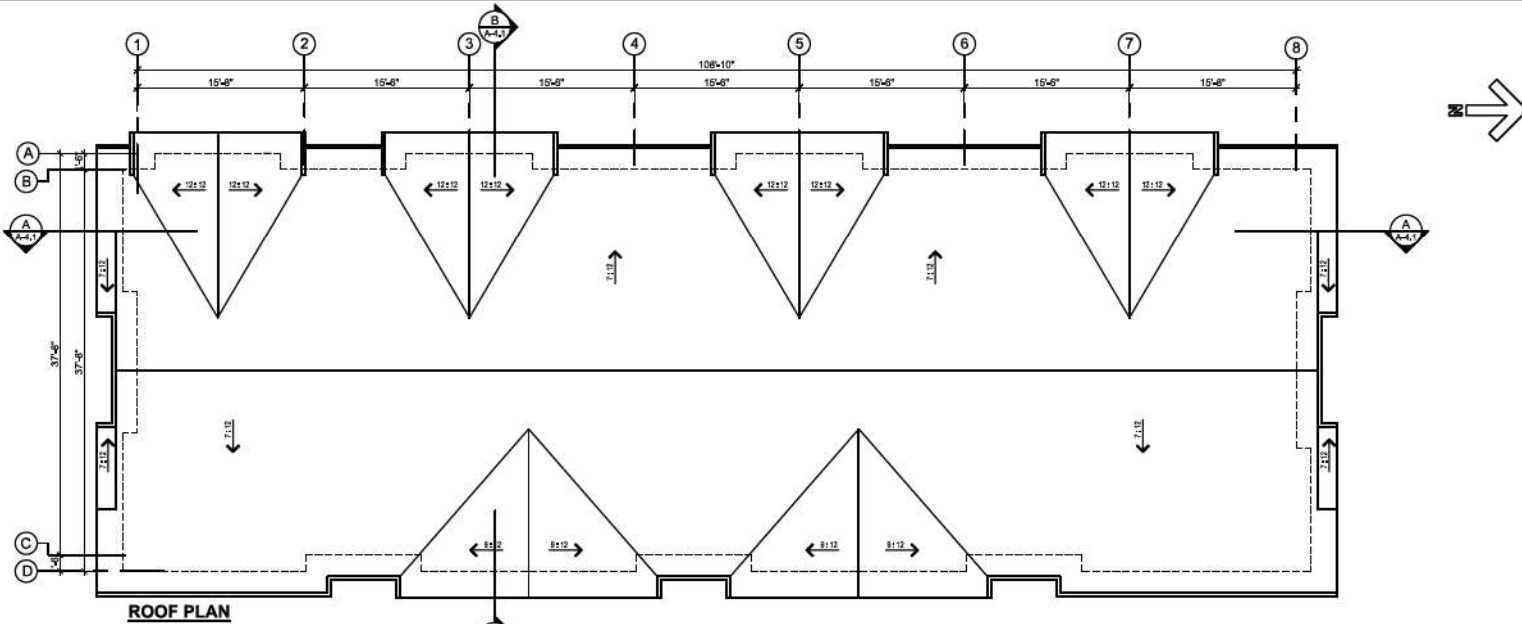
PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815-45A AVENUE,
LANGLEY, BC.

FOR:
LEONE HOMES INC.
238 - 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

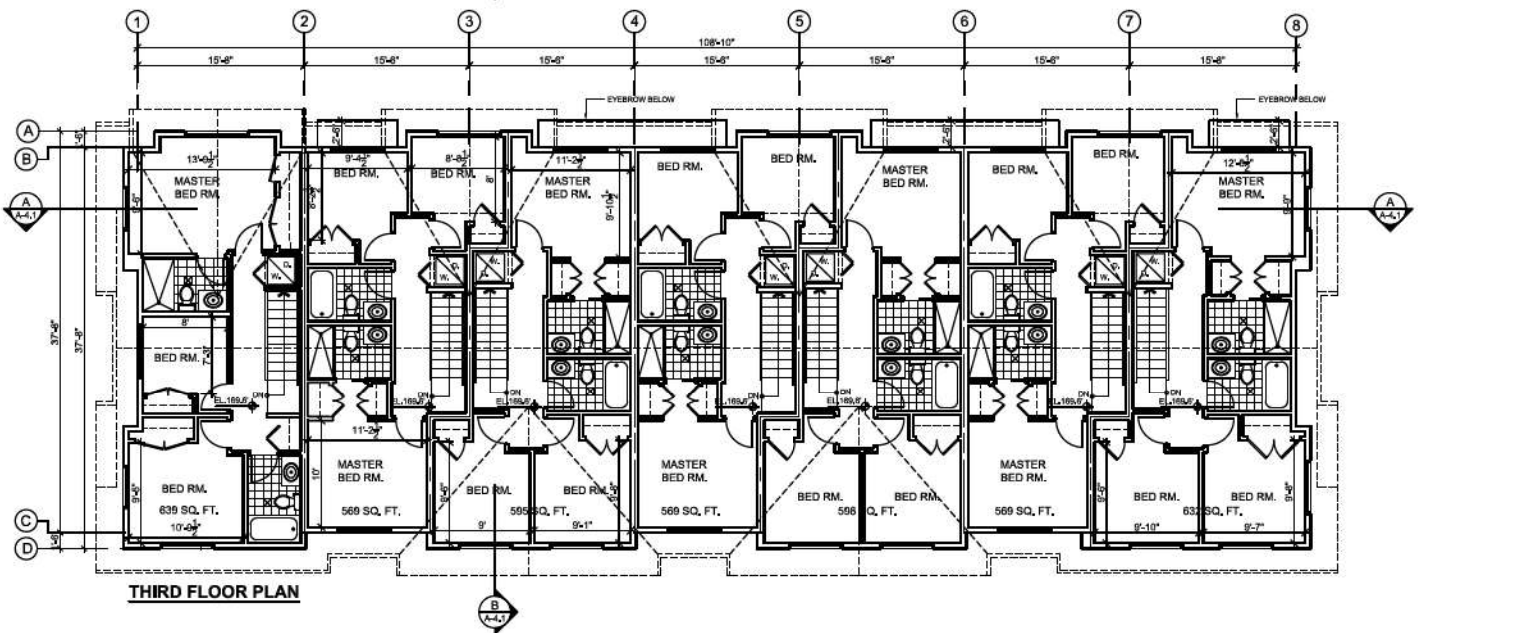
DRAWING TITLE:
BUILDING 1
FIRST AND SECOND
FLOOR PLANS

DATE:	March 2024	SHEET NO:
SCALE:	N.T.S.	
DESIGN:	A.A.	
DRAWN:	A.A.	
PROJECT NO:	-	

A-2.1a



ROOF PLAN



THIRD FLOOR PLAN



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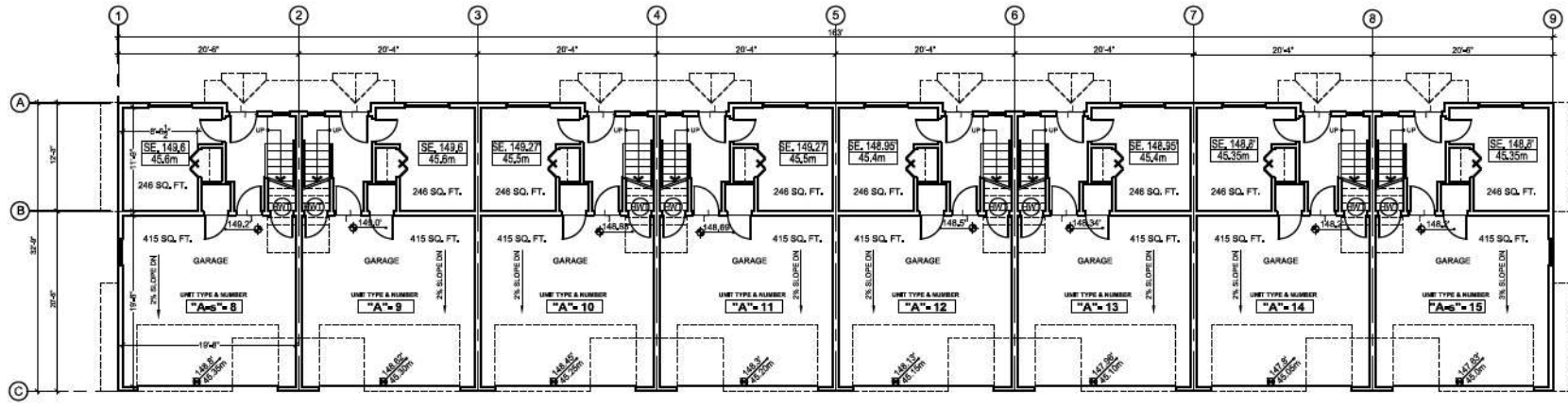
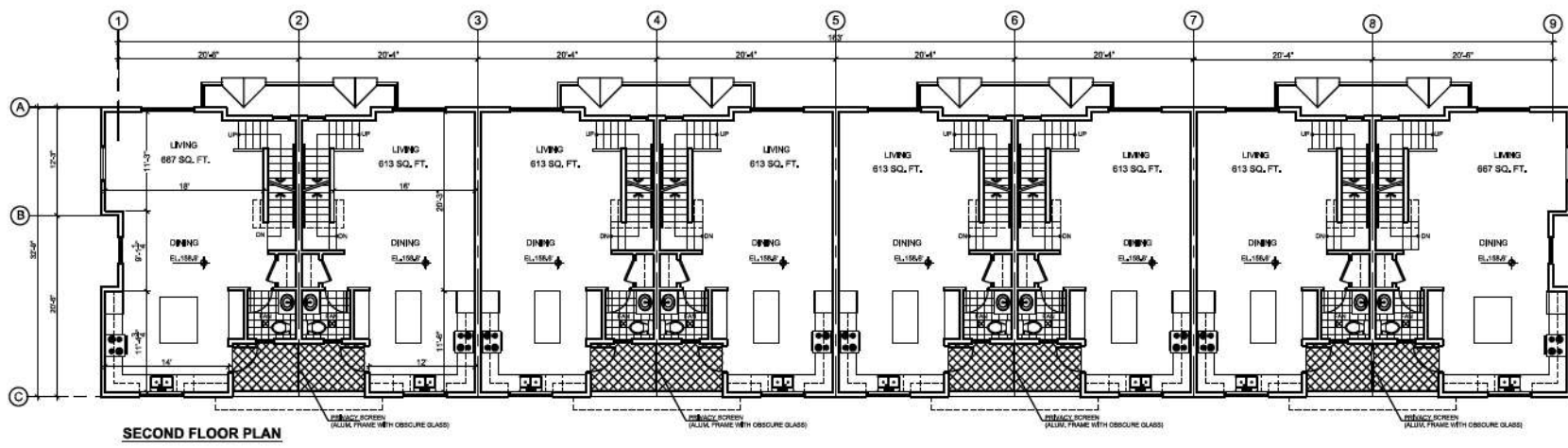
NO.	DATE	REVISION / ISSUED
4	DEC 04-24	AOP REVISIONS
3	SEP 10-24	ISSUED FOR PERCEN & DP
2	AUG 16-24	ISSUED FOR REZONING & DP
1	JUL 02-24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815-45A AVENUE,
LANGLEY, B.C.

FOR:
LEONE HOMES INC.
238 - 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
**BUILDING 1
THIRD FLOOR &
ROOF PLAN**

DATE: March 2024	SHEET NO.:
SCALE: NTS.	A-2.1b
DESIGN: AA	
DRAWN: AA	
PROJECT NO.:	



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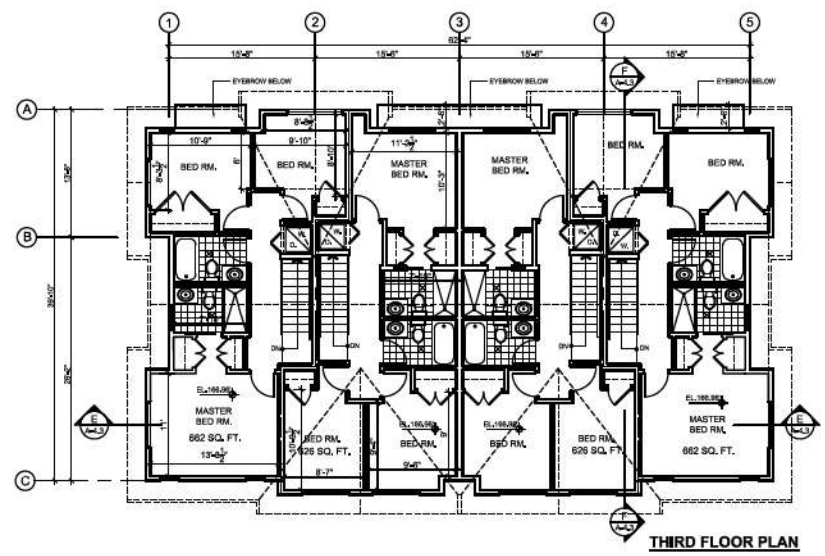
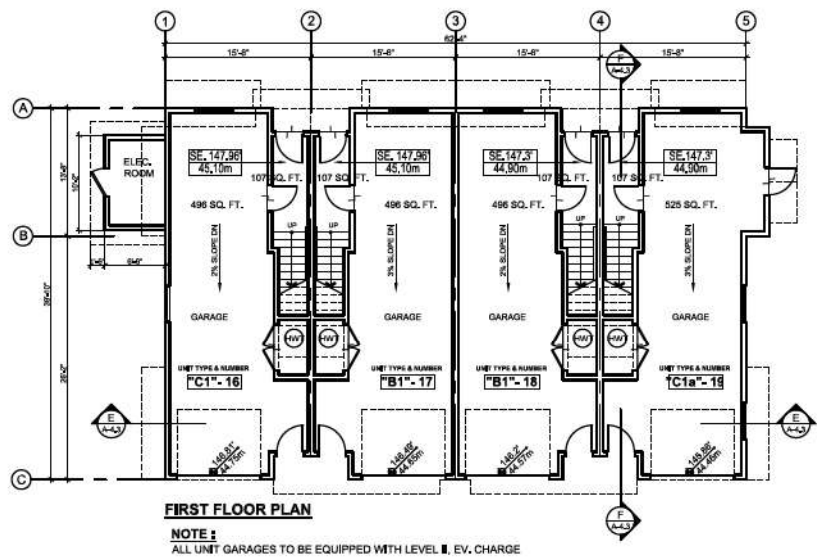
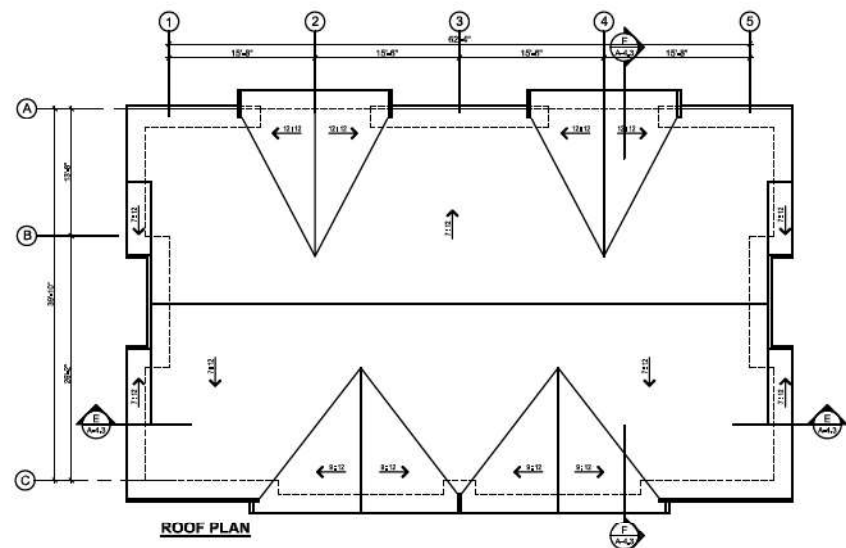
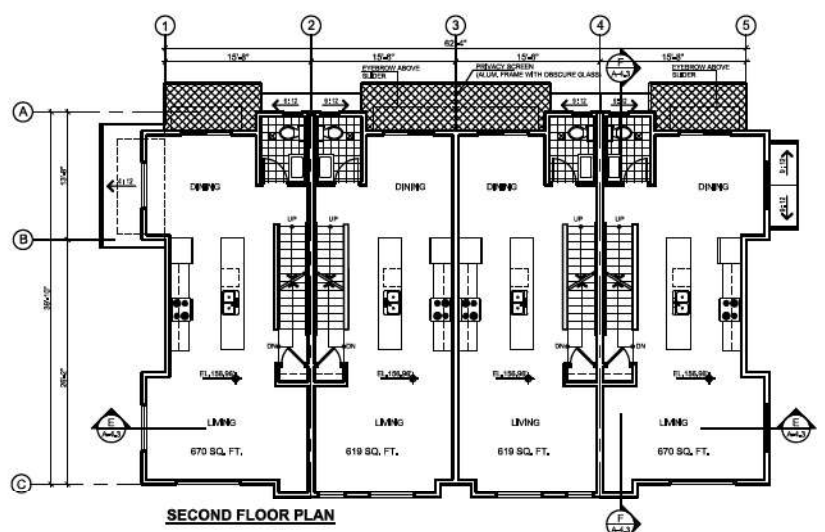
NO.	DATE	REVISION / ISSUED
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3	SEP 10-24	ISSUED FOR REZONING & DP
2	AUG 16-24	ISSUED FOR REZONING & DP
1	AUG 02-24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:
LEONE HOMES INC.,
238 - 13096 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
**BUILDING 2
FIRST & SECOND
FLOOR PLANS**

DATE: Sep 2021	SHEET NO:
SCALE: NTS.	
DESIGN: A.A.	A-2.2a
DRAWING: A.A.	
PROJECT NO: -	



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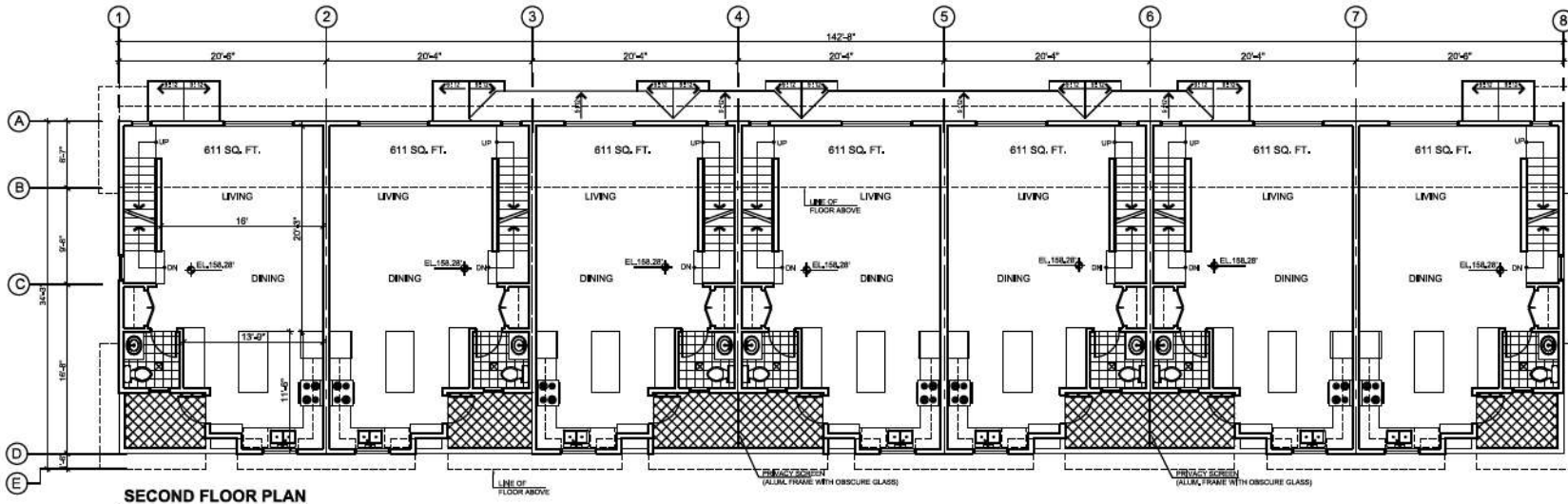
NO.	DATE	REVISION / ISSUED
4	DEC 04-24	ADP REVISIONS
3	SEP 10-24	ISSUED FOR RECORDING & DP
2	AUG 16-24	ISSUED FOR RECORDING & DP
1	JUL 02-24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC,

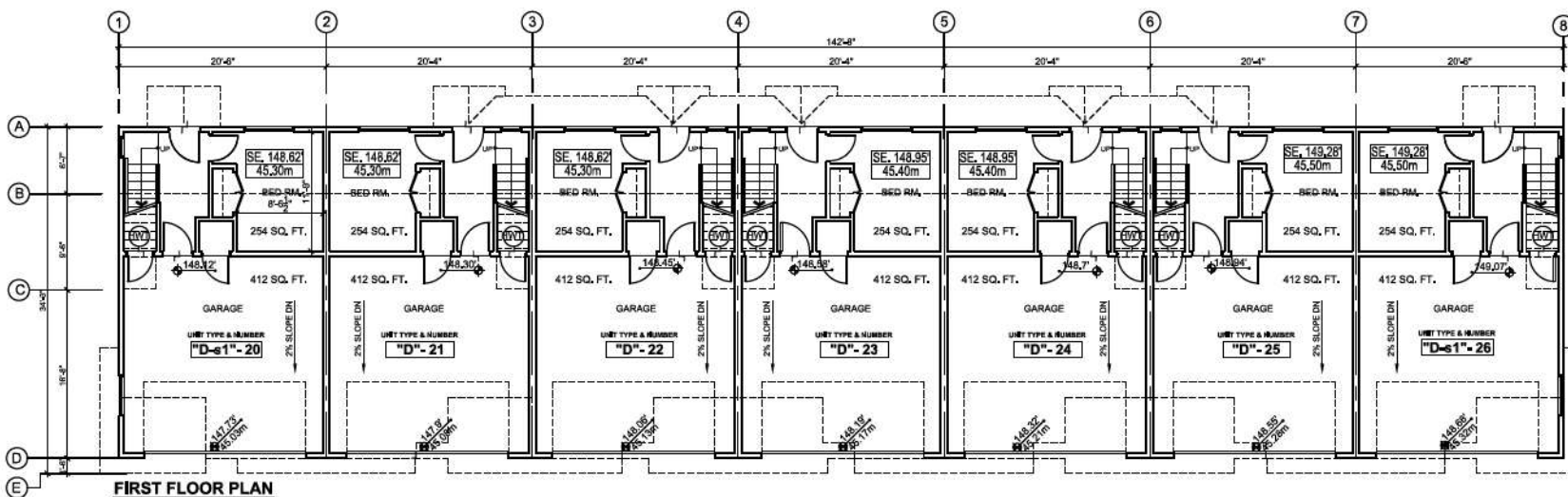
FOR:
LEONE HOMES INC.
238 - 13986 CAMBIE ROAD,
RICHMOND, B.C. V8V 2K3

DRAWING TITLE:
BUILDING 3 FLOOR PLANS

DATE: Sep 2021	SHEET NO:
SCALE: NTS	A-2.3
DESIGN: AA	
DRAWN: AA	
PROJECT NO:	



SECOND FLOOR PLAN



FIRST FLOOR PLAN

NOTE:
ALL UNIT GARAGES TO BE EQUIPPED WITH LEVEL II, EV. CHARGE



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#207H VANCOUVER, BC V7P 3K6
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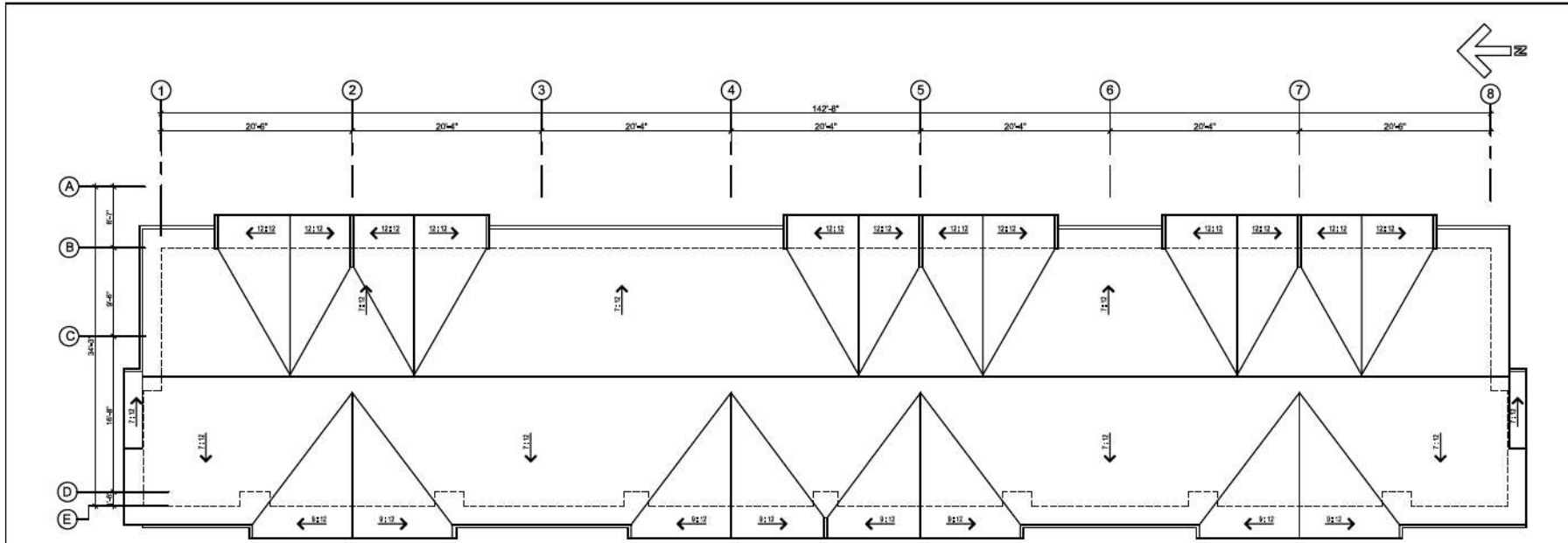
NO.	DATE	REVISION / ISSUED
4	SEP 04-24	ADP REVISIONS
3	SEP 10-24	REISSUED FOR REVISIONS & DP
2	AUG 16-24	ISSUED FOR REVISIONS & DP
1	AUG 02-24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.

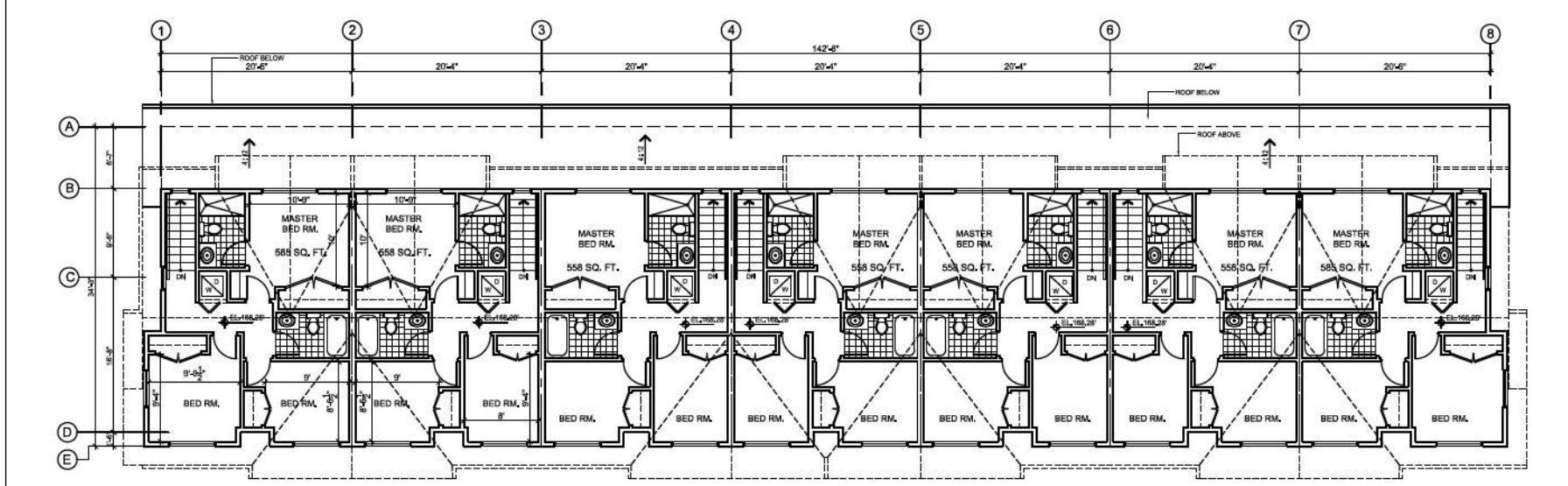
FOR:
LEONE HOMES INC.,
238 - 13096 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
BUILDING 4
FIRST & SECOND
FLOOR PLANS

DATE: Sep 2021	SHEET NO:
SCALE: NTS	A-2.4a
DESIGN: AA	
DRAWING: AA	
PROJECT NO: -	



ROOF PLAN



THIRD FLOOR PLAN



**F. ADAB
ARCHITECTS
INC.**

#130-1000 ROOSEVELT CRESCENT
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3	SEP 10-24	ISSUED FOR REVISIONS & DP
2	AUG 16-24	ISSUED FOR REVISIONS & DP
1	AUG 02-24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.

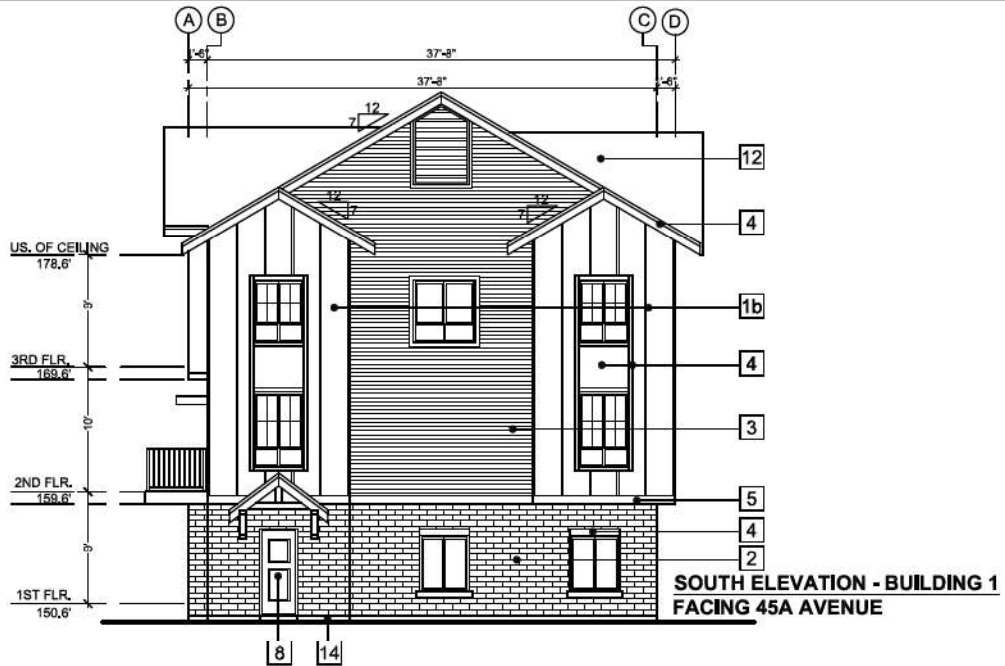
FOR:
LEONE HOMES INC.,
238 - 13096 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
BUILDING 4
THIRD FLOOR &
ROOF PLAN

DATE: MARCH 2024	SHEET NO:
SCALE: NTS	A-2.4b
DESIGN: A.A.	
DRAWING: A.A.	
PROJECT NO: -	

EXTERIOR FINISHES

1a	HARDBOARD & BATTEN : SW 7035 PURE WHITE- BY SHERWIN WILLIAMS (255)	8	ENTRY DOORS & MAIN DOORS AT GARAGE PAINTED WOOD 1 SW 8258 TRICORN BLACK - BY SHERWIN WILLIAMS (251)
1b	HARDBOARD & BATTEN : SW 7035 IRON ORE- BY SHERWIN WILLIAMS (251)	9	GARAGE DOORS - SW 8258 TRICORN BLACK - BY SHERWIN WILLIAMS (251) - GLASS
2	BRICK ONYX IRONSPOT(SMOOTH) - BY LXL, (BLACK MORTAR)	10	PRIVACY SCREEN - BLACK ALUMINUM FRAME - OBSCURE GLASS (SANDBLASTED)
3	HARDBOARD SIDING WEATHERED CLIFF- BY JAMES HARDIE MAGNOLIA HOME	11	SOFFITS VINYL - BLACK
4	HARDBOARD PANELS, TRIMS, FASCIAS & WINDOW SILLS SW 8258 TRICORN BLACK - BY SHERWIN WILLIAMS (251)	12	ASPHALT SHINGLE ROOF : MOUNTAIN SLATE - BY IRO ROYAL ESTATE (FASCIA TO MATCH ROOF COLOR)
5	6" TRIMS, BAND BOARDS & BRACKETS - NATURAL STAINED MAPLE WOOD	13	EYEBROWS & TRIMS AT SIDING SW 7035 ACCESSIBLE BEIGE - BY SHERWIN WILLIAMS (249)
6	RAILING ALUMINUM - BLACK	14	EXPOSED CONCRETE BASE
7	WINDOWS - VENT GRILLS VINYL - BLACK		



**F. ADAB
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4	DEC 04-24	ADP REVISIONS
3	SEP 10-24	REISSUED FOR REZONING & DP
2	AUG 14-24	ISSUED FOR REZONING & DP
1	JUL 22-24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:
LEONE HOMES INC.
238 - 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
BUILDING 1
WEST AND SOUTH
ELEVATIONS

DATE: March 2024	SHEET NO:
SCALE: NTS.	
DESIGN: A.A.	A-3.1a
DRAWN: A.A.	
PROJECT NO: -	



**F. ADAB
ARCHITECTS
INC.**

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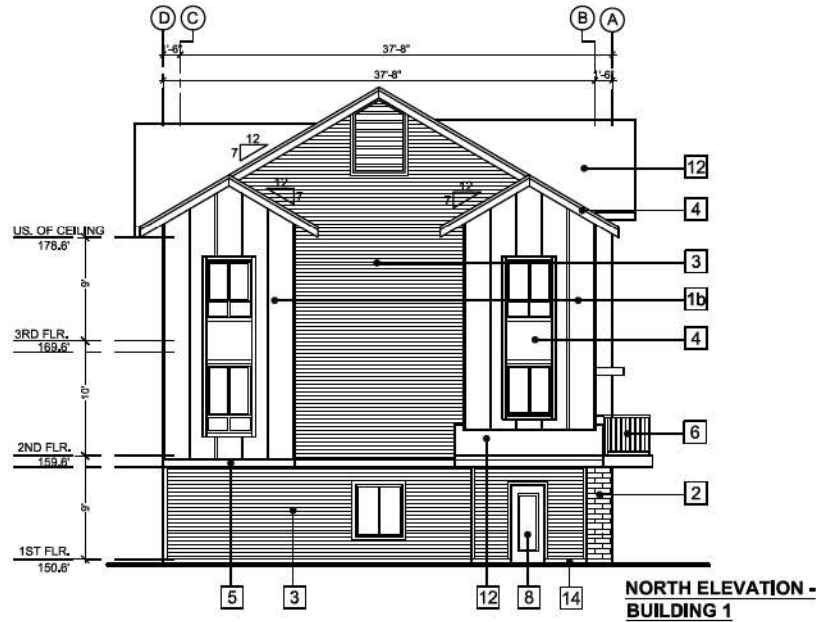
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EXTERIOR FINISHES

1a	HARDBOARD & BATTEN: SW 7005 PURE WHITE - BY SHERWIN WILLIAMS (255)	8	ENTRY DOORS & MAN DOORS AT GARAGE PAINTED WOOD: SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251)
1b	HARDBOARD & BATTEN: SW 7005 PURE WHITE - BY SHERWIN WILLIAMS (251)	9	GARAGE DOORS - SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251) - GLASS
2	BRICK ONIX BRONSPOT(SMOOTH) - BY LXL (BLACK MORTAR)	10	PRIVACY SCREEN - BLACK ALUMINUM FRAME - OBSCURE GLASS (SANDBLASTED)
3	HARDBOARD SIDING WEATHERED CLIFF - BY JAMES HARDIE MAGNOLIA HOME	11	SOFFITS VINYL - BLACK
4	HARDBOARD PANELS, TRIMS, FASCIAS & WINDOW SILLS SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251)	12	ASPHALT SHINGLE ROOF: MOUNTAIN SLATE - BY IKO ROYAL ESTATE (FASCIA TO MATCH ROOF COLOR)
5	6" TRIMS, BAND BOARDS & BRACKETS - NATURAL STAINED MAPLE WOOD	13	EYEBROWS & TRIMS AT SIDING SW 7039 ACCESSIBLE BEIGE - BY SHERWIN WILLIAMS (249)
6	RAILING ALUMINUM - BLACK	14	EXPOSED CONCRETE BASE
7	WINDOWS - VENT GRILLS VINYL - BLACK		



NO.	DATE	REVISION / ISSUED
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2	AUG 16-24	ISSUED FOR PERIODIC & DP
1	JUL 02-24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815-45A AVENUE,
LANGLEY, BC.

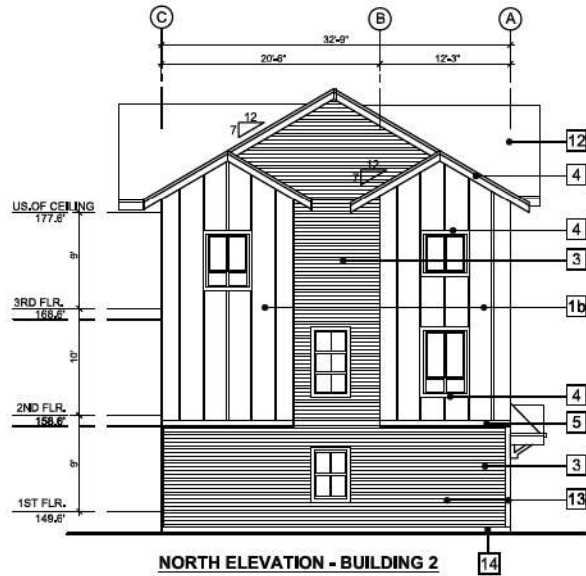
FOR:
LEONE HOMES INC.
238 - 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
**BUILDING 1
NORTH AND EAST
ELEVATIONS**

DATE: March 2024	SHEET NO.:
SCALE: NTS	A-3.1b
DESIGN: AA	
DRAWN: AA	
PROJECT NO.:	

EXTERIOR FINISHES

1a	HARDIE BOARD & BATTEN : SW 7005 PURE WHITE- BY SHERWIN WILLIAMS (255)	8	ENTRY DOORS & MAIN DOORS AT GARAGE PAINTED WOOD : SW 6256 TRICORN BLACK - BY SHERWIN WILLIAMS (251)
1b	HARDIE BOARD & BATTEN : SW 7099 IRON ORE- BY SHERWIN WILLIAMS (251)	9	GARAGE DOORS - SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251) - GLASS
2	BRICK ONYX IRONSPOT(SMOOTH)- BY LXL, (BLACK MORTAR)	10	PRIVACY SCREEN - BLACK ALUMINUM FRAME - OBSCURE GLASS (SANDBLASTED)
3	HARDIE SIDING WEATHERED CLIFF- BY JAMES HARDIE MAGNOLIA HOME	11	SOFFITS VINYL - BLACK
4	HARDIE PANELS, TRIMS, FASCIAS & WINDOW SILLS SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251)	12	ASPHALT SHINGLE ROOF : MOUNTAIN SLATE - BY KO ROYAL ESTATE (FASCIA TO MATCH ROOF COLOR)
5	6" TRIMS, BAND BOARDS & BRACKETS - NATURAL STAINED MAPLE WOOD	13	EYEBROWS & TRIMS AT SIDING SW 7036 ACCESSIBLE BEIGE - BY SHERWIN WILLIAMS (249)
6	RAILING ALUMINUM - BLACK	14	EXPOSED CONCRETE BASE
7	WINDOWS - VENT GRILLS VINYL - BLACK		



**F. ADAB
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3	SEP 10-24	ISSUED FOR REVISIONS & DP
2	AUG 16-24	ISSUED FOR REVISIONS & DP
1	AUG 02-24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:
LEONE HOMES INC.,
238 - 13096 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

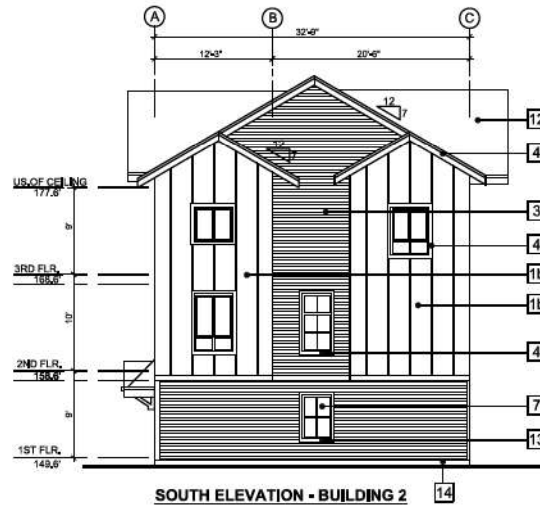
DRAWING TITLE:
BUILDING 2
NORTH & WEST
ELEVATIONS

DATE:	SEP 2021	SHEET NO.:	
SCALE:	NTS		
DESIGN:	AA		
DRAWING:	AA		
PROJECT NO.:	-		

A-3.2a

EXTERIOR FINISHES

1a	HARDIE BOARD & BATTEN : SW 7025 PURE WHITE - BY SHERWIN WILLIAMS (255)	8	ENTRY DOORS & MAIN DOORS AT GARAGE PAINTED WOOD: SW 5258 TRICORN BLACK - BY SHERWIN WILLIAMS (251)
1b	HARDIE BOARD & BATTEN : SW 7059 IRON ORES - BY SHERWIN WILLIAMS (251)	9	GARAGE DOORS - SW 5258 TRICORN BLACK - BY SHERWIN WILLIAMS (251) - GLASS
2	BRICK ONYX IRONSPOT (SMOOTH) - BY LXL (BLACK MORTAR)	10	PRIVACY SCREEN - BLACK ALUMINUM FRAME - OBSCURE GLASS (SANDBLASTED)
3	HARDIE SIDING WEATHERED CLIFF - BY JAMES HARDIE MAGNOLIA HOME	11	SOFFITS VINYL - BLACK
4	HARDIE PANELS, TRIMS, FASCIAS & WINDOW SILLS SW 5258 TRICORN BLACK - BY SHERWIN WILLIAMS (251)	12	ASPHALT SHINGLE ROOF : MOUNTAIN SLATE - BY KO ROYAL ESTATE (FASCIA TO MATCH ROOF COLOR)
5	6" TRIMS, BAND BOARDS & BRACKETS - NATURAL STAINED MAPLE WOOD	13	EYEBROWS & TRIMS AT SIDING SW 7036 ACCESSIBLE BEIGE - BY SHERWIN WILLIAMS (249)
6	RAILING ALUMINUM - BLACK	14	EXPOSED CONCRETE BASE
7	WINDOWS - VENT GRILLS VINYL - BLACK		



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NO.	DATE	REVISION / ISSUED
4	DEC 04 24	ADP REVISIONS
3	SEP 10 24	ISSUED FOR REZONING & DP
2	AUG 16 24	ISSUED FOR REZONING & DP
1	AUG 02 24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:
LEONE HOMES INC.,
238 - 13096 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
BUILDING 2
EAST AND SOUTH
ELEVATIONS

DATE: Month 2024	SHEET NO:
SCALE: NTS	A-3.2b
DESIGN: AA	
DRAWING: AA	
PROJECT NO: -	



F. ADAB ARCHITECTS INC.

#130-000 ROOSEVELT CRESCENT
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NO.	DATE	REVISION / ISSUED
4	DEC 04-24	ADP REVISION#1
3	SEP 10-24	REISSUED FOR RECD#10 & DP
2	AUG 18-24	ISSUED FOR RECD#10 & DP
1	JUL 22-24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
 20815 - 45A AVENUE,
 LANGLEY, BC.

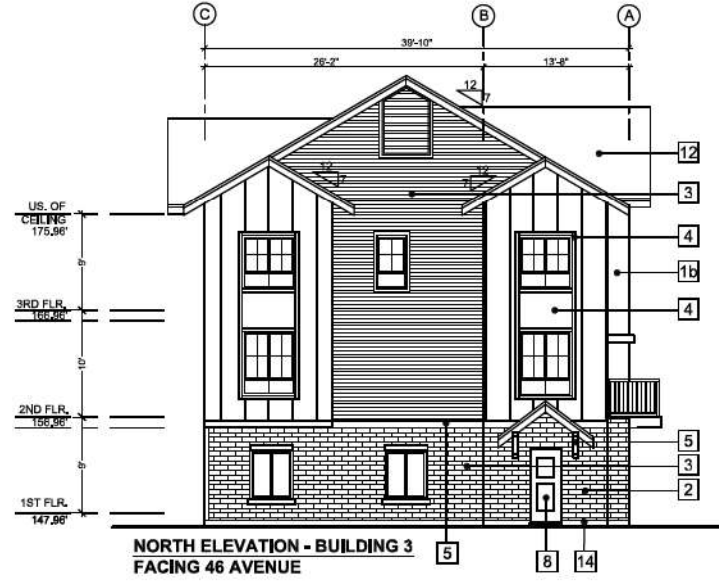
FOR:
LEONE HOMES INC.
 238 - 13986 CAMEBIE ROAD,
 RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
**BUILDING 3
 NORTH & WEST
 ELEVATIONS**

DATE:	March 2024	SHEET NO:
SCALE:	N.T.S.	A-3.3a
DESIGN:	A.A.	
DRAWN:	A.A.	
PROJECT NO.:	-	

EXTERIOR FINISHES

- | | |
|---|--|
| <p>1a HARDE BOARD & BATTEN :
SW 7005 PURE WHITE
BY SHERWIN WILLIAMS (255)</p> <p>1b HARDE BOARD & BATTEN :
SW 7059 IRON GREY
BY SHERWIN WILLIAMS (251)</p> <p>2 BRICK
ONYX IRONSPOT(SMOOTH) - BY LXL
(BLACK MORTAR)</p> <p>3 HARDE SIDING
WEATHERED CLIFF -
BY JAMES HARDE MAGNOLIA HOME</p> <p>4 HARDE PANELS, TRIMS, FASCIAS & WINDOW SILLS
SW 6258 TRICORN BLACK -
BY SHERWIN WILLIAMS (251)</p> <p>5 6" TRIMS, BAND BOARDS & BRACKETS -
NATURAL STAINED MAPLE WOOD</p> <p>6 RAILING
ALUMINUM - BLACK</p> <p>7 WINDOWS - VENT GRILLS
VINYL - BLACK</p> | <p>8 ENTRY DOORS & MAIN DOORS AT GARAGE
PAINTED WOOD :
SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251)</p> <p>9 GARAGE DOORS
- SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251)
- GLASS</p> <p>10 PRIVACY SCREEN
- BLACK ALUMINUM FRAME
- OBSCURE GLASS (SANDBLASTED)</p> <p>11 SOFFITS
VINYL - BLACK</p> <p>12 ASPHALT SHINGLE ROOF :
MOUNTAIN SLATE - BY BCO ROYAL ESTATE
(FASCIAS TO MATCH ROOF COLOR)</p> <p>13 EYEBROWS & TRIMS AT SIDING
SW 7036 ACCESSIBLE BEIGE -
BY SHERWIN WILLIAMS (249)</p> <p>14 EXPOSED CONCRETE BASE</p> |
|---|--|





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1	JUL 22-24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:
LEONE HOMES INC.
238 - 13886 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

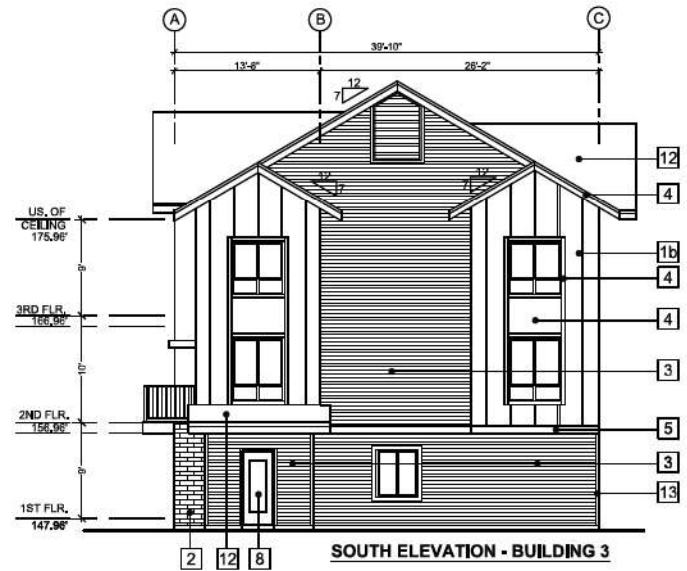
DRAWING TITLE:
**BUILDING 3
SOUTH & EAST
ELEVATIONS**

DATE:	March 2024	SHEET NO:	
SCALE:	N.T.S.		
DESIGN:	A.A.		
DRAWN:	A.A.		
PROJECT NO.:	-		

A-3.3b

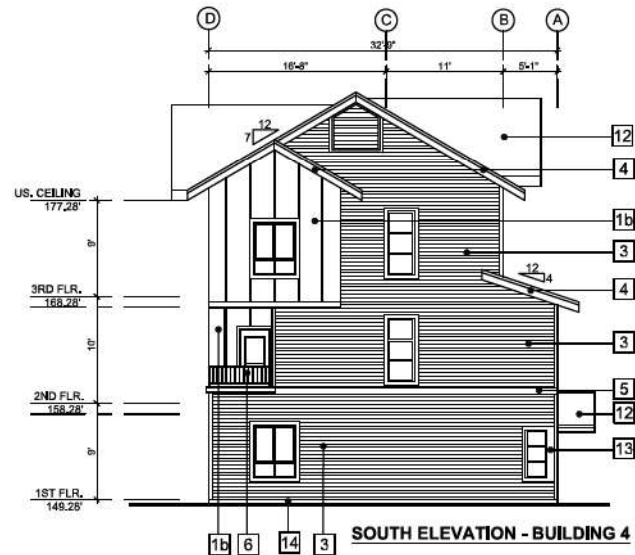
EXTERIOR FINISHES

1a	HARDIE BOARD & BATTEN SW 7005 PURE WHITE - BY SHERWIN WILLIAMS (255)	8	ENTRY DOORS & MAN DOORS AT GARAGE PAINTED WOOD SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251)
1b	HARDIE BOARD & BATTEN SW 7066 IRON ORE - BY SHERWIN WILLIAMS (251)	9	GARAGE DOORS - SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251) - GLASS
2	BRICK ONYX IRONSPOT (SMOOTH) - BY LXL (BLACK MORTAR)	10	PRIVACY SCREEN - BLACK ALUMINUM FRAME - OBSCURE GLASS (SANDBLASTED)
3	HARDIE SIDING WEATHERED CLIFF - BY JAMES HARDIE MAGNOLIA HOME	11	SOFFITS VINYL - BLACK
4	HARDIE PANELS, TRIMS, FASCIAS & WINDOW SILLS SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251)	12	ASPHALT SHINGLE ROOF MOUNTAIN SLATE - BY IKO ROYAL ESTATE (FASCIA TO MATCH ROOF COLOR)
5	6" TRIMS, BAND BOARDS & BRACKETS NATURAL STAINED MAPLE WOOD	13	EYEBROWS & TRIMS AT SIDING SW 7036 ACCESSIBLE BEIGE - BY SHERWIN WILLIAMS (249)
6	RAILING ALUMINUM - BLACK	14	EXPOSED CONCRETE BASE
7	WINDOWS - VENT GRILLS VINYL - BLACK		



EXTERIOR FINISHES

1a	HARDBOARD & BATTEN : SW 7069 PURE WHITE - BY SHERWIN WILLIAMS (255)	8	ENTRY DOORS & MAN DOORS AT GARAGE PAINTED WOOD : SW 6256 TRICORN BLACK - BY SHERWIN WILLIAMS (251)
1b	HARDBOARD & BATTEN : SW 7069 IRON ORE - BY SHERWIN WILLIAMS (251)	9	GARAGE DOORS - SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251) - GLASS
2	BRICK ONYX IRONSPOT (SMOOTH) - BY D.J. (BLACK MORTAR)	10	PRIVACY SCREEN - BLACK ALUMINUM FRAME - OBSCURE GLASS (SANDBLASTED)
3	HARDBOARD SIDING WEATHERED CLIFF - BY JAMES HARDE MAGNOLIA HOME	11	SOFFITS VINYL - BLACK
4	HARDBOARD PANELS, TRIMS, FASCIAS & WINDOW SILLS SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251)	12	ASPHALT SHINGLE ROOF : MOUNTAIN SLATE - BY KO ROYAL ESTATE (FASCIA TO MATCH ROOF COLOR)
5	6" TRIMS, BAND BOARDS & BRACKETS - NATURAL STAINED MAPLE WOOD	13	EYEBROWS & TRIMS AT SIDING SW 7036 ACCESSIBLE BEIGE - BY SHERWIN WILLIAMS (249)
6	RAILING ALUMINUM - BLACK	14	EXPOSED CONCRETE BASE
7	WINDOWS - VENT GRILLS VINYL - BLACK		



**F. ADAB
ARCHITECTS
INC.**

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E-MAIL: info@fadam.com

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1	JUL 02 - 24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.

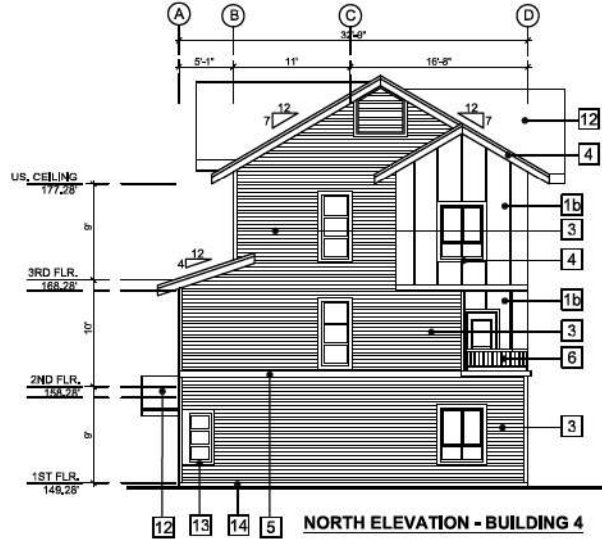
FOR:
LEONE HOMES INC.,
238 - 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
**BUILDING 4
EAST & SOUTH
ELEVATIONS**

DATE: Sep 2021	SHEET NO:
SCALE: NTS	
DESIGN: AA	A-3.4a
DRAWING: AA	
PROJECT NO: -	

EXTERIOR FINISHES

1a	HARDE BOARD & BATTEN : SW 7005 PURE WHITE - BY SHERWIN WILLIAMS (255)	8	ENTRY DOORS & MAN DOORS AT GARAGE PAINTED WOOD : SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251)
1b	HARDE BOARD & BATTEN : SW 7069 IRON ORE - BY SHERWIN WILLIAMS (251)	9	GARAGE DOORS - SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251) - GLASS
2	BRICK ONYX IRONSPOT(SMOOTH) - BY I.X.L. (BLACK MORTAR)	10	PRIVACY SCREEN - BLACK ALUMINUM FRAME - OBSCURE GLASS (SANDBLASTED)
3	HARDE SIDING WEATHERED CLIFF - BY JAMES HARDE MAGNOLIA HOME	11	SOFFITS VINYL - BLACK
4	HARDE PANELS, TRIMS, FASCIAS & WINDOW SILLS SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251)	12	ASPHALT SHINGLE ROOF : MOUNTAIN SLATE - BY IKO ROYAL ESTATE (FASCIA TO MATCH ROOF COLOR)
5	6" TRIMS, BAND BOARDS & BRACKETS - NATURAL STAINED MAPLE WOOD	13	EYEBROWS & TRIMS AT SIDING SW 7036 ACCESSIBLE BEIGE - BY SHERWIN WILLIAMS (249)
6	RAILING ALUMINUM - BLACK	14	EXPOSED CONCRETE BASE
7	WINDOWS - VENT GRILLS VINYL -BLACK		



NORTH ELEVATION - BUILDING 4



WEST ELEVATION - BUILDING 4



F. ADAB ARCHITECTS INC.

#130-1000 ROOSEVELT CRESCENT
#2070 VANCOUVER, BC V7P 3K6
TEL: (604) 967-0033 FAX: (604) 967-0033
E-MAIL: info@fadab.com

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NO.	DATE	REVISION / ISSUED
4	DEC 04 24	ADP REVISIONS
3	SEP 10 24	ISSUED FOR REZONING & DP
2	AUG 16 24	ISSUED FOR REZONING & DP
1	AUG 02 24	ISSUED FOR PRE-APPLICATION

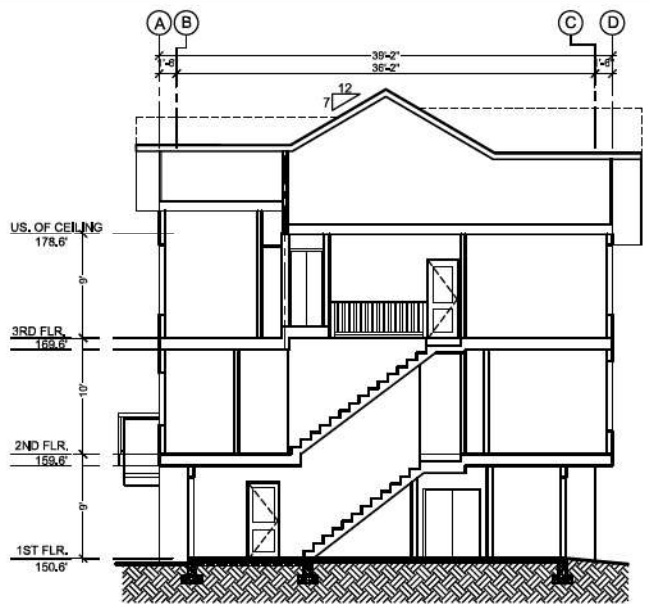
PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:
LEONE HOMES INC.,
238 - 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

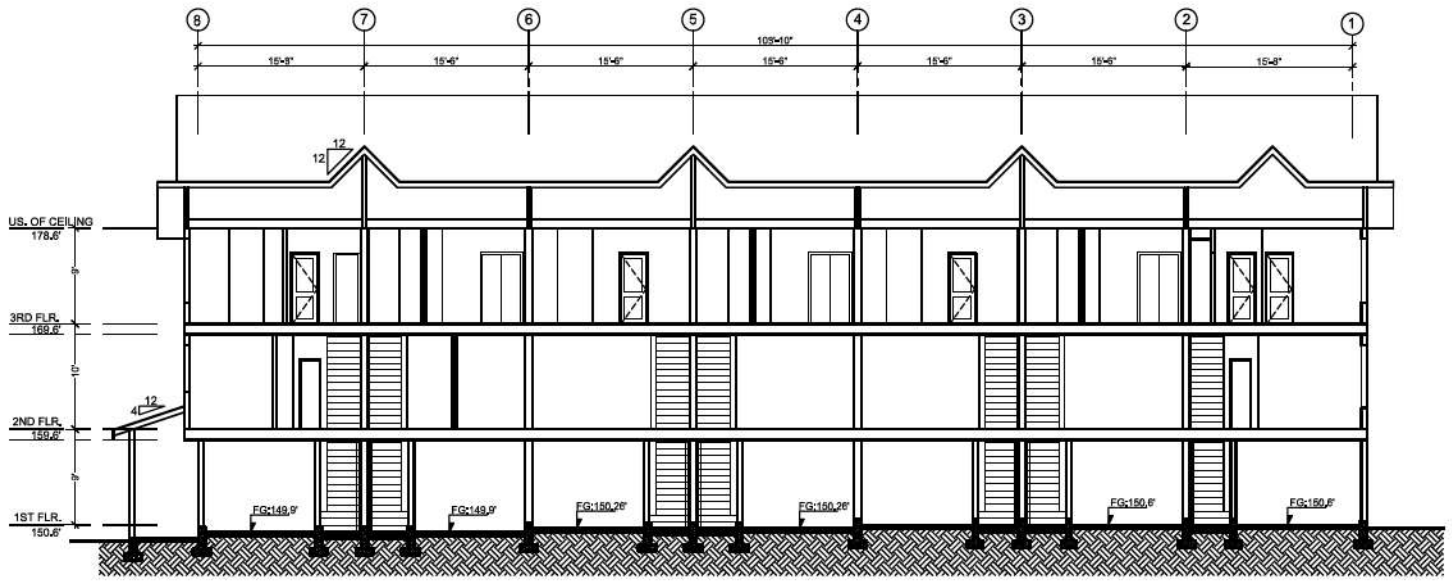
DRAWING TITLE:
BUILDING 4
WEST & NORTH
ELEVATIONS

DATE:	SEP 2021	SHEET NO.:	
SCALE:	NTS		
DESIGN:	AA		
DRAWN:	AA		
PROJECT NO.:	-		

A-3.4b



**SECTION B-B
BUILDING 1**



**SECTION A-A
BUILDING 1**



**F. ADAB
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NO.	DATE	REVISION / ISSUED
4	DEC 04-24	ADP REVISION#1
3	SEP 10-24	REISSUED FOR REZONING & DP
2	AUG 18-24	ISSUED FOR REZONING & DP
1	JUL 22-24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:
LEONE HOMES INC.
238 - 13886 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
**BUILDING 1
SECTIONS A-A & B-B**

DATE: March 2024	SHEET NO:
SCALE: NTS.	A-4.1
DESIGN: A.A.	
DRAWN: A.A.	
PROJECT NO: -	



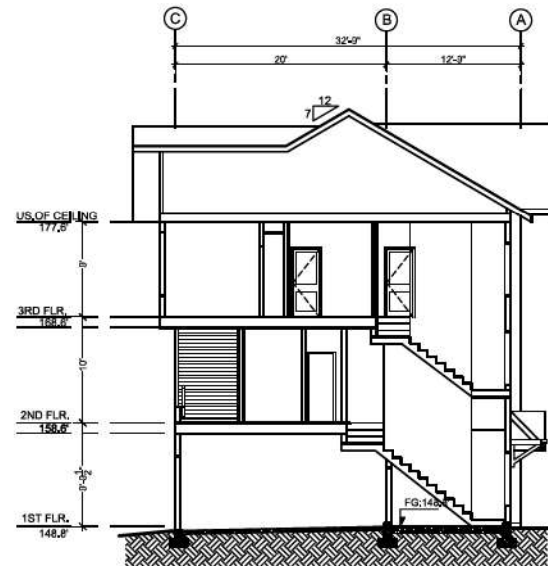
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TEL: (604) 967-0000 FAX: (604) 967-0000
E-MAIL: info@fadamab.com

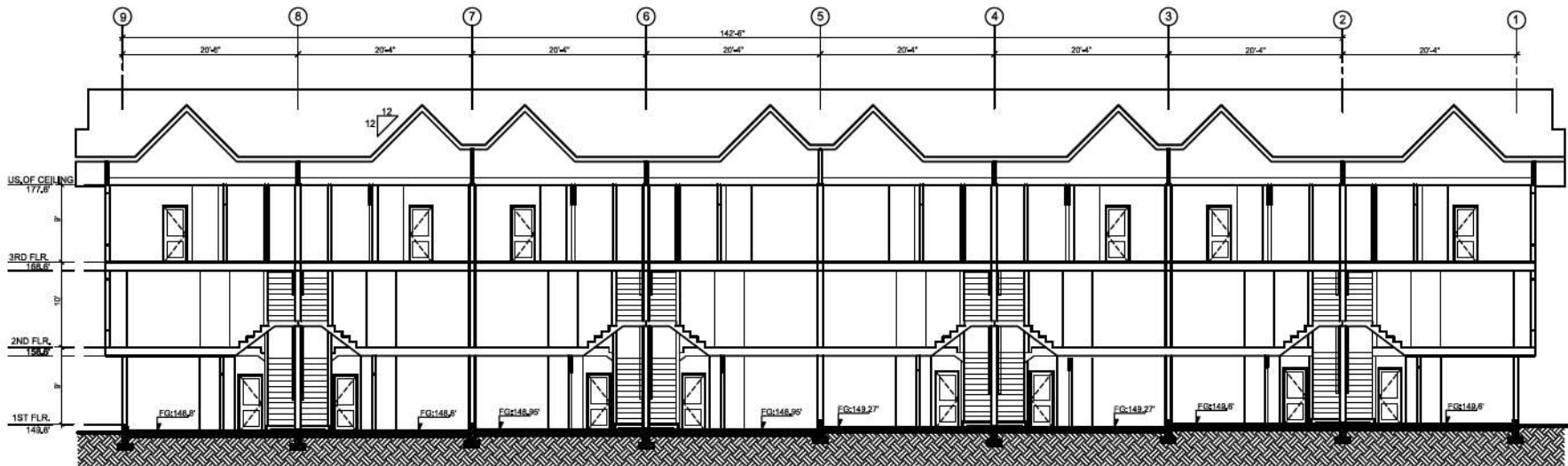
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**SECTION D-D
BUILDING 2**



**SECTION C-C
BUILDING 2**

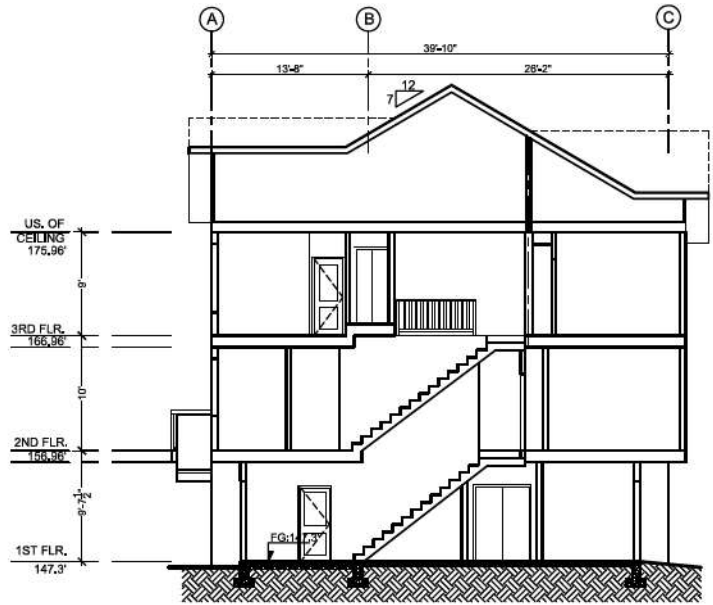
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3	SEP 10-24	REISSUED FOR REVISION & DP
2	AUG 18-24	ISSUED FOR REVISION & DP
1	JUL 22-24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.

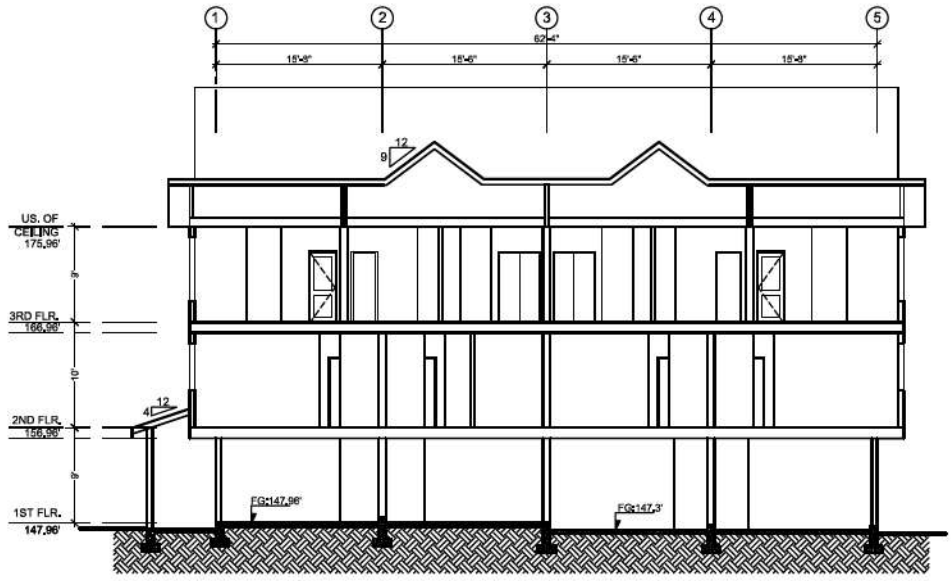
FOR:
LEONE HOMES INC.
238 - 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
BUILDING 2
SECTIONS C-C & D-D

DATE:	March 2024	SHEET NO:
SCALE:	N.T.S.	A-4.2
DESIGN:	A.A.	
DRAWN:	A.A.	
PROJECT NO.:	-	



**SECTION F-F
BUILDING 3**



**SECTION E-E
BUILDING 3**



**F. ADAB
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3	SEP 10-24	REISSUED FOR REZONING & DP
2	AUG 18-24	ISSUED FOR REZONING & DP
1	JUL 22-24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:
LEONE HOMES INC.
238 - 13086 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
BUILDING 3
SECTIONS E-E & F-F

DATE:	March 2024	SHEET NO:
SCALE:	N.T.S.	A-4.3
DESIGN:	A.A.	
DRAWN:	A.A.	
PROJECT NO.:	-	



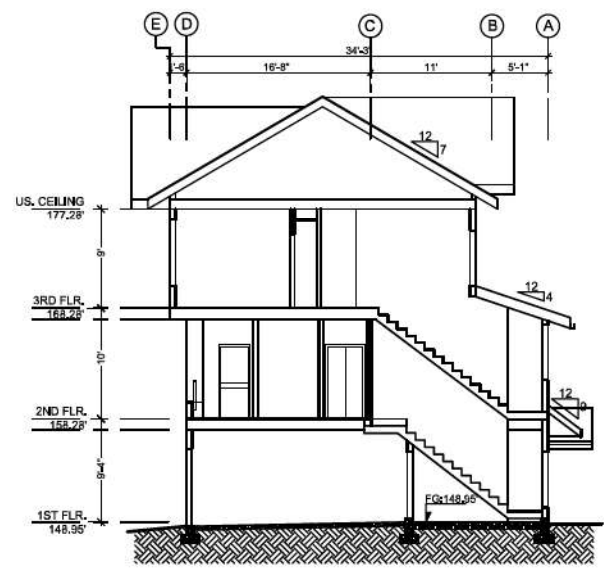
F. ADAB ARCHITECTS INC.

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 TEL: (604) 967-0003 FAX: (604) 967-0003
 E-MAIL: info@fadamad.com

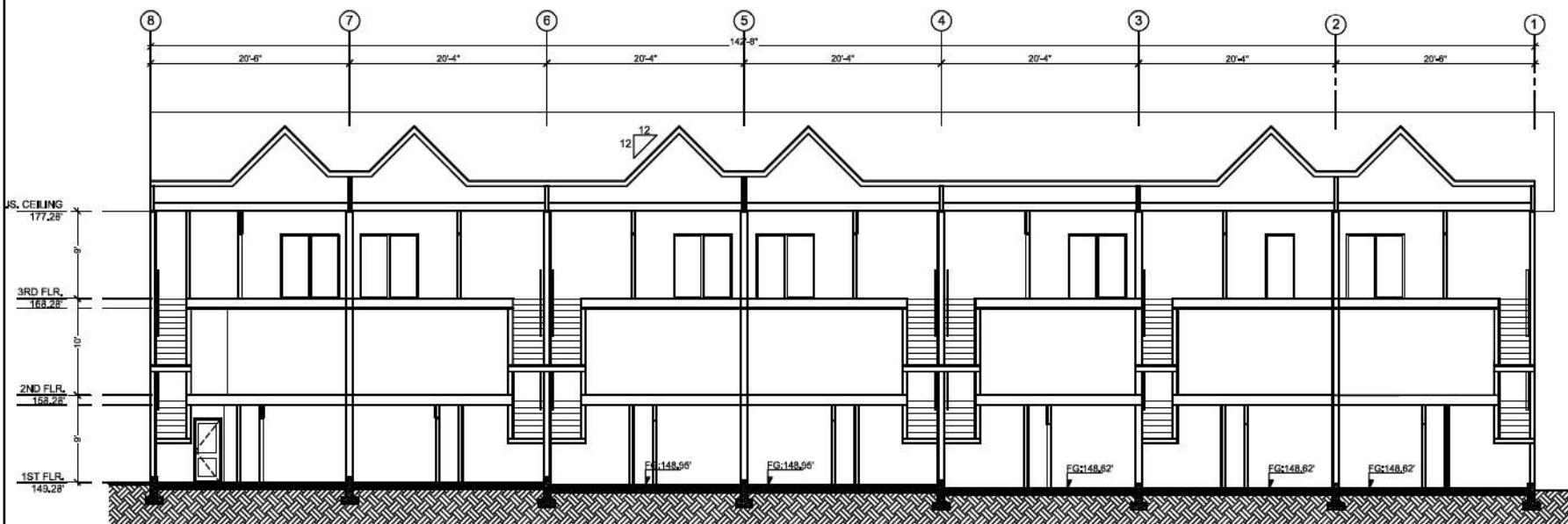
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**SECTION H-H
BUILDING 4**



**SECTION G-G
BUILDING 4**

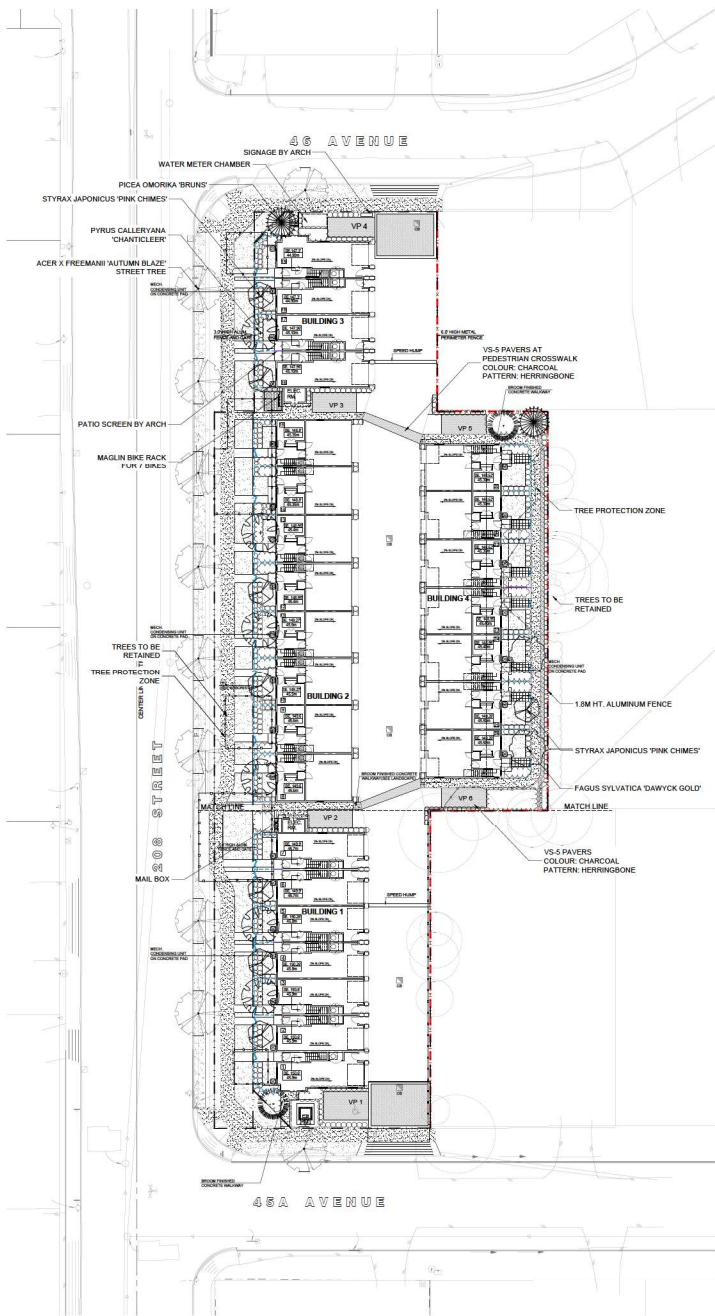
NO.	DATE	REVISION / ISSUED
4	DEC 04-24	ADP REVISION
3	SEP 10-24	REISSUED FOR REZONING & DP
2	AUG 18-24	ISSUED FOR REZONING & DP
1	JUL 02-24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
 20815 - 45A AVENUE,
 LANGLEY, BC.

FOR:
LEONE HOMES INC.
 238 - 13986 CAMBIE ROAD,
 RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
**BUILDING 4
 SECTIONS G-G & H-H**

DATE:	March 2024	SHEET NO:
SCALE:	N.T.S.	A-4.4
DESIGN:	A.A.	
DRAWN:	A.A.	
PROJECT NO.:	-	



PLANT SCHEDULE				PMG PROJECT NUMBER: 24-069
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE	2	CHAMAECYPARIS OBTUSA 'GRACILIS'	SLENDER HINOKI FALSE CYPRESS	3M HT. BAB, CLIMATE RESILIENT
	2	FAGUS SYLVATICA 'DAWYCK GOLD'	DAWYCK GOLD BEECH	6CM CAL; BAB
	2	PICEA OMRORICA 'BRUNSI'	BRUNSI SEBIBIAN SPRUCE	3M HT. BAB
	6	PYRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR	6CM CAL; 2M STD; BAB
	8	STYRAX JAPONICUS 'PINK CHIMES'	PINK FLOWERED JAPANESE SNOWBELL	6CM CAL; BAB

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

NOTES: 38 REPLACEMENT TREES REQUIRED; 20 REPLACEMENT TREES PROVIDED.



MAGLIN BIKE RACK

MATERIAL LEGEND

	LAWN
	BELGARD CORTEZ 305X610X50MM, NATURAL COLOUR
	BRUSH PPP CONCRETE FINISH
	BELGARD V5-S, CHARCOAL COLOUR, HERRINGBONE PATTERN
	GRAVEL

FENCE LEGEND

	1.8M HT. FENCE
	1.8M HT. FENCE
	1.2M HT. PATIO SCREEN BY ARCH

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Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 6G9
p. 604 294-0011 ; f. 604 294-0022

SCALE:



NO.	DATE	REVISION DESCRIPTION	DR.
6	25 JUN 07	UPDATE PER CITY COMMENTS	AR
8	24 DEC 2016	UPDATE ARCH PLAN & CITY RECOMMENDATIONS	AR
7	24 DEC 2016	UPDATE SITE PLAN & ASP RECOMMENDATIONS	AR
6	24 OCT 15	NEW SITE PLAN	AR
5	24 SEP 15	UPDATE PL	RJ
4	24 AUG 15	ISSUED FOR DP	RJ
3	24 JUL 15	CITY COMMENTS	RJ
2	24 JUN 15	NEW SITE PLAN	RJ/AR
1	24 JUN 15	PER CLIENT REQUIREMENTS	AR

CLIENT:

PROJECT:

26 UNIT TOWNHOUSE DEVELOPMENT

4560, 4570, 4580 208 STREET
& 20815 45A AVENUE
CITY OF LANGLEY, BC

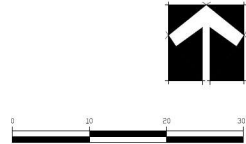
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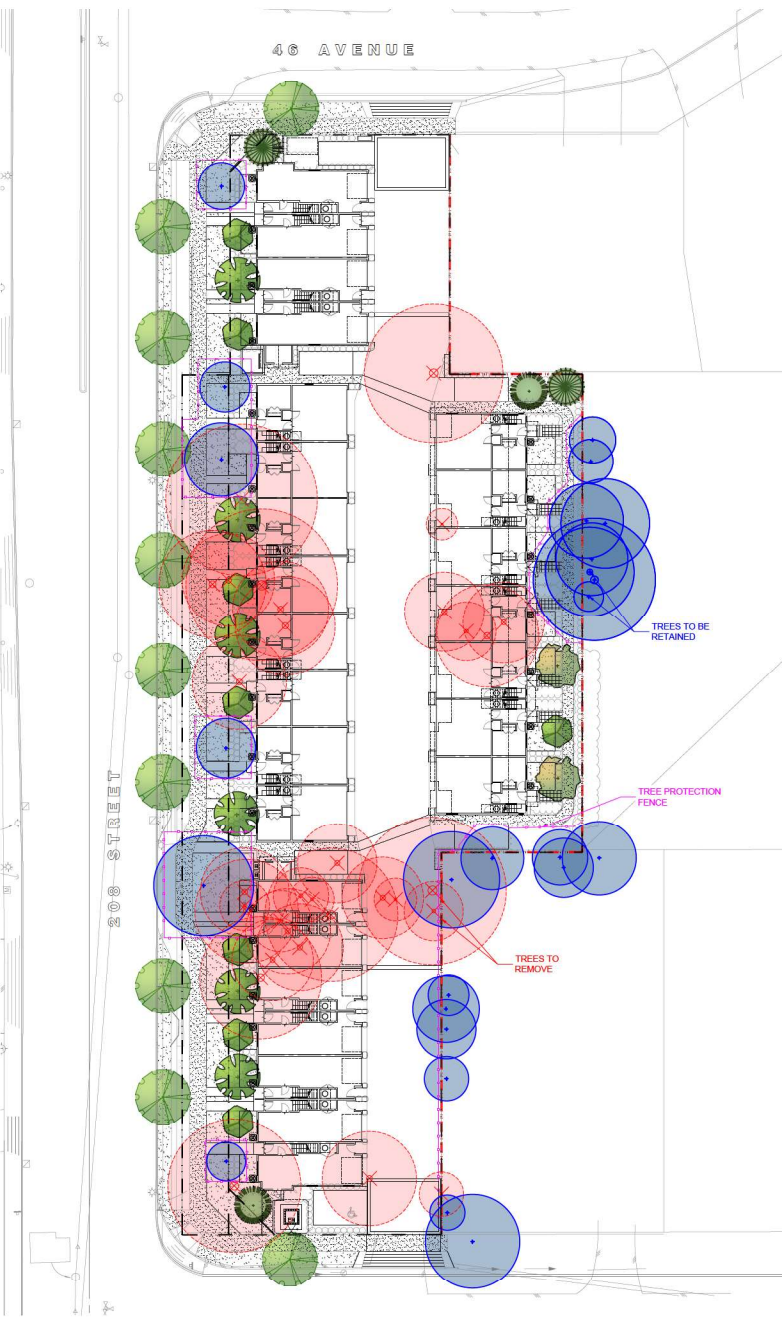
LANDSCAPE PLAN


DATE: 24 MAY 2019 DRAWING NUMBER:
SCALE: 1:300
DRAWN: RJ
DESIGN: RJ
CHKD: YR

L1

OF 6





-  EXISTING TREE TO RETAIN
-  EXISTING TREE TO REMOVE
-  TREE PROTECTION FENCE (REFER TO ARBORIST REPORT)
-  PROPOSED TREE
-  STREET TREE

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p: 604 294-0011 ; f: 604 294-0022

SEAL:



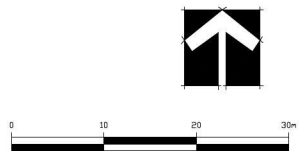
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5	24 SEP 15	UPDATE PL	RI
4	24 AUG 15	ISSUED FOR DP	RI
3	24 AUG 15	CITY COMMENTS	RI
2	24 JUN 15	NEW SITE PLAN	RI/AR
1	24 JUN 15	PER CLIENT REQUIREMENTS	AR
NO.	DATE	REVISION DESCRIPTION	DR.

CLIENT:

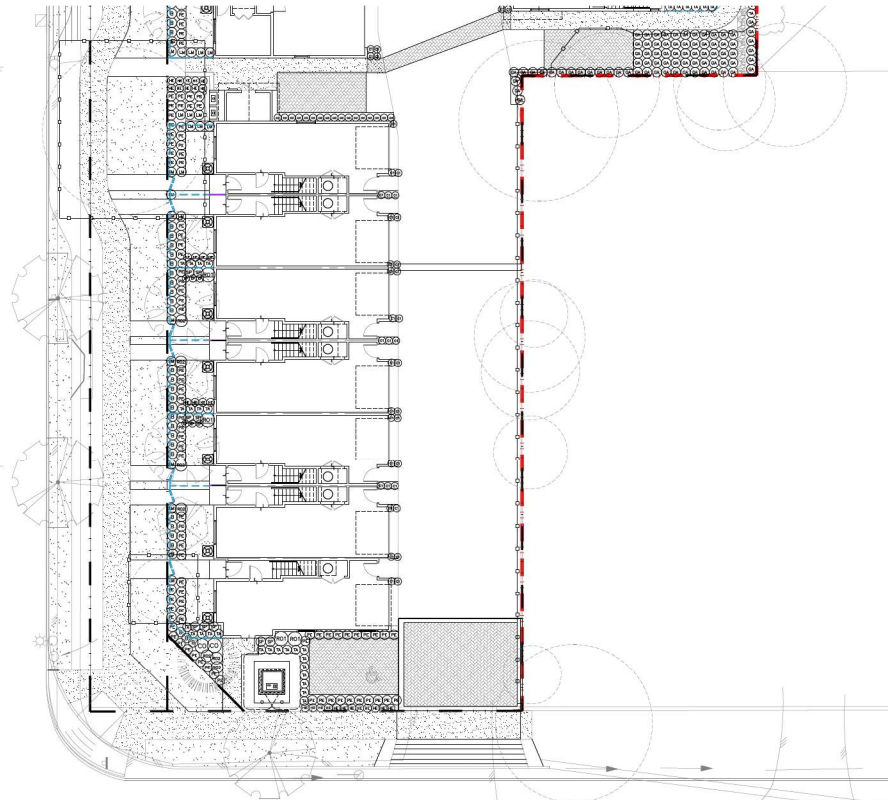
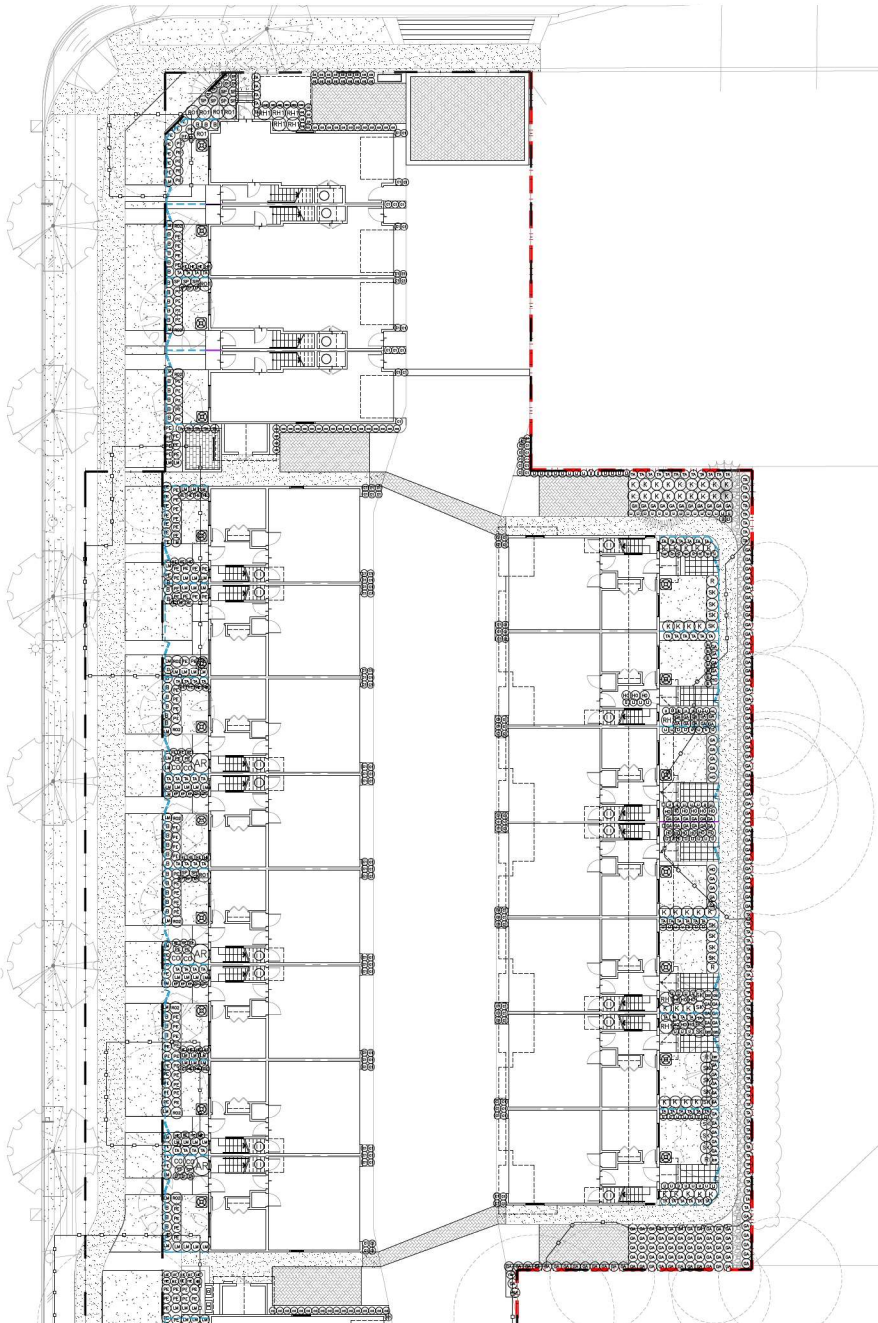
PROJECT:
26 UNIT TOWNHOUSE DEVELOPMENT
4560, 4570, 4580 208 STREET & 20815 45A AVENUE
CITY OF LANGLEY, BC

DRAWING TITLE:
TREE MANAGEMENT PLAN

DATE: 24 NOV 2016 DRAWING NUMBER:
SCALE: 1:250
DRAWN: AR **L2**
DESIGN: RI
CHKD: YR **OF 6**



24069-3.2P PMG PROJECT NUMBER: 24-069



PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SRUB	3	ARBUTUS UNEDO 'COMPACTA'	COMPACT STRAWBERRY BUSH	#3 POT; 80CM
	73	BOSQUIS MICROPHYLLA 'WINTER GEM'	LITTLE LEAF BOX	#2 POT; 40CM
	8	CORNUS SERICEA	REDTWIG DOGWOOD	#2 POT; 40CM
	44	KALMA LATIFOLIA 'ELF'	DWARF MOUNTAIN LAUREL	#3 POT; 50CM
	4	RHODODENDRON 'BONNIE BELL'S'	RHODODENDRON	#3 POT; 50CM
	8	RHODODENDRON 'P.J.M.'	RHODODENDRON, LIGHT PURPLE, E. MAY	#2 POT; 50CM
	11	ROSA MEIDLAND 'BONICA'	BONICA ROSE	#2 POT; 40CM
	17	ROSA MEIDLAND 'RED'	MEIDLAND ROSE, RED	#2 POT; 40CM
	19	SKIMMIA JAPONICA (90% MALE)	JAPANESE SKIMMIA	#2 POT; 30CM
	22	SPIRAEA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIRAEA, PINK	#2 POT; 40CM
	150	'YAKUS X MEDIA 'HYLLI'	HILLI YEW	1.5M B&B
GRASS	165	CAREX FLAGELLIFERA 'KOWI'	KIWI WEEPING SEDGE	#1 POT
	81	CAREX OSHIMENSIS 'EVERGOLD'	EVERGOLD JAPANESE SEDGE	#1 POT
	186	PENNISETUM ALOPECUROIDES 'HAMELIN'	DWARF FOUNTAIN GRASS	#1 POT
PERENNIAL	6	ASTILBE x ARENOSIS 'RED SENTINEL'	FALSE SPIRAEA, RED	#1 POT
	33	ECHINACEA PURPUREA	PURPLE CONEFLOWER	15CM POT
	70	HEMEROCALLIS 'WHITE TEMPTATION'	DAYLILY, WHITE	#1 POT; 20CM
	24	HOSTA 'PATRIOT'	HOSTA, GREEN AND WHITE VARIEGATED	#1 POT; 1' ELEV
	75	LAVENDULA ANGUSTIFOLIA 'MUNSTEAD'	ENGLISH LAVENDER, COMPACT, VIOLET-BLUE	#1 POT
	110	LIRIOPE MUSCARI	SLUE LILY-TURF	#1 POT
TC	177	GAULTHERIA SHALLON	SALAL	#1 POT; 20CM

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. * DEFINITION OF CONDITIONS OF AVAILABILITY: * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.



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p. 604 294-0011 ; f. 604 294-0022



NO.	DATE	REVISION DESCRIPTION	DR.
6	25 JUN 07	UPDATE PER CITY COMMENTS	AR
8	24 DEC 2016	UPDATE ARCH PLAN & CITY RECOMMENDATIONS	AR
7	24 DEC 2016	UPDATE SITE PLAN & ASP RECOMMENDATIONS	AR
4	24 OCT 15	NEW SITE PLAN	AR
5	24 SEP 15	UPDATE PL	RJ
4	24 AUG 15	ISSUED FOR DP	RJ
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2	24 JUN 15	NEW SITE PLAN	RJ/AR
1	24 JUN 15	PER CLIENT REQUIREMENTS	AR

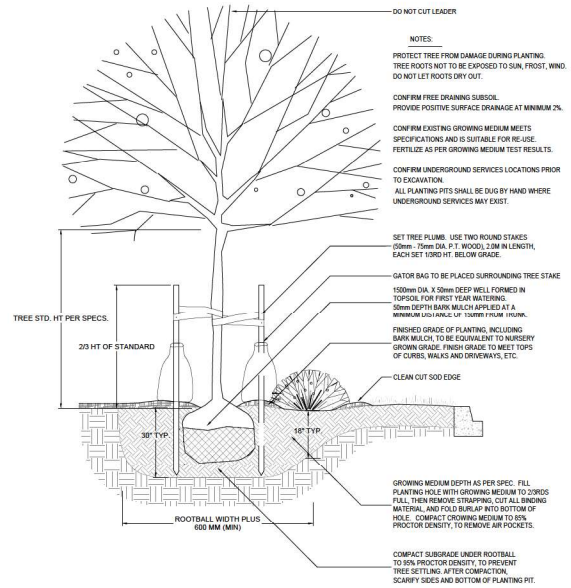
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PROJECT:
26 UNIT TOWNHOUSE DEVELOPMENT
4560, 4570, 4580 208 STREET & 20815 45A AVENUE
CITY OF LANGLEY, BC

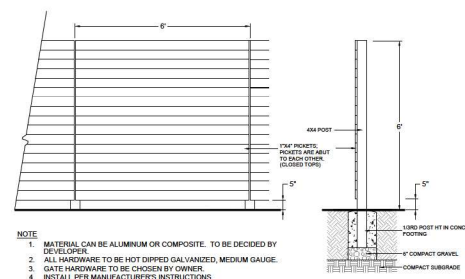
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DATE: 24 MAY 2019 DRAWING NUMBER:
SCALE: 1:150 **L3**
DRAWN: RJ
DESIGN: RJ
CHKD: YR **OF 6**

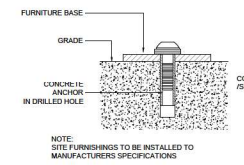
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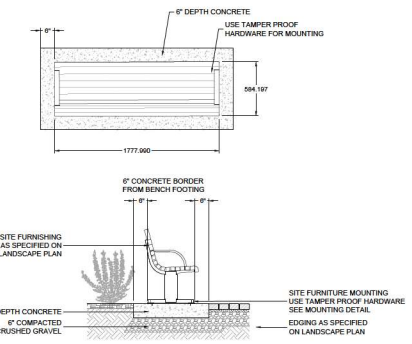
1 TREE AND SHRUB PLANTING AT GRADE
1:25



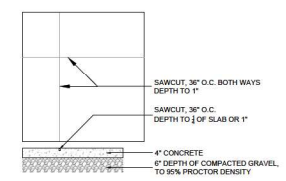
3 1.8M HT. FENCE
1:25



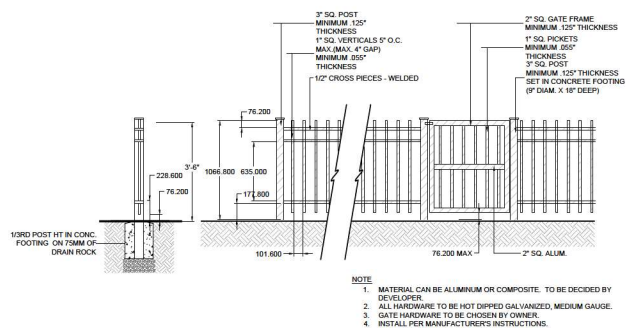
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N.T.S.



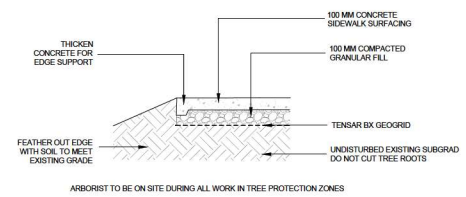
6 BENCH ON CONCRETE PAD
1:25



7 CONCRETE SAW CUTS
1:25



2 1.06M HT. PICKET FENCE
1:25



8 PAVING OVER TREE ROOTS
1:12

NO.	DATE	REVISION DESCRIPTION	DR.
6	25.JAN.07	UPDATE PER CITY COMMENTS	AR
8	24.DEC.2016	UPDATE ARCH PLAN & ASP RECOMMENDATIONS	AR
7	24.DEC.2016	UPDATE SITE PLAN & ASP RECOMMENDATIONS	AR
6	24.OCT.15	NEW SITE PLAN	AR
5	24.SEP.15	UPDATE PL	RU
4	24.AUG.15	ISSUED FOR DP	RU
3	24.AUG.15	CITY COMMENTS	RU
2	24.AUG.15	NEW SITE PLAN	RU/AR
1	24.AUG.15	PER CLIENT REQUIREMENTS	AR

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:
26 UNIT TOWNHOUSE DEVELOPMENT
4560, 4570, 4580 208 STREET & 20815 45A AVENUE
CITY OF LANGLEY, BC

DRAWING TITLE:
LANDSCAPE DETAILS

DATE: 24.MAY.23 DRAWING NUMBER:
SCALE: AS SHOWN
DRAWN: RU
DESIGN: RU
CHKD: YR

L6
OF 6



ZONING BYLAW, 1996, No. 2100
 AMENDMENT No. 216, 2025, BYLAW No. 3303
 DEVELOPMENT PERMIT APPLICATION DP 15-23

To consider rezoning and Development Permit applications from ParaMorph Architecture Inc. to accommodate a 6-storey, 70-unit apartment development.

The subject properties are currently zoned RM1 Multiple Residential Low Density Zone in Zoning Bylaw No. 2100 and designated “Mid Rise Residential” in the Official Community Plan Land Use Map. All lands designated “Mid Rise Residential” are subject to a Development Permit to address building form and character.

Background Information:

Applicant:	Paramorph Architecture Inc.
Owner:	HOV Investments Ltd.
Civic Addresses:	20239-20249 54A Avenue
Legal Description:	Strata Lots 1-4, District Lot 305, Group 2, New Westminster District, Strata Plan NW2626, together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown on Form 1, & Strata Lots 1-2, District Lot 305, Group 2, New Westminster District, Strata Plan NW1617, together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown on Form 1
Site Area:	1,863 m ² (0.46 acres)
Number of Units:	70 apartments
Gross Floor Area:	4,996 m ² (53,778 ft ²)
Floor Area Ratio:	2.682
Lot Coverage:	49%
Total Parking	4 accessible spaces
Required:	
Parking Provided:	56 spaces (including 5 accessible spaces)
OCP Designation:	Mid Rise Residential
Existing Zoning:	RM1 Multiple Residential Low Density
Proposed Zoning:	CD105 Comprehensive Development
Variances	N/A
Requested:	
Estimated Development Cost Charges (DCCs):	\$1,235,928.00 (City - \$573,600.00, GVS&DD - \$264,762.00, GVWD - \$262,102.00, SD35 - \$36,400.00, TransLink - \$99,064.00)
Community Amenity Contributions (CACs):	\$284,400.00



**ZONING BYLAW, 1996, No. 2100
AMENDMENT NO. 216**

BYLAW NO. 3303

A Bylaw to amend City of Langley Zoning Bylaw, 1996, No. 2100 to rezone the properties located at 20239-20249 54A Avenue to the CD105 Comprehensive Development Zone.

WHEREAS the *Local Government Act* authorizes a local government to zone areas of a municipality and to make regulations pursuant to zoning;

NOW THEREFORE the Council of the City of Langley, in open meeting assembled, enacts as follows:

1. Title

This bylaw shall be cited as the “Zoning Bylaw 1996, No. 2100 Amendment No. 216, 2025, No. 3303”.

2. Amendment

(1) Bylaw No. 2100, cited as the “Zoning Bylaw, 1996, No. 2100” is hereby amended by adding in Part VII Comprehensive Development Zones the following as the new Zone classification of Comprehensive Development – 105 (CD105) Zone immediately after Comprehensive Development – 104 (CD104) Zone:

“XXXX. CD105 COMPREHENSIVE DEVELOPMENT ZONE

1. Intent

This Zone is intended to accommodate and regulate a 6-storey, 70-unit apartment development.

2. Permitted Uses

The Land, buildings, and structures shall be used for the following uses only:

- (a) Multiple-Unit Residential; and
- (b) Accessory uses limited to the following:

- (i) *Home Occupations* excluding bed and breakfast and *child care centre*.

3. Site Dimensions

The following lots shall form the site and shall be zoned CD105 Comprehensive Development Zone on the Zoning Map, City of Langley Zoning Bylaw, 1996, No. 2100, Schedule "A":

- (a) PID: 008-347-069
Strata Lot 1, District Lot 305, Group 2, New Westminster District, Strata Plan NW2626, together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown on Form 1
- (b) PID: 008-347-085
Strata Lot 2, District Lot 305, Group 2, New Westminster District, Strata Plan NW2626, together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown on Form 1
- (c) PID: 008-347-107
Strata Lot 3, District Lot 305, Group 2, New Westminster District, Strata Plan NW2626, together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown on Form 1
- (d) PID: 008-347-115
Strata Lot 4, District Lot 305, Group 2, New Westminster District, Strata Plan NW2626, together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown on Form 1
- (e) PID: 001-849-409
Strata Lot 1, District Lot 305, Group 2, New Westminster District, Strata Plan NW1617, together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown on Form 1
- (f) PID: 001-849-417
Strata Lot 2, District Lot 305, Group 2, New Westminster District, Strata Plan NW1617, together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown on Form 1

4. Siting and Size of Buildings and Structures and Site Coverage

The location, size, and site coverage of the buildings and structures of the development shall generally conform to the plans and specifications prepared by ParaMorph Architecture Inc. (dated January 17, 2025) and David Stoyko Landscape Architect (dated January 10, 2025), one copy each of which is attached to Development Permit No. 15-23.

5. Other regulations

In addition, land use regulations including the following are applicable:

- (a) General provisions on use are set out in Section I.D. of this bylaw;
- (b) Building Permits shall be subject to the City of Langley Building and Plumbing Regulation Bylaw and the Development Cost Charge Bylaw; and
- (c) Subdivisions shall be subject to the City of Langley Subdivision and Development Servicing Bylaw and the *Land Title Act*.

(2) Bylaw No. 2100, cited as the “Zoning Bylaw, 1996, No. 2100” is hereby amended by changing the zone classification of:

- (a) PID: 008-347-069
Strata Lot 1, District Lot 305, Group 2, New Westminster District, Strata Plan NW2626, together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown on Form 1
- (b) PID: 008-347-085
Strata Lot 2, District Lot 305, Group 2, New Westminster District, Strata Plan NW2626, together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown on Form 1
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Strata Lot 1, District Lot 305, Group 2, New Westminster District, Strata Plan NW1617, together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown on Form 1

- (f) PID: 001-849-417
Strata Lot 2, District Lot 305, Group 2, New Westminster District, Strata Plan NW1617, together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown on Form 1

from the RM1 Multiple Residential Low Density Zone to the CD105 Comprehensive Development Zone in Schedule "A" – Official Zoning Map.

READ A FIRST AND SECOND TIME this twenty seventh day of 2025.

READ A THIRD TIME this day of , XXXX.

FINALLY ADOPTED this day of , XXXX.

MAYOR

CORPORATE OFFICER

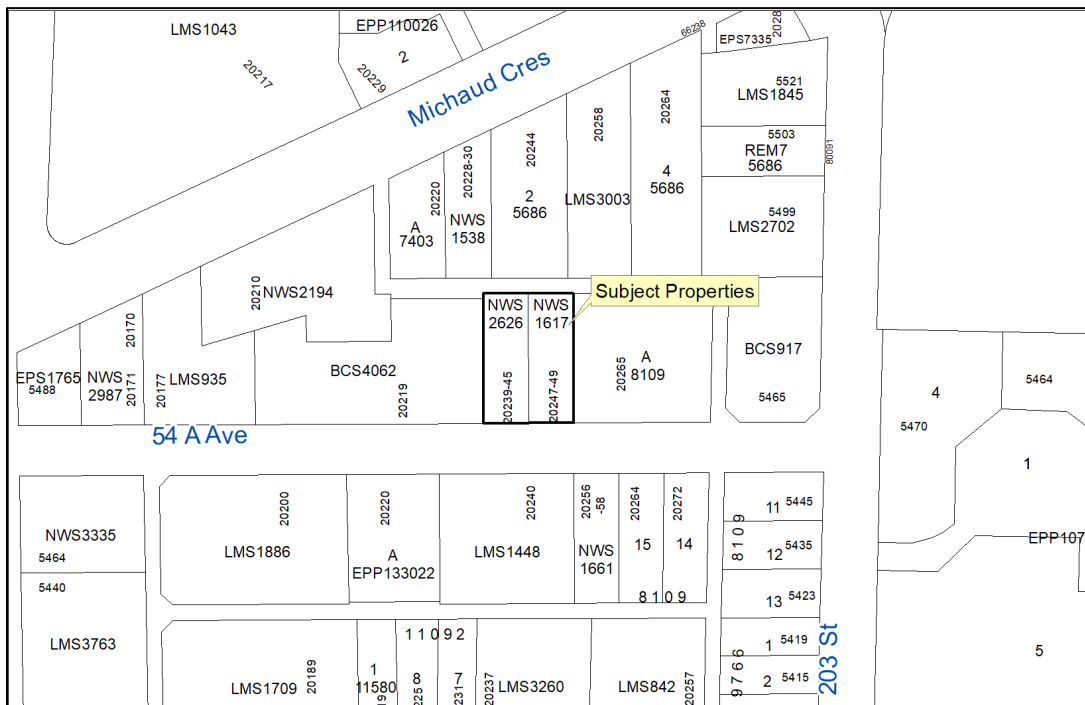
CITY OF
LANGLEY



REZONING APPLICATION RZ 14-23 DEVELOPMENT PERMIT APPLICATION DP 15-23

Civic Addresses: 20239-20249 54A Avenue
Legal Description: Strata Lots 1-4, District Lot 305, Group 2, New Westminster District, Strata Plan NW2626, together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown on Form 1, & Strata Lots 1-2, District Lot 305, Group 2, New Westminster District, Strata Plan NW1617, together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown on Form 1

Applicant: Paramorph Architecture Inc.
Owner: HOV Investments Ltd.





EXPLANATORY MEMO

December 11, 2024 Advisory Design Panel Recommendations and Applicant Response DP 15-23 20239-20249 54A Avenue

Advisory Design Panel Recommendations and Applicant Response

On December 11, 2024 the Advisory Design Panel (ADP) reviewed the DP 15-23 application, and provided the following recommendations (see attached minutes for further details):

1. Explore configuring all surface parking spaces to be accessed from the internal aisle
2. Enlarge balconies where possible
3. Consider reconfiguring unit floor plans to face common areas (i.e. living rooms) to the front lot line vs. the side lot line (e.g. southwest corner units)
4. Provide more design interest to the garbage building, especially to its roof (e.g. relationship to adjacent 2nd floor balcony)
5. Consider the feasibility of widening the exterior stairway to the main entrance
6. Review the configuration of the parkade elevator vestibule to improve access from accessible parking spaces
7. Provide more delineation between different activity areas on the rooftop patio, including adding an overhead shade structure and considering a barbecue area
8. Review usability of two-doored washrooms in 2-bedroom units
9. Look for opportunities to make the bicycle and storage rooms more efficient, to create more storage rooms and/or improve bicycle maneuverability
10. Consider additional sound attenuation between amenity rooms and adjacent units
11. Review the rear entrance area for design interest and contrast (e.g. brick column treatment)
12. Break up and add more variety to the façade of the west-facing wall near the northwest corner
13. Raise the front visitor bike rack onto the podium level and ensure the rack model is convenient and secure
14. Explore weather protection over the rear path to the lane
15. Use a heavy-duty door into the garbage building
16. Reconfigure the garbage room to provide access from within the aisle
17. Ensure adequate lighting at entrances and stairways
18. Incorporate Canada Post-recommended hardware
19. Confirm that the adaptable units have adequate door widths and include side-by-side washers/dryers where possible

The applicant submitted finalized revised architectural and landscape drawings on January 17, 2025 (both attached to the Development Permit). The applicant has responded to the ADP's recommendations in the following manner:

1. Explore configuring all surface parking spaces to be accessed from the internal aisle

The surface parking area has been reconfigured to have all parking spaces take access from the internal aisle. The loading zone retains access from the lane in order to achieve its required height clearance.

2. Enlarge balconies where possible

A number of units have had their balconies enlarged.

3. Consider reconfiguring unit floor plans to face common areas (i.e. living rooms) to the front lot line vs. the side lot line (e.g. southwest corner units)

The southwest corner unit (unit plan "B") has been reconfigured to have its living room face the 54A Avenue front lot line and its bedrooms face the quieter side lot line.

4. Provide more design interest to the garbage building, especially to its roof (e.g. relationship to adjacent 2nd floor balcony)

The garbage building has been moved from the corner to near the centre of the property along the lane. This increases its separation from neighbouring properties. The garbage building has also had its colour updated to grey to better relate to the main building

5. Consider the feasibility of widening the exterior stairway to the main entrance

The main entrance exterior stairway has been widened.

6. Review the configuration of the parkade elevator vestibule to improve access from accessible parking spaces

The configuration of the parkade elevator vestibule and accessible parking spaces was reviewed and the existing layout was determined to be the most accessible and feasible.

7. Provide more delineation between different activity areas on the rooftop patio, including adding an overhead shade structure and considering a barbecue area

Roof overhangs have been provided from both stairways to create shade cover. The existing delineation between activity areas, as identified with planter boxes and pavers of different shades, was felt by the applicant to be sufficient.

8. Review usability of two-doored washrooms in 2-bedroom units

Unit plan “J”, which has two bedrooms and one washroom, was updated to remove the door between the washroom and one of the bedrooms and provide only one door into the washroom to prevent any potential conflicts and create more wall space.

9. Look for opportunities to make the bicycle and storage rooms more efficient, to create more storage rooms and/or improve bicycle maneuverability

The applicant reviewed the bicycle and storage room layouts for efficiency but found that additional storage rooms and improved bicycle maneuverability could not be provided without removing lockers or bicycle spaces, and as such has decided to keep the layouts as originally proposed. The aisle widths within these rooms meet Zoning Bylaw requirements.

10. Consider additional sound attenuation between amenity rooms and adjacent units

Additional sound attenuation measures between the amenity rooms and adjacent units, which exceed the requirements of the BC Building Code, will be explored at the more detailed Building Permit stage.

11. Review the rear entrance area for design interest and contrast (e.g. brick column treatment)

As a result of reconfiguring the surface parking area to have all spaces take access from the internal aisle, a short retaining wall was required at the lane property line. This retaining was clad with the brick treatment to replicate the brick podium on the building’s front elevation, with the columns kept their same grey colour to better relate to the building walls above.

12. Break up and add more variety to the façade of the west-facing wall near the northwest corner

The façade of the west-facing wall near the building’s northwest corner has had a second column of windows added to eliminate the previous large blank wall and continue the vertical rhythm provided along the rest of the west elevation.

13. Raise the front visitor bike rack onto the podium level and ensure the rack model is convenient and secure

The front visitor bicycle rack has been brought onto the podium level and the landscape architect has confirmed that the rack model is convenient and secure.

14. Explore weather protection over the rear path to the lane

Because the garbage building and its entrance door have been moved to be accessible from within the internal aisle, access between it and the building is now fully covered by the building's upper levels.

15. Use a heavy-duty door into the garbage building

A heavy-duty door will be used for the garbage building entrance.

16. Reconfigure the garbage room to provide access from within the aisle

The garbage building has had its entrance door moved to be accessible from within the internal drive aisle.

17. Ensure adequate lighting at entrances and stairways

The landscape architect has reviewed the lighting plan and confirmed it will provide adequate lighting at entrances and stairways.

18. Incorporate Canada Post-recommended hardware

Canada Post-recommended hardware will be used in the mail room.

19. Confirm that the adaptable units have adequate door widths and include side-by-side washers/dryers where possible

The project architect has confirmed that all door widths within the adaptable units meet the requirements of the BC Building Code. Side-by-side washer and dryers have been provided in 10 of the 15 adaptable units.

Staff Commentary

Staff support the updates made by the applicant in response to ADP recommendations.



**MINUTES OF THE
ADVISORY DESIGN PANEL**

**HELD IN CKF ROOM,
LANGLEY CITY HALL**

**WEDNESDAY, DECEMBER 11, 2024
AT 7:03 PM**

- Present:** Councillor Paul Albrecht (Chair)
Councillor Mike Solyom (Co-Chair) (7:35 pm)
Mayor Nathan Pachal
Jaswinder Gabri
Matt Hassett
Leslie Koole
Tony Osborn
Ritti Suvilai
- Absent:** Blair Arbuthnot
Dammy Ogunseitan
Ella van Enter
- Staff:** C. Johannsen, Director of Development Services
K. Kenney, Corporate Officer
A. Metalnikov, Planner

Chair Albrecht began by acknowledging that the land on which we gather is on the traditional unceded territory of the Katzie, Kwantlen, Matsqui and Semiahmoo First Nations.

1) AGENDA

Adoption of the December 11, 2024 agenda.

It was **MOVED** and **SECONDED**

THAT the agenda for the December 11, 2024 Advisory Design Panel be approved as amended to reorder the agenda to move Item 3 to the last item on the agenda.

CARRIED

2) **MINUTES**

Adoption of minutes from the November 6, 2024 meeting.

It was MOVED and SECONDED

THAT the minutes of the November 6, 2024 Advisory Design Panel meeting be approved as circulated.

CARRIED

3) **DEVELOPMENT PERMIT APPLICATION DP 15-23**
ZONING BYLAW AMENDMENT APPLICATION RZ 14-23

6-storey, 70-unit apartment development at 20239-20249 54A Avenue.

Mr. Metalnikov spoke to the staff report dated December 2, 2024 providing information on the proposed development.

Staff responded to questions from Panel members regarding:

- Whether there was a required minimum size for balconies;
- Whether the lane dedication completes the lane to allow access in all directions.

The Applicant team entered the meeting:

- Joe Varing, owner
- David Stoyko, landscape architect, David Stoyko Landscape Architect
- Manika Grover, architect, ParaMorph Architecture Inc.
- Aman Sandhu, architectural graduate, ParaMorph Architecture Inc.

Ms. Grover provided a PowerPoint presentation on the proposed development, providing information on the following:

- Project summary;
- Streetscapes;
- Site Plan;
- Shadow Study and circulation;
- Parkade LVL 1;
- Floor plan;
- Perspectives.

Mr. Stoyko highlighted information on the landscape plan, providing information on the following:

- Concept plan - ground level;
- Concept plan – roof level;
- Plant Palette.

The applicant team responded to questions from Panel members regarding the following:

- Grade difference between lane access and surface visitor parking;
- Use of privacy fencing to separate resident parking from visitor parking;
- Height of parkade to accommodate loading bay and garbage room;
- Provision of garbage staging area;
- Location of visitor parking spaces;
- Difference in size of two balconies;
- How sunlight reaches rooftop community garden plots;
- Height of trees on rooftop perimeter;
- Colour of landscaping in front;
- Provision of electrical outlets for e-bikes;
- Type of HVAC for units;
- Internal access to garbage room;
- EV plugs and pre-ducting for electric vehicles;
- Reflective roof treatment.

Panel members provided feedback on the form and character of the development and discussion took place regarding the following:

- Reconfiguring living spaces to face street;
- Enlarging balconies where possible;
- Reconfiguring bedrooms in corner unit in order to have two unit entries facing sidewalk;
- Reconfiguring roof adjacent to 2nd floor balcony;
- Doubling or tripling entry stair; lowering height of intermediate landing;
- Providing more direct access from accessible parking spaces to parkade elevator;
- Providing more creative delineation of various spaces on rooftop;
- Remove ensuite door in units that have two doors accessing bathroom;
- Reconfiguring bike storage and unit storage areas for better bike maneuverability;
- Having extra sound panel in units adjacent to amenity rooms;
- Creating more visual interest in back entrance with design of columns;

Councillor Solyom entered the meeting.

- Breaking up big pillar look of façade located on one side of building;
- Moving bike racks from street onto podium level; ensuring style of bike rack is practical and lockable;
- Providing some cover along walkway to Garbage Room;
- Equipping adaptable units with appliances that are reachable from a wheelchair and providing larger door widths in bathroom for wheelchair access;
- Putting heavy duty door on garbage room;
- Including a pergola on rooftop amenity space;

- Ensuring stairways and entrances are well lit;
- Using Canada Post recommended hardware for postal service;
- Breaking up brightness on the posts at rear entrance with partial brick.

The applicant team left the meeting.

It was MOVED and SECONDED
THAT:

The ADP receive the staff report dated December 2, 2024 for information; and
The ADP recommends the applicant give further consideration to the following
prior to the application proceeding to Council:

- a. Explore configuring all surface parking spaces to be accessed from the internal aisle;
- b. Enlarge balconies where possible;
- c. Consider reconfiguring unit floor plans to face common areas (i.e. living rooms) to the front lot line vs. the side lot line (e.g. southwest corner units);
- d. Provide more design interest to the garbage building, especially to its roof (e.g. relationship to adjacent 2nd floor balcony);
- e. Consider the feasibility of widening the exterior stairway to the main entrance;
- f. Review the configuration of the parkade elevator vestibule to improve access from accessible parking spaces;
- g. Provide more delineation between different activity areas on the rooftop patio, including adding an overhead shade structure and considering a barbecue area;
- h. Review usability of two-doored washrooms in 2-bedroom units;
- i. Look for opportunities to make the bicycle and storage rooms more efficient, to create more storage rooms and/or improve bicycle maneuverability;
- j. Consider additional sound attenuation between amenity rooms and adjacent units;
- k. Review the rear entrance area for design interest and contrast (e.g. brick column treatment);
- l. Break up and add more variety to the façade of the west-facing wall near the northwest corner;
- m. Raise the front visitor bike rack onto the podium level and ensure the rack model is convenient and secure;
- n. Explore weather protection over the rear path to the lane;
- o. Use a heavy-duty door into the garbage building;

- p. Reconfigure the garbage room to provide access from within the aisle;
- q. Ensure adequate lighting at entrances and stairways;
- r. Incorporate Canada Post-recommended hardware;
- s. Confirm that the adaptable units have adequate door widths and include side-by-side washers/dryers where possible.

CARRIED

4) **NEXT MEETING**

Depending on availability of members, staff proposed having two meetings in January on the 15th and 29th.

5) **PANEL MEMBERSHIP PHOTO**

Photo was taken.

6) **ADJOURNMENT**

It was MOVED and SECONDED

THAT the meeting adjourn at 7:56 pm.

CARRIED



ADVISORY DESIGN PANEL CHAIR



CORPORATE OFFICER



ADVISORY DESIGN PANEL REPORT

To: **Advisory Design Panel**

Subject: **Development Permit Application DP 15-23
Rezoning Application RZ 14-23
(20239-20249 54A Avenue)**

From: Anton Metalnikov, RPP, MCIP
Planner

File #: 6620.00
Bylaw #: 3303

Doc #:

Date: December 2, 2024

RECOMMENDATION:

THAT this report be received for information.

1. PROPOSAL:

Development Permit and Zoning Bylaw amendment applications for a 6-storey, 70-unit apartment building at 20239-20249 54A Avenue.

2. CITY BYLAWS & POLICIES:

Applying to the subject properties:

- a. **Official Community Plan (OCP):** Mid Rise Residential (6-12 storey height and maximum Floor Area Ratio of 3.5);
- b. **Zoning:** RM1 Multiple Residential Low Density; and
- c. **Transit Oriented Area (TOA):** Tier 3 (minimum allowable 8-storey height and Floor Area Ratio of 3, no residential parking requirements).

The proposed development:

- a. Is consistent with the OCP (6-storey height and 2.7 FAR);
- b. Includes a rezoning to CD105 Comprehensive Development Zone to enable the proposed development in alignment with the OCP, due to the absence of a standard zone accommodating the Mid Rise Residential OCP designation in the current Zoning Bylaw; and
- c. Requires a Development Permit for a multi-unit residential development.

3. DETAILED BACKGROUND INFORMATION

Applicant:	Paramorph Architecture Inc.
Owner:	HOV Investments Ltd.
Civic Addresses:	20239-20249 54A Avenue
Legal Description:	Strata Lots 1-4, District Lot 305, Group 2, New Westminster District, Strata Plan NW2626 & Strata Lots 1-2, District Lot 305, Group 2, New Westminster District, Strata Plan NW1617
Site Area:	1,863 m ² (0.46 acres)
Number of Units:	70 apartments
Gross Floor Area:	4,996 m ² (53,778 ft ²)
Floor Area Ratio:	2.682
Lot Coverage:	49%
Total Parking Required:	4 accessible spaces
Parking Provided:	56 spaces (including 5 accessible spaces)
OCP Designation:	Mid Rise Residential
Existing Zoning:	RM1 Multiple Residential Low Density
Proposed Zoning:	CD 105 Comprehensive Development
Variances Requested:	N/A
Estimated Development Cost Charges (DCCs):	\$1,235,928.00 (City - \$573,600.00, GVS&DD - \$264,762.00, GVWD - \$262,102.00, SD35 - \$36,400.00, TransLink - \$99,064.00)
Community Amenity Contributions (CACs):	\$284,400.00

4. SITE CONTEXT (20239-20249 54A AVENUE)

The proposed development site consists of two properties: one with a strata duplex and the other with a strata fourplex. Its surroundings include:

- **North:** Unbuilt City lane right-of-way and Chelsea Terrace (3-storey apartment building). The development would be required to construct this lane and dedicate land to widen it to the City's 8-metre width standard. Combined with anticipated lane construction associated with the nearby development at 20220 & 20230 Michaud Crescent (DP 14-23 and Rezoning Bylaw No. 3291; Third Reading granted September 23, 2024), this would complete the lane between Michaud Crescent and 54A Avenue.
- **East:** Manohah Manor (3-storey apartment building).
- **South:** 54A Avenue (local street) and Arbutus Court (3-storey apartment building).
- **West:** Suede (4-storey apartment building).

Key neighbourhood amenities within walking distance include:

- Linwood Park (few minutes' walk);
- Timms Community Centre (5-to-10-minute walk); and
- Nicomekl Elementary School (10-minute walk).

Nearby transportation services include:

- Six local and regional bus routes within a 5-minute walk;
- The frequent 503 Fraser Highway Express bus (5 to 10-minute walk); and
- The planned Langley City Centre SkyTrain station and its associated transit exchange (5 to 10-minute walk).



Context map

5. Proposed Site and Building Design

A. Site Layout and Building Massing

The proposed development is for a wood-frame building, with a flat roof, in a rectangular shape oriented north-south. A single level of underground parking is provided, with additional surface parking provided on the rear half of the site. The building's ground floor screens this parking area from the lone street frontage and upper floors extend their footprint over it on

columns. Pedestrian access is provided to both 54A Avenue to the south, with the main entrance on the building's corner, and the lane to the north, while vehicle access is limited to the rear lane.

B. Building Elevations and Materials

The parkade extrudes slightly above grade and is clad with brick veneer. This brick extends up the first two floors of the building. Elsewhere, the cladding consists primarily of grey and wood-tone fiber cement panelling. Both glass and black picket aluminum balcony railings are used. Cantilevered balconies and extruded masses, frames, and cornices add depth to the façades.

C. Landscaping

Landscaping consists of a planted perimeter and a programmed rooftop amenity deck. Plantings include a variety of shrubs and ground covers, along with 6 trees proposed on-site, with additional street trees to be provided as part of required frontage upgrades. Solid black aluminum fencing is provided on the side property lines and between the ground floor patios. The rooftop deck hosts dining and lounge areas and 15 garden plots, with linear planters with Japanese Holly plants delineating these different spaces. This rooftop area is set back from the roof edges for safety and privacy.

D. Building Program and Details

The building's unit mix includes:

- 13 studios (19%);
- 31 one-bedroom units (44%);
- 21 two-bedroom units (30%); and
- 5 three-bedroom units (7%).

15 (21%) of the units are adaptable. Resident storage facilities are provided in storage rooms in the underground parkade as well as within in-unit storage rooms. 514 m² (5,522 ft²) of total amenity space is provided, including 215 m² (2,309 ft²) of indoor space and 299 m² (3,213 ft²) of outdoor space split between the rooftop deck and a ground-floor patio outside the indoor amenity lounge.

6. Sustainability Features

- Construction techniques that minimize site disturbance and protect air quality;

- Lighting systems meeting ground-level and dark skies light pollution reduction principles;
- Incorporating a construction recycling plan;
- Reduced heat island effect with a high-reflectivity roof;
- Non-water dependent and drought-tolerant materials in the landscape design served by an irrigation system with central control and rain sensors;
- Water-conserving toilets;
- 8 resident parking stalls with Level II electric vehicle (EV) chargers; and
- 15 resident garden plots.

7. CPTED

The applicant's proposal benefited from a comprehensive Crime Prevention Through Environmental Design (CPTED) review by a qualified consultant whose recommendations were incorporated into the plans.

8. Variances

No variances are required for this application. Under recent Provincial legislation the City cannot require a specific number of residential and residential visitor parking spaces at this location (Transit Oriented Area, TOA).

9. Engineering

Additional design changes may be required upon further investigation, site inspections and receipt of other supporting reports and documents.

All work to be done to the City of Langley's Design Criteria Manual (DCM), and the City's Subdivision and Development Servicing Bylaw (SDSB).

Per the City's DCM requirement, the developer and their consulting engineer shall submit to the City Engineer a signed and sealed copy of Form F-1 (Commitment by Owner and Consulting Engineer) prior to starting their design works.

Per the City's Watercourse Protection Bylaw No. 3152, the developer's consulting engineer shall submit to the City Engineer a signed and sealed copy of Form F-1 (Confirmation of Commitment by Qualified Environmental Professional - QEP) prior to starting their site monitoring works.

These requirements have been issued to reflect the application for a proposed 70-Unit Apartment Development located at 20239-20249 54A Avenue.

These requirements may be subject to change upon receipt of a development application.

The City's Zoning Bylaw, 1996, #2100 has requirements concerning landscaping for buffer zonings, parking and loading areas, and garbage and recycling containers, all of which applies to this design.

- A) The developer is responsible for the following work which shall be designed by a Professional Engineer:
- I. A Qualified Environmental Professional (QEP) must be engaged to implement erosion and sediment control in accordance with the City of Langley Watercourse Protection Bylaw #3152, as amended.
 - II. A storm water management plan for the site is required. Rainwater management measures used on site shall limit the release rate to pre-development levels to mitigate flooding and environmental impacts as detailed in the City's DCM. All calculations shall be based the City' DCM with 20% added to the calculated results to account for climate change. A safety factor of 20% shall be added to the calculated storage volume. Pre-development release rates shall not include climate change effect.
 - III. All existing services shall be capped at the main by the City, at the Developer's expense prior to applying for a demolition permit.
 - IV. New water, sanitary and storm sewer service connections are required. All pertinent pipe design calculations shall be submitted in spreadsheet format and shall include all formulas for review by the City. The Developer's engineer will determine the appropriate main tie-in locations and size the connections for the necessary capacity.
 - V. At the Developer's expense, the capacity of the existing water and sanitary sewer mains shall be assessed through hydraulic modeling performed by the City's standing hydraulic modeling consultant per DCM 3.8 and 6.5.
 - a. Any upgrade requirement for either sanitary or water mains not covered under the City's DCC bylaw shall be designed and installed by the Developer at the Developer's expense.
 - b. At the Developer's expense, the City's standing hydraulic modeling consultant shall conduct a fire hydrant flow test to be used in the City's water modeling to determine if the existing water network is adequate for fire flows (based on architectural data supplied by the Developer's Architect). Upgrading of the existing watermain(s) may be necessary to achieve the necessary pressure and flows to conform to Fire Underwriters Survey (FUS) "Water Supply for a Public Fire Protection, a Guide to Recommended Practice, 1995."
 - VI. Additional C71P fire hydrants may be required to meet bylaw and firefighting requirements. Hydrant locations must be per DCM Section 3.10 and approved by the City Engineer and the City of Langley Fire Rescue Service.

- VII. A property dedication of approximately 2m will be required along the lane frontage north of the proposed development to achieve a 8m right of way width.
- VIII. At the Developer's expense, a Traffic Impact Assessment (TIA) will be completed per the DCM Section 8.21. The proposed development plan and statistics, once ready, should be forwarded to the City Engineer to develop the scope of this traffic study. TIA reports must be approved by the City Engineer prior to taking the application to Council. The TIA completion timing must be:
 - a. For OCP Amendment / Rezoning Applications: Prior to Council's first and second readings; and
 - b. For Development Permits (DP): Prior to Council consideration of the application.
- IX. The scope and extent of the off-site works be determined in part from the TIA. New sidewalk, barrier curb, gutter will be required along the entire 54A St. frontage, complete with boulevard trees and a planting strip as per the City DCM cross-section SS-R07 and Section 11.0 - Specifications and Standards for Landscaping.
- X. The condition of the existing pavement along the proposed project's frontages shall be assessed by a geotechnical engineer. Pavements shall be adequate for an expected road life of 20 years under the expected traffic conditions for the class of road. Road construction and asphalt overlay designs shall be based on the analysis of the results of Benkelman Beam tests and test holes carried out on the existing road which is to be upgraded. If the pavement is inadequate, it shall be remediated by the Developer, at the Developer's expense.
- XI. The site layout shall be reviewed by a qualified Professional Engineer to ensure that the parking layout, vehicle circulation, turning paths and access design meet applicable standards and sightline requirements, including setbacks from property lines. Appropriate turning templates should be used to prove parking stalls, loading areas and drive aisles are accessible by service vehicles. Refer to DCM Section 8. The design shall be adequate for MSU trucks as the design vehicle.
- XII. Existing street lighting along the entire project frontage shall be analyzed (excluding any BC Hydro lease lights) by a qualified electrical consultant to ensure street lighting and lighting levels meet the criteria outlined in DCM 9.0. Any required street lighting upgrades, relocation, and/or replacement shall be done by the Developer at the Developer's expense. Any existing BC Hydro lease-lights to be removed and disposed of off-site.
- XIII. Eliminate the existing overhead BC Hydro/telecommunication infrastructure along the development's 54A Avenue project frontage by replacing with underground infrastructure.
- XIV. A dedicated on-site loading zone shall be provided by the developer. The design shall be adequate for MSU trucks as the design vehicle.

B) The Developer is required to deposit the following bonding and fees:

- I. The City will require a Security Deposit based on the estimated construction costs of installing civil works, as approved by the City Engineer.
- II. The City will require inspection and administration fees in accordance to the Subdivision Bylaw based on a percentage of the estimated construction costs, as per the City's Subdivision and Development Servicing Bylaw 2021 #3126.
- III. A deposit for a storm, sanitary and water services is required, which will be determined by City staff after detailed civil engineering drawings are submitted, sealed by a Professional Engineer.
- IV. The City will require a \$40,000 bond for the installation of a water meter to current City standards as per the DCM.
- V. A signed and sealed pavement cut form (Form F-2 of the City's DCM) shall be completed by the developer's consulting engineer. Upon the review and approval of the City Engineer of the submitted form, the corresponding Permanent pavement cut reinstatement and degradation fees shall be paid by the Developer.

NOTE: Deposits for utility services or connections are estimates only. The actual cost incurred for the work will be charged. The City will provide the developer with an estimate of connections costs, and the Developer will declare in writing that the estimate is acceptable.

C) The Developer is required to adhere to the following conditions:

- I. The Developer's Consulting Engineer shall perform their periodic Field Reviews, As required by EGBC, and send a copy of the Review to the City Engineer within a week of completion of each Review
- II. Unless otherwise specified by the City Engineer, all engineering works shall be designed based on the City's DCM specifications in accordance with the City's Subdivision and Development Servicing Bylaw 2021, No. 3126
- III. Undergrounding of hydro, telecommunication to the development site is required, complete with underground or at-grade transformer
- IV. Transformers servicing developments are to be located on private property with maintenance access located on private property. All transformers to be wrapped upon installation by the Developer.
- V. All survey costs and registration of documents with the Land Titles Office are the responsibility of the developer/owner. Please refer to the City's Subdivision and Development Servicing Bylaw 2021, No. 3126 for more details.
- VI. A water meter is required to be installed on private property, preferably in the mechanical room, in accordance to the City's DCM standards at the Developer's cost.

- VII. An approved backflow prevention assembly must be installed on the domestic water connection immediately upon entering the building to provide premise isolation.
- VIII. A Stormceptor or equivalent oil separator is required to treat site surface drainage.
- IX. A complete set of record drawings (as-built) of off-site works, service record cards and a completed tangible capital asset form (TCA) all sealed by a Professional Engineer shall be submitted to the City within 60 days of the substantial completion date. Digital drawing files in .pdf and .dwg formats shall also be submitted. All the drawing submissions shall:
 - a. Use City's General Note Sheet and Title Block; and
 - b. Closely follow the format and sequence outlined in the City's DCM that will be provided to the Developer's Consulting Engineer.
- X. The selection, location and spacing of street trees and landscaping are subject to the approval of the City Engineer. Please refer to the City's DCM for more details.
- XI. Stormwater run-off generated on the site shall not impact adjacent properties, or roadways.
- XII. Garbage and recycling enclosures shall accommodate on the site and be designed to meet Metro Vancouver's "Technical Specifications for Recycling and Garbage Amenities in Multi-family and Commercial Developments - June 2015 Update." Please refer to the City's Subdivision and Development Servicing Bylaw 2021, No. 3126 for more details.

10. Fire Department Comments

Fire department access for the whole project was reviewed to ensure adequate access was in place for apparatus and firefighters. A construction fire safety plan shall be completed, complete with crane inspection records. A progressive standpipe installation will be required as construction rises. Standpipes will be required at the main entrance of the parkade, at the stairwells on rooftop, and in elevator lobbies. Stairwells act as an area of refuge and should be made as wide as possible (60") All garbage/recycling containers must be stored in a fire rated, sprinklered room, and must be of adequate size to prevent spillover into adjacent area. Marked Exits must not be on a fob. A radio amplification bylaw is currently in development and will need to be adhered to. Consideration will be given to the installation of power banks in the storage room lockers for e-bikes charging. A Fire Safety plan and FD lock box (Knox box) will be required before occupancy. The 4" FDC will be located on a pedestal at the front of the building, exact location to be discussed with the Fire Department at a later date.

11. Budget Implications

In accordance with Development Cost Charges Bylaw, 2024, No. 3256 and the City's Amenity Contributions Policy, the proposed development is estimated to contribute the following to the City:

- **Development Cost Charges (DCCs):** \$573,600.00
- **Community Amenity Contributions (CACs):** \$284,400.00

Prepared by:



Anton Metalnikov, RPP, MCIP
Planner

Concurrence:



Roy M. Beddow, RPP, MCIP
Deputy Director of Development Services

Concurrence:



Carl Johannsen, RPP, MCIP
Director of Development Services

Concurrence:



Rachel Ollenberger, ASCT
Manager of Engineering Services

Concurrence:



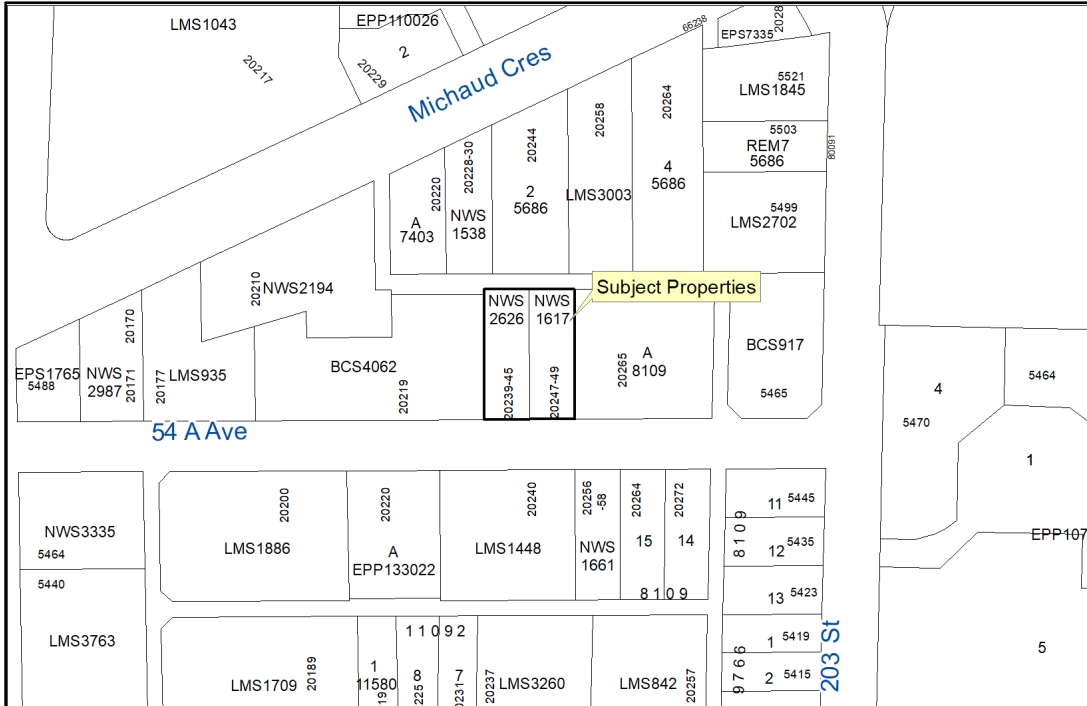
Scott Kennedy, Fire Chief

Attachments



DEVELOPMENT PERMIT APPLICATION DP 15-23 REZONING APPLICATION RZ 14-23

Civic Addresses: 20239-20249 54A Avenue
Legal Description: Strata Lots 1-4, District Lot 305, Group 2, New Westminster District, Strata Plan NW2626 & Strata Lots 1-2, District Lot 305, Group 2, New Westminster District, Strata Plan NW1617
Applicant: Paramorph Architecture Inc.
Owner: HOV Investments Ltd.





DEVELOPMENT PERMIT APPLICATION



MULTI FAMILY DEVELOPMENT

20239 & 20247, 54A Avenue,
Langley City, British Columbia



DRAWING LIST

COVER PAGE	A-0.1
LOCATION MAP AND TEAM	A-0.2
LAND USE & CONCEPT PLAN	A-0.3
CONTEXT PLAN	A-0.4
PROGRAM SUMMARY	A-0.5
BASE PLAN	A-0.6
SHADOW STUDY	A-0.7
SITE PLAN	A-1.0
FLOOR PLANS	A-2.0 TO A-2.7
PERSPECTIVES	A-3.0 TO A-3.7
MATERIAL BOARD	A-3.8
ELEVATIONS	A-3.9 TO A-3.10
SECTIONS	A-4.0 TO A-4.1
UNIT PLANS	A-5.0 TO A-5.6
GARBAGE ENCLOSURE DETAIL	A-6.0
MAILBOX ROOM DETAIL	A-6.1

LOCATION



PROJECT TEAM

ARCHITECT - PARAMORPH ARCHITECTURE INC.
 308-9639 137A Street
 Surrey, BC V3T0M1
 (604) 608-0161
 info@paramorph.com

SURVEYOR - TARGET LAND SURVEYING
 Surrey, BC
 (604) 583-6161

LANDSCAPE - DAVID STOYKO LANDSCAPE ARCHITECT
 2686 6th Avenue East
 Vancouver, BC V5M 1R3
 (604) 720-0048
 david@davidstyko.com

CIVIL - CENTRAS ENGINEERING LTD.
 218 - 2630 Croydon Drive
 Surrey, BC V3S 6T3
 (778)879-7602
 aman@centras.ca

ARBORIST - FROGGERS CREEK TREE CONSULTANTS LTD.
 7763 McGregor Avenue
 Burnaby, BC V5J 4H4
 (604)721-6002
 glenn@froggerscreek.ca

CPTED - LIAHONA SECURITY CONSORTIUM INC.
 (250)418-0770
 liahonasecurity@shaw.ca

GEOTECH - GEOPACIFIC CONSULTANTS
 1779 West 75th Avenue
 Vancouver, BC V6P 6P2
 (604)439-0922

PMA
ParaMorph
Architecture Inc
 308 - 9639 137A Street, Surrey BC V3T 0M1
 1800 West 2nd Avenue, Vancouver, BC V6J 1H6
 (604)608-0161 | paramorph.com

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2024-09-06	Revisions/Comments
2024-06-13	D.P. Submission
2023-12-13	D.P. Submission
2023-07-10	Preliminary Application

Issues / Revisions



Project Title
MULTI FAMILY DEVELOPMENT

Project Address
 20239.20247 54A Ave,
 Langley City, BC

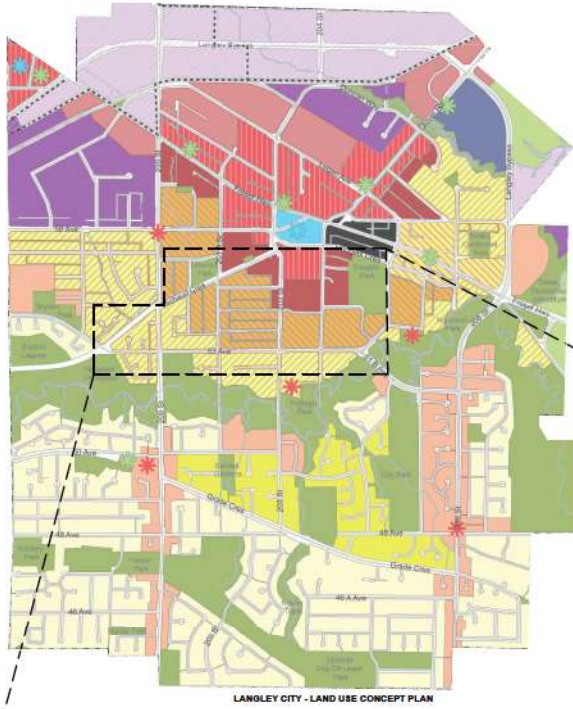
Drawn By PS	Date 2025-01-16
Checked By MG	Project ID LAIR_2026

Sheet Title
PROJECT SUMMARY

Scale

Sheet No.

A-0.2



LEGEND FOR LAND USE CONCEPT PLAN

- Agriculture
- City Center
- Ground Oriented Residential
- Historic Downtown Core
- Industrial
- Mixed Use
- Low Rise Residential
- Mid Rise Residential
- Mixed Employment
- Parks and Open Space
- Popcorn
- Public Area
- Service Commercial
- Suburban
- Transit-Oriented Core
- Transit-Oriented Residential
- University District
- Urban Residential

LEGEND FOR TRANSPORTATION CONCEPT-ROAD NETWORK

FUTURE

- Existing Bicycle Corridor
- Proposed Bicycle Route
- Major Venues
- Regional Transit Exchange
- Local Transit Mode
- Local Regional Transit Station
- Proposed Rapid Bus-Alignment (TR)
- Light Rail (LRT)
- Local Transit Mode

ACTIVE

- Existing Bike Route
- Proposed Bike Route
- Major Venues
- Regional Greenway
- Local Greenway
- Local Transit Mode
- Unimodal Park Trail
- Transit-Oriented Core
- Light Rail Station
- Place or Open Space
- Park
- Selected School Street No. 30



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Issues / Revisions

Seal

2025-01-17

Project Title
MULTI FAMILY DEVELOPMENT

Project Address
**20239.20247 54A Ave,
Langley City, BC**

Drawn By
PG

Checked By
MG

Date
2025-01-16

Project ID
LA19_2025

Sheet Title
LAND USE AND CONCEPT PLAN

Scale
N.T.S.

Sheet No.
A-0.3



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2023-07-10	Preliminary Application

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Project Title
 MULTI-FAMILY DEVELOPMENT
Project Address
 20239.20247 54A Ave,
 Langley City, BC

Drawn By
 PG
Checked By
 MG
Date
 2025-01-16
Project ID
 LA19_2026

Sheet Title
 CONTEXT PLAN

Scale
 N.T.S.

Sheet No.
 A-0.4

Program Summary

LOT INFO	ADDRESS	20239,20247 54A Ave, Langley City			
	LEGAL DESCRIPTION	PLAN NWS2626 LOT 1 & Plan NWS1617 Lot 1			
	SITE AREA	(Sqft)	(SqM)	(Acre)	(Ha)
	GROSS AREA	20,058	1,863	0.46	0.19
	DEDICATION	736	68	0.02	0.01
NET AREA (AFTER DEDICATION)	19,321	1,795	0.44	0.18	

ZONING	ZONING		CURRENT	PROPOSED
				CD
	FAR (ON GROSS AREA)		PERMITTED	PROPOSED
	FAR			2.68
	TOTAL AREA(SQ FT.)			53778
	SETBACKS		PERMITTED	PROPOSED
	NORTH (ALONG LANE)			6.00m
	SOUTH(ALONG 54 A Ave)			3.00m
	EAST (ALONG NEIGHBOURING LOT)			6.00m
	WEST (ALONG NEIGHBOURING LOT)			6.00m
BLDG HEIGHT		PERMITTED	PROPOSED	
NO. OF DWELLING UNITS			6 STOREY	
NO. OF ADAPTABLE UNITS			70	
			15 (21% OF TOTAL UNITS)	

PROPOSED FLOOR AREA SUMMARY	SITE COVERAGE (ON NET AREA)		(Sqft)	(SqM)	(%)	REMARKS
	PROPOSED		9440	877	48.86%	

FAR CALCULATION (GROSS)						
RESIDENTIAL (EXCLUDING PARKING)	RESIDENTIAL (Sqft)	CIRCULATIONS (Sqft)	AMENITY (Sqft)	BUILDABLE (Sqft)	EFFICIENCY	
MAIN FLOOR LVL	2,906.40	1,362.58	2,309	6,578.07	79%	
SECOND FLOOR LVL	8,443.60	996.34	0	9,439.94	89%	
THIRD FLOOR LVL	8,443.60	996.34	0	9,439.94	89%	
FOURTH FLOOR LVL	8,443.60	996.34	0	9,439.94	89%	
FIFTH FLOOR LVL	8,443.60	996.34	0	9,439.94	89%	
SIXTH FLOOR LVL	8,443.60	996.34	0	9,439.94	89%	
TOTAL FLOOR AREA				53,777.79		

PROPOSED FLOOR AREA SUMMARY	UNIT COUNT				
	TYPE	NO. OF BR.	AREA	TOTAL UNITS	TOTAL AREA (Sqft)
	UNIT-A	1BR	491.00	5	2,455
	UNIT-A1	1BR	535.00	1	535
	UNIT-B	2BR	789.00	6	4,734
	UNIT-C	STUDIO	512.00	11	5,632
	UNIT-C1	STUDIO	501.00	1	501
	UNIT-C2	STUDIO	573.00	1	573
	UNIT-D (ADAP.)	1BR	537.00	5	2,685
	UNIT-E	3BR	853.00	5	4,265
	UNIT-F	1BR	432.00	5	2,160
	UNIT-G	1 BR	634.00	5	3,170
	UNIT-H (ADAP.)	1 BR	688.00	10	6,880
	UNIT-J	2BR	666.00	5	3,330
	UNIT-K	2BR	885.00	5	4,425
	UNIT-K1	2BR	797.00	5	3,985
	TOTAL			70	45,330

OFF STREET PARKING	PARKING REQUIREMENTS BREAKDOWN				
	Studio	13	1.0 / Unit	13	5
	1 Bedroom , 1 Bedroom+Den	31	1.1/ Unit	34.1 SAY 34	22
	2 bedroom	21	1.3/ Unit	27.3 SAY 27	11
	3 bedroom	5	1.5/ Unit	7.5 SAY 8	4
	VISITORS	70	0.2 CAR / UNIT	14.0	14
	TOTAL			96	56
	SMALL CARS	60% OF TOTAL STALLS		33.6 SAY 34	12
	ACCESSIBLE	5% OF TOTAL STALLS		2.8 SAY 3	5
	LOADING BAY			1	1
RESIDENTIAL	NO. OF UNITS	PERMITTED	REQUIRED STALLS	PROVIDED	
BICYCLE PARKING	70	0.5 / Unit + 6.0 spaces per building	41	41	
Provided @ Parkade Lvl-1 + Surface				35 + 6 @Grade	
STORAGE LOCKERS	70	1/ Unit	70	73	
Provided @PARKADE LVL-1 & in UNITS				60 in Units + 13 @PARKADE Lvl	

AMENITY CALCULATIONS	AMENITIES			
	INDOOR AMENITY	Sq.m.	Sq.ft.	REMARKS
	REQUIRED	161	1,733	2.3 Sq.m. or 24.75 Sq.ft/ UNIT
	PROPOSED (MAIN FLOOR)	215	2,309	
	OUTDOOR AMENITY	Sq.m.	Sq.ft.	REMARKS
	REQUIRED			
PROPOSED (ROOF TOP & MAIN FLOOR)	299	3,213		



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2023-07-10	Preliminary Application
Date	Description



Project Title
MULTI FAMILY DEVELOPMENT

Project Address
**20239,20247 54A Ave,
Langley City, BC**

Drawn By
PG

Date
2025-07-10

Checked By
MG

Project ID
LATR_2025

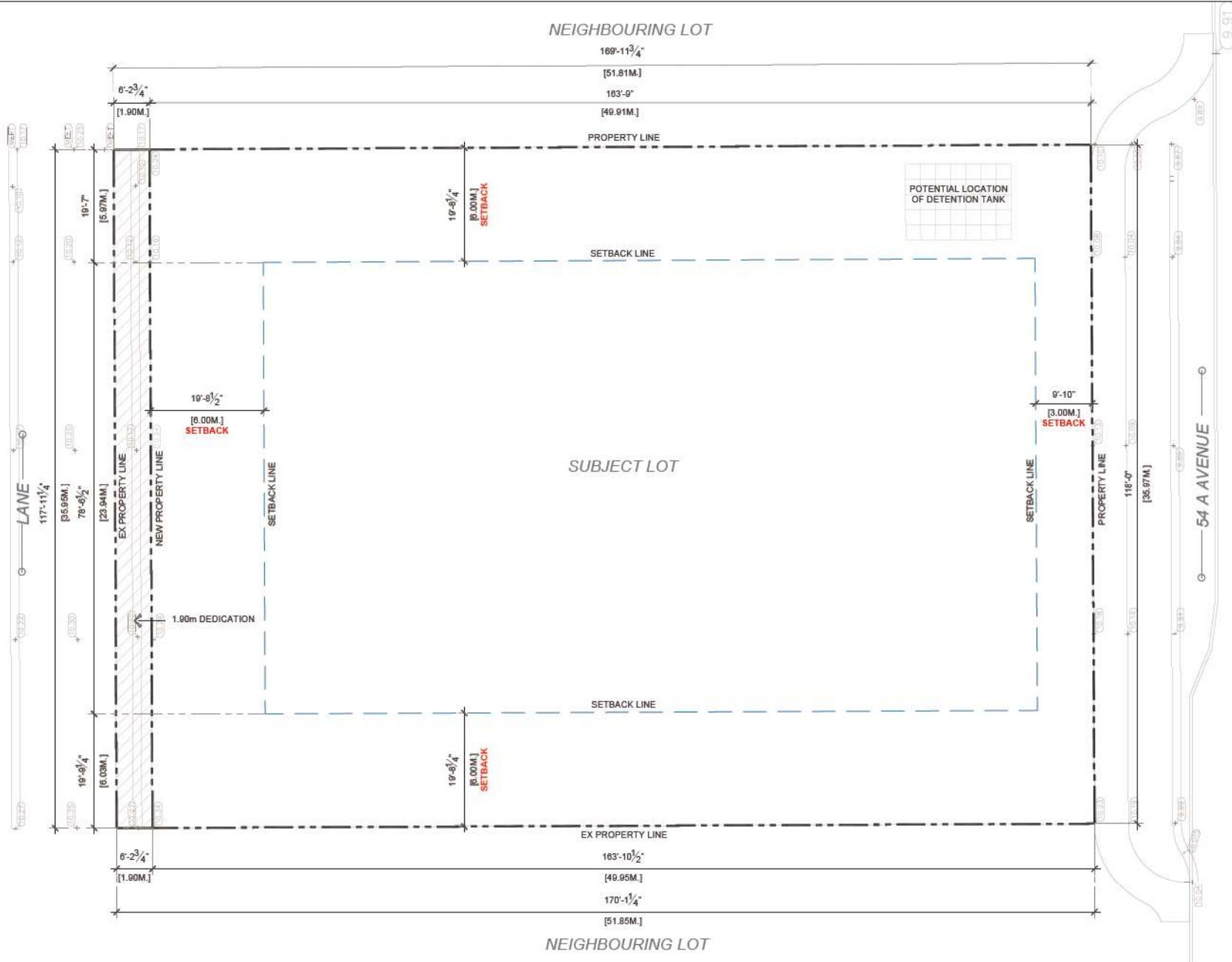
Sheet Title
PROGRAM SUMMARY

Scale

Sheet No.

A-0.5

January 10, 2025



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Issues / Revisions



Project Title
MULTI FAMILY DEVELOPMENT

Project Address
20239.20247 54A Ave,
Langley City, BC

Drawn By JP	Date 2023-07-10
Checked By MG	Project ID LA19_206

Sheet Title
BASE PLAN

Scale

Sheet No.
A-0.6



1 SHADOW @ EQUINOX MARCH 20 9AM



2 SHADOW @ EQUINOX MARCH 20 12NOON



3 SHADOW @ EQUINOX MARCH 20 3PM



4 SHADOW @ EQUINOX SEP 20 9AM



5 SHADOW @ EQUINOX SEP 20 12NOON



6 SHADOW @ EQUINOX SEP 20 3PM

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JUL-09-06	revisions/Comments
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Issues / Revisions



Project Title
MULTI FAMILY DEVELOPMENT

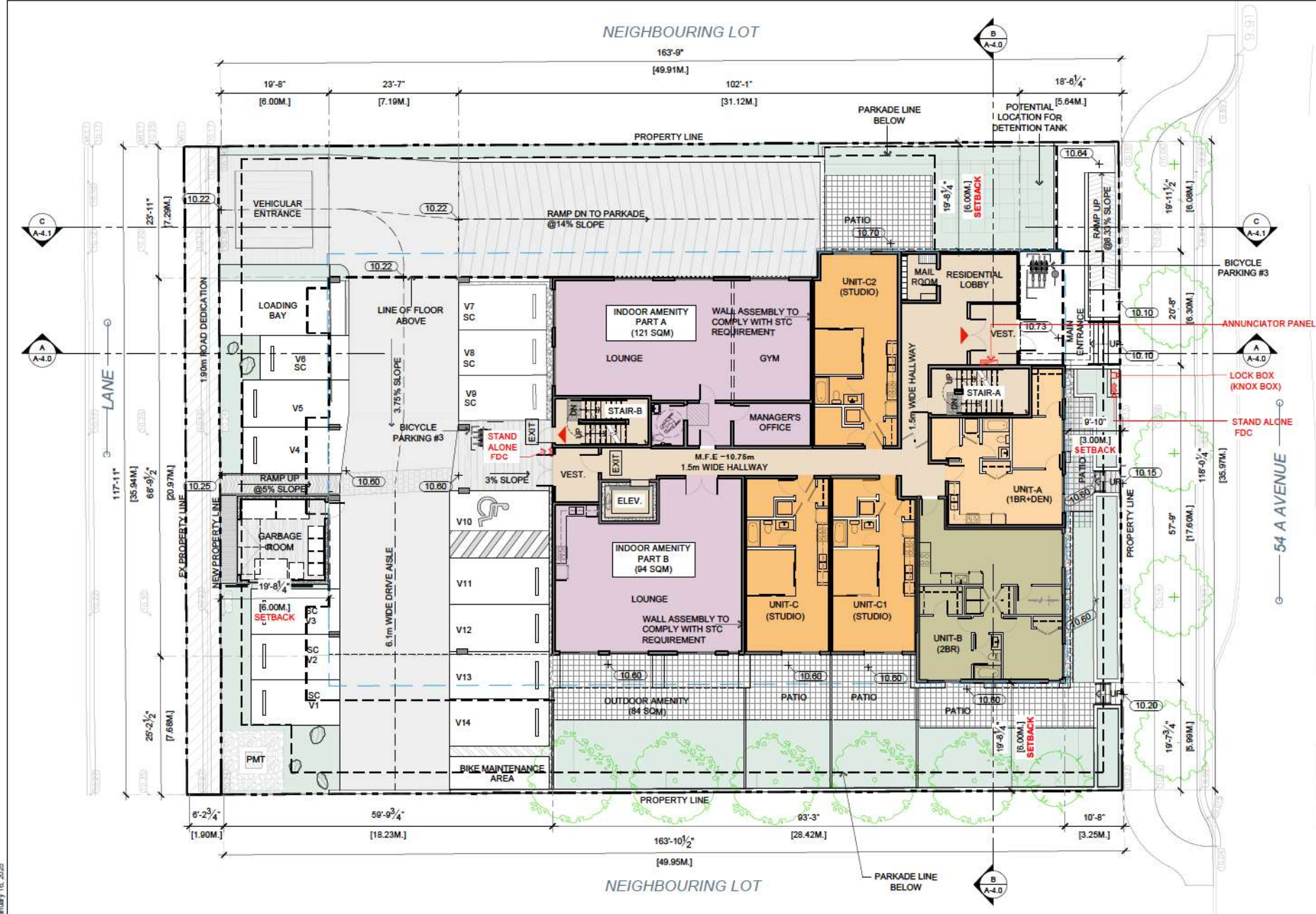
Project Address
 20239.20247 54A Ave,
 Langley City, BC

Drawn By JPB	Date 2023-07-10
Checked By MG	Project ID LA19_2008

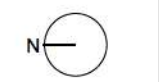
Sheet Title
SHADOW STUDY

Scale
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Sheet No.
A-0.7



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- ANNUNCIATOR PANEL
- LOCK BOX (KNOX BOX)
- STAND ALONE FDC

Date	Description
2025-01-10	Revisional Comments
2024-11-19	Revisional Comments
2024-10-17	Revisional Comments
2024-09-06	Revisional Comments
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2023-12-13	D.P. Submission
2023-07-10	Preliminary Application



Project Title
 MULTI FAMILY DEVELOPMENT

Project Address
 20239.20247 54A Ave,
 Langley City, BC

Drawn By
 PG

Checked By
 MG

Date
 2025-01-10

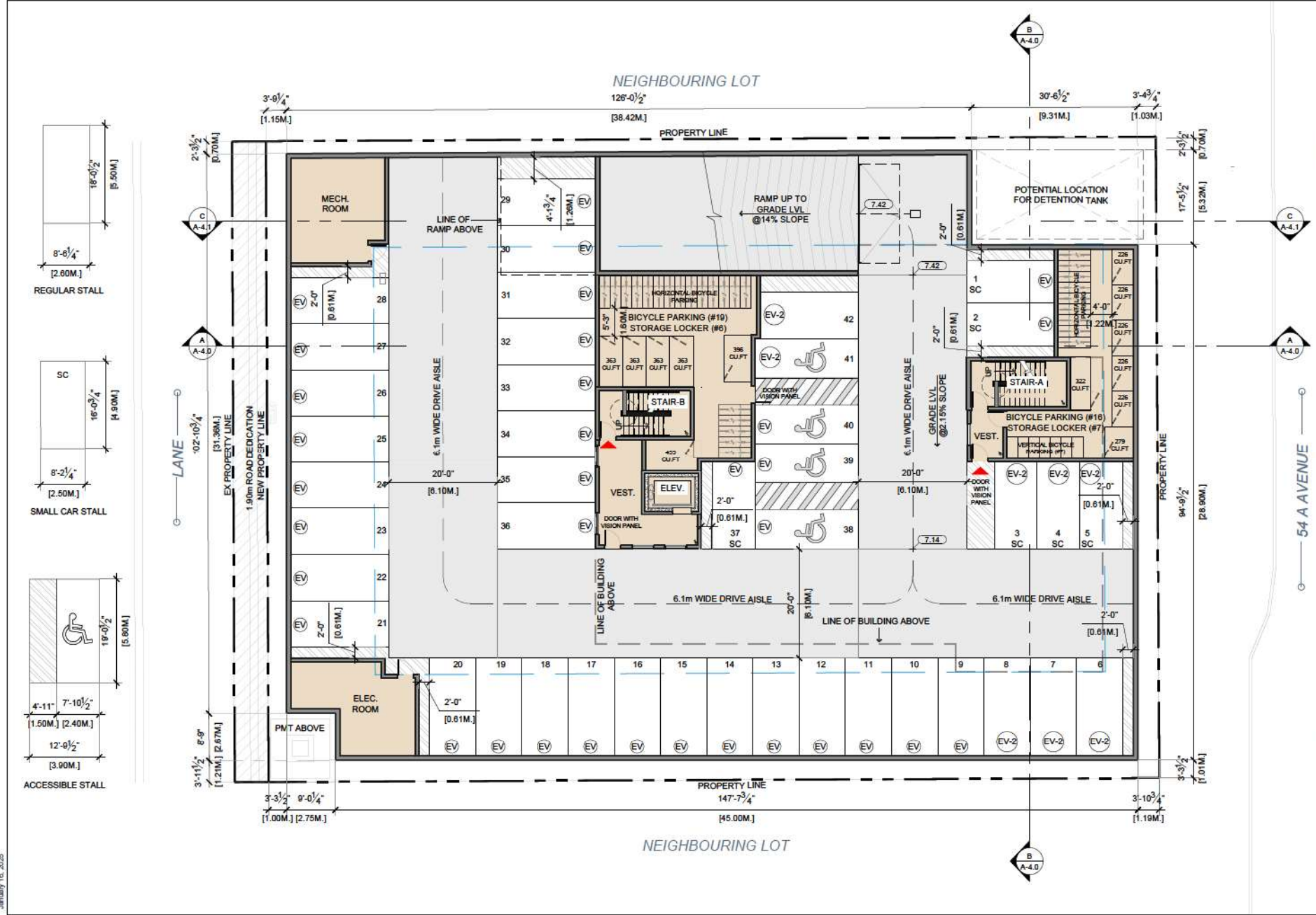
Project ID
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Sheet Title
 SITE PLAN

Scale
 1/16" = 1'-0"

Sheet No.
 A-1.0

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Project Title
 MULTI FAMILY DEVELOPMENT

Project Address
 20239.20247 54A Ave.
 Langley City, BC

Drawn By
 PG

Date
 2025-01-10

Checked By
 MG

Project ID
 LARV_2025

Sheet Title
 PARKADE LVL-1

Scale
 1/16" = 1'-0"

Sheet No.
A-2.0

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2023-07-10	Preliminary Application

Issues / Revisions



Project Title
 MULTI FAMILY DEVELOPMENT

Project Address
 20239.20247 54A Ave,
 Langley City, BC

Drawn By
 PG

Date
 2025-01-10

Checked By
 MG

Project ID
 LA176_2025

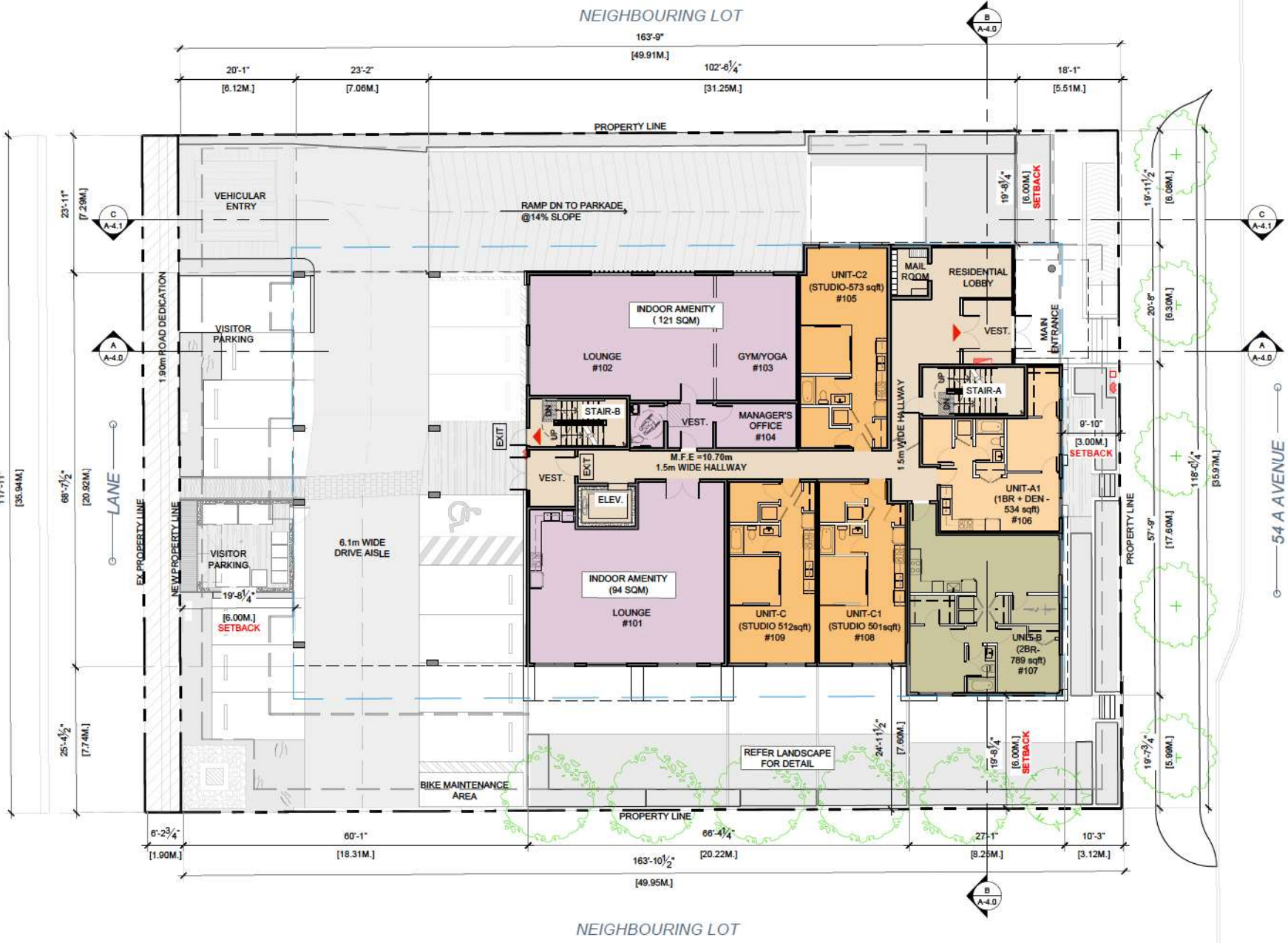
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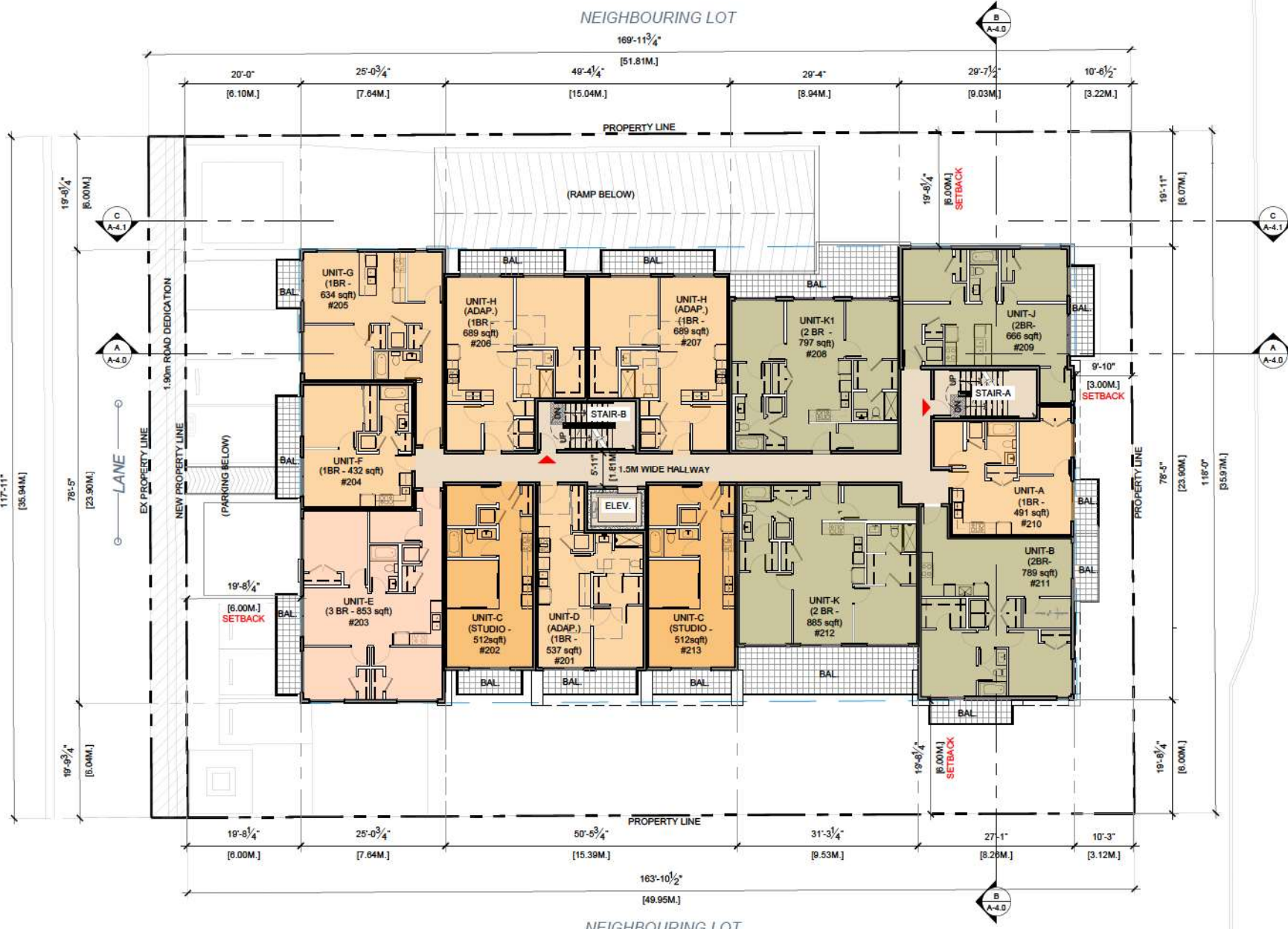
MAIN FLOOR PLAN

Scale
 1/16" = 1'-0"

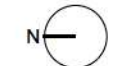
Sheet No.

A-2.1





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Issues / Revisions

Seal

Project Title
 MULTI FAMILY DEVELOPMENT

Project Address
 20239.20247 54A Ave,
 Langley City, BC

Drawn By
 PG

Checked By
 MG

Date
 2025-01-16

Project ID
 LAIR_2025

Sheet Title
 SECOND FLOOR PLAN

Scale
 1/16" = 1'-0"

Sheet No.
 A-2.2

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Issues / Revisions



Project Title
 MULTI FAMILY DEVELOPMENT

Project Address
 20239.20247 54A Ave,
 Langley City, BC

Drawn By
 PG

Date
 2023-07-10

Checked By
 MG

Project ID
 LAIR_2026

Sheet Title

THIRD FLOOR PLAN

Scale
 1/16" = 1'-0"

Sheet No.

A-2.3



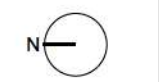
NEIGHBOURING LOT

NEIGHBOURING LOT

54 A AVENUE



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Project Title
 MULTI FAMILY DEVELOPMENT

Project Address
 20239.20247 54A Ave.
 Langley City, BC

Drawn By PB	Date 2025-01-10
Checked By MJ	Project ID LAIR_2025

Sheet Title
 FOURTH FLOOR PLAN

Scale
 1/16" = 1'-0"

Sheet No.

A-2.4

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Project Title
 MULTI FAMILY DEVELOPMENT

Project Address
 20239.20247 54A Ave,
 Langley City, BC

Drawn By PB	Date 2025-01-10
Checked By MG	Project ID LAIR_2026

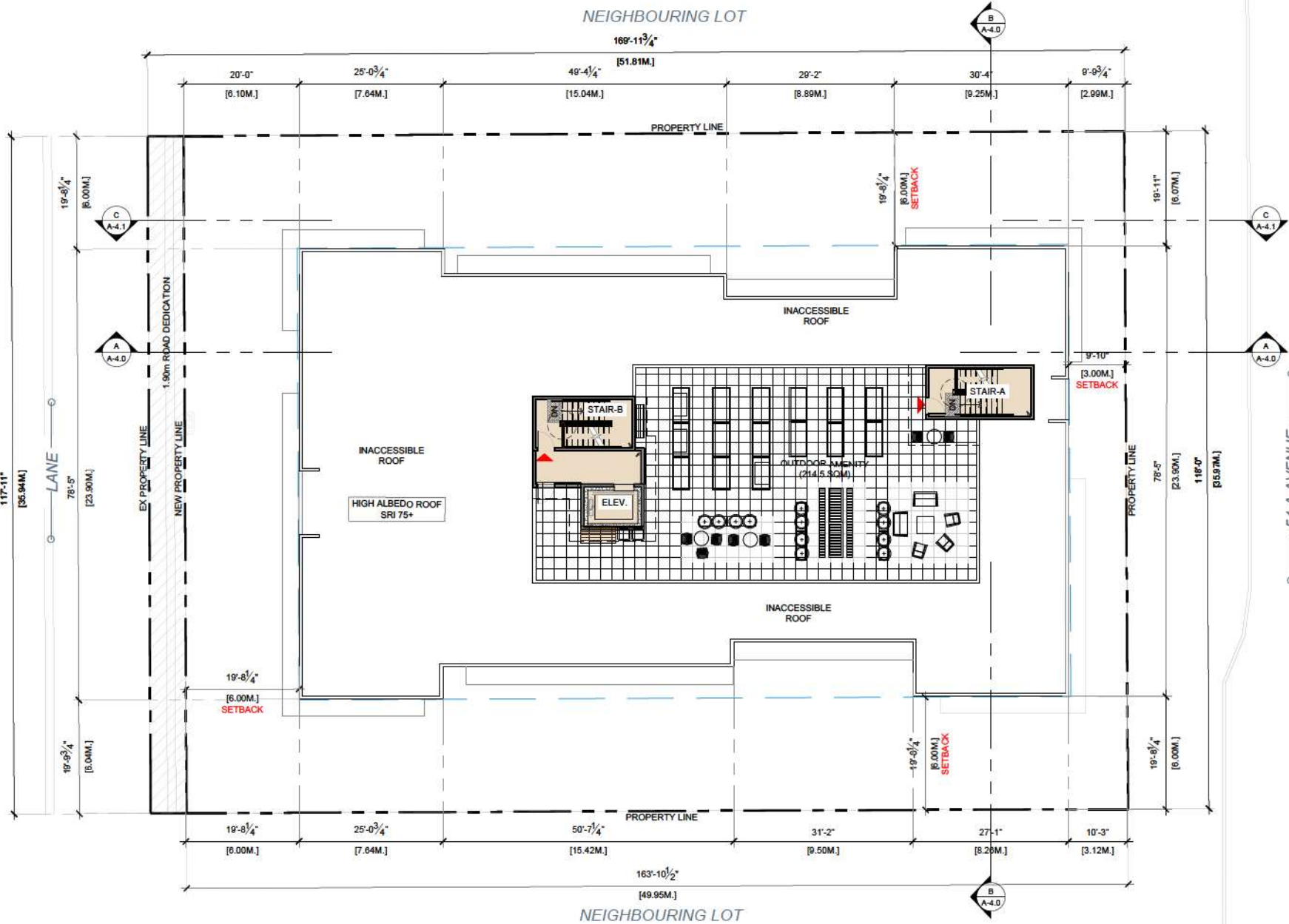
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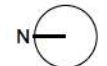
Sheet No.
A-2.5



January 10, 2025



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Project Title
 MULTI FAMILY DEVELOPMENT

Project Address
 20239.20247 54A Ave,
 Langley City, BC

Drawn By
 PG

Checked By
 MG

Date
 2025-07-16

Project ID
 LAIR_2025

Sheet Title
 ROOF TOP

Scale
 1/16" = 1'-0"

Sheet No.
A-2.7

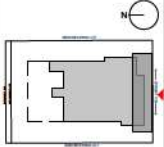


① PERSPECTIVE VIEW
ALONG 54A AVENUE

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Date	Description

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Project Title
MULTI FAMILY DEVELOPMENT

Project Address
**20239, 20247 54A Ave,
Langley City, BC**

Drawn By PB	Date 2025-01-16
Checked By MG	Project ID LA19_2026

Sheet Title
PERSPECTIVES

Scale
N.T.S

Sheet No.
A-3.0

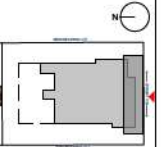


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Project Title
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Project Address
20239, 20247 54A Ave,
Langley City, BC

Drawn By
PB

Date
2025-01-10

Checked By
MG

Project ID
LA19_2026

Sheet Title

PERSPECTIVES

Scale
N.T.S

Sheet No.

A-3.1

① PERSPECTIVE VIEW ALONG 54A AVENUE (ENTRANCE)

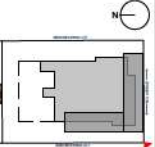


① PERSPECTIVE VIEW
ALONG SOUTH-WEST CORNER

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Architecture Inc

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Project Title
MULTI FAMILY DEVELOPMENT

Project Address
**20239, 20247 54A Ave,
Langley City, BC**

Drawn By PB	Date 2025-01-16
Checked By MG	Project ID LA19_2026

Sheet Title
PERSPECTIVES

Scale
N.T.S

Sheet No.
A-3.2

January 13, 2025

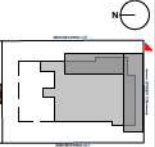


① PERSPECTIVE VIEW
ALONG SOUTH-EAST CORNER

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Project Title
MULTI FAMILY DEVELOPMENT

Project Address
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Langley City, BC**

Drawn By PG	Date 2025-01-16
Checked By MG	Project ID LA19_2026

Sheet Title
PERSPECTIVES

Scale
N.T.S

Sheet No.
A-3.3

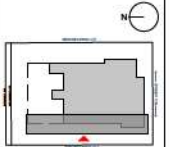


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Project Title
MULTI FAMILY DEVELOPMENT

Project Address
20239, 20247 54A Ave,
Langley City, BC

Drawn By PS	Date 2025-01-10
Checked By MG	Project ID LA19_2026

Sheet Title
PERSPECTIVES

Scale
N.T.S

Sheet No.
A-3.4

① PERSPECTIVE VIEW FROM WEST NEIGHBOURING LOT



① PERSPECTIVE VIEW FROM NORTH-WEST CORNER

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Date	Description

Issues / Revisions



Project Title
MULTI FAMILY DEVELOPMENT

Project Address
**20239, 20247 54A Ave,
 Langley City, BC**

Drawn By PB	Date 2025-01-16
Checked By MG	Project ID LATR_2026

Sheet Title
PERSPECTIVES

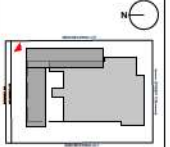
Scale
N.T.S

Sheet No.
A-3.5

January 13, 2025



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Project Title
MULTI FAMILY DEVELOPMENT

Project Address
**20239, 20247 54A Ave.,
 Langley City, BC**

Drawn By PB	Date 2025-01-10
Checked By MG	Project ID LA19_2026

Sheet Title
PERSPECTIVES

Scale
N.T.S

Sheet No.
A-3.6

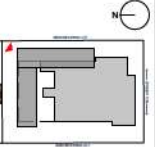
① PERSPECTIVE VIEW FROM NORTH-EAST CORNER



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Project Title
MULTI FAMILY DEVELOPMENT

Project Address
 20239.20247 54A Ave,
 Langley City, BC

Drawn By PB	Date 2025-01-10
Checked By MG	Project ID LA19L_2026

Sheet Title
PERSPECTIVES

Scale
 N.T.S

Sheet No.

A-3.7

① PERSPECTIVE VIEW FROM NE CORNER (REAR ENTRANCE)

January 13, 2025



SOUTH ELEVATION (ALONG 54 AVE)



1 - Double Glazed Windows
Color to Match: Benjamin Moore Black Ink_2127-20
Glass: Clear



2 - Aluminium Door & Double Glazed Glass
Color to Match: Benjamin Moore Black Ink 2127-20
Glass: Clear



3- Brick Veneer : IXL Building Products Ltd.
Color: Thin brick - Sienna Ironspot



4- James Hardie Siding _Rustic Series : Woodtone
Color to Match: Sand Castle
Size: 6" Siding



5- Metal Railing:
Color To Match: Benjamin Moore Black Ink_2127-20



6- Fiber Cement Panelling with Reveal
Color to Match: James Hardie_ Gray Slate



7- Fiber Cement Panelling with Reveal
Color to Match: James Hardie_ Iron Gray

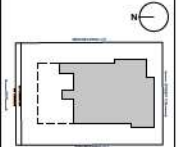


8 - Metal Railing:
Color To Match: Benjamin Moore Black Ink_2127-20
Clear Glass



*** NOTE: All fiber cement panels trims/recess, reveals, reglets, etc. must be colored matching to the panels they are attached to.**

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Project Title
MULTI FAMILY DEVELOPMENT
Project Address
20239.20247 54A Ave,
Langley City, BC

Drawn By
PB
Date
2025-01-16
Checked By
MG
Project ID
LATR_2025

SHEET TITLE
MATERIAL BOARD

Scale

Sheet No.

A-3.8



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Issues / Revisions
 Seal

 2025-01-17

Project Title
MULTI FAMILY DEVELOPMENT
 Project Address
**20239, 20247 54A Ave,
 Langley City, BC**

Drawn By
 PG Date
 2025-01-16
 Checked By
 MG Project ID
 LARV_2026

Sheet Title
ELEVATIONS

Scale
 1/16" = 1'-0"
 Sheet No.

A-3.9



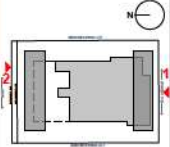
1 SOUTH ELEVATION
SCALE- 1/16" = 1'-0"



2 NORTH ELEVATION
SCALE- 1/16" = 1'-0"

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Project Title
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Drawn By
PB

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MG

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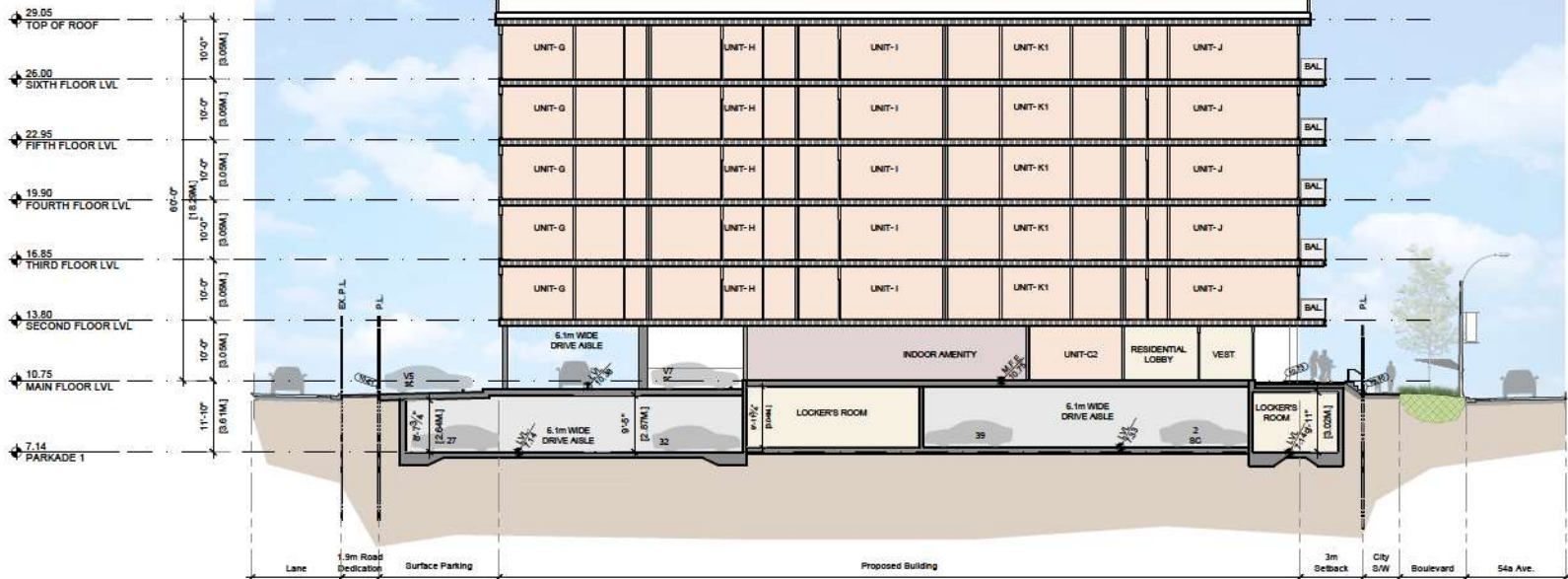
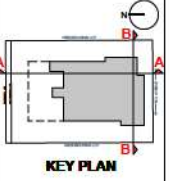
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LATR_2025

Sheet Title
ELEVATIONS

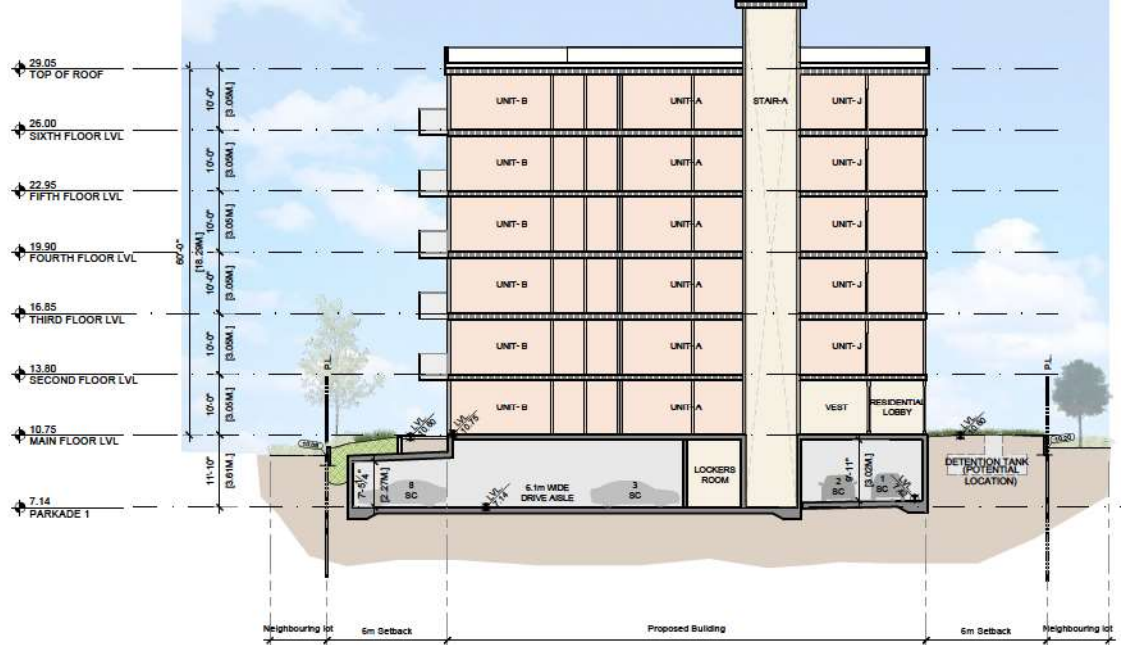
Scale
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A-3.10

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1 SECTION A-A
 Scale: N.T.S.



2 SECTION B-B
 Scale: N.T.S.

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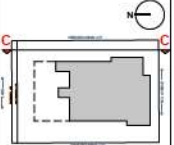
Sheet Title
 SECTIONS

Scale
 N.T.S.

Sheet No.

A-4.0

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2023-07-10	Preliminary Application

Issues / Revisions



Project Title
 MULTI FAMILY DEVELOPMENT

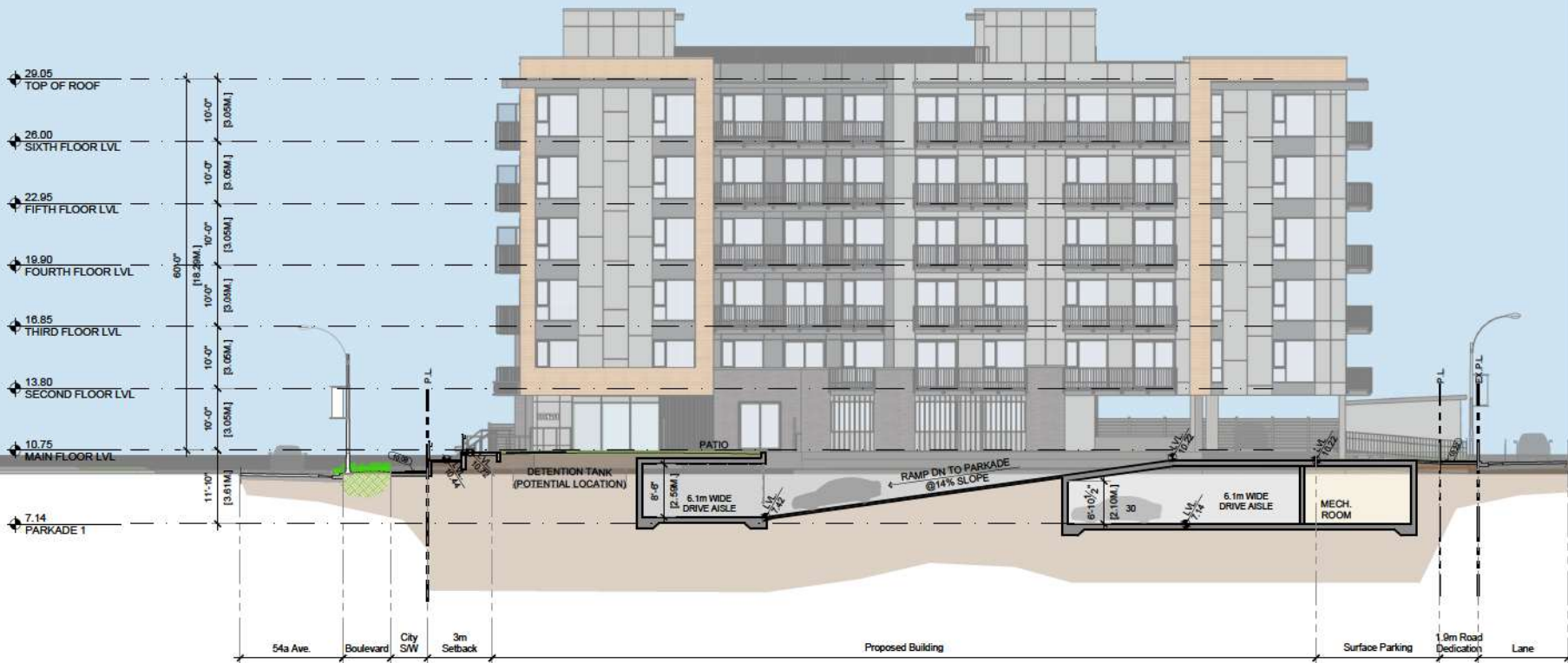
Project Address
 20239.20247 54A Ave,
 Langley City, BC

Drawn By PB	Date 2025-01-10
Checked By MJ	Project ID LARI_2025

SECTIONS

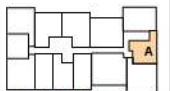
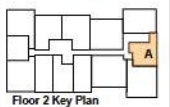
Scale
 N.T.S

Sheet No.
A-4.1



1 SECTION C-C
 Scale: N.T.S

Notes
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Date	Description
2024-11-19	Revisions/Comments
2024-10-17	Revisions/Comments
2024-09-06	Revisions/Comments
2024-06-13	D.P. Submission
2023-12-13	D.P. Submission
2023-07-10	Preliminary Application

Issues / Revisions



Project Title
MULTI FAMILY DEVELOPMENT

Project Address
 20239.20247 54A Ave.
 Langley City, BC

Drawn By PB	Date 2025-07-10
Checked By MG	Project ID LA19L2056

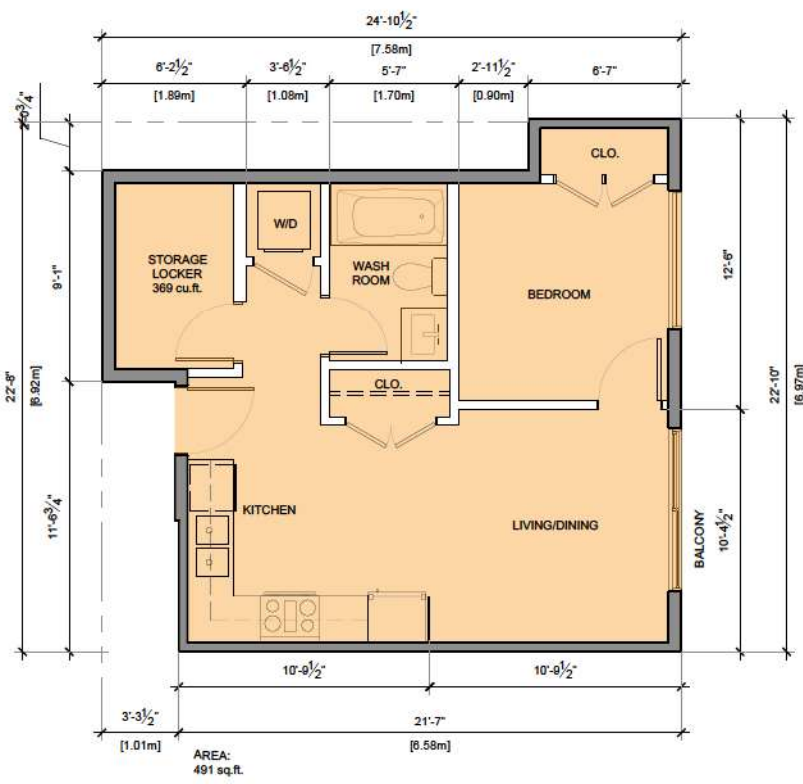
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UNIT PLANS

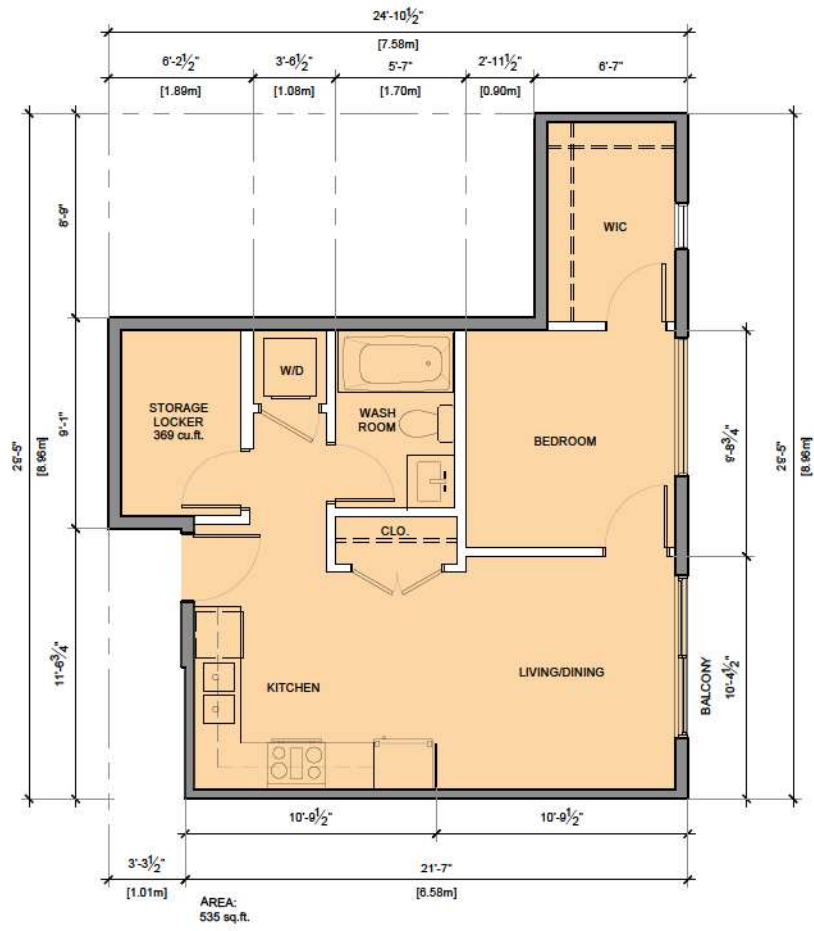
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Sheet No.

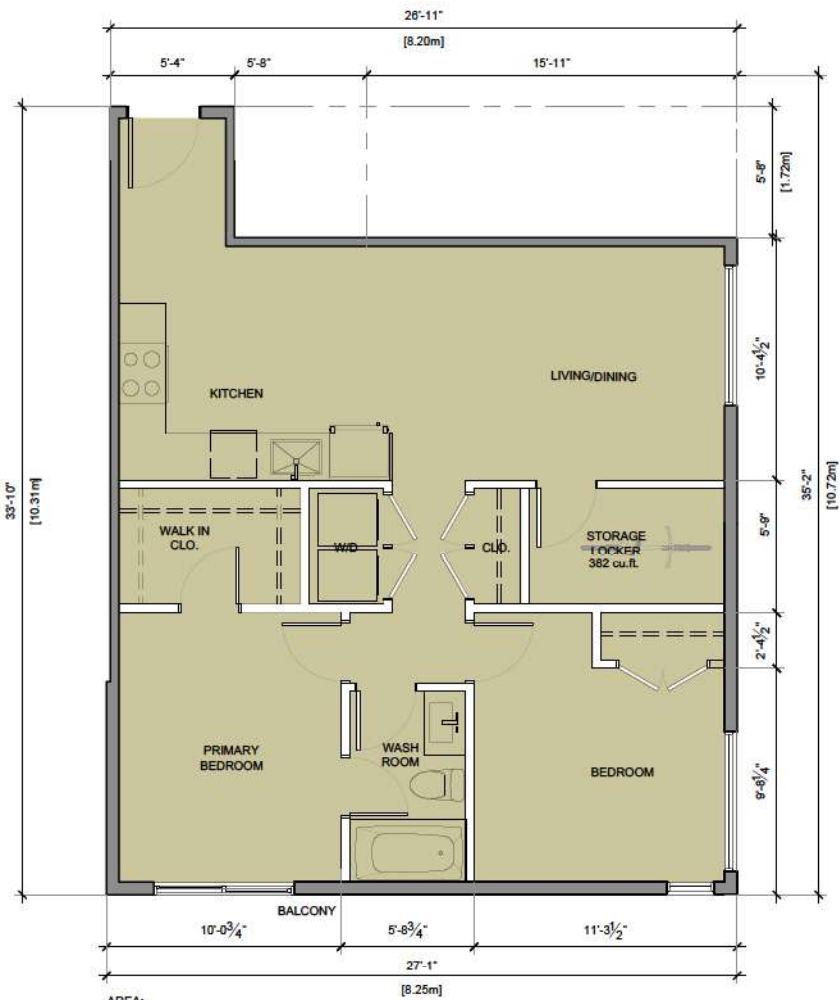
A-5.0



1 UNIT TYPE-A
 1BR

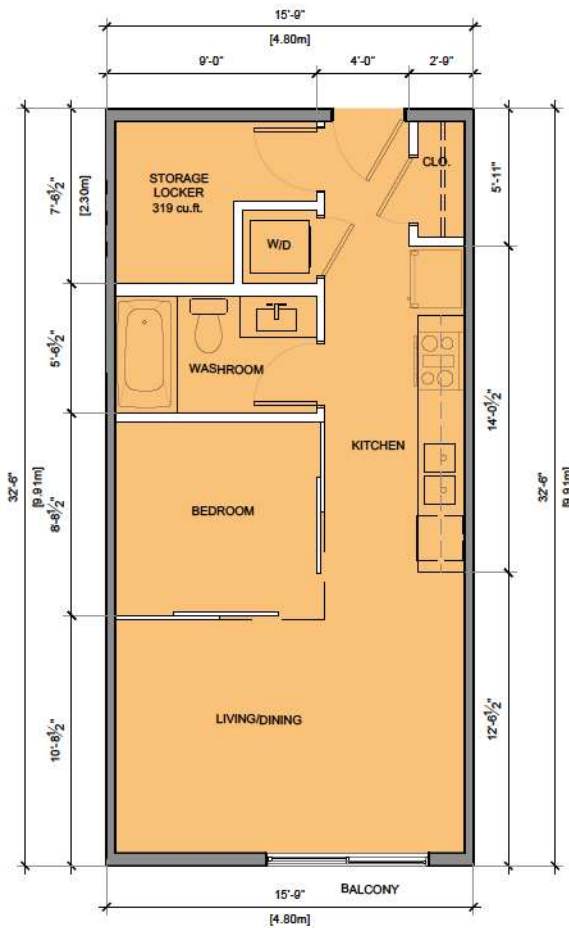


2 UNIT TYPE-A1
 1BR



AREA:
789 sq.ft.

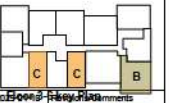
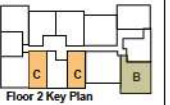
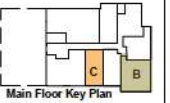
① UNIT TYPE-B
2BR



AREA:
512 sq.ft.

② UNIT TYPE-C
STUDIO

Notes
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Date	Description
2023-07-10	Preliminary Application
2023-12-13	D.P. Submission
2024-06-13	D.P. Submission
2024-09-06	Revisions/Comments
2024-10-17	Revisions/Comments
2024-11-19	Revisions/Comments

Issues / Revisions



Project Title
MULTI FAMILY DEVELOPMENT

Project Address
20239.20247 54A Ave,
Langley City, BC

Drawn By PB	Date 2023-07-10
Checked By MG	Project ID LATR_2026

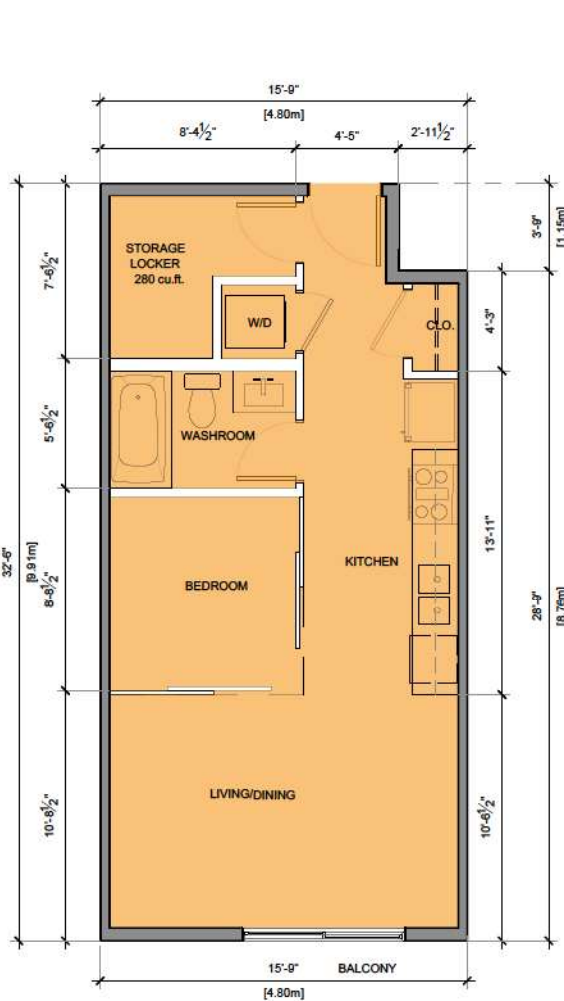
Sheet Title

UNIT PLANS

Scale
3/16" = 1'-0"

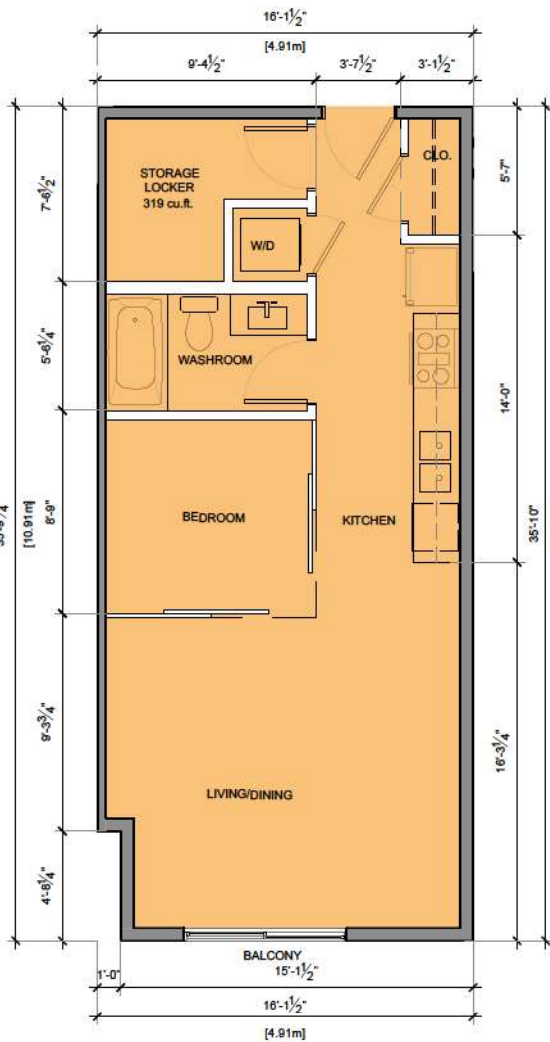
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A-5.1



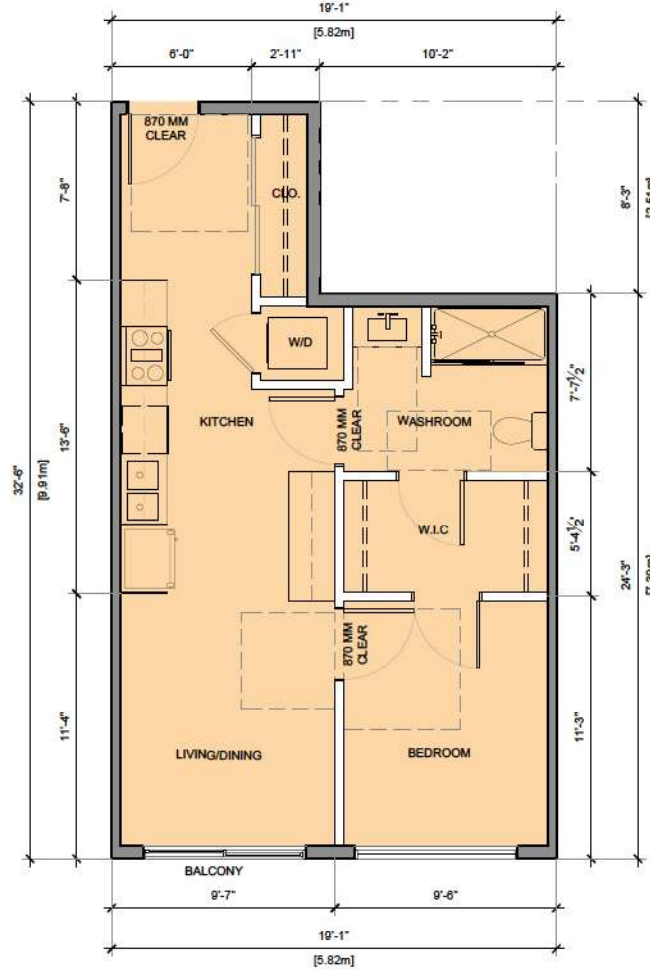
AREA:
501 sq.ft.

① UNIT TYPE-C
STUDIO



AREA:
573 sq.ft.

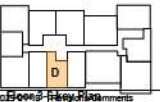
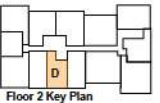
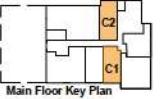
② UNIT TYPE-C2
STUDIO



AREA:
537 sq.ft.

③ UNIT TYPE-D (ADAPTABLE UNIT)
1BR

Notes
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Date	Description
2023-07-10	Preliminary Application
2023-12-13	D.P. Submission
2024-06-13	Revisions/Comments
2024-09-06	Revisions/Comments
2024-10-17	Revisions/Comments
2024-11-10	Revisions/Comments

Issues / Revisions



Project Title
MULTI FAMILY DEVELOPMENT

Project Address
20239.20247 54A Ave.
Langley City, BC

Drawn By PB	Date 2023-07-10
Checked By MG	Project ID LAIRL2026

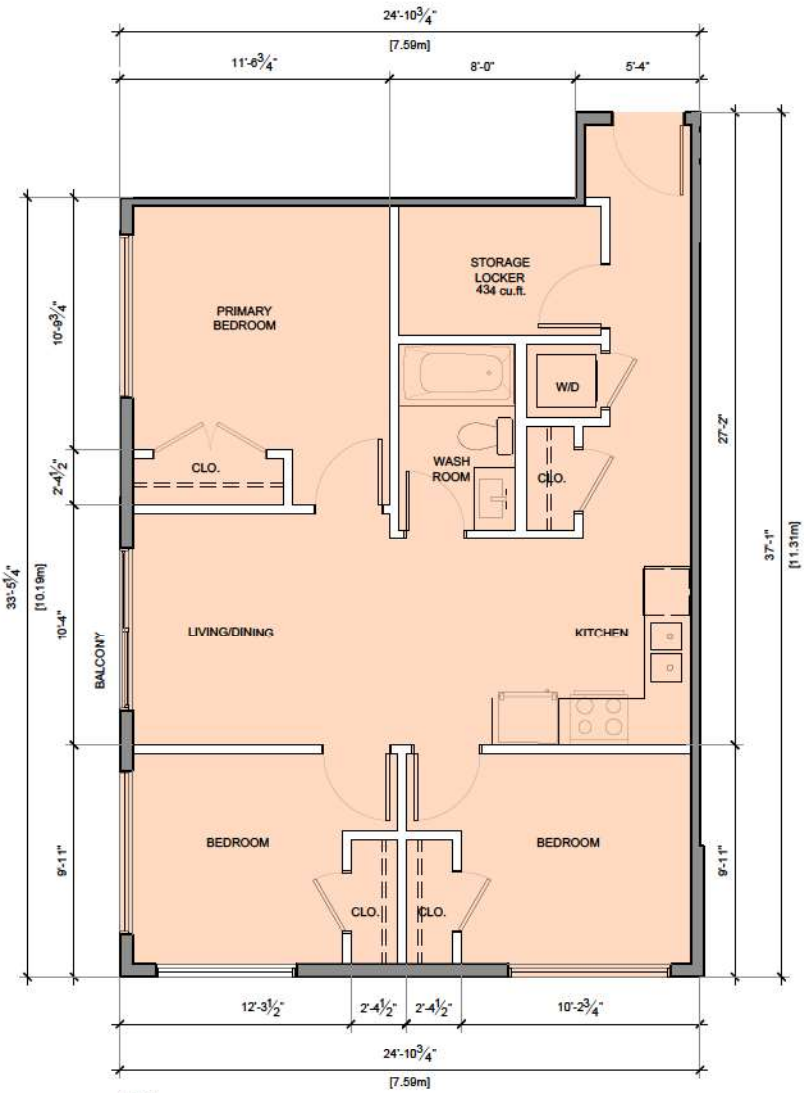
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UNIT PLANS

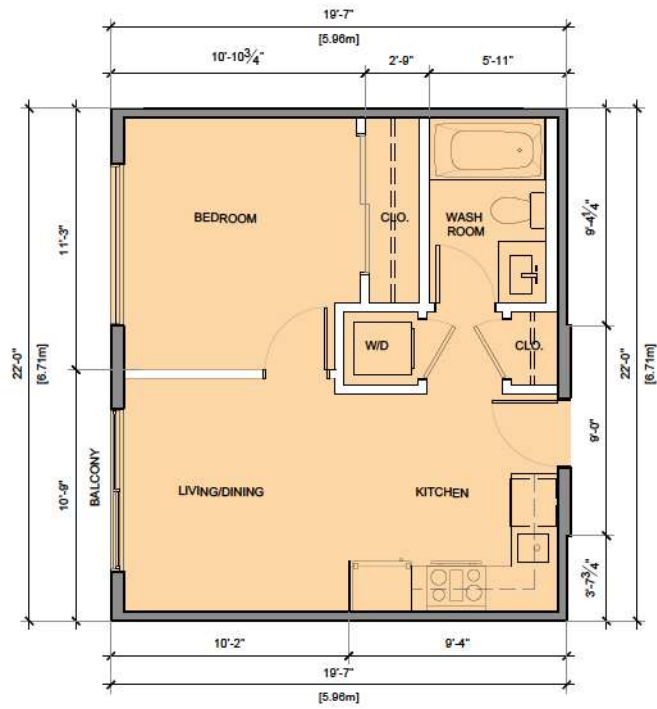
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Sheet No.

A-5.2

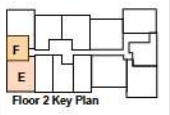


1 UNIT TYPE-E
3BR



2 UNIT TYPE-F
1BR

Notes
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Date	Description
2023-07-10	Preliminary Application
2023-12-13	D.P. Submission
2024-06-13	Revisions/Comments
2024-09-06	Revisions/Comments
2024-10-17	Revisions/Comments
2024-11-10	Revisions/Comments



Project Title
MULTI FAMILY DEVELOPMENT

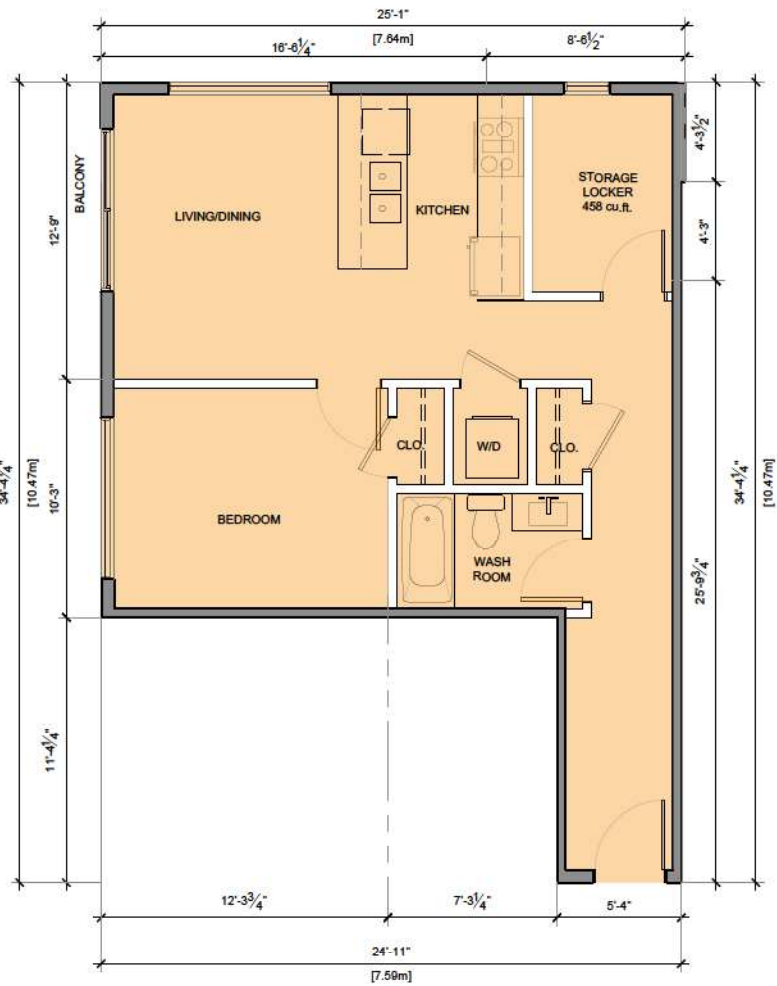
Project Address
20239.20247 54A Ave.
Langley City, BC

Drawn By PB	Date 2023-07-10
Checked By MG	Project ID LATR_2026

UNIT PLANS

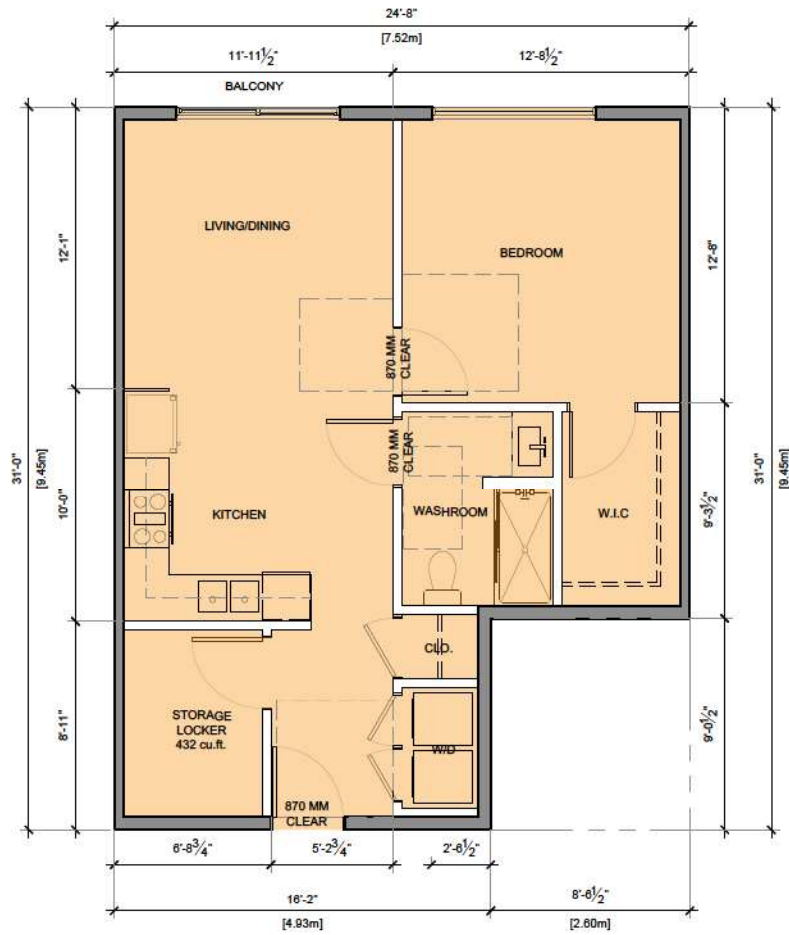
Scale 3/16" = 1'-0"
 Sheet No.

A-5.3



AREA:
634 sq.ft.

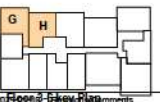
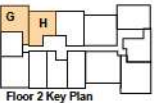
1 UNIT TYPE-G
1BR



AREA:
688 sq.ft.

2 UNIT TYPE-H (ADAPTABLE UNIT)
1BR

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Date	Description
2023-07-10	Preliminary Application
2024-06-13	D.P. Submission
2024-09-06	Revisions/Comments
2024-10-17	Revisions/Comments
2024-11-10	Revisions/Comments

Issues / Revisions



Project Title
MULTI FAMILY DEVELOPMENT

Project Address
20239, 20247 54A Ave,
Langley City, BC

Drawn By
PG

Checked By
MG

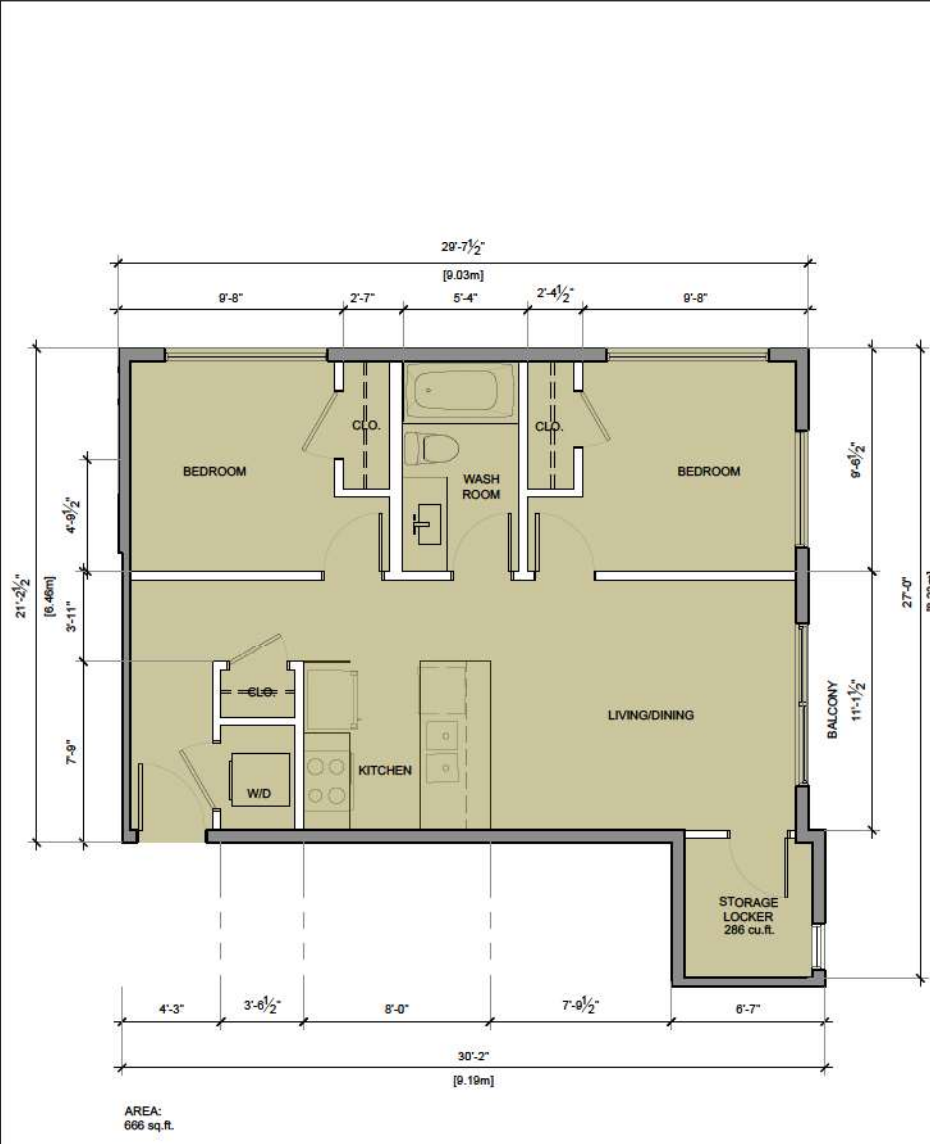
Date
2023-07-10

Project ID
LATR_2026

Sheet Title
UNIT PLANS

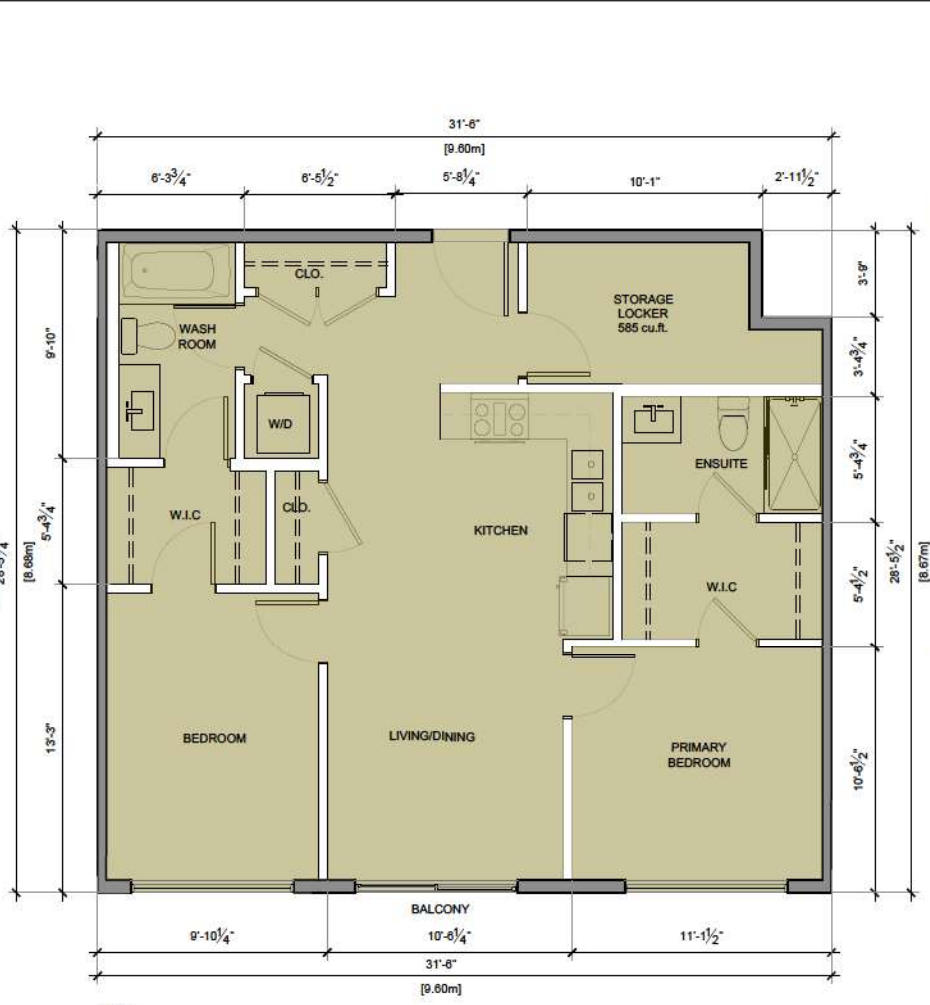
Scale
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Sheet No.
A-5.4



AREA:
666 sq.ft.

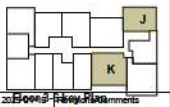
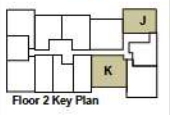
1 UNIT TYPE-J
2BR



AREA:
885 sq.ft.

2 UNIT TYPE-K
2BR

Notes
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Date	Description
2023-07-10	Preliminary Application
2024-06-13	D.P. Submission
2024-05-06	Revisions/Comments
2024-10-17	Revisions/Comments
2024-11-19	Revisions/Comments

Issues / Revisions



Project Title
MULTI FAMILY DEVELOPMENT

Project Address
20239.20247 54A Ave,
Langley City, BC

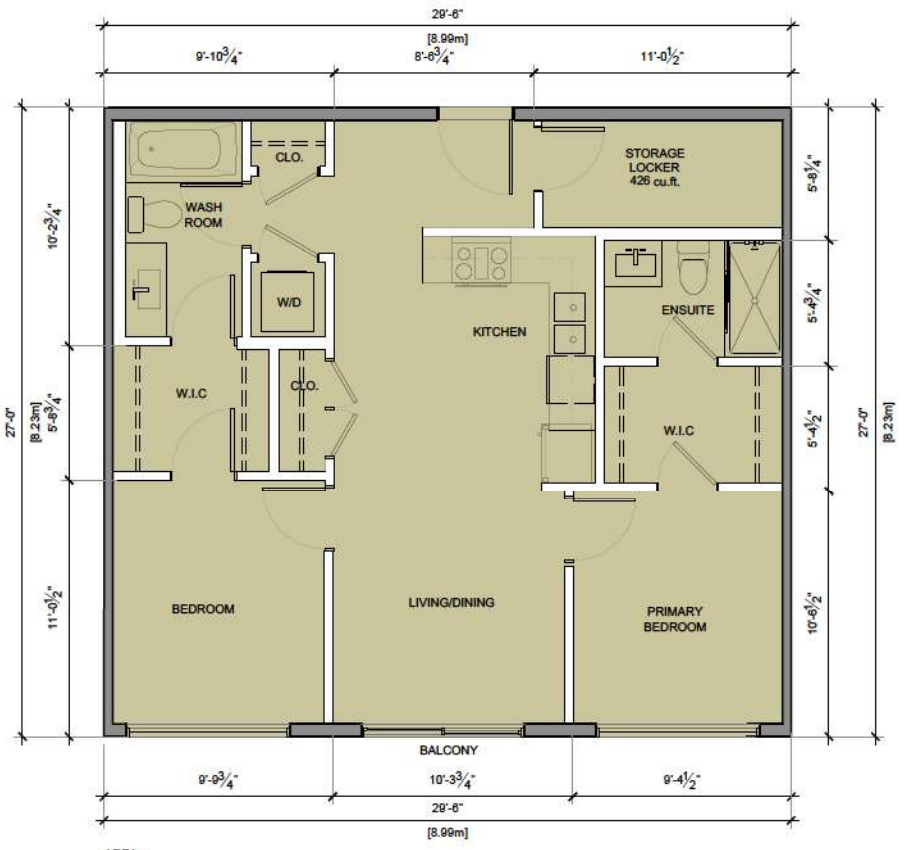
Drawn By PB	Date 2023-07-10
Checked By MG	Project ID LARI_2026

Sheet Title
UNIT PLANS

Scale
3/16" = 1'-0"

Sheet No.

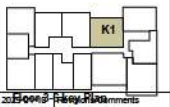
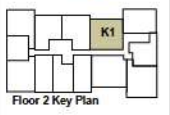
A-5.5



AREA:
797 sq.ft.

1 UNIT TYPE-K1
2BR

Notes
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Date	Description
2025-01-17	Revisions/Comments
2024-11-10	Revisions/Comments
2024-10-17	Revisions/Comments
2024-09-06	Revisions/Comments
2024-06-13	D.P. Submission
2023-12-13	D.P. Submission
2023-07-10	Preliminary Application

Issues / Revisions



Project Title
MULTI FAMILY DEVELOPMENT

Project Address
20239.20247 54A Ave,
Langley City, BC

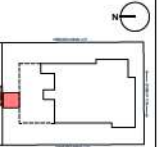
Drawn By PS	Date 2025-01-16
Checked By MG	Project ID LARI_2026

Sheet Title
UNIT PLANS

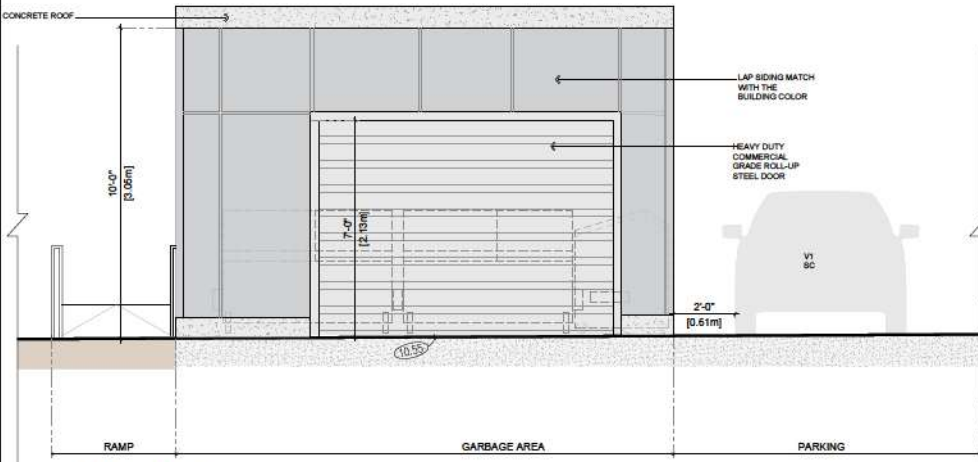
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Sheet No.
A-5.6

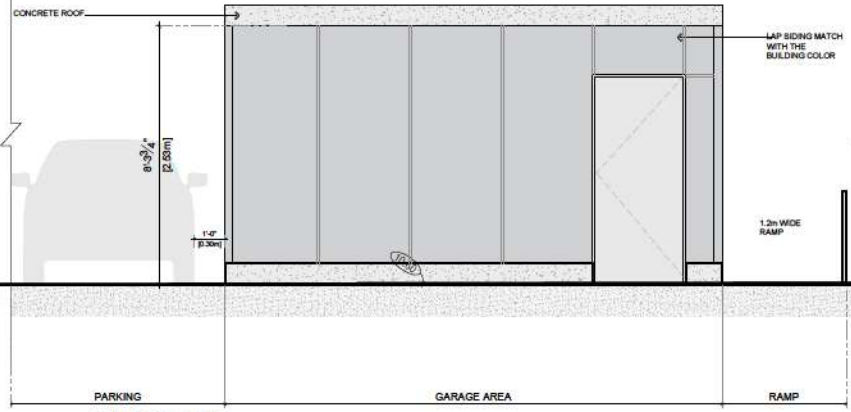
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KEY PLAN

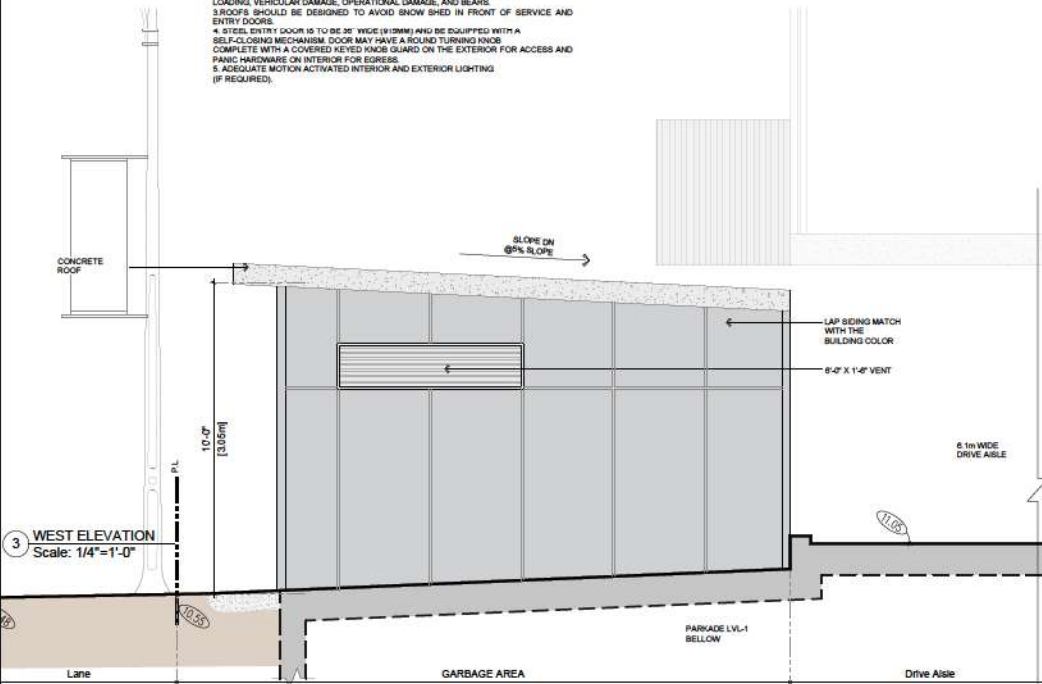


1 NORTH ELEVATION
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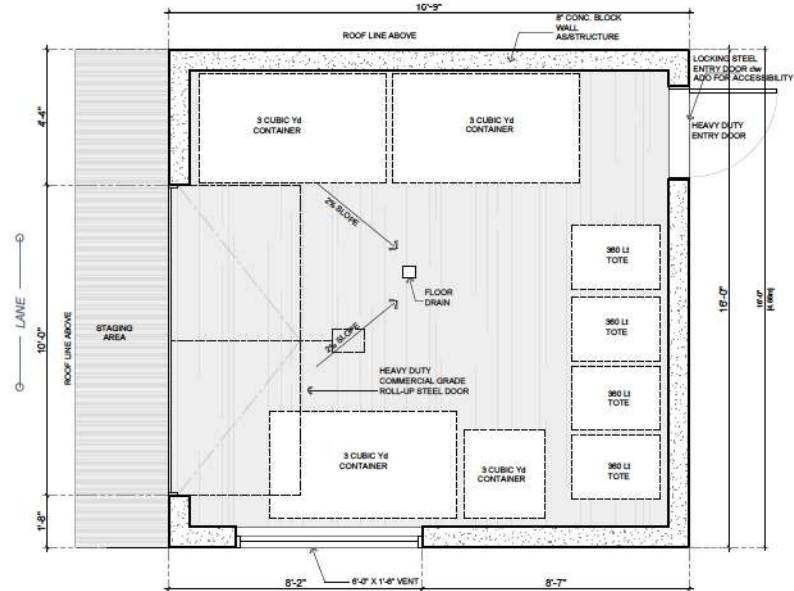


4 SOUTH ELEVATION
 Scale: 1/4"=1'-0"

- NOTES:**
1. ENCLOSURE ARCHITECTURE (MATERIALS & FINISHES) IS TO CONFORM TO MUNICIPAL BUILDING AND DEVELOPMENT PERMIT REQUIREMENTS (AS REQUIRED).
 2. STRUCTURES TO BE CONSTRUCTED IN ACCORDANCE WITH THE BC BUILDING CODE. ENCLOSURES ARE TO BE DESIGNED TO WITHSTAND SNOW LOADING, VEHICULAR DAMAGE, OPERATIONAL DAMAGE, AND BEARS.
 3. ROOFS SHOULD BE DESIGNED TO AVOID SNOW SHED IN FRONT OF SERVICE AND ENTRY DOORS.
 4. STEEL ENTRY DOOR IS TO BE 36" WIDE (914MM) AND BE EQUIPPED WITH A SELF-CLOSING MECHANISM. DOOR MAY HAVE A ROUND TURNING KNOB COMPLETE WITH A COVERED KEYSHIELD GUARD ON THE EXTERIOR FOR ACCESS AND PANIC HARDWARE ON INTERIOR FOR EGRESS.
 5. ADEQUATE MOTION ACTIVATED INTERIOR AND EXTERIOR LIGHTING (IF REQUIRED).



3 WEST ELEVATION
 Scale: 1/4"=1'-0"



2 GARBAGE ENCLOSURE PLAN
 Scale: 1/4"=1'-0"

Date	Description
2025-01-10	Revisions/Comments
2024-11-19	Revisions/Comments
2024-10-17	Revisions/Comments
2024-09-06	Revisions/Comments
2024-06-13	D.P. Submission
2023-12-13	D.P. Submission
2023-07-10	Preliminary Application

Issues / Revisions

Seal

2025-01-17

Project Title
 MULTI FAMILY DEVELOPMENT

Project Address
 20239.20247 54A Ave,
 Langley City, BC

Drawn By
 PS

Checked By
 MG

Date
 2025-07-16

Project ID
 LARV_2025

Sheet Title
 GARBAGE ENCLOSURE DETAIL

Scale
 1/4"=1'-0"

Sheet No.

A-6.0

20239 & 20247 54A AVENUE MULTIFAMILY DEVELOPMENT

LANGLEY, BC

LANDSCAPE SET:ISSUED FOR ADP RESPONSE
JANUARY 10TH,2025

LANDSCAPE DRAWING INDEX

L0.0	COVER SHEET
L0.1	TREE MANAGEMENT PLAN
L1.0	LANDSCAPE LAYOUT - GROUND LEVEL
L1.1	LANDSCAPE LAYOUT - ROOF LEVEL
L1.2	LIGHTING PLAN - GROUND LEVEL
L1.3	FENCING DIAGRAM
L2.0	PLANTING PALETTE
L2.1	PLANTING PLAN - GROUND LEVEL
L2.2	PLANTING PLAN - ROOF LEVEL
L3.0	DETAILS - SOFTSCAPE
L3.1	DETAILS - HARDSCAPE
L3.2	DETAILS - FURNISHING
L3.3	DETAILS - ROOF LEVEL
L3.4	DETAILS - ELEVATIONS

GENERAL NOTES

ALL LANDSCAPE ARCHITECTURAL DRAWINGS IN THIS PACKAGE SHALL BE READ IN CONJUNCTION WITH ALL OTHER LANDSCAPE ARCHITECTURAL DRAWINGS, DETAILS, SPECIFICATIONS, AND OTHER CORRESPONDANCE THAT MAY BE ISSUED DURING THE COURSE OF THE CONTRACT.

IF A DISCREPANCY OCCURS BETWEEN THE DRAWINGS AND THE SPECIFICATIONS OR ANY OTHER DOCUMENT ASSOCIATED WITH THE PROJECT, THE CONFLICT SHALL BE REPORTED IN WRITING TO THE LANDSCAPE ARCHITECT TO OBTAIN CLARIFICATION AND APPROVAL BEFORE PROCEEDING WITH WORKS.

THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY THE TRUE EXISTING CONDITIONS. ANY UNCLEAR ISSUES SHALL BE CLARIFIED WITH THE LANDSCAPE ARCHITECT. NO CLAIM SHALL BE ALLOWED FOR EXTRAS WHICH MAY ARISE THROUGH NEGLIGENCE OF THIS ADVICE.

ALL EXISTING INFORMATION IS BASED ON AVAILABLE RECORDS AND SHALL NOT BE CONSTRUED TO BE COMPLETE OR ACCURATE.

LAYOUT OF HARDSCAPE, SITE FURNITURE, SOIL, PLANTING, AND ALL OTHER MATERIALS IS TO BE STAKED OUT AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

ALL PLANTING SHALL BE IN ACCORDANCE WITH CANADIAN LANDSCAPE STANDARD, LATEST EDITION. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

DAVID STOYKO LANDSCAPE ARCHITECT DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES OR CONCEALED STRUCTURES AT THE PROJECT SITE.

FINAL SPACING, SELECTION, TREE SPECIES TO THE SATISFACTION OF THE CITY OF LANGLEY.

ALL PUBLIC REALM DETAILS TO THE CITY OF LANGLEY STANDARDS.

David Stoyko
Landscape Architect

2486 6TH AVENUE EAST
VANCOUVER, BC V6M 1H3
P 604.720.0048

DAVID STOYKO LANDSCAPE ARCHITECT DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF ANY ELEMENT AT THE PROJECT SITE, INCLUDING UTILITIES AND / OR CONCEALED STRUCTURES, OR THE ACCURACY OF ANY INFORMATION PROVIDED FROM OTHER CONSULTANTS OR SOURCES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL SITE CONDITIONS.

THESE DRAWINGS HAVE BEEN PREPARED FOR THE CLIENT FOR THIS PROJECT, AND SHOULD NOT BE USED OTHERWISE WITHOUT PERMISSION.

DO NOT SCALE OFF OF THESE DRAWINGS. NO RESPONSIBILITY CAN BE TAKEN WITH ANY ERRORS BY MEASURING OFF OF THESE DRAWINGS.

8	ISSUED FOR ADP RESPONSE	25-01-10
7	ISSUED FOR ADP	24-12-04
6	RE-ISSUED FOR DEVELOPMENT PERMIT	24-11-13
5	RE-ISSUED FOR DEVELOPMENT PERMIT	24-10-15
4	RE-ISSUED FOR DEVELOPMENT PERMIT	24-03-28
3	ISSUED FOR CPTED COORDINATION	23-12-20
2	ISSUED FOR DEVELOPMENT PERMIT	23-07-12
1	ISSUED FOR CONCEPT REVIEW	23-11-21
REVISIONS		



**20239, 20247 54A
MULTIFAMILY
DEVELOPMENT**

20239, 20247 54A Avenue
City of Langley, British Columbia

Scale:	NTS
Drawn:	EG
Reviewed:	DS
Project No.	23-024

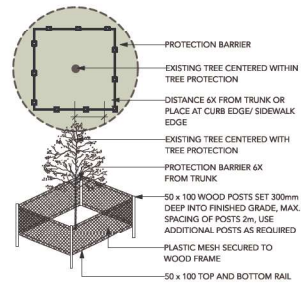
COVER PAGE

L0.0

TREE MANAGEMENT PLAN

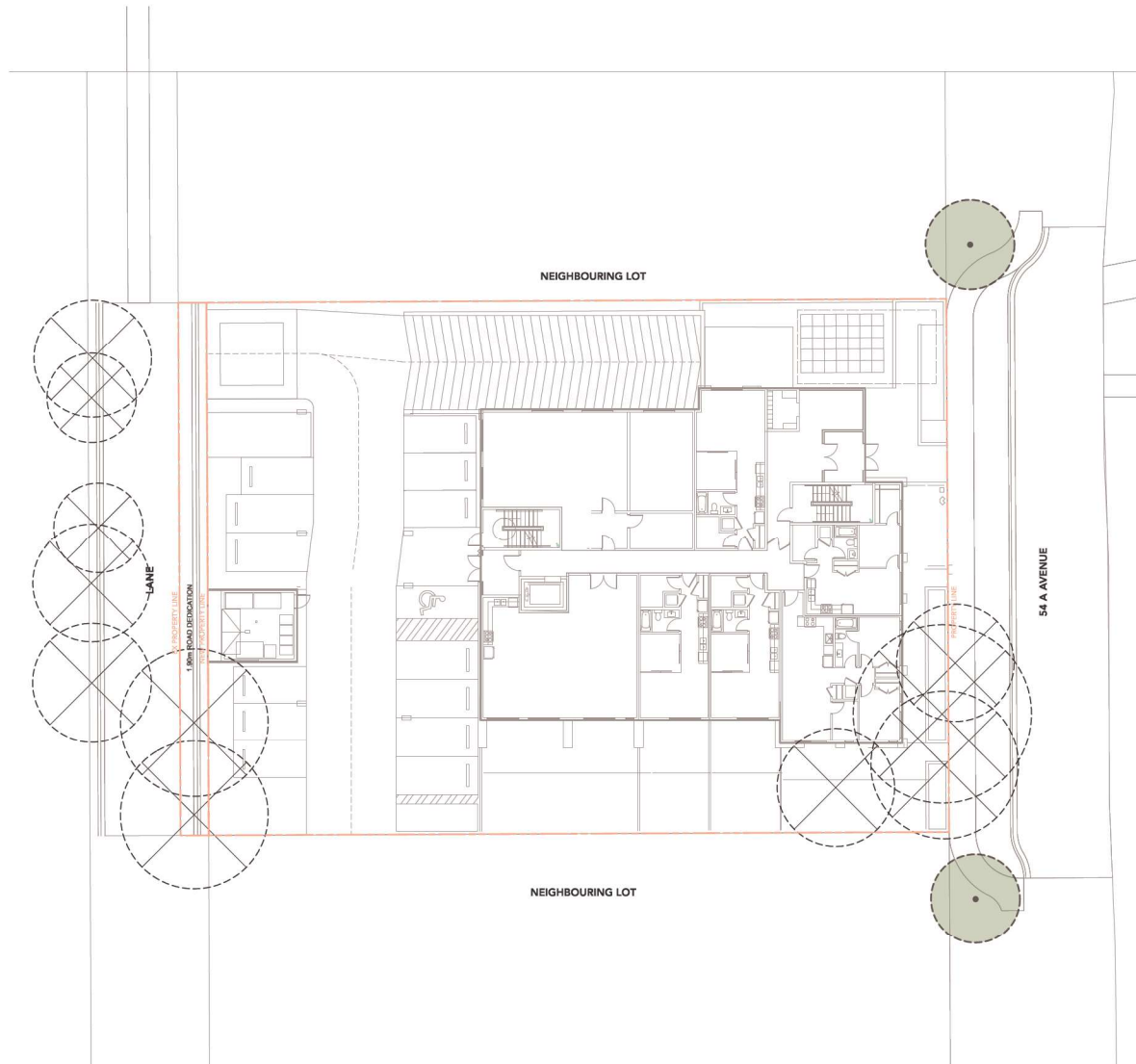
TREE PROTECTION LEGEND

SYMBOL	DESCRIPTION
	TREE TO BE RETAINED PER ARBORIST REPORT
	TREE TO BE REMOVED PER ARBORIST REPORT
	TREE PROTECTION FENCING TREE PROTECTION FENCING TO BE INSTALLED PER CITY OF VANCOUVER STANDARDS AND INSPECTED BY ARBORIST PRIOR TO CONSTRUCTION ACTIVITY
#12	TREE TAG PER ARBORIST REPORT



TREE PROTECTION NOTES

- REFER TO CERTIFIED ARBORIST REPORT (DATED: DECEMBER 1, 2023 BY GLENN MURRAY, FROGGERS CREEK TREE CONSULTANTS LTD.) TO VERIFY INFORMATION REGARDING EXISTING TREES TO BE RETAINED/REMOVED AND TREE RETENTION VIABILITY.
- NO WORK TO BE DONE WITHIN THE MPZ OF RETAINED TREES. REFER TO ARBORIST REPORT FOR TREE PROTECTION MEASURES. INSTALL TREE PROTECTION BARRIER AROUND ALL TREES TO BE PRESERVED TO CITY OF LANGLEY STANDARDS AND SPECIFICATIONS, SUBJECT TO REVIEW BY PROJECT ARBORIST.
- INFORM ARBORIST WHEN ALL TREE BARRIERS HAVE BEEN INSTALLED. ARBORIST TO PROVIDE WRITTEN INSPECTION AND APPROVAL OF ALL BARRIERS AND SUBMIT INSPECTION REPORT TO CITY OF LANGLEY STAFF FOR REVIEW AND APPROVAL PRIOR TO DEMOLITION / MOBILIZATION CONSTRUCTION ACTIVITY.
- DO NOT REMOVE OR RELOCATE ANY TREE, EXCEPT AS INDICATED ON PLANS.
- DO NOT ALTER EXISTING GRADE OR STORE MATERIALS UNDER THE DRIP LINE OR WITHIN TREE PROTECTION ZONE. EXCAVATION WITHIN DRIP LINES OF TREES ONLY WHERE INDICATED ON PLANS.
- ALL RETAINED TREES ARE TO BE PRUNED AND PROTECTED BY CITY OF LANGLEY TREE PROTECTION BY-LAWS.
- FOR CARE AND PROTECTION OF EXPOSED ROOTS AND ROOT CURTAIN SYSTEM CONSULT PROJECT ARBORIST.
- TUNNEL UNDER AND AROUND ALL SIGNIFICANT ROOTS BY HAND DIGGING. DO NOT CUT MAIN LATERAL ROOTS.
- TRENCHING FOR UTILITY CONNECTIONS TO BE COORDINATED WITH ENGINEERING DEPARTMENT TO ENSURE SAFE ROOT ZONES OF RETAINED TREES. METHODS OF TREE PROTECTION FOR STREET TREES TO BE APPROVED BY CITY OF LANGLEY.
- CONTRACTOR TO CONTACT PROJECT ARBORIST, CITY ARBORIST AND/OR LANDSCAPE ARCHITECT 48 HOURS PRIOR TO ANY CONSTRUCTION WORK AFFECTING THE DRIP LINE OF TREES.
- PROTECTION OF CITY STREET TREES IS REQUIRED. NO WORK MAY BE DONE WITHIN 1.0 METER OF THE CRITICAL ROOT ZONE OF THIS TREE UNLESS AN ISA CERTIFIED ARBORIST IS IN ATTENDANCE TO SUPERVISE. WORK INCLUDES DEMOLITION, EXCAVATION, CONSTRUCTION AND FINAL LANDSCAPING. ALL SITE WORK SUPERVISED BY THE ARBORIST SHALL BE DOCUMENTED IN A POST-CONSTRUCTION ARBORIST REPORT. CALL THE CITY OF LANGLEY'S ARBORIST TO PRUNE, LIMB-UP AND/OR COORDINATE SPECIAL TREE PROTECTION MEASURES AS REQUIRED BY THE ARBORIST.
- ALL SIDEWALKS BETWEEN THE CURB AND PROPERTY LINE ARE TO BE RECONSTRUCTED FULLY AT THE APPLICANT'S EXPENSE.



David Stoyko
Landscape Architect

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P 604.720.0048

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REVIEWS



20239, 20247 54A MULTIFAMILY DEVELOPMENT

20239, 20247 54A Avenue
City of Langley, British Columbia

Scale:	NTS
Drawn:	EG
Reviewed:	DS
Project No.	23-024

TREE MANAGEMENT PLAN

L0.1

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REVISIONS



**20239, 20247 54A
MULTIFAMILY
DEVELOPMENT**

20239, 20247 54A Avenue
City of Langley, British Columbia

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**CONCEPT PLAN -
GROUND LEVEL**

L1.0

David Stoyko
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REVISIONS



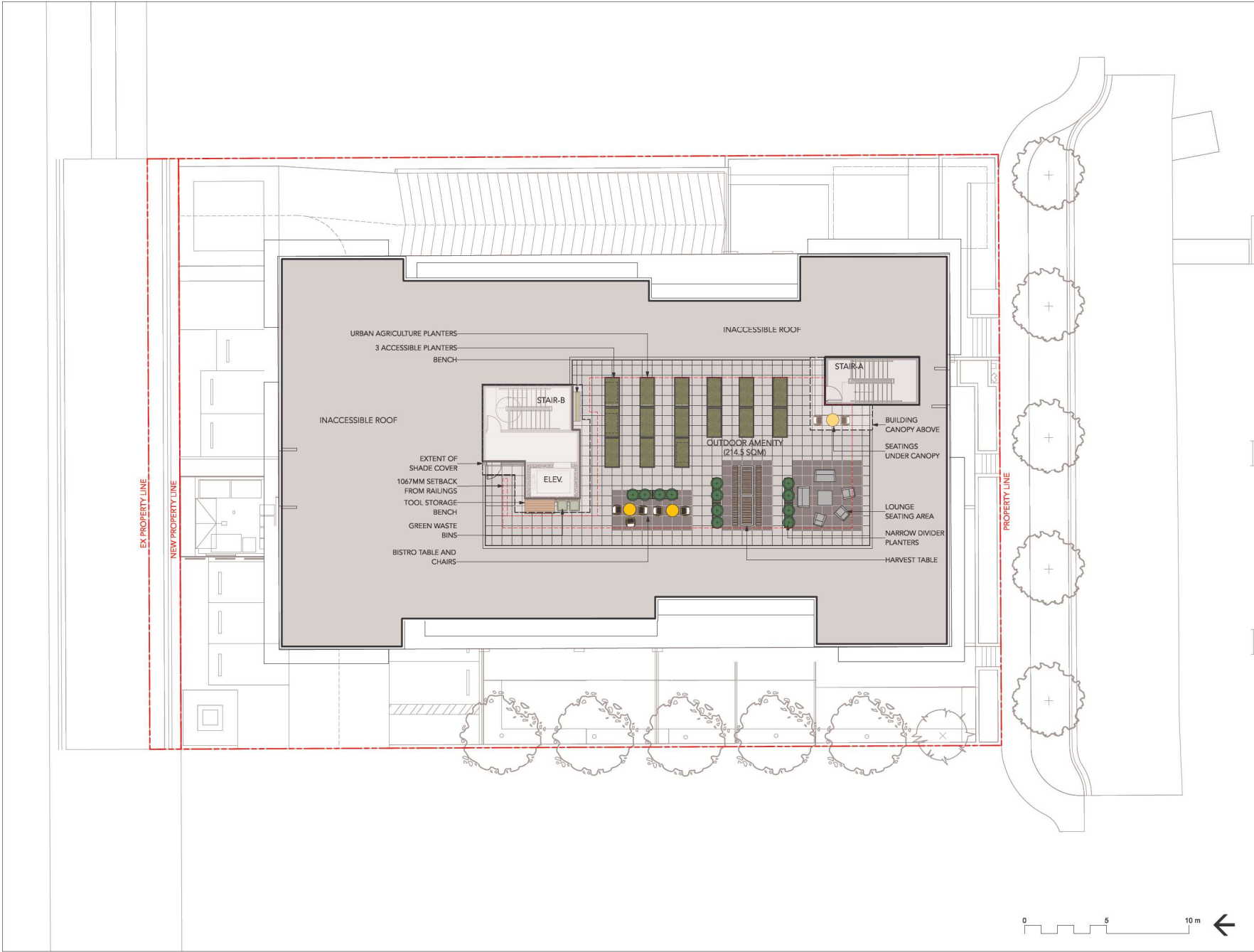
20239, 20247 54A
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CONCEPT PLAN -
ROOF LEVEL

L1.1



David Stoyko
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LIGHTING LEGEND

SYMBOL	DESCRIPTION
	WALL/STEP
	WALL MOUNTED LIGHT



WALL DOWN LIGHT
MP LIGHTING MODEL L721
4" DIAMETER, 6W LED
MATTE ANODIZED ALUMINUM



WALL LIGHT
MP LIGHTING MODEL L49 MA
9-3/4" X 4-7/8", 6W LED
MATTE ANODIZED ALUMINUM



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LIGHTING PLAN -
GROUND LEVEL

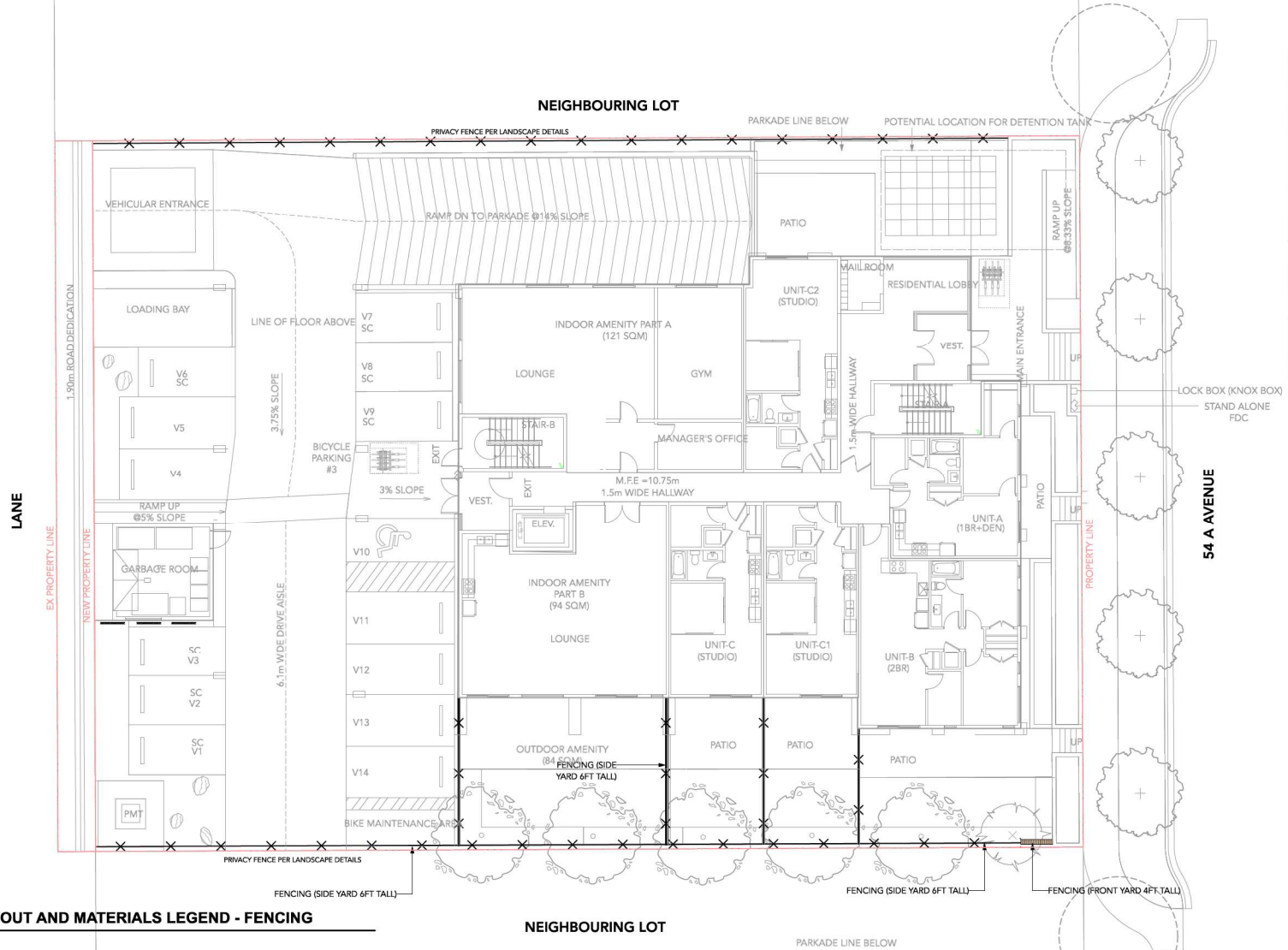


L1.2

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FENCING DIAGRAM

LAYOUT AND MATERIALS LEGEND - FENCING

SYMBOL	DESCRIPTION
—x—x—	PROPOSED FENCING (SIDE YARD 6FT TALL)
▨▨▨▨▨	PROPOSED FENCING (FRONT YARD 4FT TALL)
▬▬▬▬▬	GREEN SCREENS SEE GARBAGE ROOM

NOTE: REFER TO ARCHITECTURAL FOR HANDRAIL & GUARDRAIL



THEME PLANTS



EVERGREEN AND ALL-SEASON INTEREST



COLOUR HIGHLIGHTS



TEXTURES AND FORMS

INTERESTING FOLIAGE



NATIVE & EVERGREEN PLANTS



GROUNDCOVER VARIETY AND TEXTURE

Plant List and Materials

PLANT LIST

	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	
TREES						
	5	Acer rubrum 'Bowhall' Street tree species, form, and quality to be to City of Langley standards	Bowhall Red Maple	7cm cal.	As shown	
	1	Pinus densiflora 'Umbraculifera'	Tanyosho Pine	2.5M, B&B	As shown	
	5	Stewartia pseudocamellia	Japanese Stewartia	6cm cal.	As shown	
SHRUBS						
	44	Gaultheria shallon	Salal	No. 1 Pot	24" o.c.	
	108	Ilex crenata Convexa	Japanese Holly	No. 5 Pot	24" o.c.	
	14	Mahonia nervosa	Dwarf Oregon Grape	No. 2 Pot	24" o.c.	
	15	Polystichum munium	Western Sword Fern	No. 1 Pot	24" o.c.	
	17	Rhododendron 'Ken Janeck'	Red Yaku Rhododendron	No. 2 Pot	24" o.c.	
	6	Ribes sanguineum	Red Currant	No. 5 Pot	36" o.c.	
	15	Sarcococca hookeriana humilis	Sweetbox	No. 2 Pot	24" o.c.	
	15	Skimmia japonica 'Rubella'	Rubella Japanese Skimmia	No. 3 Pot	30" o.c.	
	8	Symphoricarpos albus	Snowberry	No. 3 Pot	30" o.c.	
	49	Taxus baccata repandens	Creeping Yew	No. 3 Pot	24" o.c.	
PERENNIALS AND VINES						
	34	Athyrium niponicum	Japanese Painted Fern	No. 1 Pot	18" o.c.	
	81	Blechnum spicant	Deer Fern	4" (10cm) Pot	18" o.c.	
	14	Dicentra formosa	Bleeding Heart	4" (10cm) Pot	18" o.c.	
	20	Eriophyllum lanatum	Woolly Sunflower	4" (10cm) Pot	18" o.c.	
	6	Parthenocissus quinquefolia	Virginia Creeper	No. 1 Pot	24" o.c.	
GROUND COVERS						
	31	Fragaria chiloensis	Native Coastal Strawberry	4" (10cm) Pot	15" o.c.	
	21	Oxalis oreganum (50%)	Wood Sorrel	4" (10cm) Pot	15" o.c.	
	21	Pachysandra terminalis (50%)	Japanese Spurge	4" (10cm) Pot	15" o.c.	
	50	Rubus calycinoides	Emerald Carpet	4" (10cm) Pot	15" o.c.	
	199	Sq.Ft. Sodded Lawn				

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DEVELOPMENT

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City of Langley, British Columbia

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Drawn: EG

Reviewed: DS

Project No. 23-024

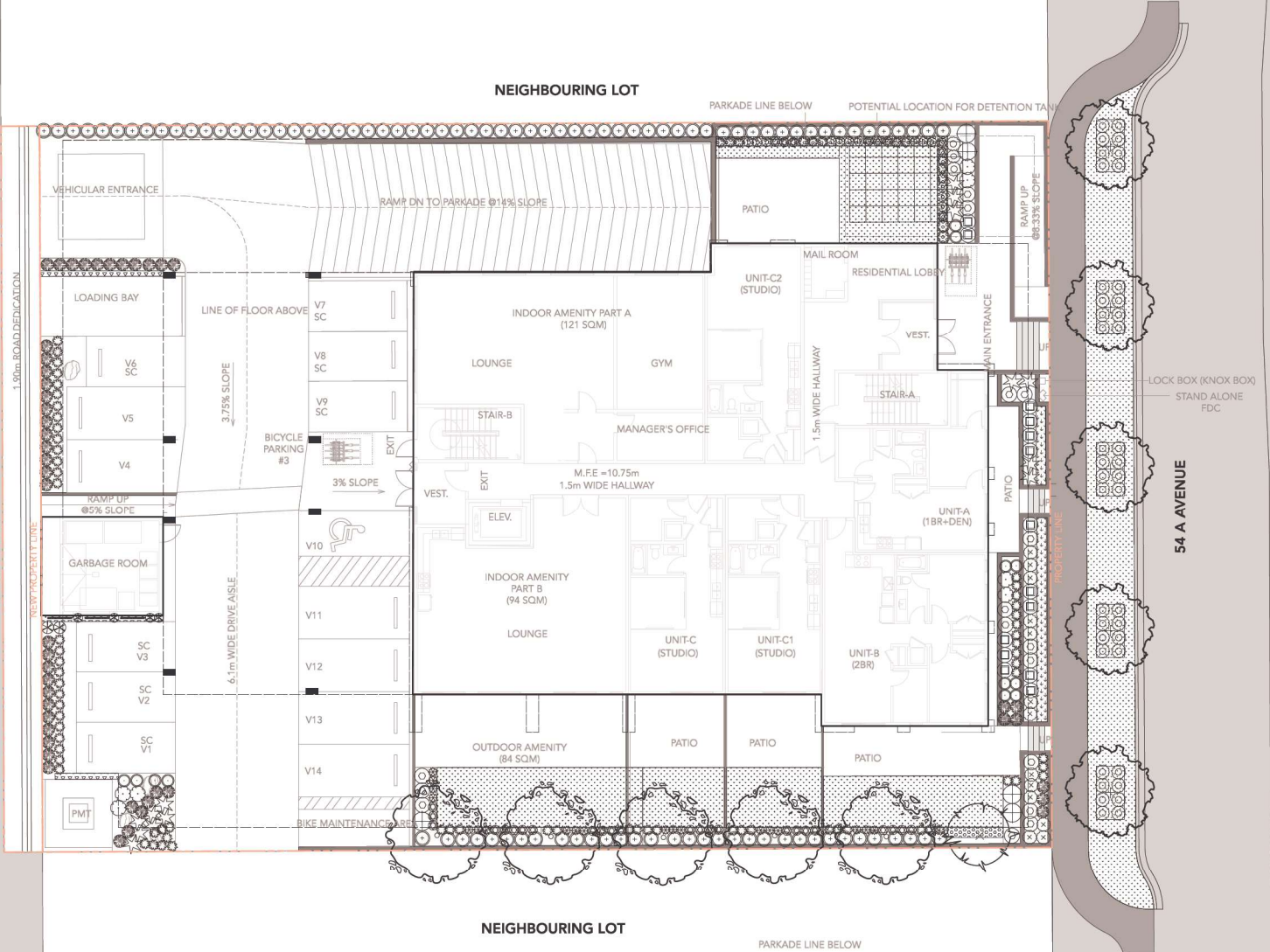
PLANT PALETTE

L2.0

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**PLANTING PLAN -
GROUND LEVEL**



David Stoyko
Landscape Architect

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P 604.720.0048

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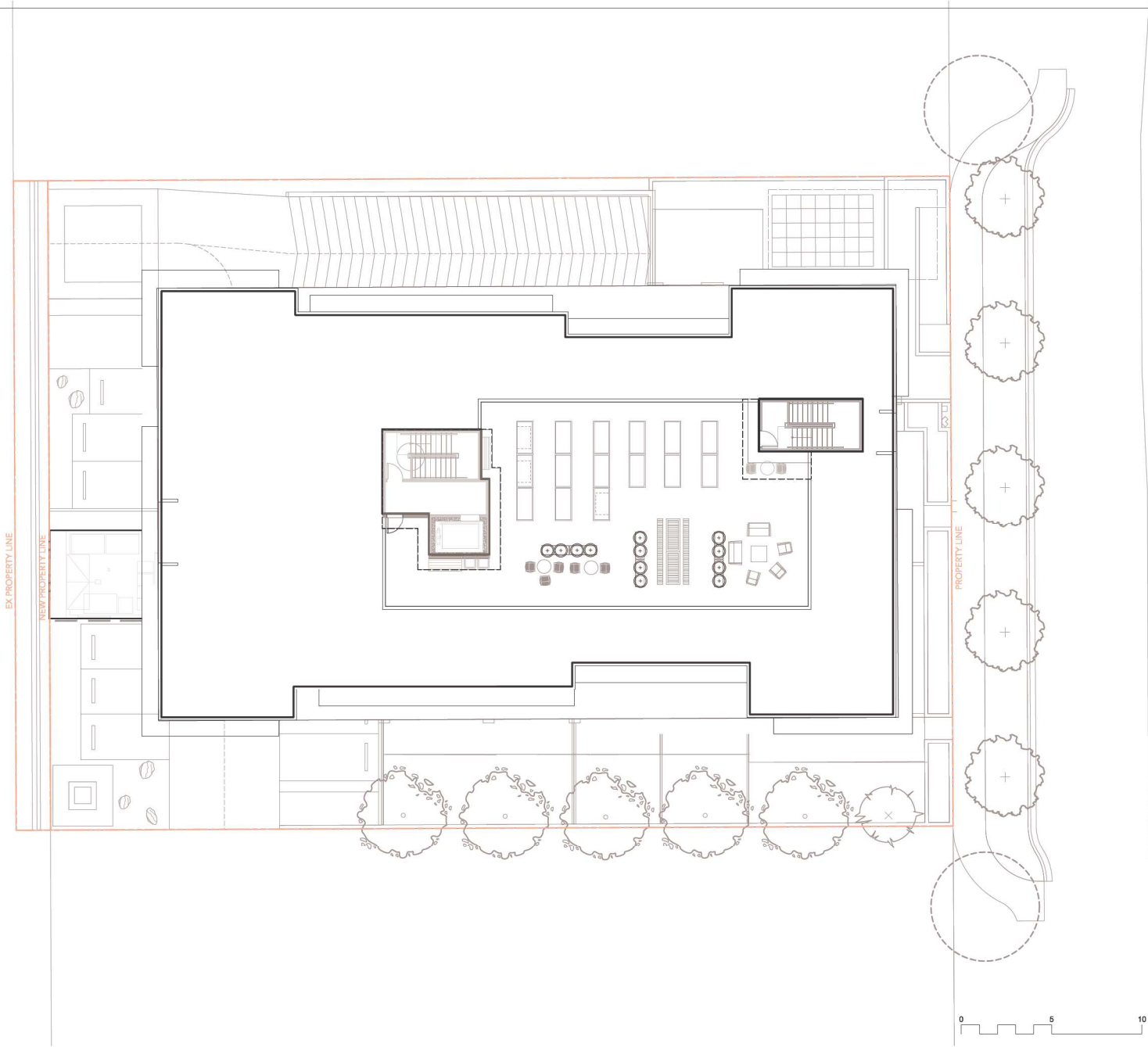


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PLANTING PLAN -
ROOF LEVEL



0 5 10 m

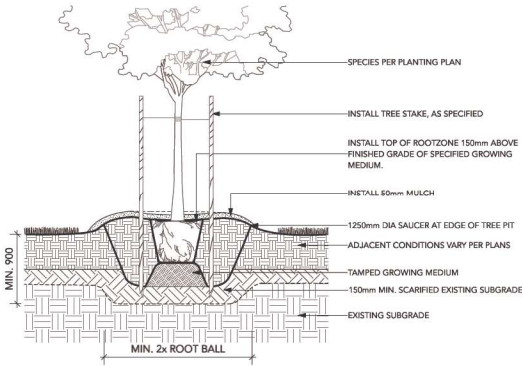


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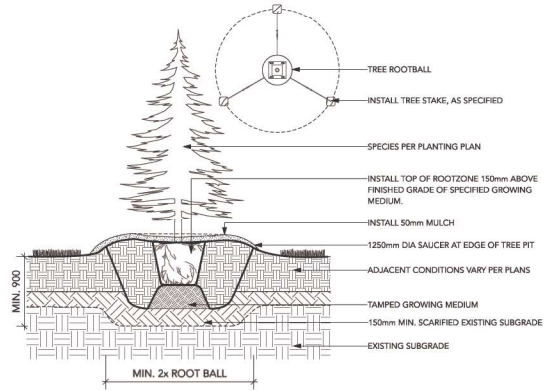
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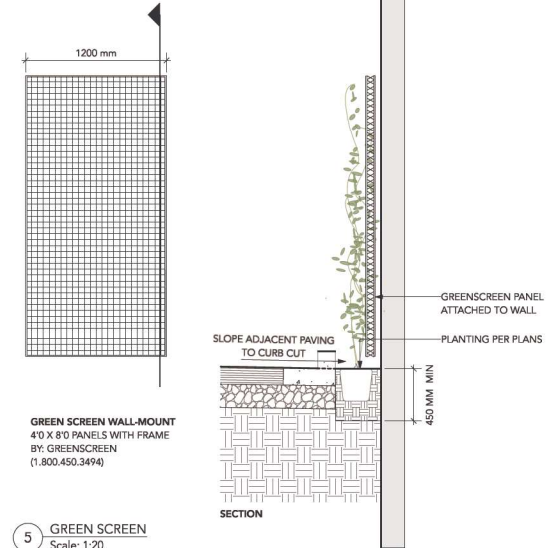
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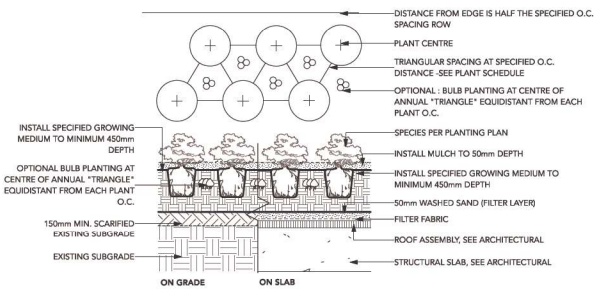
1 DECIDUOUS TREE PLANTING ON GRADE (TYPICAL)
Scale: 1:20



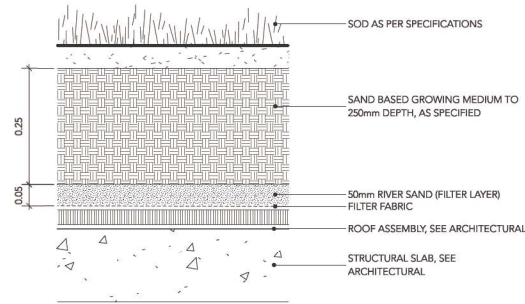
3 CONIFEROUS TREE PLANTING ON GRADE (TYPICAL)
Scale: 1:20



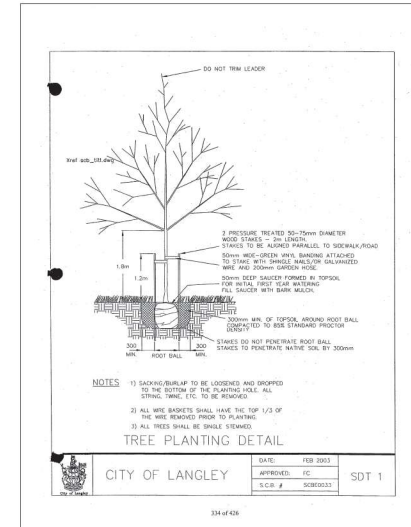
5 GREEN SCREEN
Scale: 1:20



2 SHRUB AND GROUNDCOVER PLANTING (TYPICAL)
Scale: 1:25



4 SOD LAWN ON SLAB
Scale: 1:5



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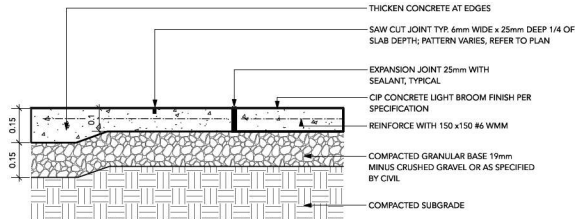
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Project No. 23-024

DETAILS - SOFTSCAPE

COLOURED CONCRETE (AT CORNER NODE)

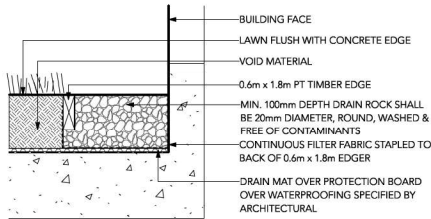
COLOUR: LITE GRAY
 SUPPLIED BY DAVIS COLORS
 323-265-8323



NOTES:
 1. EXPANSION JOINTS 6m O.C. MAX, CONTROL JOINTS @ 1.5m O.C. ADJUST TO SUIT SITE LAYOUT PLAN.
 2. ALL SCORELINES TO BE APPROVED BY LANDSCAPE ARCHITECT ON-SITE PRIOR TO INSTALLATION.

1 CIP CONCRETE PAVING

Scale: 1:10

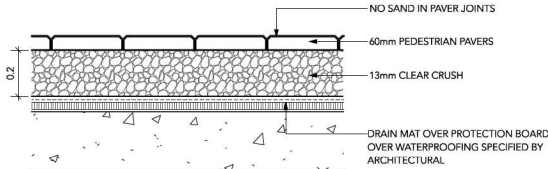


2 GRAVEL DRAIN STRIP - ON SLAB

Scale: 1:10

MANHATTAN VIBROPRESSED SLABS BY NEWSTONE GROUP

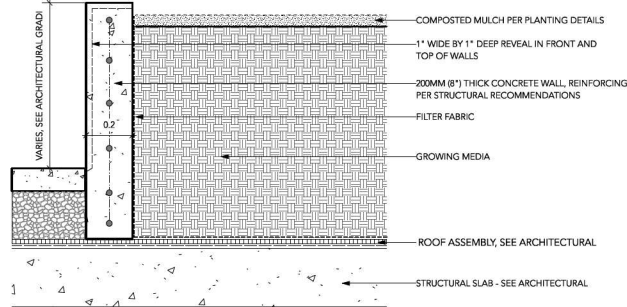
DIMENSIONS: 454 mm x 454 mm x 50.8 mm
 COLOUR: NATURAL
 PATTERN: GRID



NOTE:
 USE CONCRETE HIDDEN EDGE RESTRAINT WHEN PAVERS ARE NOT ADJACENT TO A SOLID EDGE CONDITION.

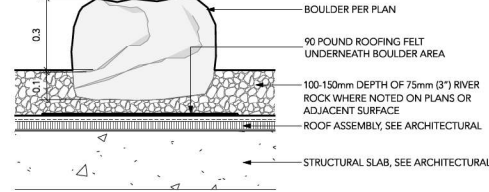
3 PEDESTRIAN UNIT PAVERS ON SLAB (TYPICAL)

Scale: 1:10



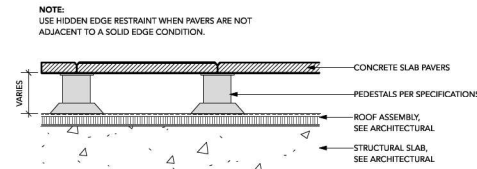
4 TYPICAL CIP CONCRETE WALL ON SLAB

Scale: 1:10



5 LANDSCAPE BOULDER ON SLAB

Scale: 1:10



6 PATIO PAVERS ON SLAB

Scale: 1:10

SLAB PAVERS: MANHATTAN VIBROPRESSED SLAB PAVER

SIZE: STANDARD (606MM X 606MM X 50MM)
 SUPPLIED BY NEWSTONE GROUP
 604-332-6020

TYPE 2 - DARK ROOF
 COLOUR: CHARCOAL
 PATTERN: GRID

TYPE 1 - LIGHT ROOF AND GROUND
 COLOUR: NORTHERN SHADOW
 PATTERN: GRID



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DETAILS -
HARDSCAPE

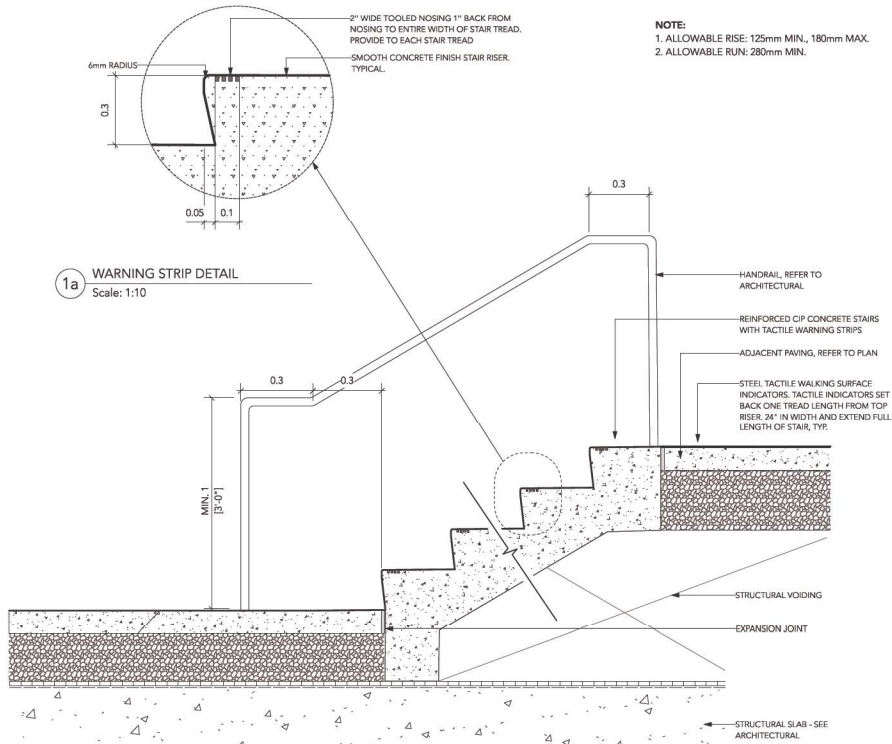
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VANCOUVER, BC V6M 1R3
P 604.720.0048

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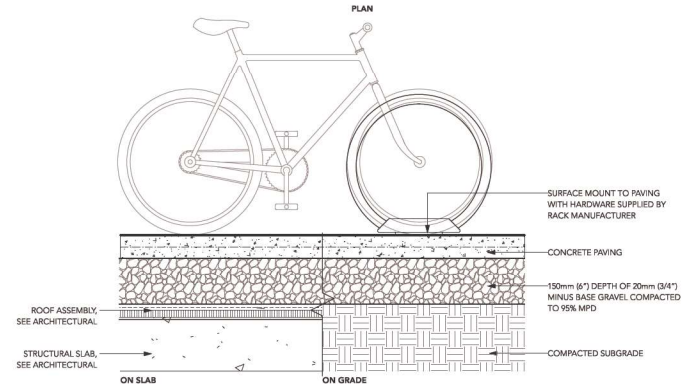


1a WARNING STRIP DETAIL
Scale: 1:10

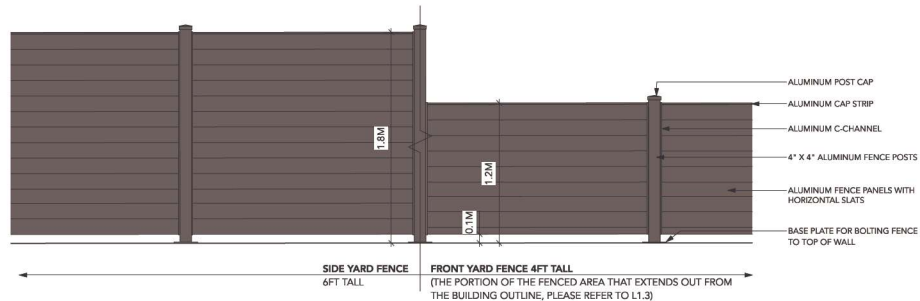
1 CIP STAIR ON SLAB
Scale: 1:10



MODEL: MBR350-4
FINISH: SILVER
BY: MAGLIN (1.800.716.5506)

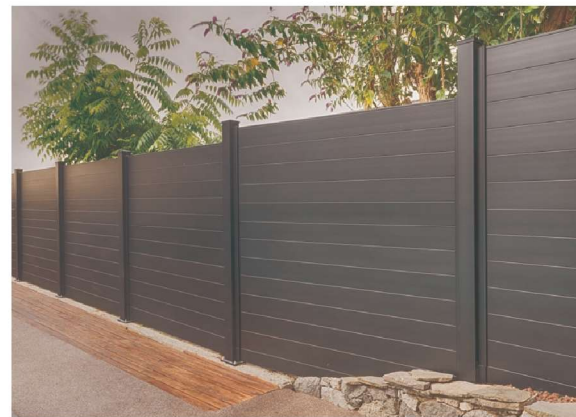


3 BIKE RACK
Scale: 1:10



2 SIDE YARD / FRONT YARD FENCE
Scale: 1:20

- FENCE NOTES:**
1. ALL FENCE ELEMENTS TO BE ALUMINUM, PAINTED.
 2. ALL FASTENERS TO BE STAINLESS STEEL OR SUITABLE NON-REACTIVE METAL.
 3. PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL.
 4. ALL HOLLOW OR SQUARE SECTION ELEMENTS TO BE CAPPED IF END EXPOSED.
 5. FINAL COLOUR TO BE DETERMINED.



8	ISSUED FOR ADP RESPONSE	25-01-10
7	ISSUED FOR ADP	24-12-04
6	RE-ISSUED FOR DEVELOPMENT PERMIT	24-11-13
5	RE-ISSUED FOR DEVELOPMENT PERMIT	24-10-15
4	RE-ISSUED FOR DEVELOPMENT PERMIT	24-03-28
3	ISSUED FOR CPED COORDINATION	23-12-20
2	ISSUED FOR DEVELOPMENT PERMIT	23-07-12
1	ISSUED FOR CONCEPT REVIEW	23-11-21



20239, 20247 54A
MULTIFAMILY
DEVELOPMENT

20239, 20247 54A Avenue
City of Langley, British Columbia

Scale:	AS SHOWN
Drawn:	EG
Reviewed:	DS
Project No.	23-024

DETAILS -
FURNISHING

David Stoyko
Landscape Architect

2486 6TH AVENUE EAST
VANCOUVER, BC V6M 1R3
P 604.720.0048

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REVISIONS



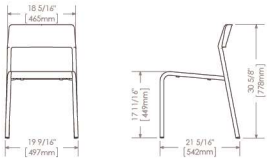
20239, 20247 54A
MULTIFAMILY
DEVELOPMENT

20239, 20247 54A Avenue
City of Langley, British Columbia

Scale:	AS SHOWN
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DETAILS - ROOF LEVEL

L3.3



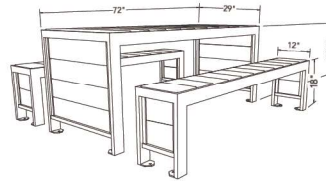
FORO SERIES MCH-1700-00001 CHAIRS
COLOUR : STANDARD SILVER
SUPPLIER: MAGLIN SITE FURNISHINGS

1 ROOF TOP BISTRO CHAIRS
Scale: NTS



LOLLYGAGGER HDPE OUTDOOR SOFA
COLOUR : DRIFTWOOD
SUPPLIER: LOLL DESIGNS (877.740.3387)

4 SOFA
Scale: NTS

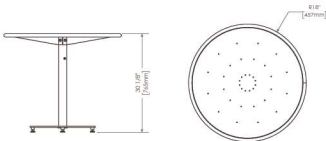


URBAN FARM HARVEST PICNIC TABLE
COLOUR : SILVER / GREY
SUPPLIER: WISHBONE (604-626-0476)

7 ROOF TOP HARVEST TABLE
Scale: NTS



MTB-1700-00746



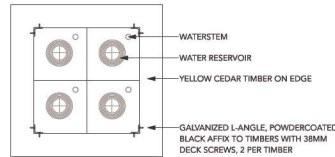
FORO SERIES MTB-1700-00746 36\"/>

2 ROOF TOP BISTRO TABLES
Scale: NTS

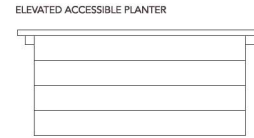
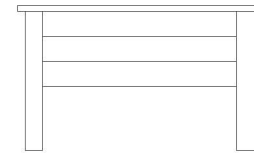


LOLLYGAGGER HDPE OUTDOOR LOUNGE CHAIR
COLOUR : DRIFTWOOD
SUPPLIER: LOLL DESIGNS (877.740.3387)

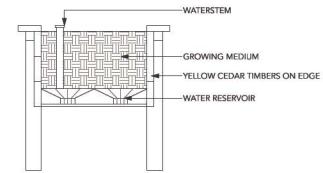
5 LOUNGE CHAIR
Scale: NTS



PLAN



SIDE ELEVATION



CROSS SECTION

8 HEIRLOOM SELF-WATERING URBAN AGRICULTURE PLANTER BY LIFESPACE
Scale: 1:20



HUTCH BACKLESS BENCH
COLOUR : SAND / BROWN SLATE
LENGTH: 5 FT
SUPPLIER: WISHBONE (604-626-0476)

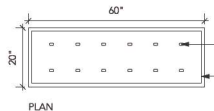
3 HUTCH BACKLESS BENCH BY WISHBONE
Scale: NTS



LOLLYGAGGER HDPE RECTANGLE OUTDOOR COCKTAIL TABLE
COLOUR : DRIFTWOOD
SUPPLIER: LOLL DESIGNS (877.740.3387)

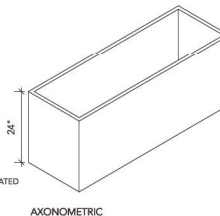
6 COFFEE TABLE
Scale: NTS

MODEL: WIDE RECTANGLE
SIZE : 60\"/>



PLAN

9 METAL SCREEN PLANTER
Scale: 1:20



AXONOMETRIC

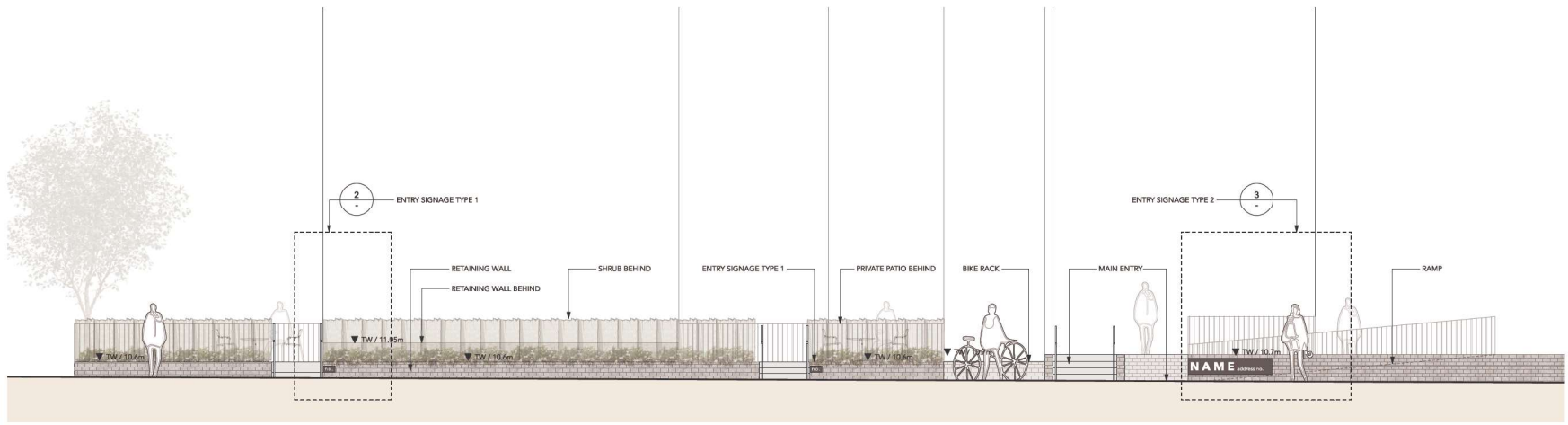
David Stoyko
Landscape Architect

2486 6TH AVENUE EAST
VANCOUVER, B.C. V6M 1R3
P 604.720.0048

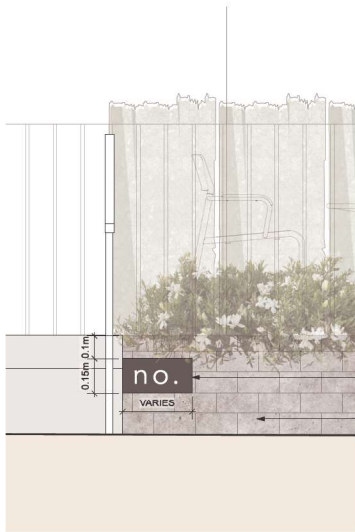
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1 ELEVATION FROM 54A AVE
Scale: 1:50



METAL PANEL WITH CUTOUT LETTERING MOUNTED AGAINST THE WALL SURFACE. LIGHT COLORED ACRYLIC BOARD BEHIND FOR THE CONTRAST. LETTER SIZE TO BE CONFIRMED.
WALL BEHIND, PER ARCHITECTURAL

2 ENLARGEMENT: SIGNAGE TYPE 1 - PRIVATE ENTRY
Scale: 1:10

METAL PANEL WITH CUTOUT LETTERING MOUNTED AGAINST THE WALL SURFACE. LIGHT COLORED ACRYLIC BOARD BEHIND FOR THE CONTRAST. LETTER SIZE TO BE CONFIRMED.
WALL BEHIND, PER ARCHITECTURAL



3 ENLARGEMENT: SIGNAGE TYPE 2 - COMMON ENTRY
Scale: 1:10

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REVISIONS



**20239, 20247 54A
MULTIFAMILY
DEVELOPMENT**

20239, 20247 54A Avenue
City of Langley, British Columbia

Scale:	AS SHOWN
Drawn:	EG
Reviewed:	DS
Project No.	23-024

DETAILS -
ELEVATIONS



ZONING BYLAW, 1996, No. 2100
AMENDMENT NO. 198, 2023, BYLAW NO. 3260
DEVELOPMENT PERMIT APPLICATION DP 08-22

To consider rezoning and Development Permit applications from 1328986 B.C. Ltd. to accommodate a 14-unit townhome development at 4503 & 4513 200 Street.

The subject properties are currently zoned RS1 Single Family Residential Zone in Zoning Bylaw No. 2100 and designated “Ground Oriented Residential” in the Official Community Plan Land Use Map. All lands designated “Ground Oriented Residential” are subject to a Development Permit to address building form and character.

Background Information:

Applicant:	1328986 B.C. Ltd.
Owner:	1328986 B.C. Ltd.
Civic Addresses:	4503 & 4513 200 Street
Legal Description:	Lot 253, Section 34, Township 7, New Westminster District, Plan 45033; Parcel “C” (Explanatory Plan 10176), North Half Lot 3, Block 2, Section 34, Township 7, New Westminster District, Plan 1783
Site Area:	2,440 m ² (0.6 acres)
Number of Units:	14 townhomes
Unit Density:	57 units/hectare (23 units/acre)
Gross Floor Area:	2,823.1 m ² (30,384 ft ²)
Floor Area Ratio:	1.157
Lot Coverage:	48%
Total Parking Required:	31 spaces (including 1 h/c space)
Parking Provided:	
Resident	28 spaces
Visitor	<u>3 spaces</u>
Total	31 spaces (including 1 h/c space)
OCP Designation:	Ground Oriented Residential
Existing Zoning:	RS1 Single Family Residential
Proposed Zoning:	RM1 Multiple Residential Low Density
Variances Requested:	48% lot coverage (max. 35%) 3 storey height (max. 2 storeys) 2.8m front setback (min. 7.5m) 3m rear setback (min. 7.5m) 4.5m interior setbacks (min. 7.5m)
Development Cost Charges:	\$334,940.00 (City - \$166,224.00, GVS&DD - \$62,952.00, GVWD - \$66,360.00, SD35 - \$10,600.00, TransLink - \$28,804.00)
Community Amenity Contributions (CACs):	\$56,000.00



**ZONING BYLAW, 1996, No. 2100
AMENDMENT NO. 198**

BYLAW NO. 3260

A Bylaw to amend City of Langley Zoning Bylaw, 1996, No. 2100 to rezone the properties located at 4503 & 4513 200 Street to the RM1 Multiple Residential Low Density Zone.

WHEREAS the *Local Government Act* authorizes a local government to zone areas of a municipality and to make regulations pursuant to zoning;

NOW THEREFORE the Council of the City of Langley, in open meeting assembled, enacts as follows:

1. Title

This bylaw shall be cited as the “Zoning Bylaw 1996, No. 2100 Amendment No. 198, 2023, No. 3260”.

2. Amendment

Bylaw No. 2100, cited as the “Zoning Bylaw, 1996, No. 2100” is hereby amended by changing the zone classification of:

- (a) PID: 001-939-467
Lot 253, Section 34, Township 7, New Westminster District, Plan 45033
- (b) PID: 005-115-515
Parcel “C” (Explanatory Plan 10176), North Half Lot 3, Block 2, Section 34, Township 7, New Westminster District, Plan 1783

from the RS1 Single Family Residential Zone to the RM1 Multiple Residential Low Density Zone in Schedule “A” – Official Zoning Map.

Zoning Bylaw Amendment No. 198
Bylaw No. 3260

READ A FIRST AND SECOND TIME this fifteenth day of January, 2024.

READ A THIRD TIME this twenty second day of January, 2024.

FINALLY ADOPTED this day of , XXXX.

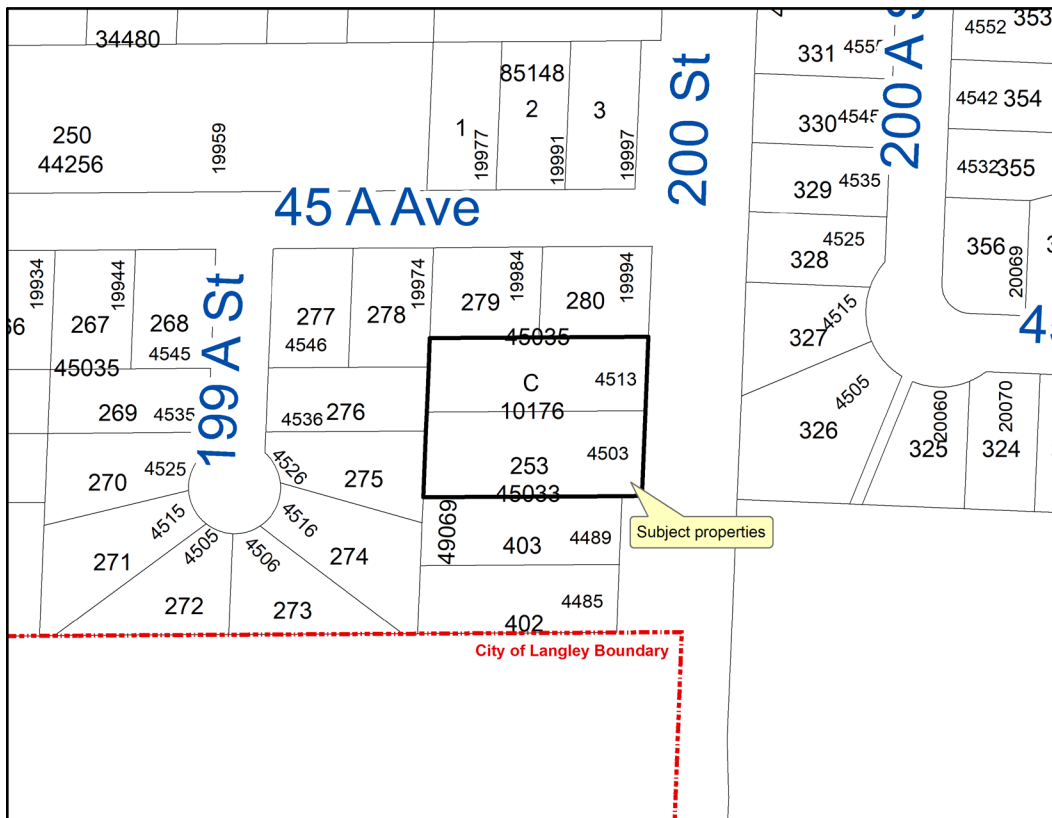
MAYOR

CORPORATE OFFICER



REZONING APPLICATION RZ 05-22 DEVELOPMENT PERMIT APPLICATION DP 08-22

Civic Address: 4503 & 4513 200 Street
Legal Description: Lot 253, Section 34, Township 7, New Westminster District, Plan 45033;
Parcel "C" (Explanatory Plan 10176), North Half Lot 3, Block 2, Section 34, Township 7, New Westminster District, Plan 1783
Applicant: 1328986 B.C. Ltd.
Owner: 1328986 B.C. Ltd.





EXPLANATORY MEMO

October 18, 2023 Advisory Design Panel Recommendations and Applicant Response DP 08-22 4503 & 4513 200 Street

Advisory Design Panel Recommendations and Applicant Response

On October 18, 2023 the Advisory Design Panel (ADP) reviewed the DP 08-22 application, and provided the following recommendations (see attached minutes for further details):

1. Update renderings to illustrate accurate design and context (landscaping, balcony dividers)
2. Require an update to the street-fronting façade to better engage 200 Street, especially in central white space, including to bring down the apparent height (e.g. greater use of wood, brick, blue accent colours, considering window ornamentation, horizontal breaks)
3. Consider solar panels on roof (installed or pre-wired)
4. Consider more depth articulation to break up the block volumes
5. Review shading features on south-facing elevation and rain shelter on north (consider blue accents), including consulting with an energy advisor
6. Update surface materials in the central lane for place-making and to demarcate vehicle and pedestrian space
7. Provide protection between visitor parking spaces and buildings
8. Update landscape plans to remove garbage enclosure notation
9. Consider a broader window flashing
10. Ensure lighting design does not create a nuisance for neighbouring properties
11. Consider measures to improve the durability of the in-lane landscaping.
12. Update the lane sidewalk to include a curb, while maintaining single slab design for Fire Rescue access
13. Consider garage doors with integrated person-doors and include unit addressing and wayfinding in internal lane
14. Replace wood fencing with a more durable material, including communication with neighbours
15. Provide more information on heat pump equipment configuration and location
16. Provide a sample room layout in the smallest bedroom
17. Provide enhanced sound attenuation measures on 200 Street-facing units

The applicant submitted finalized revised architectural and landscape drawings on January 4, 2023 (both attached to the Development Permit). The applicant has responded to the ADP's recommendations in the following manner:

1. Update renderings to illustrate accurate design and context (landscaping, balcony dividers)

The renderings have been updated to more accurately show the project design (including landscaping and balcony dividers) from what was shown at the ADP meeting, as well as the surrounding context (including neighbouring houses, fencing, surrounding trees, and the new street frontage to be constructed as part of the project.)

2. Require an update to the street-fronting façade to better engage 200 Street, especially in central white space, including to bring down the apparent height (e.g. greater use of wood, brick, blue accent colours, considering window ornamentation, horizontal breaks).

The 200 Street elevation has been updated with a number of interventions to improve visual interest and reduce the size of blank walls. This included replacing spandrel with two windows (in the middle of the building on the first and second floor), adding side lights to the entry doors, reducing the roof pitch to bring down the building height, widening the brick and siding-clad building ends, incorporating more prominent window frames, increasing the size of roof and window overhangs, and incorporating wood by adding cedar brackets to the third floor overhangs.

3. Consider solar panels on roof (installed or pre-wired).

The project will include the conduiting required to facilitate the future installation of solar panels if desired by the strata.

4. Consider more depth articulation to break up the block volumes.

The change in roof pitch and incorporation of features such as additional overhangs and brackets helps break up the massing of the townhome blocks.

5. Review shading features on south-facing elevation and rain shelter on north (consider blue accents), including consulting with an energy advisor.

3'-deep aluminum window shades have been provided over the south-facing windows on the 3rd floor. On the north elevations, the existing roof overhangs were determined to provide sufficient water protection for the façades.

6. Update surface materials in the central lane for place-making and to demarcate vehicle and pedestrian space.

Decorate paver strips have been added on both edges of the central lane along the garage entrances to improve its appearance and better connect it to the paver-finished driveways on both the east 200 Street and west lane sides.

7. Provide protection between visitor parking spaces and buildings.

Bollards have been added between the visitor parking spaces and the buildings to protect them from damage. This required shifting the buildings slightly (20 centimetres) to the east toward 200 Street to create room for the bollards, which results in the front setback being reduced from 3 to 2.8 metres. This setback reduction is supported by staff due to the large frontage upgrades which would be constructed by this development, including the addition of a bike lane and treed boulevard. The addition of these street features would result in a distance of 8-9 metres between the building faces and street curb/road surface, which is considered sufficient to allow a slight setback modification and meeting of this ADP recommendation.

8. Update landscape plans to remove garbage enclosure notation.

The landscape plans have been updated to remove the garbage enclosure notation which was previously shown in error on the mailboxes.

9. Consider a broader window flashing.

Wider window frames have been added and broader shed roofs have been provided over the windows to enhance their design impact.

10. Ensure lighting design does not create a nuisance for neighbouring properties.

Lighting is only proposed near the walkways to the unit entrances along the north and south edges of the property. The proposed fixtures are low-profile and focused on the walkways and subject building and will not spill over on adjacent properties.

11. Consider measures to improve the durability of the in-lane landscaping.

In response to this recommendation, the landscape architect has confirmed that the plants proposed between the unit garages are durable and low maintenance.

12. Update the lane sidewalk to include a curb, while maintaining single slab design for Fire Rescue access.

A 6" high rollover curb has been provided between the west lane and its sidewalk.

13. Consider garage doors with integrated person-doors and include unit addressing and wayfinding in internal lane.

The applicant elected not to include person-doors integrated into the garage doors, which staff note have little-to-no precedent in other townhome projects elsewhere in their region and may have maintenance and cost implications. To improve wayfinding, unit numbers will be provided on both the front door and garage sides.

14. Replace wood fencing with a more durable material, including communication with neighbours.

The applicant has connected with their neighbours to advise them of their development application and proposed fencing. Wood fencing has been retained on the north and south ends of the lane to the west, as this fencing will be removed as part of the extension of this lane through future development. All other wood fencing has been replaced with a metal fence, including along the rear lane.

15. Provide more information on heat pump equipment configuration and location.

The applicant is proposing to use a combination of a heat pump and a condenser. The heat pumps will be located in the furnace rooms in the unit garages and condenser units will be located on the unit patios. These condenser units will use slim models and will be mounted to the exterior walls to reduce their visibility.

16. Provide a sample room layout in the smallest bedroom.

A sample room layout has been provided in the smallest bedroom on sheet A-2.2 (page 16) of the architectural & landscape package and shows a twin bed. Other rooms will be able to accommodate larger beds, including queen and king beds.

17. Provide enhanced sound attenuation measures on 200 Street-facing units.

The applicant has retained an acoustical consultant to perform a noise level study to inform sound attenuation requirements with the intent of exceeding the minimum Building Code requirement.

Staff Commentary

Staff support the updates made by the applicant in response to ADP recommendations.

In response to questions posed to staff at the ADP meeting, staff have the following responses:

1. Review design treatment of the final condition of the private lane & 200 Street intersection.

The subject application will be accessed by a temporary lane, running east-west, connecting to 200 Street and will also be dedicating a lane to the City, running north-south, along the west edge of the property. When this west City lane is extended north and connects to 45A Avenue as part of the redevelopment of the two properties to the north of the subject site, the private lane connecting to 200 Street will be closed.

Given this approach, the Panel requested additional information be provided on the treatment and appearance of this lane where it connects to 200 Street and, more specifically, whether it and its driveway could be reconstructed to be in line with the City's standard frontage design requirements.

Following review between Development Services, Fire Rescue, and Engineering staff, it's been determined that the lane's connection to 200 Street would not be reconstructed once this access is closed, as it will continue to be required by the City's Fire Rescue Service for emergency access. As such, the curb cut and private lane connection will remain and bollards will be installed by the City, using funds to be provided by the applicant, near the property line to prevent general traffic access.



**MINUTES OF THE
ADVISORY DESIGN PANEL**

**HELD IN COUNCIL CHAMBERS,
LANGLEY CITY HALL**

**WEDNESDAY, OCTOBER 18, 2023
AT 7:01 PM**

Present: Councillor Paul Albrecht (Chair)
Councillor Mike Solyom (Co-Chair)
Mayor Nathan Pachal
Matt Hassett
Leslie Koole
Johnnie Kuo (7:05 pm)
Blair Arbuthnot
Chad Neufeld
Scott Thompson

Absent: Cst. Peter Mann
Tony Osborn
Ella van Enter

Staff: C. Johannsen, Director of Development Services
A. Metalnikov, Planner
K. Kenney, Corporate Officer

Chair Albrecht began by acknowledging that the land on which we gather is on the traditional unceded territory of the Katzie, Kwantlen, Matsqui and Semiahmoo First Nations.

1) AGENDA

Adoption of the October 18, 2023 agenda.

It was **MOVED** and **SECONDED**

THAT the agenda for the October 18, 2023 Advisory Design Panel be approved.

CARRIED

2) **MINUTES**

Adoption of minutes from the July 19, 2023 meeting.

It was MOVED and SECONDED

THAT the minutes of the July 19, 2023 Advisory Design Panel meeting be approved as circulated.

CARRIED

3) **DEVELOPMENT PERMIT APPLICATION DP 08-23** **ZONING BYLAW AMENDMENT APPLICATION RZ 07-23**

Proposed 6-storey, 136-unit apartment building at 20619 & 20629 Eastleigh Crescent.

Anton Metalnikov, Planner, spoke to the staff report dated October 6, 2023 and provided a brief overview of the Development Permit application.

Johnnie Kuo entered the meeting.

In response to questions from Panel members, staff advised that:

- The developer did not want to build a taller building due to financial factors, namely, the height limit for wood frame buildings is 6 stories, anything higher than that has to be a concrete building;
- The FAR is quite high for this development, and provides needed one bedroom units close to Kwantlen Polytechnic University;

The Applicant team entered the meeting:

Noel Lim, Project Manager, Keystone Architecture & Planning Ltd.

Andressa Linhares, Sr. Project Coordinator Design, Keystone Architecture & Planning Ltd.

Jennifer Wall, Landscape Architect/Project Manager, Keystone Architecture & Planning Ltd.

Steve Bartok, Principal, Keystone Architecture & Planning Ltd.

Mr. Lim presented the application, providing an overview of the development with details on the following:

- Project data
- Number of one, two, and three bedroom units
- Number of units that are adaptable
- Site description
- Other developments projects in the area
- Site plan

- Building amenities (indoor and outdoor)
- Unit storage
- Balcony orientation
- Garbage area
- Parking stalls
- Shadow studies

Ms. Linhares provided information on the building design and colours and Ms. Wall provided information on landscape design elements. Information was provided on the following:

- Connections to street and patios
- Size of patios
- Wall height
- Short term parking
- Offsite sodded tree lined pedestrian walkway
- Existing trees on the north with parkade set back from them
- Courtyard
- Paving patterns and materials
- Programming of the spaces
- Planters
- Amenity connection
- Covered BBQs, picnic tables, fire pit
- Sand play area
- Fenced in dog off leash area for small dogs
- Open area for play

It was noted that:

- They are bringing colour to the hardscape and landscaping to contrast the neutral building colour palette;
- They will have an arborist on site to ensure existing trees are protected during construction;
- The planters are getting 1 m soil volume and will provide buffers between units.

Panel members provided feedback on the form and character of the development and discussion took place regarding the following:

- Concerns with security of bike racks due to location and compatibility for electric bikes;
- Suggest filling in the gaps of the street trees;
- Accessibility concerns with sand surface; consider alternative surface for children's play area;
- Consider more quality fencing, more architecturally interesting;
- The three visitor parking stalls look like they will be difficult to get out of;
- Make sure ground units are well lit;

- Should look at reconfiguring the bike parking room entrance as it is currently accessed between two vehicle stalls;
- Concerns with parking configurations; some spots look difficult to get into;
- The stairs in the back are not clear on the drawings, review security;
- There are numerous outdoor amenity areas and they are all quite small; it might be better to have fewer but larger outdoor amenity areas;
- Suggest having a community garden if possible;
- The amenity space brown shades and materials are out of place with the rest of the development, suggest using colours to create more continuity;
- There are too many different materials distinguishing the different areas of the development;
- Choose to have the dog off leash area or the grassed area, not both;
- Consider more animation on the side where people go to park;
- The amount of amenity space is not enough for the number of units in the development;
- It's not clear what demographic this development is intended for; it does not appear to be designed for elderly people;
- The design of the double doors next to the elevator is confusing, it's not clear how people will exit that space to the outside amenity area and whether there is enough space; there could be safety issues;
- The colour of the building is rather bland; too many different materials being used given that they are all black;
- There isn't very much shade provided on the south side, consider more shading there;
- Recommend deconstruction not demolition of existing building on site;
- One of the seating areas could be removed to provide more space for other programming;
- For accessibility purposes doors for both indoor and outdoor amenity spaces should have automatic functionality;
- Should design the appliances in the adaptable units such that they can be made adaptable in the future;
- Implement additional noise attenuation measures for units next to the elevator and those with a bedroom wall that is shared with their neighbouring unit's living room;
- Suggest using Canada Post standard mail room equipment as they are more secure and durable;
- Consider having a bike maintenance room with automatic door to the room;
- Incorporate wood element to give warmer, friendly feeling to chain link fence;
- Break up the monotony of the wall on the lane by adding a treatment with more visual appeal;

In response to questions from Panel members, the applicant team advised that:

- The surface material for the off-leash dog area will be mulch or pea gravel;
- In order to address potential issues with maneuverability of visitor parking spots they will look at a larger turnaround;
- There will be opaque privacy screens between the walk up patios;
- All units on ground floor have gates;
- The courtyard will have lighting;
- The reason they included an off-leash dog was there is nowhere near for people with pets to go, but they can discuss with client about where they could possibly reduce some outdoor amenity uses;
- They are trying to include edibles in the plantings on site; the podium area is too shady for a communal garden;
- It is a solid, four foot high wall on the lane where the parking stalls are, but is open above; the lane is lower;
- The loading parking space is accessed from the lane; and is also accessible from accessible entrance ramp; the podium level is accessible from the loading parking space;
- The development will be market housing;
- They can discuss the possibility of installing air conditioning/ heat pumps with the owner;
- Storage lockers will be included with each unit;
- They haven't yet discussed providing electrical plugs in the bike storage area for e-bikes;
- The strata will be responsible for maintaining the sand pit;
- Use Canada post mailboxes, more secure and durable;
- The roof treatment will be reflective to reduce heat island effect;
- There isn't a sidewalk on the lane; however, there is a planter there;
- Given that the fire pit could be an ongoing liability; suggest removing that amenity to provide more space for other amenities;

The applicant team left the meeting.

In response to questions from Panel members, staff advised that:

- With respect to having boulevard ground cover that is easy to maintain and discourages use of these areas as places for dogs to do their business:
 - another development project did look at different possibilities;
 - staff will discuss the issue with Engineering staff;
 - in new areas in Vancouver, boulevards have been converted to turf; staff are not suggesting this approach;
- Staff can determine if it is feasible to have an amenity space on the roof;
- Barriers cannot put between the stalls that are on either side of the entrance to bike parking room as cars wouldn't be able to maneuver into those stalls;
- There will also be laneway access for the development under construction at Glover Rd. and Eastleigh Crescent;

- The City does permit fire pits in developments; however, the Fire Department does have some requirements.

The Panel compiled a list of recommendations for the applicant.

It was MOVED and SECONDED

THAT:

1. The ADP receive the staff report dated October 6, 2023 for information; and
2. The ADP recommends the applicant give further consideration to the following prior to the application proceeding to Council:
 - a. Ensure secure model of visitor bicycle rack is used (e.g. two lock point potential) and improve visibility of visitor bike racks from within building (e.g. bringing them onto podium level);
 - b. Review opportunity for additional street-fronting trees on site;
 - c. Use an alternative fence material to chain link around the dog run area, including considering wood elements;
 - d. Review maneuverability of parking areas, including visitor parking spaces and bicycle room access between parking spaces;
 - e. Review use of sand in children's play area for accessibility and consider an alternative surface;
 - f. Consider reconfiguring the outdoor amenity area with fewer but larger programmed areas and simplifying the material palette;
 - g. Consider providing communal garden plots and/or edible plantings;
 - h. Consider more closely aligning colour palettes between building cladding and landscape materials;
 - i. Provide more design interest to the west parkade wall;
 - j. Review location of loading zone for usability;
 - k. Consider providing a rooftop amenity area;
 - l. Review Building Code compliance of courtyard exiting and elevator lobby;
 - m. Consider opportunities for shading on south-facing units;
 - n. Provide automatic doors for amenity spaces, both indoor and outdoor, and bicycle rooms;
 - o. Review accessibility of appliances in adaptable units (e.g. washers & dryers);
 - p. Consider the use of electric building systems (e.g. heat pumps and/or air conditioning);
 - q. Consider additional sound attenuation measures for units with elevator & living room-to-bedroom wall interfaces;
 - r. Provide electrical connections in bicycle rooms for e-bikes;
 - s. Consider providing a bicycle maintenance area;
 - t. Review and ensure security of the rear courtyard exit stair;

CARRIED

**4) DEVELOPMENT PERMIT APPLICATION DP 08-22
ZONING BYLAW AMENDMENT APPLICATION RZ 05-22**

Proposed 14-unit townhome complex at 4503 & 4513 200 Street.

Anton Metalnikov, Planner, spoke to the staff report dated October 4, 2023 and provided a brief overview of the Development Permit application.

Carl Johannsen, Director of Development Services advised that staff have proof of concept that other properties surrounding this development are viable for similar development; noting there are a number of ways to have access to the sites.

In response to questions from Panel members, staff advised that:

- The strata for this development will be made aware of the fact that the temporary lane being built will be closed in the future through information provided in signage on the site, in any sale documents and in a covenant placed on title;
- Once the lane is closed (which will occur only after neighbouring properties are developed), there are a number of options to prevent people from using it, which staff can discuss with Engineering staff;
- The temporary lane is not required to be a fire access; however, the Fire Department may want to have that option;
 - the moratorium on rezoning properties south of 50th Avenue Council imposed last year has been lifted as staff fulfilled the requirements Council requested be undertaken including such things as conducting a community survey of residents in the area and developing a best practices guide for ground-oriented residential developments in this area;
- No formal development applications have been received to date for the property to the north; however, the OCP does allow for redevelopment mid-block.
- The lane at the back will be constructed for this development and when the property to the north is developed, they will do the same;
- The lane will be dedicated as part of this development;
- The property to the south will have a hammerhead turn-around
- There will be a fence along the boundary of the property to the south;
- A traffic study will be undertaken for the intersection to the north; the potential to exit onto 200 St. and turn left will be reviewed as part of the traffic study;
- This building is three stories which is the maximum height for buildings in this area under the OCP;
- Staff will ask the applicant to correct the renderings that currently show the property backing onto a park, as it will actually be backing onto the fence of a single family home;
- The lane is 8 m wide; the building is 10 to 11 m away from property line of a single family home; on 200 Street there will be separation between

the traffic lane and pedestrian corridor, though there may be some sidewalk portions near the street in order to protect existing trees.

The Applicant team entered the meeting:

Layne French, Applicant

Meredith Mitchell, Landscape Architect, M2 Landscape Architecture

Fred Adab, Architect, F. Adab Architects Inc.

Azar Ahmadi, Senior Designer, Associate, F. Adab Architects Inc.

Mr. Adab presented the application, providing an overview of the development with details on the following:

- Context Plan
- Aerial Map
- Site Plan
- Energy savings and green measures
- Exterior finishes and colour
- First, second and third floor plans
- CPTED measures

Ms. Mitchell provided information on landscape design elements:

- Some retained trees on site
- Paving
- Pedestrian walkway
- Individual walkways to units
- Buffer planting between semi- public and public to private patio spaces
- Green planting at internal road
- Two units next to 200 St. stepped back to create front yard in keeping with other houses on street.

Panel members provided feedback on the form and character of the development and discussion took place regarding the following:

- When the lane is to be closed off make it more attractive by using fencing or landscaping to close it off rather than bollards;
- Adding some architectural interest to the blank wall;
- Include more wood in the development, including possibly on the front blank wall;

Councillor Solyom left the meeting at 9:15 pm. and did not return to the meeting.

- Possibility of adding solar panels, or pre-wiring for it in the future; engage with energy advisor;
- Height of the street fronting façade is quite big compared to single family, try to break up plane;
- There is not a lot of room for storm water retention; change to less impermeable surfaces;

- Shading is needed on south facades and would add interest;
- Adding rain shelter for decks on north side would make them for usable;
- Suggest using different surfaces in the lane to define vehicle and pedestrian access areas;
- As patios are so small, lane will become amenity space used by pedestrians, accordingly, support this use by having a surface treatment other than asphalt for the lane;
- Backyards are almost unusable; consider flipping building design to give extra space on drive aisle or planting areas, have front door on garage side;
- Create a physical buffer between visitor parking and buildings;
- The pavers between the sidewalk and centre laneway, there is the opportunity to run more texture down the centre or at least past the green space;
- Suggest charcoal brick instead of hardy board for the gable ends;
- There is an opportunity to mirror the buildings;
- Recommend broader flashing around windows;
- If using hardy board for the gable ends make it horizontal instead of vertical;
- Ensure the lighting in the development is down lighting so as not to impact neighbouring single detached homes;
- Need to delineate sidewalk in lane with curbing or vertical element to prevent vehicles from parking on it;
- Possibility of having garage doors with pedestrian door;
- Include unit numbers on garage doors for first responders and delivery drivers;
- Consult with owners of single family lots neighbouring the property as to what type of fencing they would be amenable to;
- Show room configuration of the smallest bedroom.

In response to questions from Panel members, the applicant team advised that:

- In the backyards there is a 1 m planting and walkway, planting bed, and 2 x 2 paver-covered area; there will be a small space that could accommodate a BBQ;
- The patio is 6 x 14 ft.; they could make the patio bigger but they wanted to have planting space to create separation from the walkway and patio;
- The hedge is inside the fence;
- There will be white magnolias, and conifer fir trees in front of the blank centre wall;
- The planting on the driveway will be viable;
- The intention is for garbage to be picked up from individual units;
- They can look at making the yards greener;
- There are privacy screens between balconies;
- They have not considered extra noise attenuation for units facing 200 Street, but could hire sound acoustical consultant

- The powder rooms are fully within the units;
- The condenser, fresh air intake, and exhaust for the heat pump are all in the garage;
- Bedroom placement below kitchen is normal, additional fire safety measures are put in place;
- The building will have sprinklers.

In response to questions from Panel members, staff advised that:

- The OCP and ground-oriented development guidelines indicate that yards need to be 4.5 m deep;
- The unit threshold to require amenity space be built in a development is 20 units;
- There is a park nearby to this development;
- City regulations require 4.5 m setbacks with the key goal of achieving 9 m separation distances between building faces; while a secondary goal is for these setbacks to create larger yards, given the significant dedications on this project, front doors were located along private walkways to maintain a typical townhome unit density which resulted in smaller back yards;
- Staff can get clarification on what kind of heat pump is being used before this application comes back to Council;
- Staff will review building guidelines to determine if wood fences are permitted. (It was subsequently noted by a Panel member that wood may not be the best material to use for the long term);

The applicant team left the meeting.

The Panel compiled a list of recommendations for the applicant.

It was MOVED and SECONDED

THAT:

3. The ADP receive the staff report dated October 6, 2023 for information; and
4. The ADP recommends the applicant give further consideration to the following prior to the application proceeding to Council:
 - a. Update renderings to illustrate accurate design and context (landscaping, balcony dividers);
 - b. Require an update to the street-fronting façade to better engage 200 Street, especially in central white space, including to bring down the apparent height (e.g. greater use of wood, brick, blue accent colours, considering window ornamentation, horizontal breaks);
 - c. Consider solar panels on roof (installed or pre-wired);
 - d. Consider more depth articulation to break up the block volumes;

- e. Review shading features on south-facing elevation and rain shelter on north (consider blue accents), including consulting with an energy advisor;
- f. Update surface materials in the central lane for place-making and to demarcate vehicle and pedestrian space;
- g. Provide protection between visitor parking spaces and buildings;
- h. Update landscape plans to remove garbage enclosure notation;
- i. Consider a broader window flashing;
- j. Ensure lighting design does not create a nuisance for neighbouring properties;
- k. Consider measures to improve the durability of the in-lane landscaping;
- l. Update the lane sidewalk to include a curb, while maintaining single slab design for Fire Rescue access;
- m. Consider garage doors with integrated person-doors and include unit addressing and wayfinding in internal lane;
- n. Replace wood fencing with a more durable material, including communication with neighbours;
- o. Provide more information on heat pump equipment configuration and location;
- p. Provide a sample room layout in the smallest bedroom;
- q. Provide enhanced sound attenuation measures on 200 Street-facing units.

CARRIED

5) NEXT MEETING

November 8, 15, or 22

6) ADJOURNMENT

It was MOVED and SECONDED

THAT the meeting adjourn at 9:48 pm.

CARRIED



ADVISORY DESIGN PANEL CHAIR



CORPORATE OFFICER



ADVISORY DESIGN PANEL REPORT

To: **Advisory Design Panel**

Subject: **Development Permit Application DP 08-22
Rezoning Application RZ 05-22
(4503 & 4513 200 Street)**

From: Anton Metalnikov, RPP, MCIP
Planner

File #: 6620.00
Bylaw #: 3260

Doc #:

Date: October 4, 2023

RECOMMENDATION:

THAT this report be received for information.

PURPOSE OF REPORT:

To consider Development Permit and Zoning Bylaw amendment applications by Navreet Mann for a 14-unit townhome development at 4503 & 4513 200 Street.

POLICY:

The subject properties are currently zoned RS1 Single Family Residential in Zoning Bylaw No. 2100 and designated "Ground Oriented Residential" in the Official Community Plan Land Use map. All lands designated for multi-unit residential use are subject to a Development Permit (DP) to address building form and character.

COMMENTS/ANALYSIS:

Background Information:

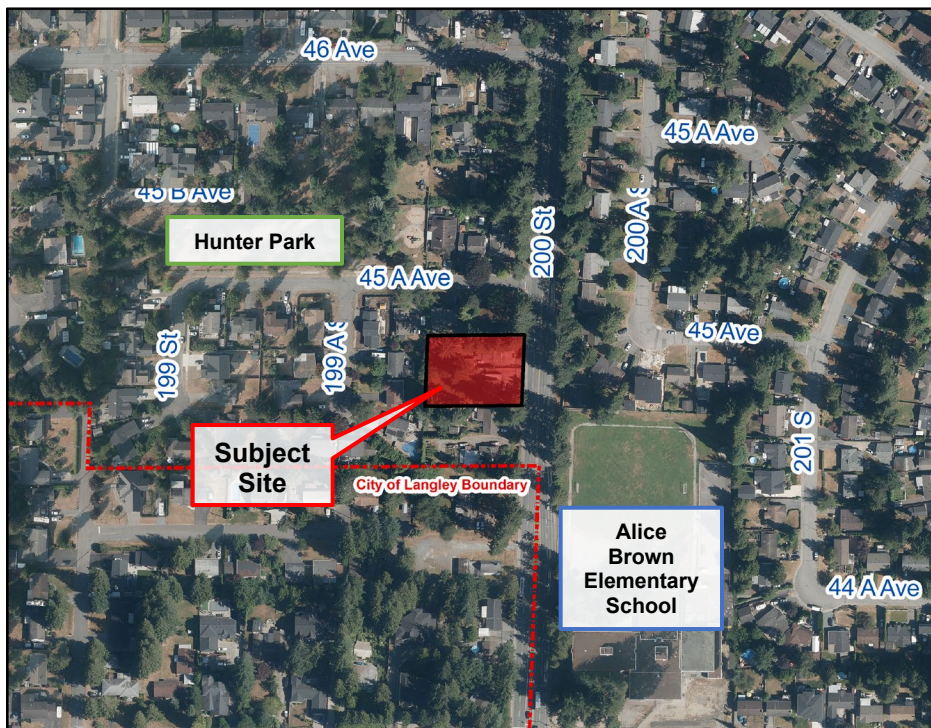
Applicant:	1328986 B.C. Ltd.
Owner:	1328986 B.C. Ltd.
Civic Addresses:	4503 & 4513 200 Street
Legal Description:	Lot 253, Section 34, Township 7, New Westminster District, Plan 45033; Parcel "C" (Explanatory Plan 10176), North Half Lot 3, Block 2, Section 34, Township 7, New Westminster District, Plan 1783
Site Area:	2,440 m ² (0.6 acres)
Number of Units:	14 townhomes
Unit Density:	57 units/hectare (23 units/acre)
Gross Floor Area:	2,823.1 m ² (30,384 ft ²)
Floor Area Ratio:	1.157
Lot Coverage:	48%
Total Parking Required:	31 spaces (including 1 h/c space)
Parking Provided:	
Resident	28 spaces
Visitor	3 spaces
Total	31 spaces (including 1 h/c space)
OCP Designation:	Ground Oriented Residential
Existing Zoning:	RS1 Single Family Residential
Proposed Zoning:	RM1 Multiple Residential Low Density
Variances Requested:	48% lot coverage (max. 35%) 3 storey height (max. 2 storeys) 3m front setback (min. 7.5m) 3m rear setback (min. 7.5m) 4.5m interior setbacks (min. 7.5m)
Development Cost Charges:	\$334,940.00 (City - \$166,224.00, GVS&DD - \$62,952.00, GVWD - \$66,360.00, SD35 - \$10,600.00, TransLink - \$28,804.00)
Community Amenity Contributions (CACs):	\$56,000.00

Discussion:

1. Context

The applicant is proposing to develop a 14-unit townhome complex on the site of two single-detached lots at 4503 & 4513 200 Street. This site is located in an area of single-detached homes, where the properties along 200 Street, including the subject site, have been designated as Ground Oriented Residential in the City's Official Community Plan. This designation allows for townhome and plex-home development of up to 3 storeys in height and a Floor Area Ratio (FAR) density of up to 1.2, and was introduced to provide a broader range of family-oriented housing options in the neighbourhood and near Alice Brown Elementary School, support future frequent transit service, provide an upgraded streetscape along 200 Street, and improve traffic safety by removing driveways on 200 Street.

The subject site is located mid-block, with its frontage formed on the east by 200 Street, an arterial road forming part of TransLink's Major Road Network that provides regional connections into Langley City. To the north and south, the site is bordered by single-detached homes which, like the properties across 200 Street to the east, share the same Ground Oriented Residential OCP designation. To the west, the site is neighbored by single-detached homes designated in the OCP as Suburban, which maintains these properties' existing single-detached home character, densities, and lot patterns.



Site context

The site is located in a distinctly residential area but has convenient walking connections to key amenities including:

- Two transit routes (directly adjacent);
- Alice Brown Elementary School (few-minutes' walk); and
- Hunter Park (few-minute's walk).

2. Proposed Rezoning and the Official Community Plan (OCP)

The site is designated Ground Oriented Residential in the City's OCP, which allows for townhome and plex-home development of up to 3 storeys in height and a Floor Area Ratio (FAR) density of up to 1.2.

The application's density is consistent with the existing Zoning Bylaw's RM1 Multiple Residential Low Density Zone and the subject properties are proposed to be rezoned to this zone to avoid the use of a site-specific Comprehensive Development (CD) Zone. This requires several variances to address discrepancies between the existing RM1 Zone's requirements and the preliminary draft new requirements being considered for the new Zoning Bylaw currently in development to better implement the City's OCP, including a new townhome zone associated with the Ground Oriented Residential designation. The subject application complies with these draft requirements, and further details are outlined in the Variances section in this report.

Although the application was made before the adoption of the City's Townhome & Plex-Home Best Practices Guide ("the Guide"), the development's design is consistent with the Guide's guidelines. This includes using a rear lane to separate 3-storey townhomes from adjacent properties designated Suburban in the OCP and facing balconies away from them, using peaked roofs, providing over one on-site tree per unit, and providing fewer than 50% of units with tandem parking.

3. Design

The applicant is proposing a 2-block, 3-storey townhome complex oriented east-west in response to the site's deep and relatively narrow dimensions. The two blocks are composed of 7 units each (4 with side-by-side garages and 3 with tandem garages) and face each other across an internal lane. This private lane runs perpendicular to and connects to a new lane to be dedicated to the City at the rear (west) of the property and to 200 Street to the east. The 200 Street connection is temporary and will be made emergency-only (bollarded) once the new City lane to the west is extended to 45A Avenue and southward as part of the future redevelopment of the properties to the north and south. This layout is consistent with OCP policies on Ground Oriented Residential development, which require new rear lanes to be constructed as part of development to improve arterial road safety by removing driveways, while permitting temporary accesses

from 200 Street to allow development to proceed on mid-block sites. Given that the City lane segment will not be connected to 45A Avenue as a part of this application (but this lane will be connected to 45A Avenue as a part of the future redevelopment of the properties immediately to the north), the applicant will be required to provide a temporary vehicle turnaround and lane use plan as a part of the Servicing Agreement.

The 200 Street frontage is acknowledged through the end units' design with walk-out front doors, along with gated internal sidewalks running the length of the site on its north and south edges to provide pedestrian access to each unit. This frontage is also enhanced through on-site landscaping, including four trees. The development has also been designed to be able to retain three mature trees (two Douglas Firs and one Western Red Cedar) on the site's southeast corner, subject to civil design confirming whether planned street improvements such as an expanded sidewalk and boulevard, can be integrated successfully with these trees. The rear lane includes a sidewalk and three visitor parking spaces, which result in a total distance of 11 metres between the townhomes and the Suburban-designated properties with single-detached homes to the west.

The proposed design incorporates white and grey tones in a variety of material treatments, including brick on the ground floor and above the entry doors facing 200 Street. Hardie board and batten and Hardie horizontal siding are used on the upper two floors, with stained cedar balconies on the second floors facing north and south toward properties with townhome development potential. No balconies face west to the adjacent Suburban-designated single-detached homes. The townhome blocks are proposed at a three-storey height, with a varied peaked roof line to provide a front-facing appearance on all elevations. Vent grilles and spandrel glass are used on the block ends for additional ornamentation.

The project's landscaping uses a variety of shrub species to line the perimeter of the site, with 6-foot-high wood fencing on the north and south property lines and a shorter black aluminum fence facing 200 Street. Shrubs are also used to line the interior lane between garages. Every unit patio is separated from the internal sidewalks with wood picket fencing and a double row of shrub and grass plantings, with a tree in each unit's row. Trees are also provided at the rear lane and the 200 Street frontage, for a total of 18 new trees on-site. In addition to the three off-site trees in the southeast corner, one off-site Douglas Fir tree is proposed for retention on an adjacent property to the north, and staff is currently working with the applicant to determine whether the civil design can allow the retention of more trees beside it. Project hardscaping includes stamped concrete to delineate the rear lane sidewalk and visitor parking spots, and concrete paver bands at the rear lane and 200 Street entrances into the private interior lane to highlight the entrances into the townhome complex.

Pedestrian access is provided into the units from the public sidewalk for the 200 Street end units and from private walkways for the remaining units. Vehicle parking meets Zoning Bylaw requirements, including 2.0 resident spaces per unit (total of 28 spaces) and 0.2 visitor spaces per unit (total of 3 spaces). This parking approach is also consistent with the Guide which encourages a mix of side-by-side and tandem parking units while limiting tandem garages to less than 50%. The application includes 8 side-by-side units and 6 tandem units, for a total tandem unit share of 43%. The development consists of 6 three-bedroom units and 8 four-bedroom units, and all units have ground-level patios and balconies.

4. Sustainability

The proposal incorporates several sustainable development features, including:

- Using construction techniques that minimize site disturbance and protect air quality;
- Incorporating the use of recycled building materials;
- Achieving an EnerGuide for New Houses rating of 80 or over, and an energy performance of 25% better than the current Model National Energy Code for multi-unit buildings;
- Using non-water dependent and drought-tolerant materials in the landscape design served by an irrigation system with central control and rain sensors;
- Using water-conserving toilets; and
- Providing all garages with Level II electric vehicle (EV) chargers.

5. CPTED

The applicant's proposal benefited from a comprehensive Crime Prevention Through Environmental Design (CPTED) review by a qualified consultant whose recommendations were incorporated into the plans.

6. Variances

The applicant has requested the following variances from RM1 zoning provisions:

- Front setback reduction to 3 metres (7.5 metres minimum)
- Rear setback reduction to 3 metres (7.5 metres minimum)
- Interior (side) setback reduction to 4.5 metres (7.5 metres minimum)
- Height increase to 3 storeys (2 storeys maximum)
- Lot coverage increase to 48% (35% maximum)

These variances are requested in recognition of the changes being considered to current requirements by staff for the new Zoning Bylaw, which is currently in development to help implement the City's Official Community Plan (OCP). The

proposal is consistent with the OCP, as well as with the City's Townhome and Plex-Home Best Practices Guide.

The requested setback variances are consistent with the setbacks staff are considering for the new townhome zone in the new Zoning Bylaw to implement the Ground Oriented Residential OCP designation within which this site is included. Reduced setbacks adjacent to streets and lanes allow buildings to engage with the public realm more closely, respond to constrained sites, and take advantage of the spacing streets and lanes offer to maintain separation from other buildings. 4.5-metre side setbacks maintain the 9-metre separation between townhomes as required in the OCP's Development Permit Area guidelines where streets and lanes are not present.

The requested height variance to 3 storeys reflects contemporary townhome design practices and is consistent with the OCP's maximum height for the Ground Oriented Residential designation. It is also consistent with the Guide, which allows for 3-storey buildings to be used beside single-detached designated properties in the OCP if over 8 metres of separation is provided, which is provided on this site by the rear lane.

The requested lot coverage variance is slightly above the draft new maximum being considered for the new townhome zone in the new Zoning Bylaw of 45%. However, staff support this variance in recognition of the large road dedications required of 8 metres for the rear lane (to create an alternative access route to 200 Street in accordance with OCP policy) and 5 metres for 200 Street (to provide the necessary right-of-way width to accommodate the street design envisioned in the City's Design Criteria Manual). As lot coverage is calculated on the ultimate site area post-dedication, these significant dedications (464.9 m², or 19% of the original site; lot coverage on the original site would be 39%) reduce the available buildable area, with the higher lot coverage allowing the development to reach the site's density potential under the OCP while maintaining adequate open space by conforming to required setbacks and building separation distances.

Based on the above commentary and analysis, staff support these variances.

7. Summary

The proposed development is consistent with the City's OCP, Development Permit Area guidelines, and Townhome & Plex-Home Best Practices Guide and provides family-oriented homes near transit, parks, and an elementary school.

Engineering Requirements:

PRELIMINARY ONLY

Additional design changes may be required upon further investigation, site inspections and receipt of other supporting reports and documents. All work to be done to the City of Langley's Design Criteria Manual (DCM).

All work to be done to the City of Langley's Design Criteria Manual (DCM), and the City's Subdivision and Development Servicing Bylaw (SDSB).

Per the City's DCM requirement, the developer and their consulting engineer shall submit to the City Engineer a signed and sealed copy of Form F-1 (Commitment by Owner and Consulting Engineer) prior to starting their design works.

Per the City's Watercourse Protection Bylaw No. 3152, the developer's consulting engineer shall submit to the City Engineer a signed and sealed copy of Form F-1 (Confirmation of Commitment by Qualified Environmental Professional - QEP) prior to starting their site monitoring works.

These requirements have been issued to reflect the application for development for a proposed **14-Unit Townhome Development located at 4503 & 4513 200 Street.**

These requirements may be subject to change upon receipt of a development application.

The City's Zoning Bylaw, 1996, #2100 has requirements concerning landscaping for buffer zonings, parking and loading areas, and garbage and recycling containers, all of which applies to this design.

A) The Developer is responsible for the following work which shall be designed by a Professional Engineer:

- I. A Qualified Environmental Professional (QEP) must be engaged to implement erosion and sediment control in accordance with the City of Langley Watercourse Protection Bylaw #3152, as amended.
- II. On-site stormwater management plans for each lot are required. Rainwater management measures used shall be designed to contain and infiltrate the 100-year event on-site to mitigate flooding and environmental impacts as detailed in the City's DCM.
- III. All existing services shall be capped at the main by the City, at the Developer's expense prior to applying for a Demolition permit.

- IV. New water, and sanitary sewer service connections are required. All pertinent pipe design calculations shall be submitted in spreadsheet format and shall include all formulas for review by the City. The Developer's engineer will determine the appropriate main tie-in locations and size the connections for the necessary capacity.
- V. The capacity of the existing water and sanitary sewer mains shall be assessed through hydraulic modeling performed by the City's hydraulic modeling consultant at the Developer's expense.
 - a. Any upgrade requirement for either sanitary or water mains not covered under the City's DCC bylaw shall be designed and installed by the Developer at the Developer's expense.
 - b. At the Developer's expense, the City's hydraulic modeling consultant shall conduct a fire hydrant flow test to be used in the City's water modeling to determine if the existing water network is adequate for fire flows (based on architectural data supplied by the Developer's Architect). Upgrading of the existing watermain(s) may be necessary to achieve the necessary pressure and flows to conform to Fire Underwriters Survey (FUS) "Water Supply for a Public Fire Protection, a Guide to Recommended Practice, 1995."
- VI. Additional C71P fire hydrants may be required to meet bylaw and firefighting requirements. Hydrant locations must be approved by the City of Langley Fire Rescue Service.
- VII. A property dedication of approximately 5m will be required on the 200th Street frontage of the proposed project to provide a ROW of 30m. Exact dedication to be determined by a legal land surveyor.
- VIII. An 8 m land dedication along the west side of the property is required, as outlined already by the City's Development Services Department and discussed with the Developer for a future access road to 45 A Ave. The temporary/interim access to 200 Street will be revoked and will only be used for fire truck emergency access only once the full access road to 45 A Ave. is established. This interim west lane shall be fenced with a 6-foot-high wood, composite, or aluminum fence along its north, west, and south boundaries.
- IX. New sidewalk, barrier curb, gutter will be required along the entire project frontage as per the City's DCM (SS-R01A) standard, complete with boulevard trees and a planting strip as per the City's DCM (SECTION 11.0) standard.
- X. At the Developer's expense, a Traffic Impact Assessment (TIA) will be completed per DCM Section 8.21. The proposed development plan and statistics, once ready, should be forwarded to the City Engineer to develop the scope of this traffic study. TIA reports must be approved by the City Engineer prior to taking the application to Council. The TIA completion timing must be prior to the holding of a Public Hearing.

- XI. The condition of the existing pavement along the proposed project's frontages shall be assessed by a geotechnical engineer. Pavements shall be adequate for an expected road life of 20 years under the expected traffic conditions for the class of road. Road construction and asphalt overlay designs shall be based on the analysis of the results of Benkelman Beam tests and test holes carried out on the existing road which is to be upgraded. If the pavement is inadequate, it shall be remediated at the developer's cost.
- XII. The site layout shall be designed by a civil engineer to ensure that the parking and access layout meets minimum design standards, including setbacks from property lines. Appropriate turning templates should be used to prove parking stalls and drive-aisles are accessible by the design vehicle.
- XIII. Existing and proposed street lighting along the entire project frontage shall be reviewed by a qualified lighting consultant to ensure street lighting and lighting levels meet the City's DCM standards. Any required upgrades will be at the Developer's expense.
- XIV. Eliminate the existing overhead telecommunication wiring and poles along the development's 200 St. frontage project frontage by replacing with underground infrastructure.

B) The Developer is required to deposit the following bonding and fees:

- I. The City will require a Security Deposit based on the estimated construction costs of installing civil works, as approved by the City Engineer.
- II. The City will require inspection and administration fees in accordance to the Subdivision Bylaw based on a percentage of the estimated construction costs. (See Schedule A – General Requirement - GR5.1 for details).
- III. A deposit for a storm, sanitary and water services is required, which will be determined by City staff after detailed civil engineering drawings are submitted, sealed by a Professional Engineer.
- IV. The City will require a \$3,000 bond for the installation of each water meter to current standards.
- V. A signed and sealed pavement cut form (Form F-2 of the City's DCM) shall be completed by the developer's consulting engineer. Upon the review and approval of the City Engineer of the submitted form, the corresponding Permanent pavement cut reinstatement and degradation fees shall be paid by the Developer.

NOTE: Deposits for utility services or connections are estimates only. The actual cost incurred for the work will be charged. The City will provide the

developer with an estimate of connections costs, and the Developer will declare in writing that the estimate is acceptable.

C) The Developer is required to adhere to the following conditions:

- I. Unless otherwise specified, all engineering works shall be designed based on the City's DCM specifications in accordance with the City's Subdivision and Development Servicing Bylaw 2021, No. 3126
- II. Undergrounding of hydro, telecommunication to the development site is required, complete with underground or at-grade transformer
- III. Transformers servicing developments are to be located on private property with maintenance access located on private property. All transformers to be wrapped upon installation by the Developer.
- IV. All survey costs and registration of documents with the Land Titles Office are the responsibility of the developer/owner. Please refer to the City's Subdivision and Development Servicing Bylaw 2021, No. 3126 for more details.
- V. A water meter is required to be installed on private property, preferably in the mechanical room, in accordance to the City's DCM standards at the Developer's cost.
- VI. An approved backflow prevention assembly must be installed on the domestic water connection immediately upon entering the building to provide premise isolation.
- VII. A *Stormceptor* or equivalent oil separator is required to treat site surface drainage.
- VIII. A complete set of record drawings (as-built), service record cards, a completed tangible capital asset form (TCA) all sealed by a Professional Engineer shall be submitted to the City within 60 days of the substantial completion date. Digital drawing files in *.pdf* and *.dwg* formats shall also be submitted. All the drawing submissions shall:
 - a. Use City's General Note Sheet and Title Block; and
 - b. Closely follow the format and sequence outlined in the City's DCM that will be provided to the Developer's Consulting Engineer.
- IX. The selection, location and spacing of street trees and landscaping are subject to the approval of the City Engineer. Please refer to the City's DCM for more details.
- X. Stormwater run-off generated on the site shall not impact adjacent properties, or roadways.
- XI. If applicable, garbage and recycling enclosures shall accommodate on the site and be designed to meet Metro Vancouver's "Technical Specifications for Recycling and Garbage Amenities in Multi-family and Commercial Developments - June 2015 Update." Please refer to the

City's Subdivision and Development Servicing Bylaw 2021, No. 3126 for more details.

Fire Department Comments:

Fire department access for the whole project was reviewed to ensure adequate access was in place. An 8-metre laneway will need to be provided for access on the west side of the property. A construction fire safety plan shall be completed. A lockbox will need to be provided, location to be determined at a later date.

Advisory Design Panel:

In accordance with Development Application Procedures Bylaw No. 2488, the subject Zoning Bylaw amendment and Development Permit application will be reviewed by the Advisory Design Panel (ADP) at the October 18, 2023 meeting.

According to the Council-approved ADP Terms of Reference, the ADP is to provide form and character and urban design-related advice and recommendations for Council's consideration. ADP recommendations will be presented to Council through the ADP meeting minutes and, if applicable, through an additional City staff report, prior to Council consideration of the proposed Zoning Bylaw amendment and Development Permit Applications.

A copy of the ADP minutes will be presented to Langley City Council at a future Regular Council meeting.

BUDGET IMPLICATIONS:

In accordance with Bylaw No. 2482, the proposed development would contribute \$166,224.00 to City Development Cost Charge accounts and \$56,000.00 in Community Amenity Contributions.

Prepared by:



Anton Metalnikov, RPP, MCIP
Planner

Concurrence:



Roy M. Beddow, RPP, MCIP
Deputy Director of Development Services

Concurrence:



Carl Johannsen, RPP, MCIP
Director of Development Services

Concurrence:



Hirod Gill
Manager of Engineering Services

Concurrence:



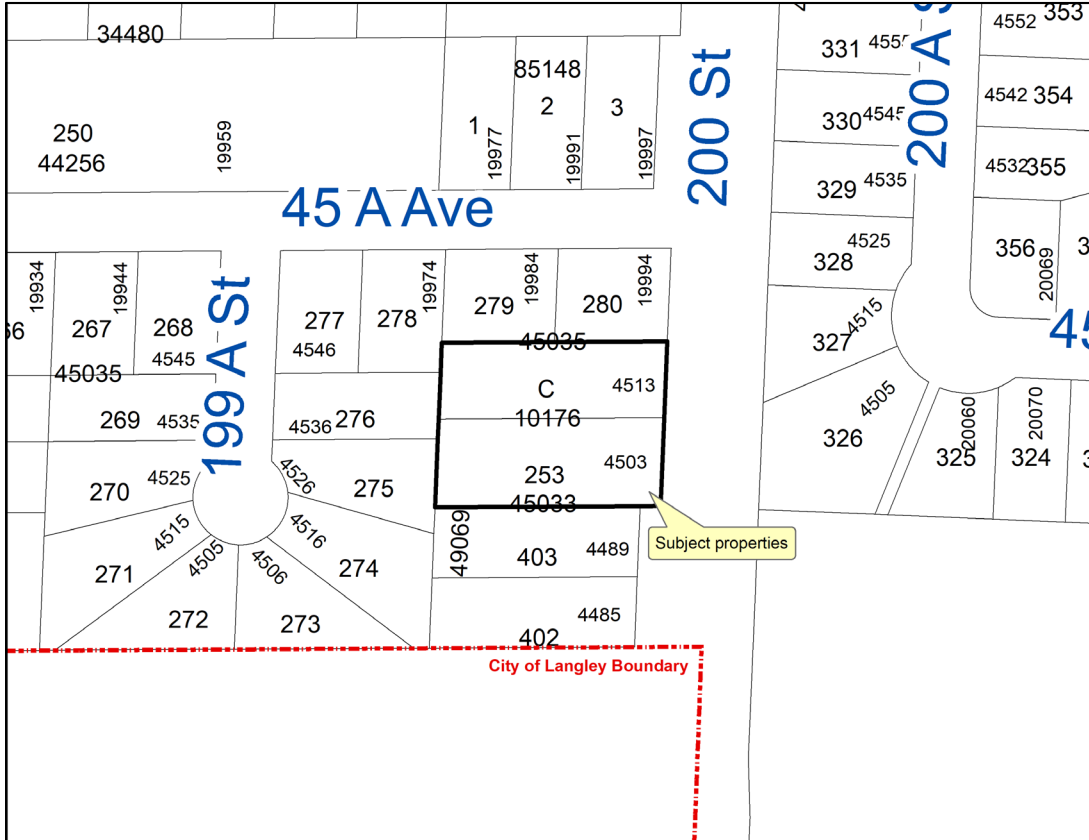
Scott Kennedy
Fire Chief

Attachments



DEVELOPMENT PERMIT APPLICATION DP 08-22 REZONING APPLICATION RZ 05-22

Civic Addresses: 4503 & 4513 200 Street
Legal Description: Lot 253, Section 34, Township 7, New Westminster District, Plan 45033; Parcel "C" (Explanatory Plan 10176), North Half Lot 3, Block 2, Section 34, Township 7, New Westminster District, Plan 1783
Applicant: 1328986 B.C. Ltd.
Owner: 1328986 B.C. Ltd.



14 UNIT TOWNHOUSE DEVELOPMENT

4503, 4513 200 STREET, LANGLEY



LIST OF DRAWINGS :

- A-1.0 PROJECT INDEX - CONTACTS LIST
- A-1.1 CONTEXT PLAN
- A-1.2 AERIAL MAP -CONTEXT PHOTOS
- A-1.3 SURVEY PLAN
- A-1.4 SITE PLAN
- A-1.5 PROJECT STATISTICS
- A-1.6 PERSPECTIVE VIEW
- A-1.7 COLOURED ELEVATIONS
- A-1.8 DESIGN RATIONALE - SITE CHARACTERISTICS, MASSING, FORM AND CHARACTER
- A-1.9 DESIGN RATIONALE- LIVABILITY, ENERGY SAVING AND GREEN MEASURES
- A-1.10 DESIGN RATIONALE - CPTED, LANDSCAPE
- A-1.11 EXTERIOR FINISH
- A-1.12 SHADOW ANALYSIS

- A-2.1 BLOCK 1 FLOOR PLANS (1ST & 2ND FLOOR PLANS)
- A-2.2 BLOCK 1 FLOOR PLANS (3RD FLOOR & ROOF PLANS)
- A-2.3 BLOCK 2 FLOOR PLANS (1ST & 2ND FLOOR PLANS)
- A-2.4 BLOCK 2 FLOOR PLANS (3RD FLOOR & ROOF PLANS)

- A-3.1 BLOCK 1 ELEVATIONS (NORTH & EAST)
- A-3.2 BLOCK 1 ELEVATIONS (SOUTH & WEST)
- A-3.3 BLOCK 2 ELEVATIONS (SOUTH & EAST)
- A-3.4 BLOCK 2 ELEVATIONS (NORTH & WEST)

- A-4.1 BLOCK 1 SECTIONS
- A-4.2 BLOCK 2 SECTIONS

- L1 TREE PLAN
- L2 SHRUB PLAN
- L3 LANDSCAPE DETAILS
- L4 OFFSITE PLAN
- L5 LANDSCAPE SPECIFICATIONS
- L6 STRUCTURAL SOIL SPECIFICATIONS

CONTACT LIST:

DEVELOPER :

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 EMAIL : info@westmann.ca

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 EMAIL : azar@mfadab.com

SURVEYOR :

SOUTH FRASER LAND SURVEYING LTD.
 202-19292, 60TH AVE.
 SURREY, B.C. V3S 3M2
 TEL : 604 599 1886
 EMAIL : k.j.under@southfrasersurvey.ca

CIVIL ENGINEER :

CENTRAS ENGINEERING LTD
 216-2630 CROYDON DR.
 SURREY, B.C. V3S 6T3
 TEL : 604 782 6927
 EMAIL : steve@centras.ca

LANDSCAPE ARCHITECT :

M2 LANDSCAPE ARCHITECTURE
 220-26 LORNE MEWS,
 NEW WESTMINSTER, B.C. V3M 3L7
 TEL : 604 553 0044
 EMAIL : meredith.mitchell@m2a.com

CPTED CONSULTANT :

LIAHONA SECURITY
 P.O. BOX 88,
 MILL BAY, B.C. V0R 2P0
 TEL : 250 743 8948
 EMAIL : liahonasecurity@shaw.ca

ELECTRICAL :

PRIMARY ENGINEERING
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 EASTLAKE DRIVE, BURNABY
 B.C. V5A 4W2
 TEL : 604 558 0401
 EMAIL : kral@pdmayeng.com



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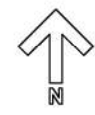
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NO.	DATE	REVISION / ISSUED
5	NOV 21 +23	ADP REVISIONS
4	AUG 25 -25	ISSUED FOR ADP MEETING
3	MAR 14 +22	ISSUED FOR REZONING & DP
2	MAR 08 -22	REISSUED FOR ADP MEETING
1	FEB 18 -22	ISSUED FOR ADP MEETING

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
 4503, 4513 - 200 STREET,
 LANGLEY, BC,
 FOR:
WEST MANN DEVELOPMENTS INC.
 2 - 7550 KING GEORGE BLVD,
 SURREY, B.C, V3W 5A5

DRAWING TITLE: COVER PAGE : DRAWING INDEX AND CONTACTS LIST	
DATE: Sep 2021	SHEET NO:
SCALE: NTS.	A-1.0
DESIGN: A.A.	
DRAWING: A.A.	
PROJECT NO: -	

CONTEXT PLAN



F. ADAB ARCHITECTS INC.

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2	MAR 08 - 22	REISSUED FOR ADP MEETING
1	FEB 18 - 22	ISSUED FOR ADP MEETING
NCL	DATE	REVISION / ISSUED

TOWNHOUSE DEVELOPMENT
4503, 4513 - 200 STREET,
LANGLEY, BC,
FOR:
WEST MANN DEVELOPMENTS INC.
2 - 7550 KING GEORGE BLVD.,
SURREY, B.C, V3W 5A5

DRAWING TITLE:
CONTEXT PLAN

DATE:	Sep 2021	SHEET NO.:	A-1.1
SCALE:	N.T.S.		
DESIGN:	A.A.		
DRAWING:	A.A.		
PROJECT NO.:	-		

AERIAL MAP



1



2



3



4



F. ADAB ARCHITECTS INC.

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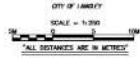
PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
4503, 4513 - 200 STREET,
LANGLEY, BC,

FOR:
WEST MANN DEVELOPMENTS INC.
2 - 7550 KING GEORGE BLVD,
SURREY, B.C, V3W 5A5

DRAWING TITLE:
AERIAL MAP AND CONTEXT PHOTOS

DATE	SCALE	SHEET NO.
Sep 2021	N.T.S.	A-1.2
DESIGNER	A.A.	
DRAWING	A.A.	
PROJECT NO.	-	

B.C. LAND SURVEYOR'S PLAN SHOWING TOPOGRAPHIC SURVEY ON LOT 253 PLAN 45033 AND PARCEL "C" (EXPLANATORY PLAN 10176) NORTH HALF LOT 3 BLOCK 2 PLAN 1763 BOTH IN SECTION 34 TOWNSHIP 7 NEW WESTMINSTER DISTRICT



This instrument and plan in accordance with the provisions of the Land Survey Act, R.S.B.C. 1996, Chapter 226, and the Land Survey Regulation, B.C. Reg. 287/2007, were prepared at a scale of 1:250.

PLAN 45033-REV 01/2021
 4503 AVENUE 45033-0001 STREET

PLAN 45033-REV 01/2021
 4503 AVENUE 45033-0001 STREET

NOTE: LOT DIMENSIONS FROM FIELD SURVEY

NO.	DESCRIPTION	DIAMETER (mm)
1	CONCRETE	100
2	CONCRETE	100
3	CONCRETE	100
4	CONCRETE	100
5	CONCRETE	100
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7	CONCRETE	100
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98	CONCRETE	100
99	CONCRETE	100
100	CONCRETE	100



DATE: 18/01/2021 10:00 AM
 DRAWN BY: J. ADAB
 CHECKED BY: J. ADAB
 PROJECT NO: 2020-001

This document shows the relative location of the proposed structures and features with respect to the boundaries of the parcel described herein. This document shall not be used to define property lines or property corners.

* THIS DOCUMENT IS NOT VALID *
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 Drawn: J. ADAB
 Date: 18/01/2021

F. ADAB ARCHITECTS INC.

#100-1000 ROOSEVELT CRESCENT
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 E-MAIL: info@f.adab.com

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NO.	DATE	REVISION / ISSUED
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2	MAR 08 + 22	REBUSSUED FOR ADP MEETING
1	FEB 18 + 22	ISSUED FOR ADP MEETING


PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
 4503, 4513 - 200 STREET,
 LANGLEY, BC,
 FOR:
WEST MANN DEVELOPMENTS INC.
 2 - 7550 KING GEORGE BLVD.,
 SURREY, B.C., V3W 5A5

DRAWING TITLE:
SURVEY PLAN

DATE:	18/01/2021	SHEET NO.:
SCALE:	M.T.S.	A-1.3
DESIGN:	A.A.	
DRAWING:	A.A.	
PROJECT NO.:	-	



SITE PLAN



F. ADAB ARCHITECTS INC.

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NO.	DATE	REVISION / ISSUED
5	NOV 21 - 23	ADP REVISIONS
4	AUG 28 - 29	ISSUED FOR ADP MEETING
3	MAR 14 - 22	ISSUED FOR REVISIONS & DP
2	MAR 08 - 02	REISSUED FOR ADP MEETING
1	FEB 15 - 22	ISSUED FOR ADP MEETING

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
4503, 4513 - 200 STREET, LANGLEY, BC.

FOR:
WEST MANN DEVELOPMENTS INC.
2 - 7550 KING GEORGE BLVD, SURREY, B.C. V3W 5A5

DRAWING TITLE:
SITE PLAN

DATE	Rev	SHEET NO.
08/2021	01	A-1.4

STATISTICS :

CIVIC ADDRESS :

4503 & 4513, 200 STREET, LANGLEY, BC.

LEGAL DESCRIPTION :

LOT 253, PLAN 45033 AND PARCEL "C" (EXPLANATORY PLAN 10176) NORTH HALF LOT 3, BLOCK 2, PLAN 1783 BOTH IN SECTION 34, TOWNSHIP 7, NEW WESTMINSTER DISTRICT

ZONING :

EXISTING : RS1
PROPOSED : CD

SITE AREA :

BEFORE DEDICATION : 26265 SQ.FT.=2440.0 m² : 0.60 ACRE
(0.242 HA.)
AFTER DEDICATION : 21261 SQ.FT. = 1975.1 m² : 0.488 ACRE
(0.197 HA.)

FLOOR AREA :

BLOCK 1 :

FIRST FLOOR : 4939 SQ.FT.
SECOND FLOOR : 5126 SQ.FT.
THIRD FLOOR : 5126 SQ.FT.
TOTAL AREA : 15191 SQ.FT.

BLOCK 2 :

FIRST FLOOR : 4941 SQ.FT.
SECOND FLOOR : 5126 SQ.FT.
THIRD FLOOR : 5126 SQ.FT.
TOTAL AREA : 15195 SQ.FT.

TOTAL AREA OF TWO BLOCKS :
30384 SQ.FT. = 2823.1 m²

FSR :

ALLOWED : 1.2
PROVIDED : 30384 / 26265 = 1.15

SITE COVERAGE :

ALLOWED : 45%
PROVIDED : 10252 / 26265 = 39%

DENSITY :

PROPOSED : 0.242(HA) / 14 = 57.8 UNIT / HECTAR

HEIGHT :

ALLOWED : 11m.
PROPOSED : 30'=9.1m. (3 STOREYS)

SETBACKS :

	MIN.REQUIRED	PROVIDED
EAST (200 ST.)	: 3m.(9'-10")	3m.(9'-10")
NORTH	: 4.5m.(14'-9")	4.5m.(14'-9")
SOUTH	: 4.5m.(14'-9")	4.5m.(14'-9")
WEST	: 3m.(9'-10")	3m.(9'-10")

PARKING :

	REQUIRED	PROVIDED
2 STALLS / UNIT	: 2X14 = 28	28
VISITORS : 0.2/UNIT	: 02X14=2.8	3
(INCLUDING ONE ACCESSIBLE)		

UNIT MIX				
UNIT TYPE	NO. OF BED RM.	NO. OF UNITS	AREA (SQ.FT.)	TOTAL AREA (SQ.FT.)
A	4	6	2390	14340
A-s	4	2	2390	4780
B1	3	2	1853	3706
B2	3	2	1814	3628
B3	3	1	1965	1965
B4	3	1	1965	1965
TOTAL		14		30384



**F. ADAB
ARCHITECTS
INC.**

#100-1000 ROOSEVELT CRESCENT
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2	MAR 08 + 22	REISSUED FOR ADP MEETING
1	FEB 16 + 22	ISSUED FOR ADP MEETING
N/A		

PROJECT TITLE:
**TOWNHOUSE
DEVELOPMENT**
4503, 4513 - 200 STREET,
LANGLEY, BC,
FOR:
**WEST MANN
DEVELOPMENTS INC.**
2 - 7550 KING GEORGE BLVD.,
SURREY, B.C., V3W 5A5

DRAWING TITLE:
STATISTICS

DATE:	Sep 2021	SHEET NO.:	
SCALE:	N.T.S.		
DESIGN:	A.A.		A-1.5
DRAWING:	A.A.		
PROJECT NO.:	-		



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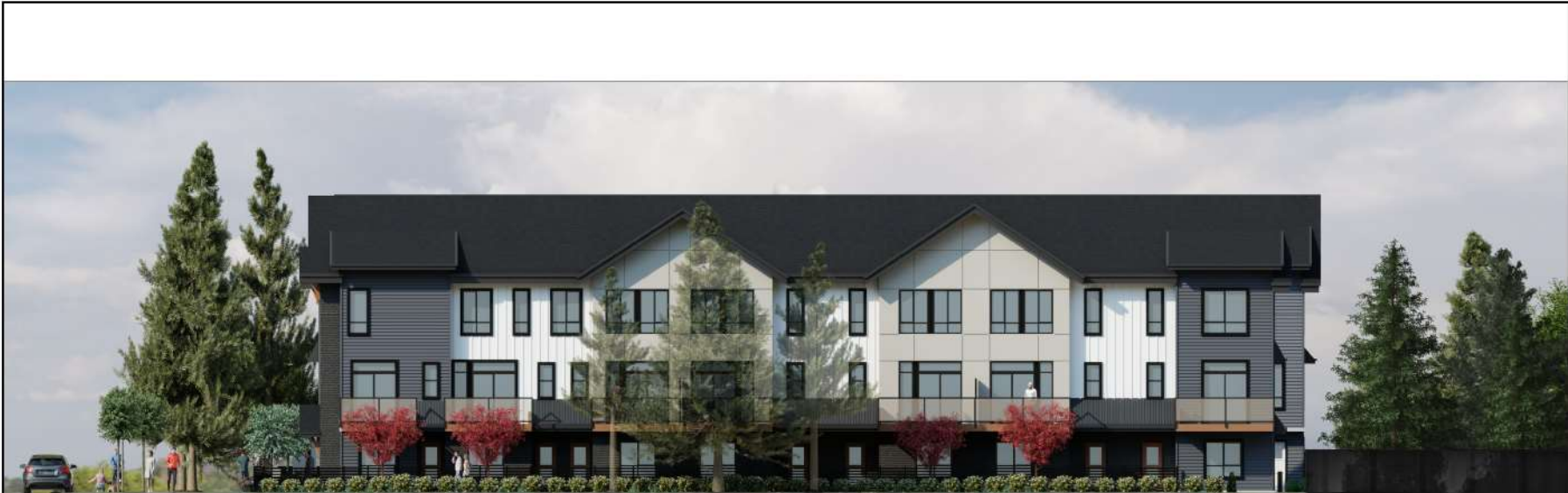


NO.	DATE	REVISION / ISSUED
5	NOV 21 - 23	ADP REVISIONS
4	AUG 29 - 23	ISSUED FOR ADP MEETING
3	MAR 14 - 22	ISSUED FOR REZONING & OP
2	MAR 08 - 22	REISSUED FOR ADP MEETING
1	FEB 16 - 22	ISSUED FOR ADP MEETING
NO.	DATE	REVISION / ISSUED

PROJECT TITLE:
**TOWNHOUSE
 DEVELOPMENT**
 4503, 4513 - 200 STREET,
 LANGLEY, BC,
 FOR:
**WEST MANN
 DEVELOPMENTS INC.**
 2 - 7550 KING GEORGE BLVD,
 SURREY, B.C. V3W 5A5

DRAWING TITLE:
**PERSPECTIVE VIEW
 FROM 200 STREET**

DATE:	SEP 2021	SHEET NO: A-1.6
SCALE:	NTS	
DESIGN:	AJA	
DRAWN:	AJA	
PROJECT NO.:	-	



BLOCK 1 NORTH ELEVATION



BLOCK 2 NORTH ELEVATION



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NO.	DATE	REVISION / ISSUED
8	NOV 21-23	ADP MEETING
4	AUG 25-25	ISSUED FOR ADP MEETING
3	MAR 14-22	ISSUED FOR PERCOING & DP
2	MAR 08-22	REISSUED FOR ADP MEETING
1	FEB 15-22	ISSUED FOR ADP MEETING

PROJECT TITLE:
TOWNHOUSE
DEVELOPMENT
4503, 4513 - 200 STREET,
LANGLEY, BC.
FOR:
**WEST MANN
DEVELOPMENTS INC.,**
2 - 7550 KING GEORGE BLVD,
SURREY, B.C. V3W 5A5

DRAWING TITLE:
COLORED ELEVATIONS

DATE:	Sep 2021	SHEET NO:
SCALE:	INTS.	A-1.7
DESIGN:	AA	
DRAWING:	AA	
PROJECT NO.:	-	

Design Rationale / Statement of Intent

4503 - 4513 200 Street, Langley, BC

Introduction

This Design Rationale is to be read as part of a rezoning and development application for a 14-unit townhome development at 4503 and 4513, 200 Street, Langley.

For detailed information refer to the architectural, landscape, civil drawings, rendering and other related documents.

Site Characteristics, History and Context

This development proposal would occupy two single family lots with an area of 2,440 sqm or 0.6 acres and faces 200 Street to the east. The site is almost flat with a very little slope from west to east.

There is 5.0 meter dedication along 200 Street and a 8-meter future lane dedication on the west side. The future lane dedication will be connected to 45a Avenue to the north and should pass through the neighbouring property. This is contingent on the two properties to the north being assembled and developed in the future. The purpose of proposing this lane is to provide vehicular access to the site and close off the temporary access from 200 Street.

The proposed development seeks rezoning from RS1 to CD (Townhouse) and consists of two separate building blocks. Each building contains of three 3 bedrooms units and four 4 bedroom units. Each building contains 3 tandem car parking garages and 4 double care garages. The average size of the unit ranges from 1,360 to 1,985 sq.ft.

Orientation, Massing, Form and Character

The Buildings orientation responds to the size and shape of the site. The access to the units are provided through a pedestrian walkway off 200 Street. Low aluminum fence and gates are introduced along the street providing a safe and pleasant pedestrian routes to the entries of the units.

From massing point of view, the buildings have been designed to create visually appealing character by variations on the roof lines with combination of shed roof and high pitch gables. Some of the units have vaulted ceiling and taller windows.

Architectural expression and finishing material demonstrate an urban character with emphasis on creating tall projected bay element with architectural articulations and detailing. The façade elements include repetitive bay windows, high pitched roof lines and a combination of gables / shed roofs.

Typical approach toward the design is accommodating a guest room at ground floor, open concept kitchen, dining and living on the 2nd floor and 3 bedrooms on the 3rd floor. The upper floors have high vaulted ceilings and tall windows in order to introduce a farm house style architecture with identifiable bays and raised gables.

Spandrel glass between the windows is introduced to further emphasis on tall gables farm house style.

Three visitor parking are provided at the rear of the site, male box and signage are proposed along 200 Street.



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PROJECT TITLE:
**TOWNHOUSE
DEVELOPMENT**
4503, 4513 - 200 STREET,
LANGLEY, BC.

FOR:
**WEST MANN
DEVELOPMENTS INC.**
2 - 7550 KING GEORGE BLVD,
SURREY, B.C. V3W 5A5

DRAWING TITLE:
**DESIGN RATIONALE
SITE CHARACTERISTICS, FORM
MASSING AND ORIENTATION**

DATE:	Sep 2021	SHEET NO.:	A-1.8
SCALE:	N/A		
DESIGN:	AA		
DRAWN:	AA		
PROJECT NO.:	-		

Livability, Energy Saving and Green Measures

Many green building strategies have been incorporated into the project design including the following items:

- The building envelope, glazing, and mechanical system will be design based on the 2018 code and in compliance with ASHRE 90, 2010
- Selection of the material is based on the use of low / non-toxic, low-maintenance, durable and sustainable products. Low emission adhesives paint and flooring will also be used throughout the units
- Water efficient fixtures, energy efficient appliances and drought tolerance plants will be used to minimize the use of potable water
- All units have private patios at grade and also decks on the 2nd floor contributing to livability of the units and creating a family oriented environment
- The water consumption strategy is enforced through the use of alternate solution for sprinkler system by utilizing the domestic cold water system instead of a separate sprinkler line.
- Mechanical system is equipped with heat pump system providing both cool and hot air as well as heat recovery system 'HRV' for recycling the heat energy.

All garages are equipped with electric chargers.



200 ST. STREETSCAPE



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PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
4503, 4513 - 200 STREET,
LANGLEY, BC.

FOR:
WEST MANN DEVELOPMENTS INC.
2 - 7550 KING GEORGE BLVD,
SURREY, B.C. V3W 5A5

DRAWING TITLE:
**DESIGN RATIONALE
LIVABILITY, ENERGY SAVING
AND GREEN MEASURES**

DATE:	Sep 2021	SHEET NO.:
SCALE:	N/A	A-1.9
DESIGN:	A.A.	
DRAWN:	A.A.	
PROJECT NO.:	-	

Crime Prevention Through Environmental Design. “CPTED”

The criteria of a safe and secure environment have been discussed with Liahona Security and a CPTED report has been prepared and submitted to the City of Langley and the owners for implementation.

The rationale behind the CPTED strategy takes into account the standard measures as well as items specifically related to this development. These provisions are aimed to enhance safety and strengthen the perception of security.

The proposed CPTED measure fall into the following categories:

- Provision of identifiable territoriality*
- Provision of natural surveillance*
- Defining the hierarchy of space*
- Provision of access and perimeter control*

- The windows and balconies along the streets ensure the outdoor presence of the people, which provide “eyes on the street” and security for the private and public spaces
- Lights would be installed on both sides of the home entries and garage doors illuminating the entire buildings and internal road. Outdoor lights are regulated by photo cell system
- The simplicity of the massing and its orientation creates an open space environment visible from every angle with no enclave or semi enclosed spaces for strangers and wandering people
- The access control is achieved by ensuring visible entrances overlooked by windows and balconies as well as defining the entrance ways and controlling the point of access to the site
- Brick has been introduced at the base of the building presenting a durable and high quality base free of graffiti
- Landscaping, plants, and fences are designed to prevent hidden spaces and secure residents control. The Strata Corporation should implement a maintenance manual.

Landscape design rationale

The landscape design proposes a soft urban edge to the townhouse development with unique paving identifying unit entrances and row of plantings at street and fence frontages. Each residence enjoys a private patio garden with room for furnishings by the homeowner.

Planting includes trees and a wide variety of native and seasonably interesting shrubs, ground covers, and perennials and will provide passive shading to the southern exposure of the units. Trees offer contextual beauty to the walkways in front of units and enhances wildlife habitat.

The current site layout provides for safe onsite circulation for vehicles and pedestrian traffic with convenient access to all building entries. There are additional visitor parking stalls onsite.

We believe the proposed design maximizes the potential of the site while providing many sustainability attributes and promoting a form and character that is suited to the local neighbourhood.



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1	FEB 15 - 22	ISSUED FOR ADP MEETING

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
4503, 4513 - 200 STREET,
LANGLEY, BC.

FOR:
LEONE HOMES INC.
238 - 13895 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
DESIGN RATIONALE
CPTED, LANDSCAPE

DATE:	Sep 2021	SHEET NO.:
SCALE:	N/A	A-1.10
DESIGN:	AA	
DRAWN:	AA	
PROJECT NO.:	-	

Exterior Finishes and Colour

The selection of the exterior finishes is based on enhanced durability / longevity of the construction materials as part of a sustainable approach.

A variety of building materials are used with emphasis on brick, prefabricated board and batten panels and hardy siding. No vinyl siding is introduced on any facades of the buildings.

The colours are selected with emphasis on creating moderate contrast by using grey brick at the base and combination of grey and white sidings and board and batten. Widows, roof, privacy screens and railings are black.

Metal shed roof is proposed over the entry canopies and some of the windows on 2nd floor. Natural wood colour for brackets and balcony decks are proposed at the base of the building.



BLOCK 1 NORTH ELEVATION

2

3

7

EXTERIOR FINISH COLOUR SCHEME



1 ASPHALT SHINGLE :
DRIFTWOOD - BY CERTAINTEED



2 BRICK :
ONYX-IRONSPOT BY I.X.L



3 METAL ROOF
GRAPHITE
BY DIRECT



4 HARDIE BOARD & BATTEN & 6" HORIZONTAL HARDIE SIDING
SW 7757 REFLECTIVE WHITE
BY SHERWIN WILLIAMS



5 6" HORIZONTAL HARDIE SIDING
SW 7019 GAUNTLET GRAY
BY SHERWIN WILLIAMS



6 HARDIE PANEL
SW 7017 DORIAN GRAY
BY SHERWIN WILLIAMS



7 CEDAR WOOD :
CLEAR STAINED



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	2024-01-20
5	NOV 21 + 23 ADP REVISIONS
4	AUG 25 + 23 ISSUED FOR ADP MEETING
3	MAR 14 + 22 ISSUED FOR REZONING & DP
2	MAR 08 - 22 ISSUED FOR ADP MEETING
1	FEB 18 + 22 ISSUED FOR ADP MEETING
NO.	DATE REVISION / ISSUED

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
4503, 4513 + 200 STREET,
LANGLEY, BC,
FOR:
LEONE HOMES INC.
238 + 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
EXTERIOR FINISHES

DATE:	SEP 2021	SHEET NO.:	A-1.11
SCALE:	NTS.		
DESIGN:	AA		
DRAWN:	AA		
PROJECT NO.:	-		

SHADOW ANALYSIS



MARCH 21 - 9 AM



MARCH 21 - 12 PM



MARCH 21 - 3 PM



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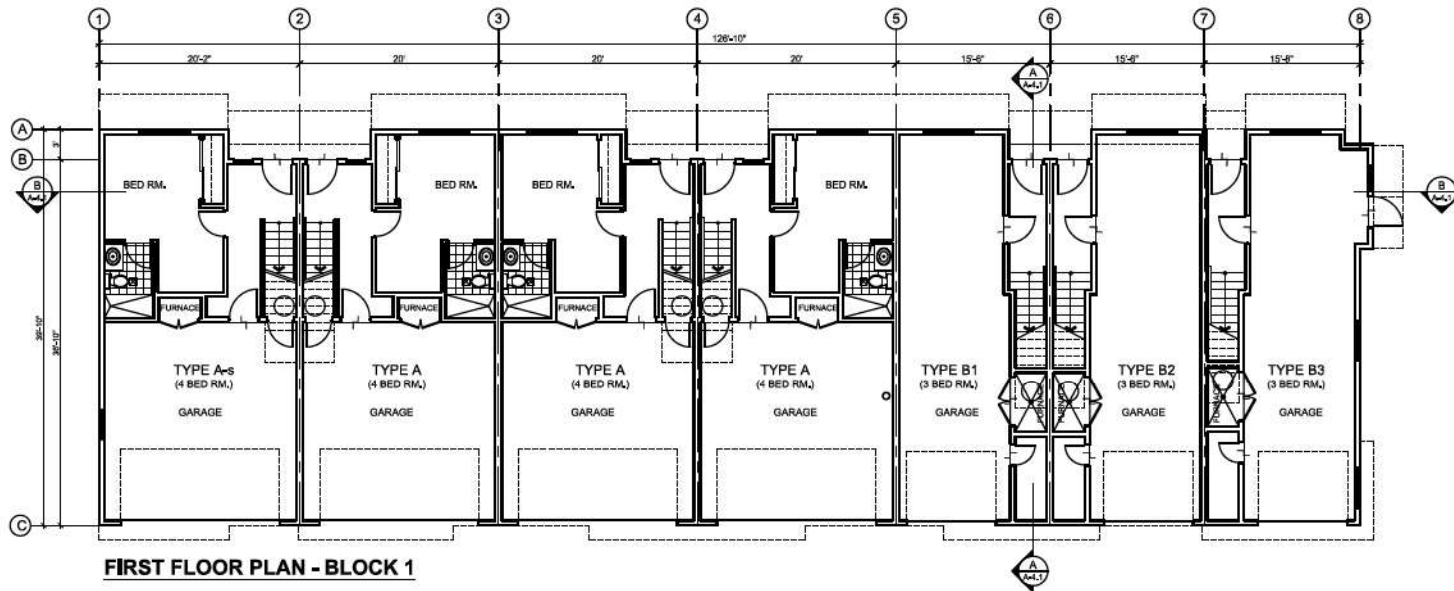
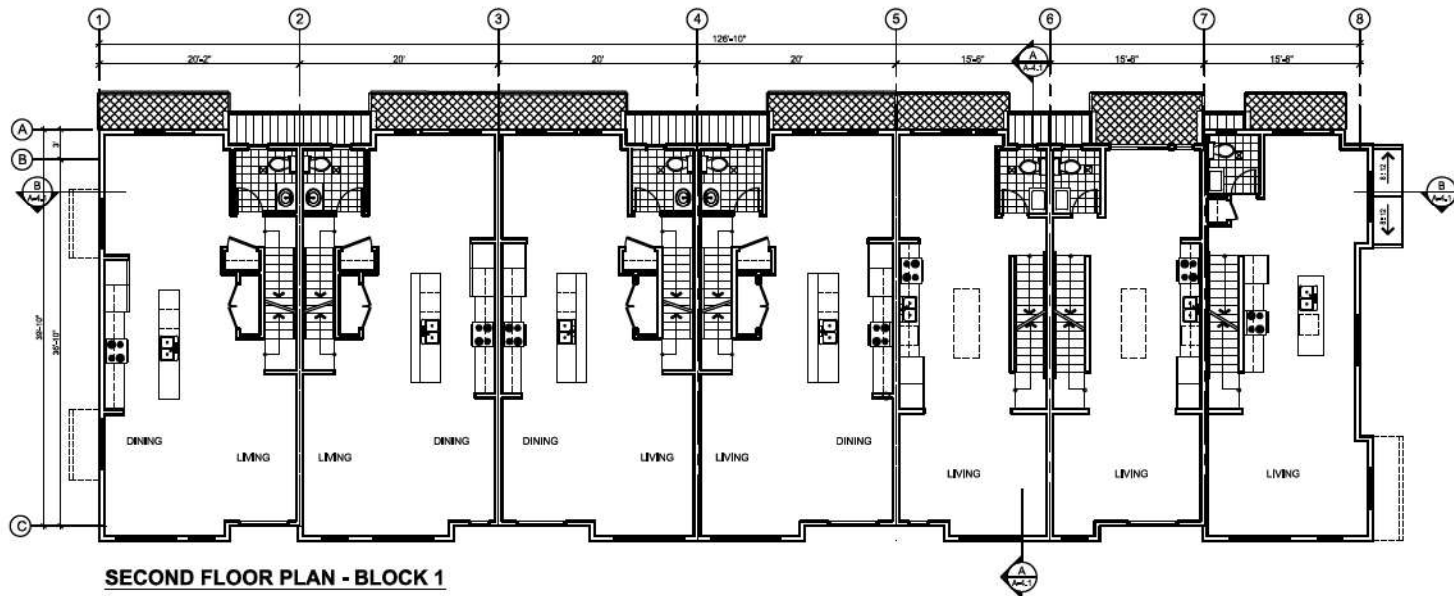


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PROJECT TITLE:
**TOWNHOUSE
DEVELOPMENT**
4503, 4513 - 200 STREET,
LANGLEY, BC,
FOR:
LEONE HOMES INC.
238 - 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
SHADOW ANALYSIS

DATE:	SEP 2021	SHEET NO:	A-1.12
SCALE:	NTS		
DESIGN:	A.A.		
DRAWING:	A.A.		



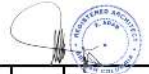
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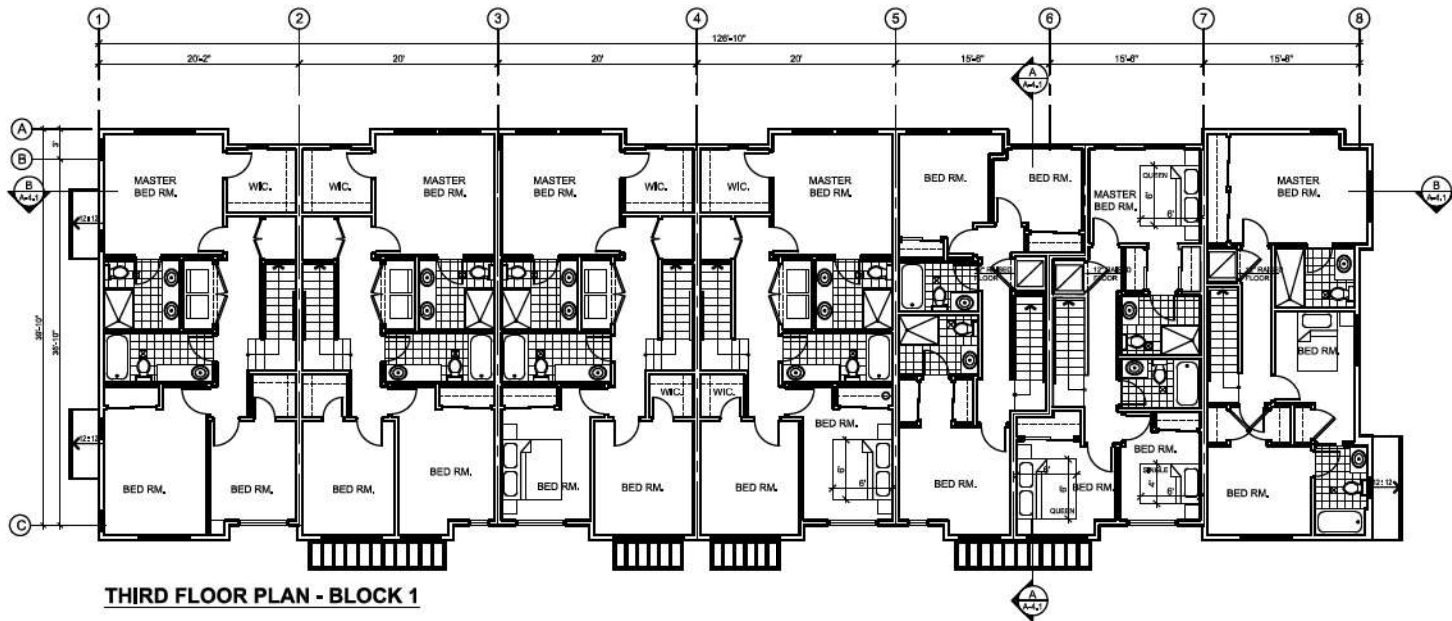
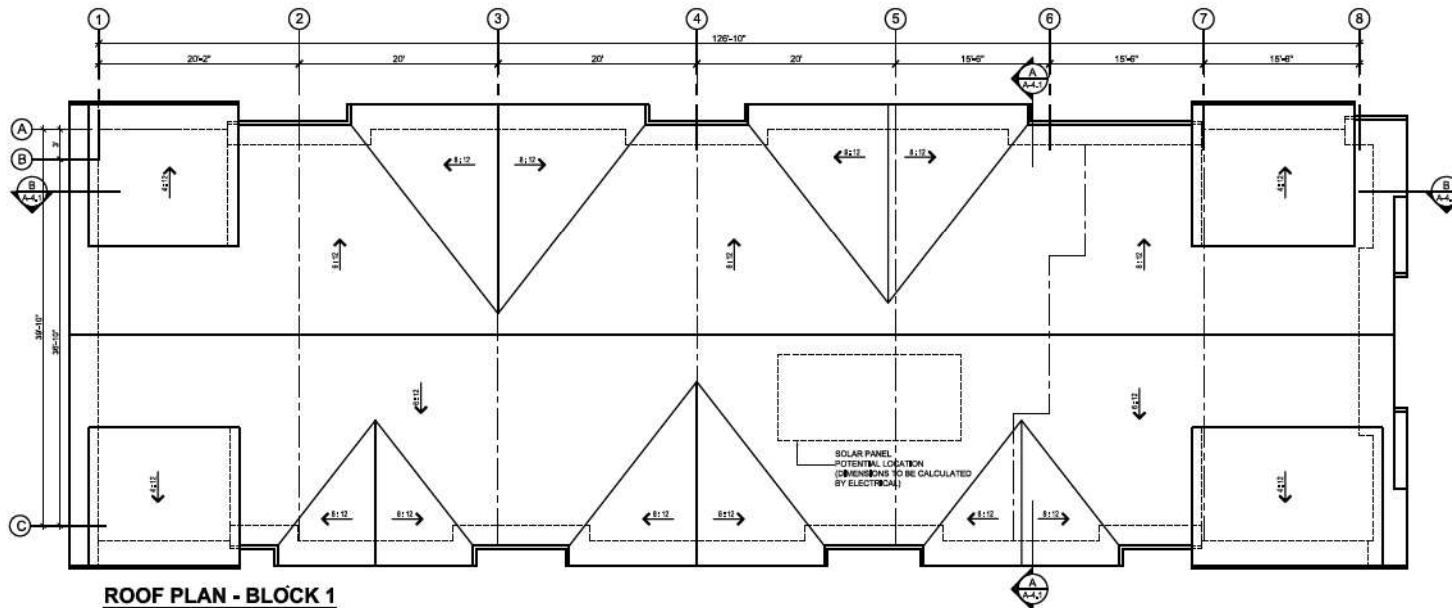
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1	FEB 16 - 22	ISSUED FOR ADP MEETING

PROJECT TITLE:
**TOWNHOUSE
DEVELOPMENT**
4503, 4513 - 200 STREET,
LANGLEY, BC,
FOR:
LEONE HOMES INC.
238 - 13096 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
**BLOCK 1
FIRST AND SECOND
FLOOR PLANS**

DATE	REV	SHEET NO.
SEP 2021		
SCALE:	NTS	
DESIGN:	AA	
DRAWN:	AA	
PROJECT NO.		

A-2.1



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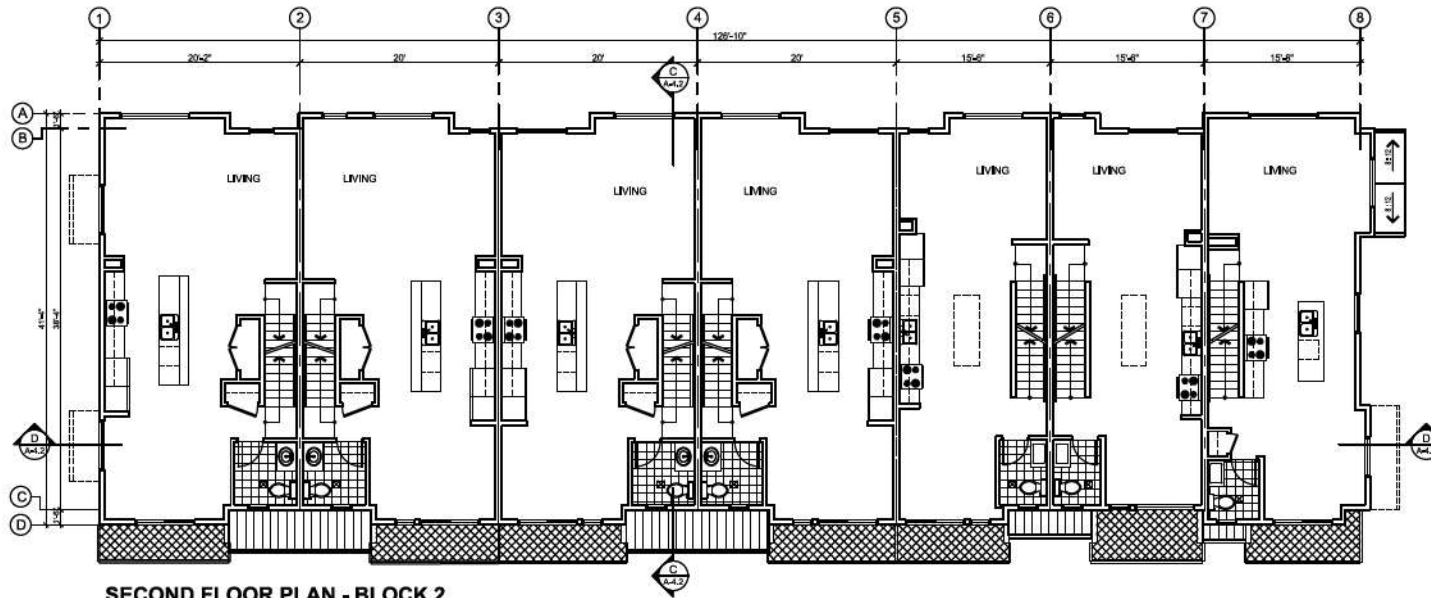


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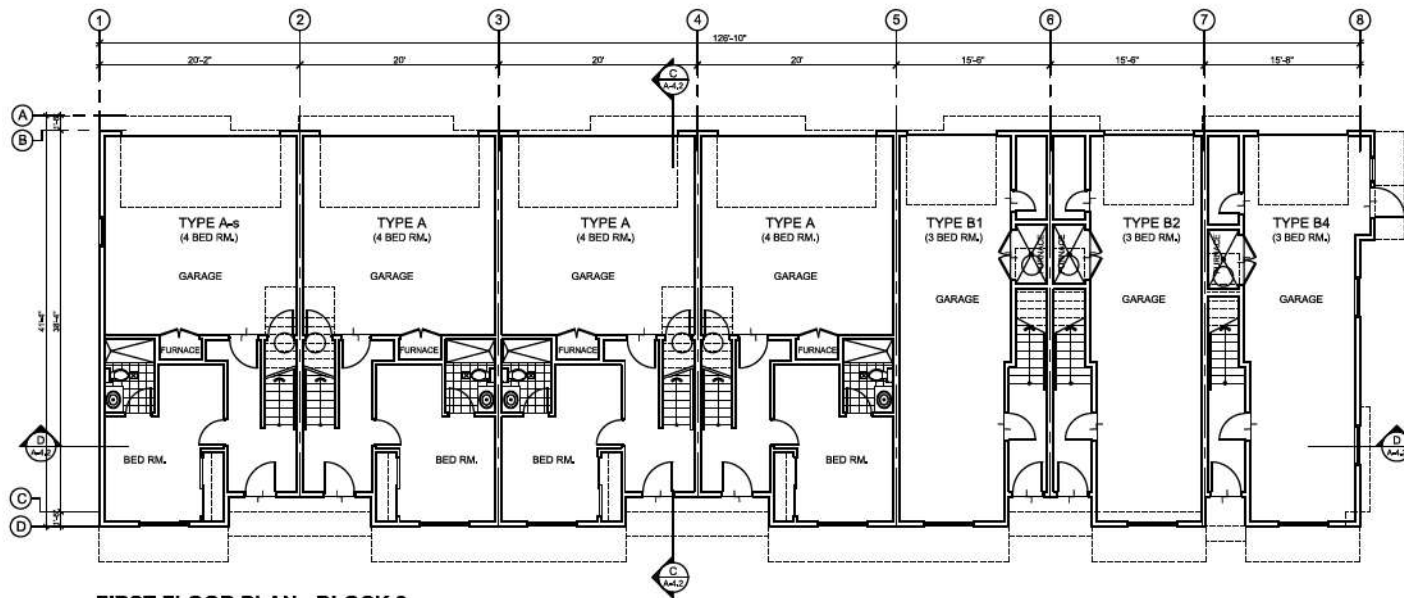
PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
4503, 4513 - 200 STREET,
LANGLEY, BC.
FOR:
LEONE HOMES INC.
238 - 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
**BLOCK 1
THIRD FLOOR AND
ROOF PLANS**

DATE:	04p 2021	SHEET NO.:	A-2.2
SCALE:	NTS.		
DESIGN:	A.A.		
DRAWN:	A.A.		
PROJECT NO.:	-		



SECOND FLOOR PLAN - BLOCK 2



FIRST FLOOR PLAN - BLOCK 2



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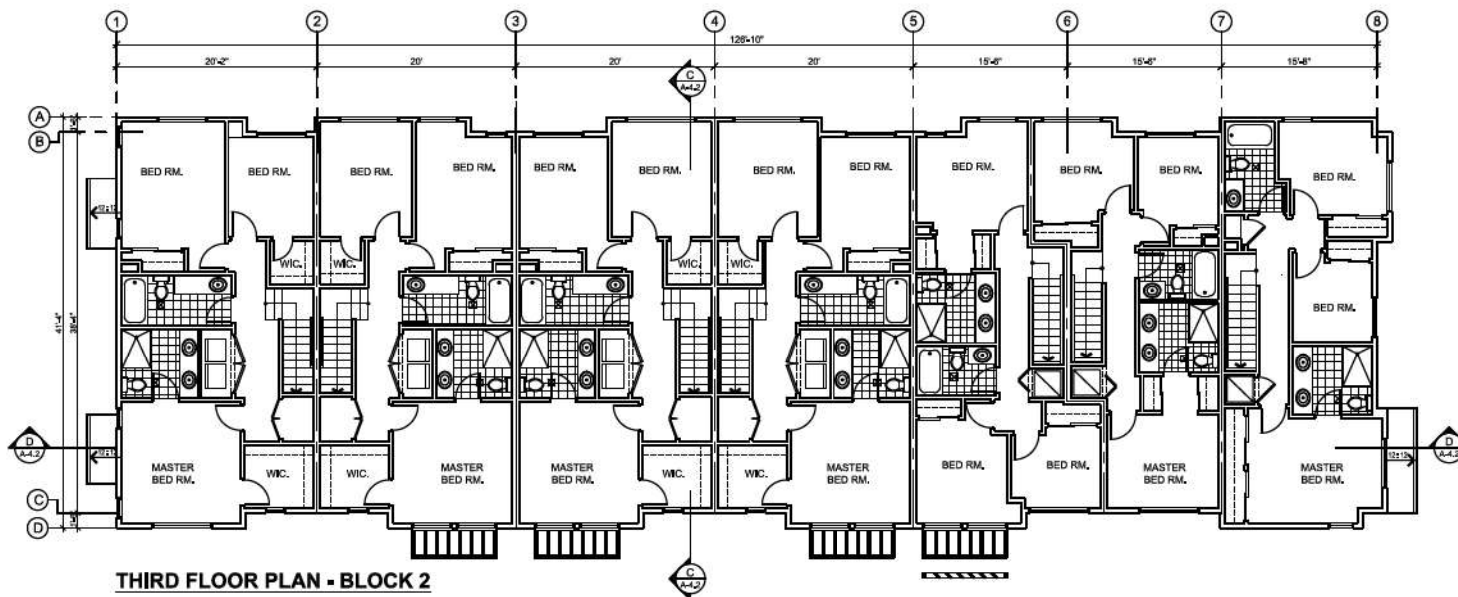
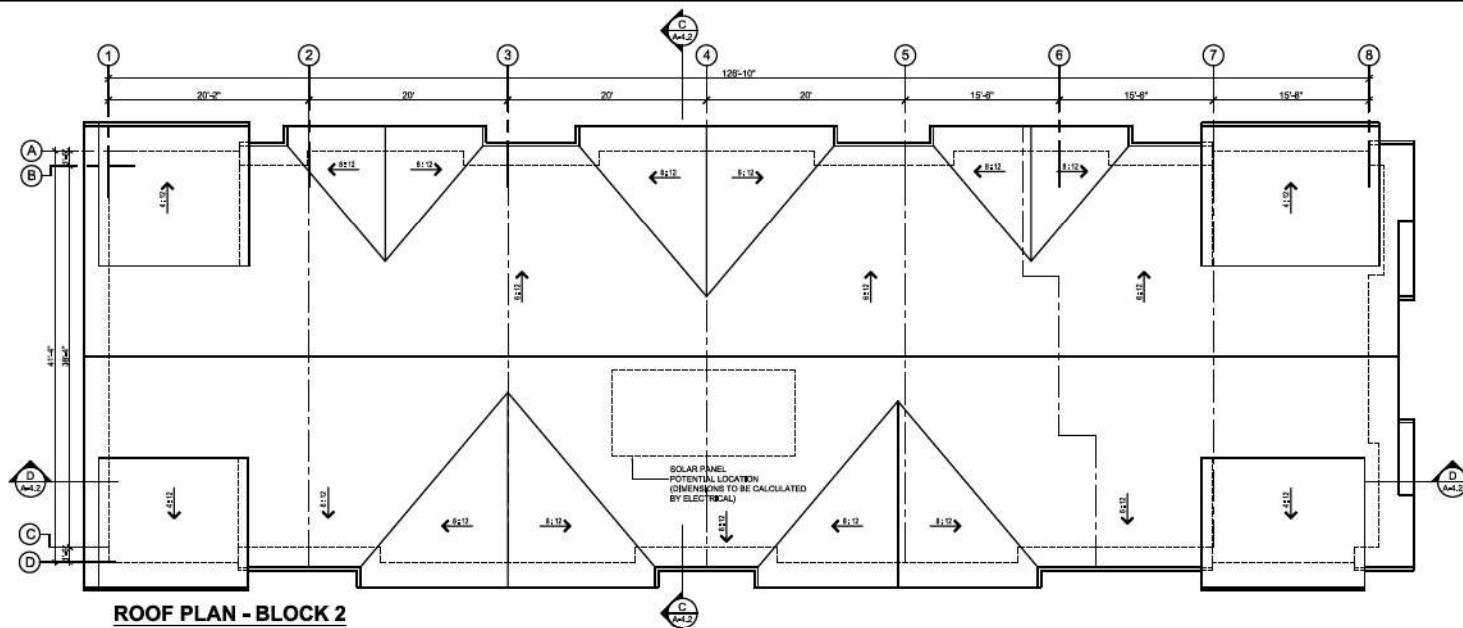


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PROJECT TITLE:
TOWNHOUSE
DEVELOPMENT
4503, 4513 + 200 STREET,
LANGLEY, BC.
FOR:
LEONE HOMES INC.,
238 + 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
BLOCK 2
FIRST AND SECOND
FLOOR PLANS

DATE:	8 Sep 2021	SHEET NO.:
SCALE:	N.T.S.	A-2.3
DESIGN:	A.A.	
DRAWING:	A.A.	
PROJECT NO.:	-	



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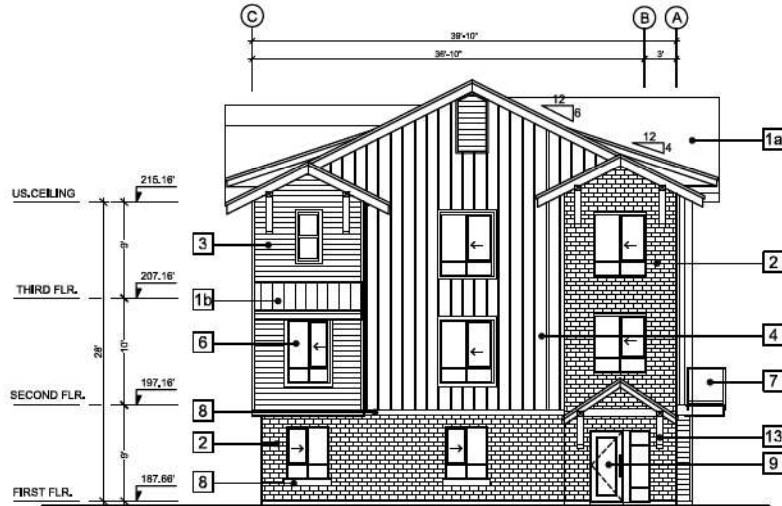
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FOR:
LEONE HOMES INC.
238 - 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
**BLOCK 2
THIRD FLOOR AND
ROOF PLANS**

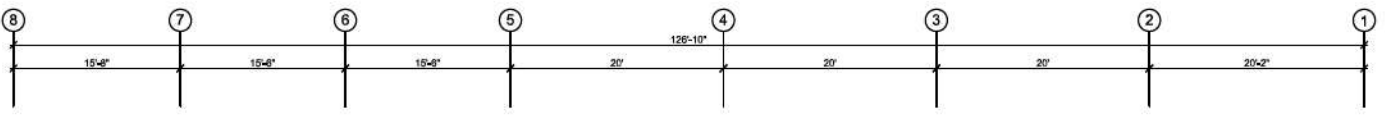
DATE: Sep 2021	SHEET NO:
SCALE: NTS.	
DESIGN: A.A.	A-2.4
DRAWN: A.A.	
PROJECT NO: -	

EXTERIOR FINISHES

- 1a ASPHALT SHINGLE ROOF + DRIFTWOOD - BY CERTAINTED (FASCIA TO MATCH ROOF COLOR)
- 1b GALVANIZED METAL ROOF + GRAPHITE - BY DIRECT (FASCIA TO MATCH ROOF COLOR)
- 2 BRICK ONYX IRONSPOT SMOOTH - BY LXL
- 3 6" HORIZONTAL HARDE SIDING, TRIMS & BAND BOARDS - SW 7019 GAUNTLET GRAY - BY SHERWIN WILLIAMS (244)
- 4 HARDE BOARD & BATTEN + TRIMS - SW 7757 REFLECTIVE WHITE - BY SHERWIN WILLIAMS
- 5 HARDE PANEL SW 7017 DORIAN GRAY - BY SHERWIN WILLIAMS (244)
- 6 WINDOWS - VENT GRILLES VINYL - BLACK
- 7 RAILING - ALUMINUM - BLACK - SAFETY GLASS WITH BLACK ALUMINUM FRAME
- 8 PRE-CAST CONCRETE SILL AND CAP SW 0065 LIGHT FRENCH GRAY - BY SHERWIN WILLIAMS
- 9 ENTRY DOORS STAINED CEDAR WOOD
- 10 GARAGE DOORS - SW 7757 REFLECTIVE WHITE - BY SHERWIN WILLIAMS - GLASS
- 11 PRIVACY SCREEN - BLACK ALUMINUM FRAME - OBSCURE GLASS
- 12 BALCONY FASCIA & CURB / ROOF FASCIA STAINED CEDAR WOOD
- 13 BRACKETS STAINED CEDAR WOOD
- 14 ALUMINUM SUN SHADE BLACK



EAST ELEVATION - BLOCK 1



NORTH ELEVATION - BLOCK 1



F. ADAB ARCHITECTS INC.

#130-1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 5R4
TEL: (604) 967-0033 FAX: (604) 967-0033
EMAIL: fadab@fadab.com

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NO.	DATE	REVISION / ISSUED
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3	MAR 14 - 22	ISSUED FOR REVISIONS & O.P.
2	MAR 08 - 22	REISSUED FOR ADP MEETING
1	FEB 10 - 22	ISSUED FOR ADP MEETING

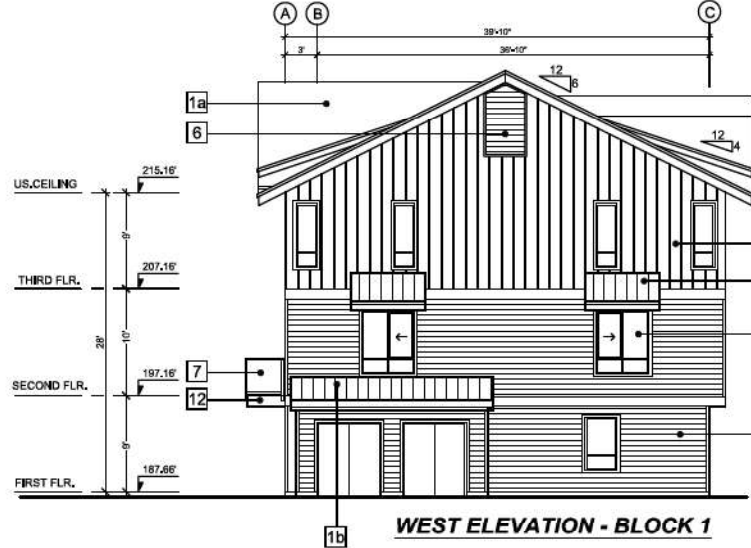
PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
4503, 4513 - 200 STREET,
LANGLEY, BC.
FOR:
LEONE HOMES INC.
238 - 13986 GAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
BLOCK 1 NORTH & EAST ELEVATIONS

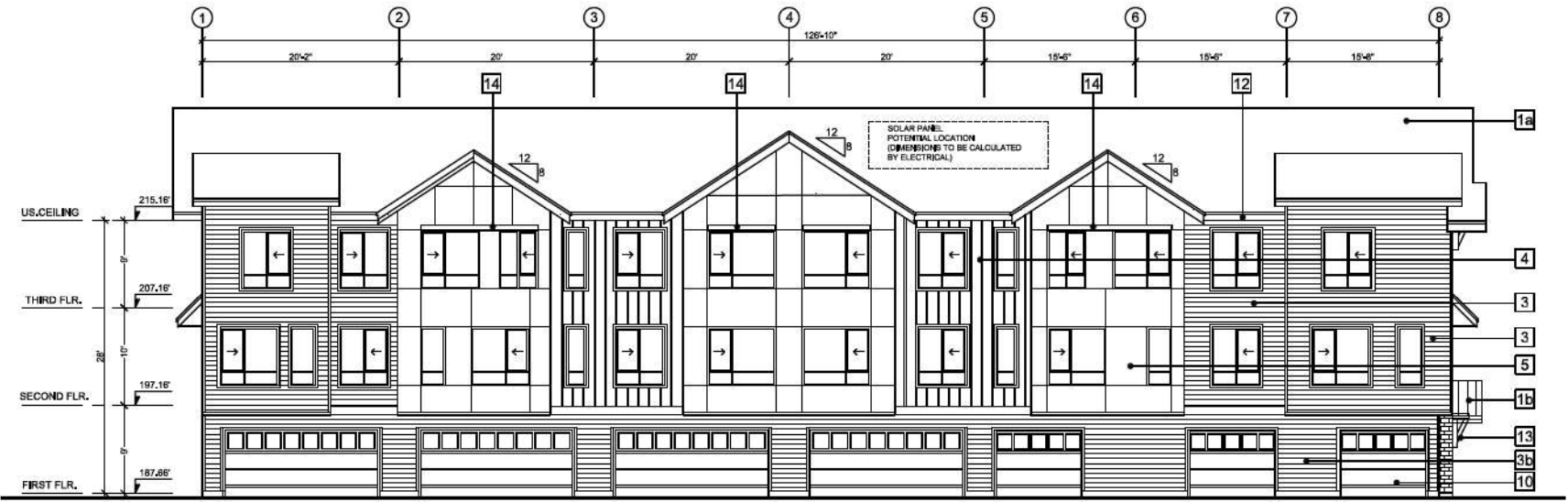
DATE: Sep 2021	SHEET NO.:
SCALE: NTS.	A-3.1
DESIGN: A.A.	
DRAWN: A.A.	
PROJECT NO.:	

EXTERIOR FINISHES

- 14 ASPHALT SHINGLE ROOF :
DRIFTWOOD • BY CERTANTEED
(FASÇA TO MATCH ROOF COLOR)
- 15 GALVANIZED METAL ROOF :
GRAPHITE • BY DIRECT
(FASÇA TO MATCH ROOF COLOR)
- 2 BRICK
ONYX IRONSPOT SMOOTH • BY LXL
- 3 6" HORIZONTAL HARDE SIDING,
TRIMS & BAND BOARDS •
SW 7019 GAUNTLET GRAY - BY SHERWIN WILLIAMS (244)
- 4 HARDE BOARD & BATTEN & TRIMS -
SW 7757 REFLECTIVE WHITE -
BY SHERWIN WILLIAMS
- 5 HARDE PANEL
SW 7017 DORIAN GRAY - BY SHERWIN WILLIAMS (244)
- 6 WINDOWS - VENT GRILLES
VINYL - BLACK
- 7 RAILING
- ALUMINUM - BLACK
- SAFETY GLASS WITH BLACK ALUMINUM FRAME
- 8 PRE-CAST CONCRETE SILL AND CAP
SW 0053 LIGHT FRENCH GRAY - BY SHERWIN WILLIAMS
- 9 ENTRY DOORS
STAINED CEDAR WOOD
- 10 GARAGE DOORS
- SW 7757 REFLECTIVE WHITE - BY SHERWIN WILLIAMS
- GLASS
- 11 PRIVACY SCREEN
- BLACK ALUMINUM FRAME
- OBSCURE GLASS
- 12 BALCONY FASÇA & CURB / ROOF FASÇA
STAINED CEDAR WOOD
- 13 BRACKETS
STAINED CEDAR WOOD
- 14 ALUMINUM SUN SHADE
BLACK



WEST ELEVATION - BLOCK 1



SOUTH ELEVATION - BLOCK 1



**F. ADAB
ARCHITECTS
INC.**

1130-1000 ROOSEVELT CRESCENT
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E-MAIL: f.adab@fadenadab.com

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3	MAR 14 - 22	ISSUED FOR REZONING & DP
2	MAR 08 - 22	REISSUED FOR ADP MEETING
1	FEB 10 - 22	ISSUED FOR ADP MEETING

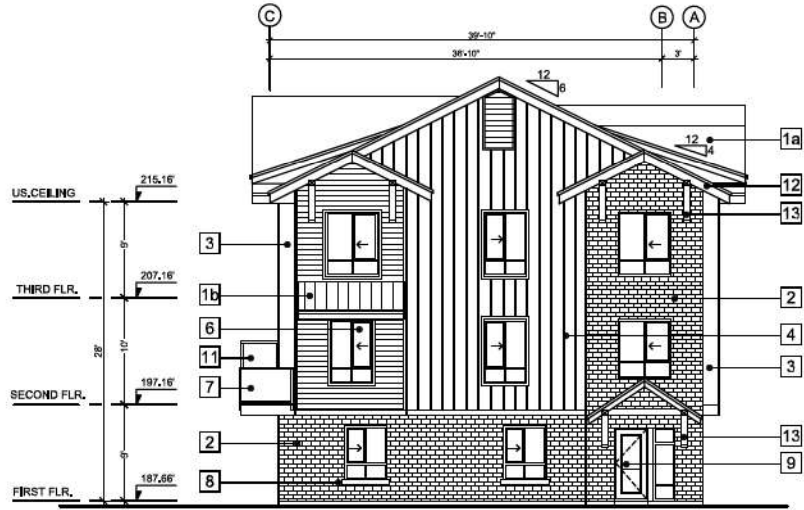
PROJECT TITLE:
**TOWNHOUSE
DEVELOPMENT**
4503, 4513 - 200 STREET,
LANGLEY, BC.
FOR:
LEONE HOMES INC.
238 - 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
**BLOCK 1 SOUTH & WEST
ELEVATIONS**

DATE:	8 sep 2021	SHEET Nº:	
SCALE:	N.T.S.		
DESIGN:	A.A.		
DRAWING:	A.A.		A-3.2
PROJECT Nº:	-		

EXTERIOR FINISHES

- 14 ASPHALT SHINGLE ROOF :
DRIFTWOOD - BY CERTAINTEED
(FASCIA TO MATCH ROOF COLOR)
- 10 GALVANIZED METAL ROOF :
GRAPHITE - BY DIRECT
(FASCIA TO MATCH ROOF COLOR)
- 2 BRICK
ONYX IRONSPOT SMOOTH - BY LXL
- 3 6" HORIZONTAL HARDIE SIDING,
TRIMS & BAND BOARDS -
SW 1019 GAUNTLET GRAY - BY SHERWIN WILLIAMS (244)
- 4 HARDIE BOARD & BATTEN & TRIMS -
SW 7157 REFLECTIVE WHITE -
BY SHERWIN WILLIAMS
- 5 HARDEE PANEL
SW 7017 DORIAN GRAY - BY SHERWIN WILLIAMS (244)
- 6 WINDOWS - VENT GRILLES
VINYL - BLACK
- 7 RAILING
- ALUMINUM - BLACK
- SAFETY GLASS WITH BLACK ALUMINUM FRAME
- 8 PRE-CAST CONCRETE SILL AND CAP
SW 3055 LIGHT FRENCH GRAY - BY SHERWIN WILLIAMS
- 9 ENTRY DOORS
STAINED CEDAR WOOD
- 10 GARAGE DOORS
- SW 7157 REFLECTIVE WHITE - BY SHERWIN WILLIAMS
- GLASS
- 11 PRIVACY SCREEN
- BLACK ALUMINUM FRAME
- OBSCURE GLASS
- 12 BALCONY FASCIA & CURB / ROOF FASCIA
STAINED CEDAR WOOD
- 13 BRACKETS
STAINED CEDAR WOOD
- 14 ALUMINUM SUN SHADE
BLACK



EAST ELEVATION - BLOCK 2



SOUTH ELEVATION - BLOCK 2



**F. ADAB
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INC.**

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2	MAR 08 - 22	REISSUED FOR ADP MEETING
1	FEB 15 - 22	ISSUED FOR ADP MEETING

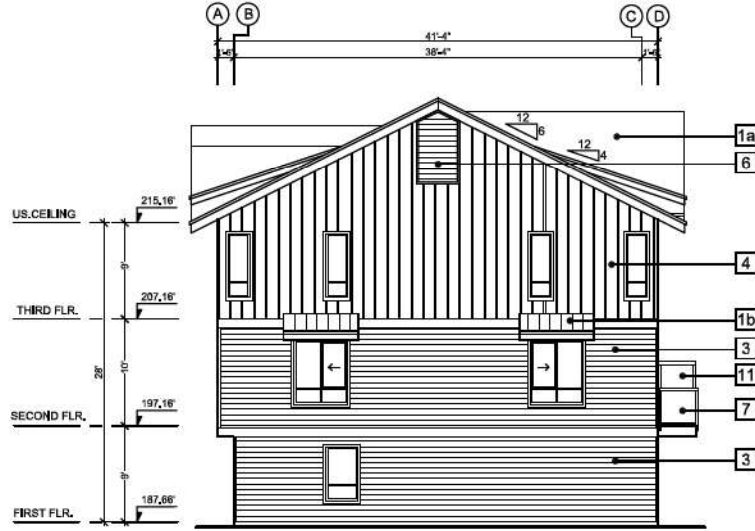
PROJECT TITLE:
**TOWNHOUSE
DEVELOPMENT**
4503, 4513 + 200 STREET,
LANGLEY, BC.
FOR:
LEONE HOMES INC.
238 + 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
**BLOCK 2 SOUTH & EAST
ELEVATIONS**

DATE: Sep 2021	SHEET NO: A-3.3
SCALE: NTS.	
DESIGN: A.A.	
DRAWING: A.A.	
PROJECT NO: -	

EXTERIOR FINISHES

- 1a ASPHALT SHINGLE ROOF:
DIBETWOOD - BY CERTANTEED
(FASCIA TO MATCH ROOF COLOR)
- 1b GALVANIZED METAL ROOF:
GRAPHITE - BY DIRECT
(FASCIA TO MATCH ROOF COLOR)
- 2 BRICK
ONYX IRONSPOT SMOOTH - BY IJLL
- 3 6" HORIZONTAL HARDWOOD SIDING,
TRIMS & BAND BOARDS -
SW 7019 GAUNTLET GRAY - BY SHERWIN WILLIAMS (244)
- 4 HARDWOOD BOARD & BATTEN & TRIMS -
SW 7757 REFLECTIVE WHITE -
BY SHERWIN WILLIAMS
- 5 HARDWOOD PANEL
SW 7017 DORIAN GRAY - BY SHERWIN WILLIAMS (244)
- 6 WINDOWS - VENT GRILLES
VINYL - BLACK
- 7 RAILING
- ALUMINUM - BLACK
- SAFETY GLASS WITH BLACK ALUMINUM FRAME
- 8 PRECAST CONCRETE SILL AND CAP
SW 6055 LIGHT FRENCH GRAY - BY SHERWIN WILLIAMS
- 9 ENTRY DOORS
STAINED CEDAR WOOD
- 10 GARAGE DOORS
- SW 7757 REFLECTIVE WHITE - BY SHERWIN WILLIAMS
- GLASS
- 11 PRIVACY SCREEN
- BLACK ALUMINUM FRAME
- OBSCURE GLASS
- 12 BALCONY FASCIA & CURB / ROOF FASCIA
STAINED CEDAR WOOD
- 13 BRACKETS
STAINED CEDAR WOOD
- 14 ALUMINUM SUN SHADE
BLACK



WEST ELEVATION - BLOCK 2



NORTH ELEVATION - BLOCK 2



**F. ADAB
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E-MAIL: info@f.adabarchitects.com

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2	MAR 08 - 22	REISSUED FOR ADP MEETING
1	FEB 15 - 22	ISSUED FOR ADP MEETING

PROJECT TITLE:
**TOWNHOUSE
DEVELOPMENT**
4503, 4513 + 200 STREET,
LANGLEY, BC.
FOR:
LEONE HOMES INC.
238 + 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
**BLOCK 2 NORTH & WEST
ELEVATIONS**

DATE:	8 sep 2021	SHEET NO.:	
SCALE:	N.T.S.		
DESIGN:	A.A.		
DRAWING:	A.A.		A-3.4
PROJECT NO.:	-		



**F. ADAB
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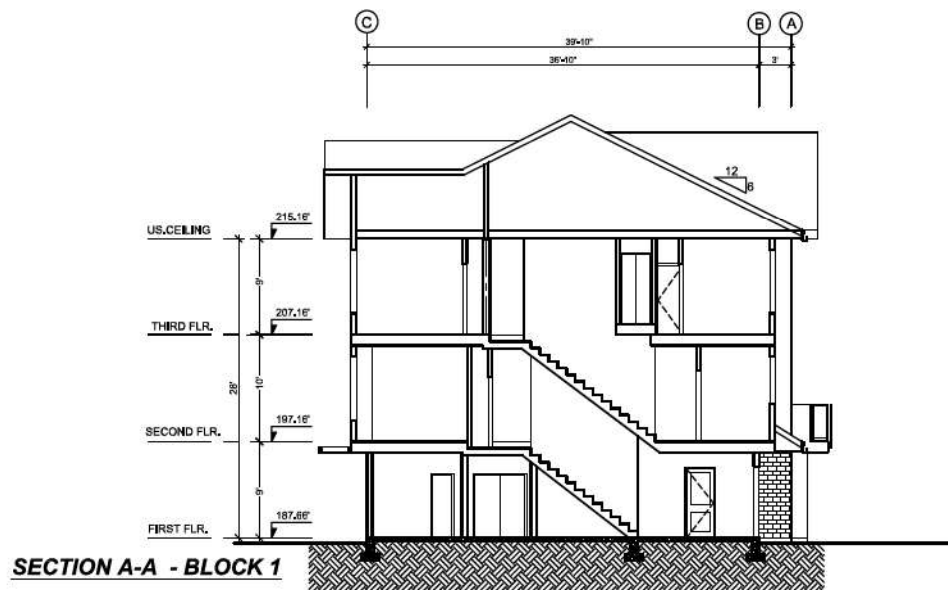


NO.	DATE	REVISION / ISSUED
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4	AUG 28 - 29	ISSUED FOR ADP MEETING
3	MAR 14 - 22	ISSUED FOR REZONING & DP
2	MAR 05 - 22	REISSUED FOR ADP MEETING
1	FEB 15 - 22	ISSUED FOR ADP MEETING

PROJECT TITLE:
**TOWNHOUSE
DEVELOPMENT**
4503, 4513 - 200 STREET,
LANGLEY, BC.
FOR:
LEONE HOMES INC.
238 - 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
**BLOCK 1
SECTIONS A-A & B-B**

DATE:	08p 2021	SHEET NO.:	
SCALE:	N.T.S.		
DESIGN:	A.A.		
DRAWING:	A.A.		A-4.1
PROJECT NO.:	-		



SECTION A-A - BLOCK 1



SECTION B-B - BLOCK 1



**F. ADAB
ARCHITECTS
INC.**

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TEL: (604) 967-0023 FAX: (604) 967-0033
E-MAIL: info@f.adabarchitects.com

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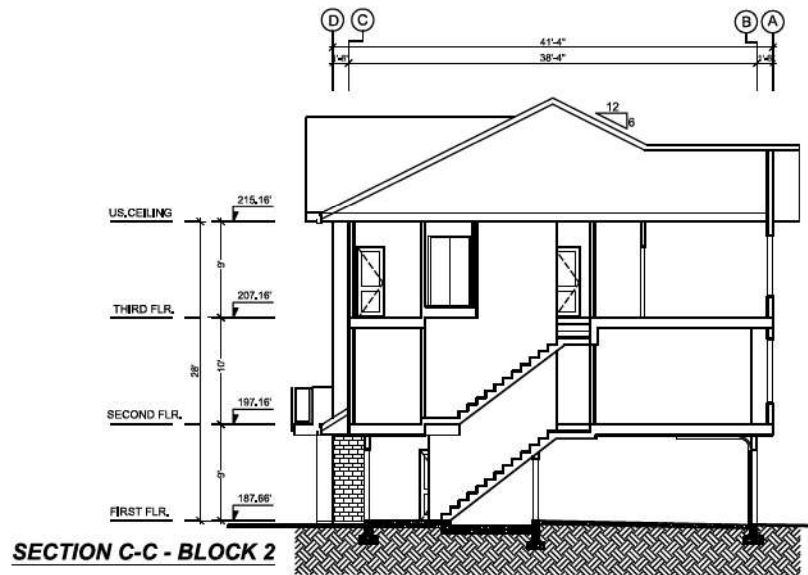


NO.	DATE	REVISION / ISSUED
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4	AUG 28 - 23	ISSUED FOR ADP MEETING
3	MAR 14 - 22	ISSUED FOR REVISIONS & DR
2	MAR 06 - 22	REISSUED FOR ADP MEETING
1	FEB 15 - 22	ISSUED FOR ADP MEETING

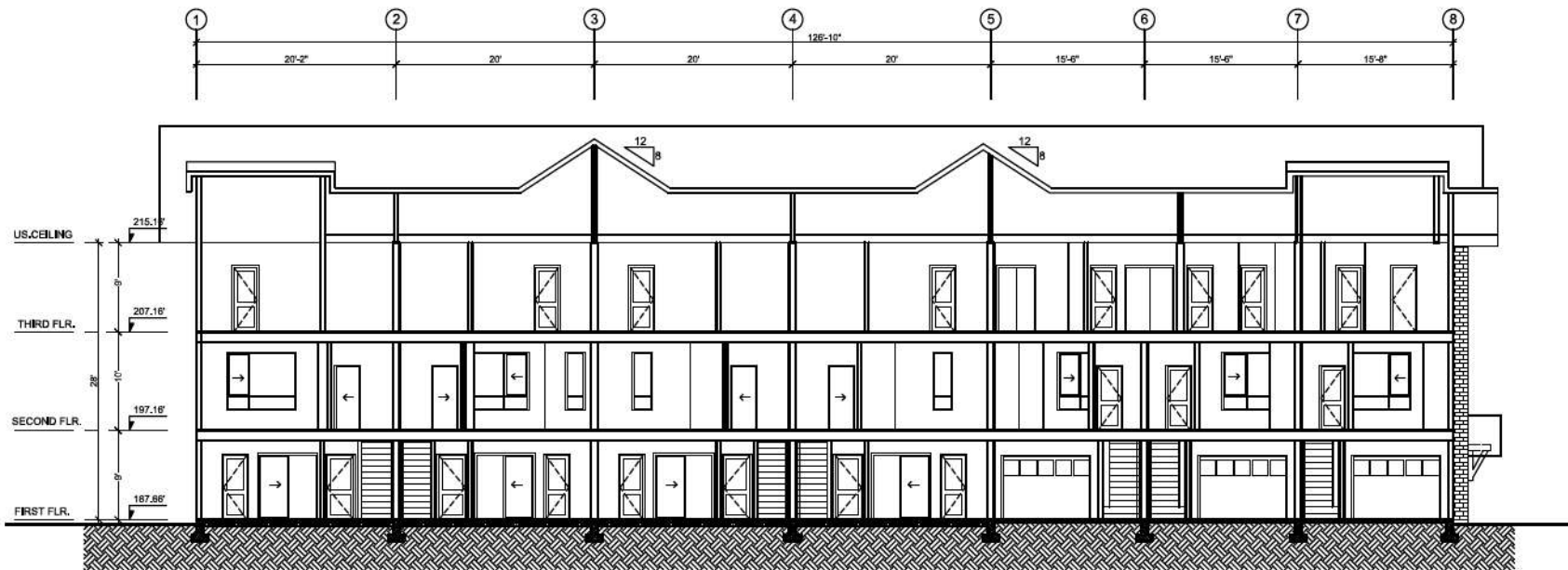
PROJECT TITLE:
**TOWNHOUSE
DEVELOPMENT**
4503, 4513 - 200 STREET,
LANGLEY, BC.
FOR:
LEONE HOMES INC.
238 - 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
**BLOCK 2
SECTIONS C-C & D-D**

DATE: Sep 2021	SHEET NO: A-4.2
SCALE: NTS.	
DESIGN: A.A.	
DRAWING: A.A.	
PROJECT NO: -	



SECTION C-C - BLOCK 2



SECTION D-D - BLOCK 2

PLANT SCHEDULE

M2 JOB NUMBER: 21 078

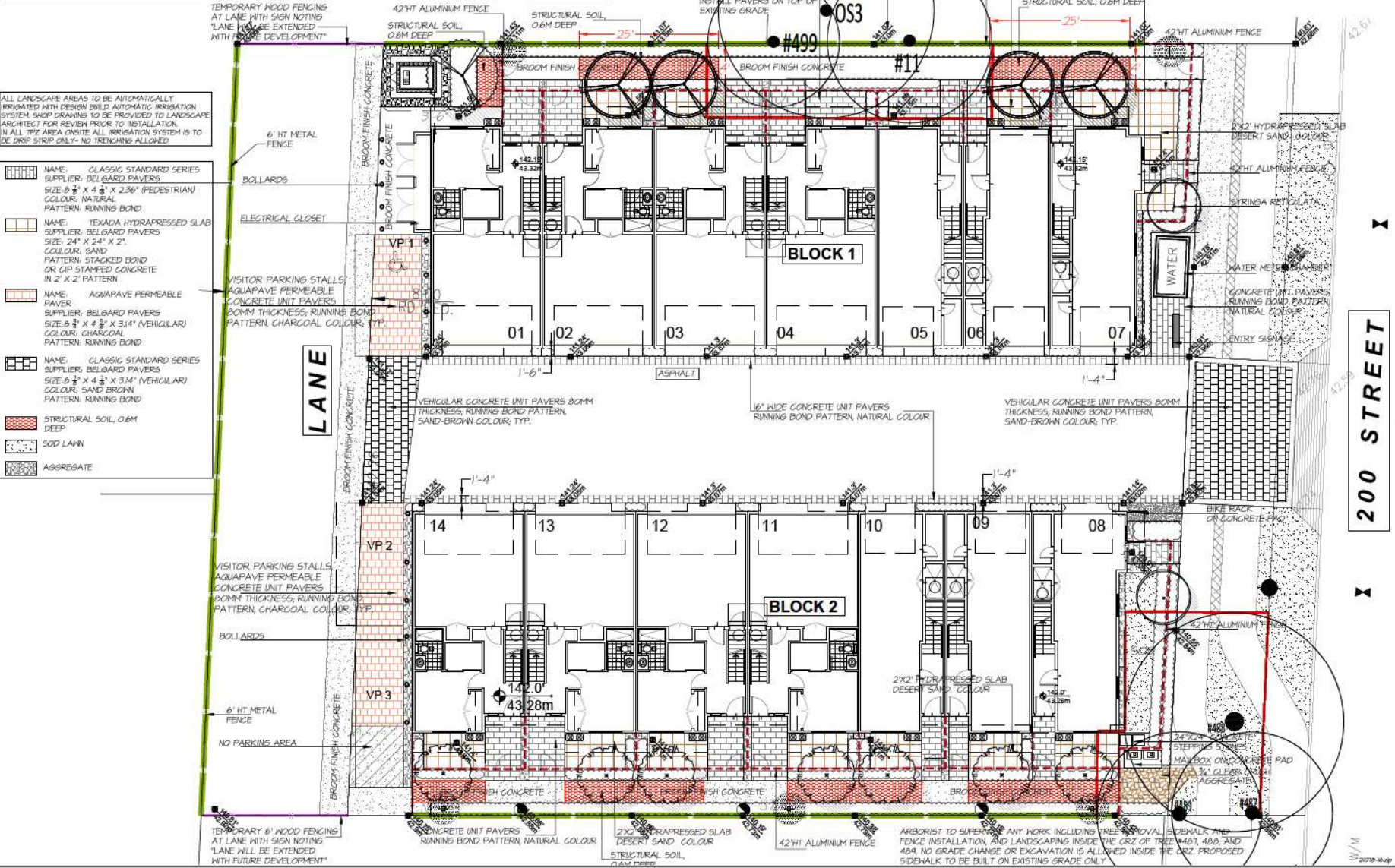
KEY QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
4	CERCIS CANADENSIS	EASTERN REDBUD	80H CAL 180M STD-B4B
1	MAGNOLIA SOUL ANGELINA	SAUCEUR MAGNOLIA	18 STD-B4B MLT II STDH
1	MAGNOLIA	MAGNOLIA	80H CAL 18M STD-SINGLE STDH-B4B
2	SYRINGA RETICULATA	IVORY SILK TREE	80H CAL 18M STD-B4B

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CANA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE TO BE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW HAVE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS CAN BE WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS. TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.

ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.

ARBORIST TO SUPERVISE ANY WORK INCLUDING TREE REMOVAL, SIDEWALK AND FENCE INSTALLATION, LANE BASIN, SHADE INSTALLATION, AND LANDSCAPING INSIDE THE CRZ OF TREE #03, #499, AND #11, NO GRADE CHANGE OR EXCAVATION ALLOWED INSIDE THE CRZ. PROPOSED SIDEWALK TO BE BUILT ON EXISTING GRADE ONLY.

- TREE PROTECTION FENCE
- 42"HT ALUMINUM FENCE
- 6"HT METAL FENCE
- 6"HT WOOD PERIMETER FENCE TO BE REMOVED AFTER LANE EXTENSION



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M2
LANDSCAPE ARCHITECTURE

#220 - 26 Lorne Mews
New Westminster, British Columbia
V3M 3L7
Tel: 604.553.0044
Fax: 604.553.0045
Email: office@m2la.com

200 STREET

PROJ: 4503 200 STREET, CITY OF LANGLEY, BC

DRAWING TITLE: TREE PLAN

DATE: NOV.30.2023 DRAWING NUMBER: L1

SCALE: 3/8" = 1'-0"

DRAWN BY: [Signature]

DESIGN BY: [Signature]

CHKD: M2/BN

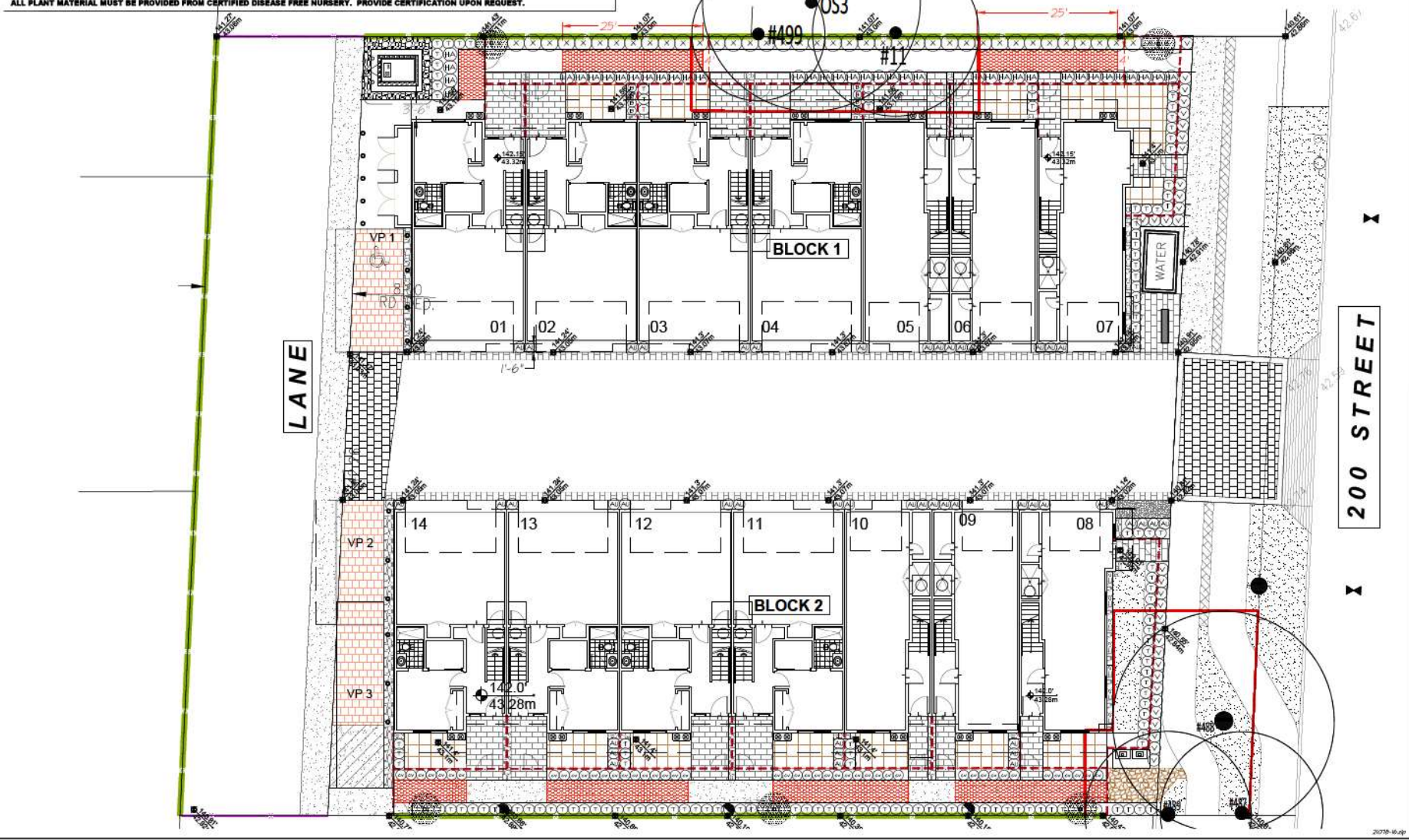
M2LA PROJECT NUMBER: 21-078

PLANT SCHEDULE

KEY QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
8	BUNDS HICKORILLA NUMBER 857F	LITTLE LEAF BOX	12 POT, 25CM
44	CHRISTA TERRAZZA SUNDANCE	HEAVEN HOOK GRABER	12 POT, 40CM
51	SCORTUS FORTUNEI COLORADO	HINTER REEFER	12 POT, 30CM
136	TAKUS X MEDIA MICKSIP	HICKS YEH	15 POT
21	MEURIN DAVIDI	DAVID'S MEURIN	13 POT
46	CALLUNA VILGOSIS DARK BEAUTY	LEATHER FERN	11 POT
31	PAGETSAERA TERMBALIS	JAPANESE SPURGE	11 POT, 15CM

NOTE: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CANIA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW HAVE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND PROSSER VALLEY. * SUBSTITUTION: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS. TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.

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#220 - 26 Lorne Mews
 New Westminster, British Columbia
 V3M 3L7
 Tel: 604.553.0044
 Fax: 604.553.0045
 Email: office@m2la.com



NO.	DATE	REVISION DESCRIPTION	DR.
10	JANU 2024	REV. PER CITY COMMENTS	MNO/BN
9	DEC 16 2023	REV. AS PER CITY COMMENTS	BN
8	NOV 22 2023	ACR. CORRECTING PER SITE PLAN	BN
7	SEP 20 2023	REV. AS PER MSA SITE PLAN	BN
6	MAR 15 2023	REV. AS PER CITY COMMENTS	BN
5	MAR 15 2023	REV. AS PER NEW SITE PLAN OF	BN
4	FEB 03 2023	REV. AS PER CLIENT COMMENT	BN
3	JAN 10 2023	REV. AS PER NEW SITE PLAN	BN
2	FEB 03 2023	REVISED PER O.P.	BN
1	DEC 20 2022	PRELIMINARY DRAWING	BN



PROJECT:
 4503 200 STREET,
 CITY OF LANGLEY, BC

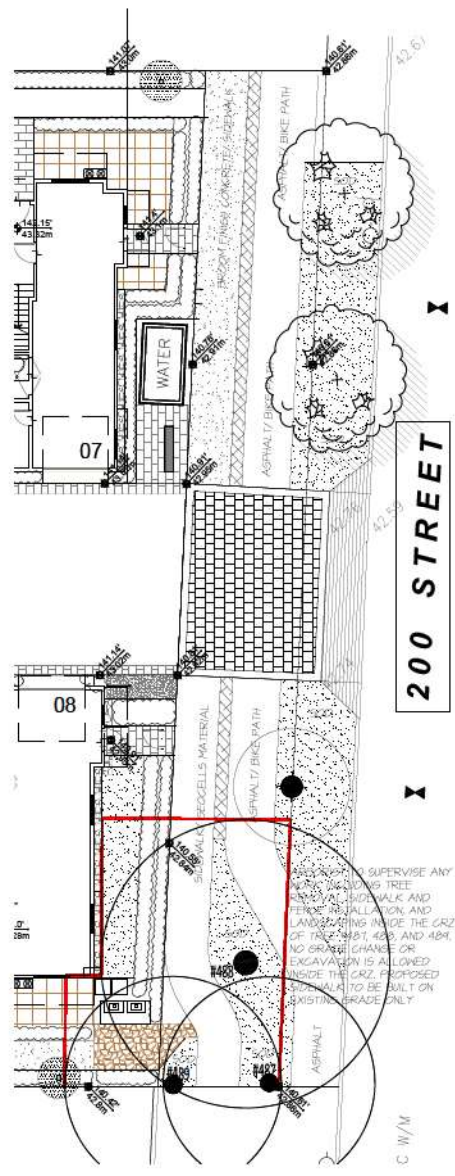
DRAWING TITLE:
SHRUB PLAN

DATE: NOV 26 2023 DRAWING NUMBER:
 SCALE: 1/8" = 1'-0"
 DRAWN: BN
 DESIGN: BN
 CHK'D: M2LA
 M2LA PROJECT NUMBER: 21-078

L2
 OF 8



#220 - 26 Lorne Mews
 New Westminster, British Columbia
 V3M 3L7
 Tel: 604.553.0044
 Fax: 604.553.0045
 Email: office@m2la.com



PLANT SCHEDULE				M2 JOB NUMBER: 21 078
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
101	2	ACER PLATANOIDES 'SLOBOSINI'	GLOBE NORWAY MAPLE	6 GH GAL 12 H SID

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER OREA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW HAVE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTION. TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.

ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.

TO SUPERVISE ANY
 WORKS TREE
 AT SIDEWALK AND
 PERFORM RECALCULATION AND
 ANCHORING INSIDE THE CRZ
 OF 10% (S101, 400, AND 401).
 NO GRADE CHANGE OR
 EXCAVATION IS ALLOWED
 INSIDE THE CRZ. PROPOSED
 STRUCTURE TO BE BUILT ON
 EXISTING GRADE ONLY.

NO.	DATE	REVISION DESCRIPTION	DR.
10	JANU 2024	REV. PER CITY COMMENTS	MNO/BN
9	DEC 2023	REV. AS PER CITY COMMENTS	BN
8	NOV 2023	ACR CORRECTIVE PER SITE PLAN	BN
7	SEP 2023	REV. AS PER M2A SITE PLAN	BN
6	MAY 2023	REV. AS PER CITY COMMENTS	BN
5	MAY 2023	REV. AS PER NEW SITE PLAN	BN
4	FEB 2023	REV. AS PER CLIENT COMMENT	BN
3	JAN 2023	REV. AS PER NEW SITE PLAN	BN
2	FEB 2023	REVISED PER OP	BN
1	DEC 2022	PRELIMINARY DRAWING	BN



PROJECT:
 4503 200 STREET,
 CITY OF LANGLEY, BC

DRAWING TITLE:
**OFFSITE
 PLAN**

DATE: NOV 20 2021	DRAWING NUMBER:
SCALE: 1/8" = 1'-0"	L4
DRAWN: RV	
DESIGN: RV	
CHK'D: M2/M	

PART ONE - GENERAL

- 1.1 OVERVIEW
1.2 SCOPE OF WORK
1.3 RELATED WORK
1.4 RELATED NEARBY MUNICIPAL SERVICES
1.5 STANDARDS
1.6 QUALITY ASSURANCE
1.7 SCHEDULE
1.8 PRELIMINARY
1.9 SAMPLES
1.10 PRELIMINARY
1.11 DELIVERY, STORAGE AND PROTECTION

PART TWO - PRODUCTS

- 1.1 OVERVIEW
1.2 RELATED WORK
1.3 STANDARDS
1.4 QUALITY ASSURANCE
1.5 SCHEDULE
1.6 PRELIMINARY
1.7 SAMPLES
1.8 PRELIMINARY
1.9 DELIVERY, STORAGE AND PROTECTION

PART THREE - EXECUTION

- 1.1 OVERVIEW
1.2 PREPARATION OF THE WORK AREA
1.3 CONSTRUCTION
1.4 PROTECTION
1.5 FINISHES
1.6 CLEANUP

PART THREE - EXECUTION (cont)

- 1.1 OVERVIEW
1.2 PREPARATION OF THE WORK AREA
1.3 CONSTRUCTION
1.4 PROTECTION
1.5 FINISHES
1.6 CLEANUP

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Table with columns: NO., DATE, REVISION DESCRIPTION, DR.



PROJECT:
4503 200 STREET,
CITY OF LANGLEY, BC

DRAWING TITLE:
STRUCTURAL SOIL SPECIFICATION
DATE: NOV 20, 2023 DRAWING NUMBER:
SCALE:
DRAWN: RV
DESIGN: RV
CHECK: MSLM
M2LA PROJECT NUMBER: 21-079

CITY OF
LANGLEY



CITY OF LANGLEY

MOTION

Development Permit Application No. 08-22

THAT Development Permit No. 08-22 to accommodate a 14-unit townhome development at 4503 & 4513 200 St. be approved.



ZONING BYLAW, 1996, No. 2100
AMENDMENT No. 199, 2023, BYLAW No. 3261
DEVELOPMENT PERMIT APPLICATION DP 08-23

To consider rezoning and Development Permit applications from Sean Tilstra to accommodate a 6-storey, 136-unit apartment development at 20619 & 20629 Eastleigh Crescent.

The subject properties are currently zoned P2 Private Institutional/Recreation Zone in Zoning Bylaw No. 2100 and designated “Transit-Oriented Residential” in the Official Community Plan Land Use Map. All lands designated “Transit-Oriented Residential” are subject to a Development Permit to address building form and character.

Background Information:

Applicant:	Sean Tilstra
Owner:	Highland Lodge Ltd.
Civic Addresses:	20619 & 20629 Eastleigh Crescent
Legal Description:	Lots 39 & 40, District Lot 37, Group 2, New Westminster District, Plan 34280
Site Area:	3,719 m ² (0.92 acres)
Number of Units:	136 apartments
Gross Floor Area:	10,313 m ² (111,008 ft ²)
Floor Area Ratio:	2.773
Lot Coverage:	54.33%
Building Height:	6 Storeys
Total Parking Required:	203 spaces (including 10 h/c spaces) <i>*RM3 requirement</i>
Parking Provided:	
Resident	149 spaces
Visitor	<u>20 spaces</u>
Total	169 spaces (including 9 h/c spaces)
OCP Designation:	Transit-Oriented Residential
Existing Zoning:	P2 Private Institutional/Recreation
Proposed Zoning:	CD92 Comprehensive Development
Variances Requested:	20 visitor parking spaces (28 required) 5.5 m long accessible parking spaces (5.8 m required) <i>Note a resident parking variance is not required due to the use of CD Zone – see staff commentary in Variances section of this report for further details and rationale</i>
Development Cost Charges:	\$2,751,688.00 (City - \$1,298,664.00, GVS&DD - \$580,584.00, GVWD - \$579,496.00, SD35 - \$81,600.00, TransLink - \$211,344.00)
Community Amenity Contributions (CACs):	\$557,000.00



**ZONING BYLAW, 1996, No. 2100
AMENDMENT No. 199**

BYLAW No. 3261

A Bylaw to amend City of Langley Zoning Bylaw, 1996, No. 2100 to rezone the properties located at 20619 & 20629 Eastleigh Crescent to the CD92 Comprehensive Development Zone.

WHEREAS the *Local Government Act* authorizes a local government to zone areas of a municipality and to make regulations pursuant to zoning;

NOW THEREFORE the Council of the City of Langley, in open meeting assembled, enacts as follows:

1. Title

This bylaw shall be cited as the "Zoning Bylaw 1996, No. 2100 Amendment No. 199, 2023, No. 3261".

2. Amendment

(1) Bylaw No. 2100, cited as the "Zoning Bylaw, 1996, No. 2100" is hereby amended by adding in Part VII Comprehensive Development Zones the following as the new Zone classification of Comprehensive Development – 92 (CD92) Zone immediately after Comprehensive Development – 91 (CD91) Zone:

"KKKK. CD92 COMPREHENSIVE DEVELOPMENT ZONE

1. Intent

This Zone is intended to accommodate and regulate a 6-storey, 136-unit apartment development.

2. Permitted Uses

The Land, buildings, and structures shall be used for the following uses only:

- (a) Multiple-Unit Residential; and
- (b) Accessory uses limited to the following:

- (c)
 - (i) *Home Occupations* excluding bed and breakfast and *child care centre*.

3. Site Dimensions

The following lots shall form the site and shall be zoned CD92 Comprehensive Development Zone on the Zoning Map, City of Langley Zoning Bylaw, 1996, No. 2100, Schedule "A":

- (a) PID: 006-999-930
Lot 39, District Lot 37, Group 2, New Westminster District, Plan 34280
- (b) PID: 007-001-207
Lot 40, District Lot 37, Group 2, New Westminster District, Plan 34280

4. Siting and Size of Buildings and Structures and Site Coverage

The location, size, and site coverage of the buildings and structures of the development shall generally conform to the plans and specifications prepared by Keystone Architecture & Planning Ltd. (architectural plans dated December 1, 2023 and landscape plans dated November 6, 2023), one copy each of which is attached to Development Permit No. 08-23.

5. Other regulations

In addition, land use regulations including the following are applicable:

- (a) General provisions on use are set out in Section I.D. of this bylaw;
- (b) Building Permits shall be subject to the City of Langley Building and Plumbing Regulation Bylaw and the Development Cost Charge Bylaw; and
- (c) Subdivisions shall be subject to the City of Langley Subdivision and Development Servicing Bylaw and the *Land Title Act*.

(2) Bylaw No. 2100, cited as the "Zoning Bylaw, 1996, No. 2100" is hereby amended by changing the zone classification of:

- (a) PID: 006-999-930
Lot 39, District Lot 37, Group 2, New Westminster District, Plan 34280

- (b) PID: 007-001-207
Lot 40, District Lot 37, Group 2, New Westminster District,
Plan 34280

from the P2 Private Institutional/Recreation Zone to the CD92
Comprehensive Development Zone in Schedule "A" – Official Zoning Map.

READ A FIRST AND SECOND TIME this fifteenth day of January, 2024.

READ A THIRD TIME this twenty-second day of January, 2024.

APPROVAL OF THE MINISTRY OF TRANSPORTATION was received this
twenty-third day of February, 2024.

FINALLY ADOPTED this day of , XXXX.

MAYOR

CORPORATE OFFICER



EXPLANATORY MEMO

October 18, 2023 Advisory Design Panel Recommendations and Applicant Response DP 08-23 20619 & 20629 Eastleigh Crescent

Advisory Design Panel Recommendations and Applicant Response

On October 18, 2023 the Advisory Design Panel (ADP) reviewed the DP 08-23 application, and provided the following recommendations (see attached minutes for further details):

1. Ensure secure model of visitor bicycle rack is used (e.g. two lock point potential) and improve visibility of visitor bike racks from within building (e.g. bringing them onto podium level).
2. Review opportunity for additional street-fronting trees on site
3. Use an alternative fence material to chain link around the dog run area, including considering wood elements.
4. Review maneuverability of parking areas, including visitor parking spaces and bicycle room access between parking spaces.
5. Review use of sand in children's play area for accessibility and consider an alternative surface.
6. Consider reconfiguring the outdoor amenity area with fewer but larger programmed areas and simplifying the material palette.
7. Consider providing communal garden plots and/or edible plantings.
8. Consider more closely aligning colour palettes between building cladding and landscape materials.
9. Provide more design interest to the west parkade wall.
10. Review location of loading zone for usability.
11. Consider providing a rooftop amenity area.
12. Review Building Code compliance of courtyard exiting and elevator lobby.
13. Consider opportunities for shading on south-facing units.
14. Provide automatic doors for amenity spaces, both indoor and outdoor, and bicycle rooms.
15. Review accessibility of appliances in adaptable units (e.g. washers & dryers).
16. Consider the use of electric building systems (e.g. heat pumps and/or air conditioning).
17. Consider additional sound attenuation measures for units with elevator & living room-to-bedroom wall interfaces.
18. Provide electrical connections in bicycle rooms for e-bikes.
19. Consider providing a bicycle maintenance area.
20. Review and ensure security of the rear courtyard exit stair.

The applicant submitted finalized revised architectural and landscape drawings on December 5, 2023 (both attached to the Development Permit). The applicant has responded to the ADP's recommendations in the following manner:

1. Ensure secure model of visitor bicycle rack is used (e.g. two lock point potential) and improve visibility of visitor bike racks (from within building (e.g. bringing them onto podium level)).

A larger two-lock-point model has been provided for the visitor bicycle rack and has been moved onto the podium level beside the building entrance.

2. Review opportunity for additional street-fronting trees on site.

After reviewing offset requirements for fire department connections, the existing utility pole, and the fire hydrant, a total of seven trees are now proposed along the building frontage on site, compared to two trees as part of the original design.

3. Use an alternative fence material to chain link around the dog run area, including considering wood elements.

The chain link fencing around the dog run area has been replaced with a welded wire mesh supported by a wooden frame and posts.

4. Review maneuverability of parking areas, including visitor parking spaces and bicycle room access between parking spaces.

The applicant reviewed the layout of their parking areas and accesses and was unable to increase the efficiency of the circulation pattern while maintaining the current number of parking spaces. The dimensions of the parking stalls and aisles are consistent with Zoning Bylaw requirements.

5. Review use of sand in children's play area for accessibility and consider an alternative surface.

The sand cover in the children's play area has been replaced with fully accessible recycled rubber tiles, which incorporate an alphabet search play feature.

6. Consider reconfiguring the outdoor amenity area with fewer but larger programmed areas and simplifying the material palette.

The open lawn space has been removed, with the dog run and children's play areas enlarged in its place. The ground surface material palette has also been simplified by reducing the total number of materials from eight to five.

7. Consider providing communal garden plots and/or edible plantings.

The exit walkway near the property's southeast corner has had its surrounding landscaping updated to be entirely composed of edible plantings, including gooseberry, blueberry, lingonberry, strawberry, oregano, and thyme.

8. Consider more closely aligning colour palettes between building cladding and landscape materials.

Hardscaping has been updated with grey-scale pavers and tiles to more closely match the building's black-and-white colour scheme.

9. Provide more design interest to the west parkade wall.

The west parkade wall has been broken up with an additional exit path and otherwise meets the City's Development Permit Area Guidelines by being landscaped and clad with brick where it rises and painted black at its base, with no exposed concrete visible.

10. Review location of loading zone for usability.

The design of the stairwell adjacent to the loading zone has been updated to replace the stairs from ground level to the raised visitor parking area with a ramp, which will allow for roll-up access onto the podium level with further direct access to the elevator vestibule.

11. Consider providing a rooftop amenity area.

The project design features 355 m² (3,821 ft²) of outdoor amenity space, which meets the City's existing Development Permit Area guidelines as well as the preliminary requirements being considered for the new Zoning Bylaw currently in development. While additional rooftop amenity space was considered, particularly on the north end of the 4th floor roof where the building steps back, staff recommended against it to prevent overlook and maintain the privacy of the townhome complex which neighbours the proposed development on that side.

12. Review Building Code compliance of courtyard exiting and elevator lobby.

The applicant has reviewed Building Code requirements and CPTED principles in the design of the courtyard and its accesses and has added a second exit stair accessed directly from the courtyard to bring it into compliance.

13. Consider opportunities for shading on south-facing units.

The applicant has reviewed this recommendation and determined the existing balcony insets and architectural frame elements provide sufficient shading.

14. Provide automatic doors for amenity spaces, both indoor and outdoor, and bicycle rooms.

Automatic door buttons will be provided for all amenity and bicycle rooms.

15. Review accessibility of appliances in adaptable units (e.g. washers & dryers).

The placement of appliances in all adaptable units has been reviewed and adjusted as necessary to ensure all are accessible (located side-by-side).

16. Consider the use of electric building systems (e.g. heat pumps and/or air conditioning).

In response to this recommendation, the applicant notes that all units will be air conditioning-ready and will be available for purchase with the option of having the air conditioning pre-installed.

17. Consider additional sound attenuation measures for units with elevator & living room-to-bedroom wall interfaces.

The applicant has advised that all wall details and assemblies will meet or exceed required sound transmission ratings in the Building Code through methods such as furring walls and staggered stud partition walls.

18. Providing electrical connections in bicycle rooms for e-bikes.

An electrical outlet will be provided for every 3-4 bicycle stalls.

19. Consider providing a bicycle maintenance area.

A bicycle maintenance area has been provided in the northwest bicycle room.

20. Review and ensure security of the rear courtyard exit stair.

The applicant has reviewed potential security issues with all exit stairs, building doors, and secured parking areas. Additional security fencing and gates have been provided where necessary to ensure full access control.

Staff Commentary

Staff support the updates made by the applicant in response to ADP recommendations.

In response to questions posed to staff at the ADP meeting, staff have the following responses:

1. Review boulevard plant surface for animal waste resilience.

As part of frontage upgrades required of new development, the City, through standards outlined in the Design Criteria Manual, typically requires a boulevard planted with grass to be provided between the road surface and the sidewalk. The Advisory Design Panel raised questions about the durability of grass to animal waste, and whether another hardier plant surface should be considered.

Following review, staff is open to non-grass plantings and will work with the applicant to determine a mutually-agreeable drought-resistant and low-maintenance boulevard planting surface as part of the civil design stage.



**MINUTES OF THE
ADVISORY DESIGN PANEL**

**HELD IN COUNCIL CHAMBERS,
LANGLEY CITY HALL**

**WEDNESDAY, OCTOBER 18, 2023
AT 7:01 PM**

Present: Councillor Paul Albrecht (Chair)
Councillor Mike Solyom (Co-Chair)
Mayor Nathan Pachal
Matt Hassett
Leslie Koole
Johnnie Kuo (7:05 pm)
Blair Arbuthnot
Chad Neufeld
Scott Thompson

Absent: Cst. Peter Mann
Tony Osborn
Ella van Enter

Staff: C. Johannsen, Director of Development Services
A. Metalnikov, Planner
K. Kenney, Corporate Officer

Chair Albrecht began by acknowledging that the land on which we gather is on the traditional unceded territory of the Katzie, Kwantlen, Matsqui and Semiahmoo First Nations.

1) AGENDA

Adoption of the October 18, 2023 agenda.

It was **MOVED** and **SECONDED**

THAT the agenda for the October 18, 2023 Advisory Design Panel be approved.

CARRIED

2) **MINUTES**

Adoption of minutes from the July 19, 2023 meeting.

It was MOVED and SECONDED

THAT the minutes of the July 19, 2023 Advisory Design Panel meeting be approved as circulated.

CARRIED

3) **DEVELOPMENT PERMIT APPLICATION DP 08-23** **ZONING BYLAW AMENDMENT APPLICATION RZ 07-23**

Proposed 6-storey, 136-unit apartment building at 20619 & 20629 Eastleigh Crescent.

Anton Metalnikov, Planner, spoke to the staff report dated October 6, 2023 and provided a brief overview of the Development Permit application.

Johnnie Kuo entered the meeting.

In response to questions from Panel members, staff advised that:

- The developer did not want to build a taller building due to financial factors, namely, the height limit for wood frame buildings is 6 stories, anything higher than that has to be a concrete building;
- The FAR is quite high for this development, and provides needed one bedroom units close to Kwantlen Polytechnic University;

The Applicant team entered the meeting:

Noel Lim, Project Manager, Keystone Architecture & Planning Ltd.

Andressa Linhares, Sr. Project Coordinator Design, Keystone Architecture & Planning Ltd.

Jennifer Wall, Landscape Architect/Project Manager, Keystone Architecture & Planning Ltd.

Steve Bartok, Principal, Keystone Architecture & Planning Ltd.

Mr. Lim presented the application, providing an overview of the development with details on the following:

- Project data
- Number of one, two, and three bedroom units
- Number of units that are adaptable
- Site description
- Other developments projects in the area
- Site plan

- Building amenities (indoor and outdoor)
- Unit storage
- Balcony orientation
- Garbage area
- Parking stalls
- Shadow studies

Ms. Linhares provided information on the building design and colours and Ms. Wall provided information on landscape design elements. Information was provided on the following:

- Connections to street and patios
- Size of patios
- Wall height
- Short term parking
- Offsite sodded tree lined pedestrian walkway
- Existing trees on the north with parkade set back from them
- Courtyard
- Paving patterns and materials
- Programming of the spaces
- Planters
- Amenity connection
- Covered BBQs, picnic tables, fire pit
- Sand play area
- Fenced in dog off leash area for small dogs
- Open area for play

It was noted that:

- They are bringing colour to the hardscape and landscaping to contrast the neutral building colour palette;
- They will have an arborist on site to ensure existing trees are protected during construction;
- The planters are getting 1 m soil volume and will provide buffers between units.

Panel members provided feedback on the form and character of the development and discussion took place regarding the following:

- Concerns with security of bike racks due to location and compatibility for electric bikes;
- Suggest filling in the gaps of the street trees;
- Accessibility concerns with sand surface; consider alternative surface for children's play area;
- Consider more quality fencing, more architecturally interesting;
- The three visitor parking stalls look like they will be difficult to get out of;
- Make sure ground units are well lit;

- Should look at reconfiguring the bike parking room entrance as it is currently accessed between two vehicle stalls;
- Concerns with parking configurations; some spots look difficult to get into;
- The stairs in the back are not clear on the drawings, review security;
- There are numerous outdoor amenity areas and they are all quite small; it might be better to have fewer but larger outdoor amenity areas;
- Suggest having a community garden if possible;
- The amenity space brown shades and materials are out of place with the rest of the development, suggest using colours to create more continuity;
- There are too many different materials distinguishing the different areas of the development;
- Choose to have the dog off leash area or the grassed area, not both;
- Consider more animation on the side where people go to park;
- The amount of amenity space is not enough for the number of units in the development;
- It's not clear what demographic this development is intended for; it does not appear to be designed for elderly people;
- The design of the double doors next to the elevator is confusing, it's not clear how people will exit that space to the outside amenity area and whether there is enough space; there could be safety issues;
- The colour of the building is rather bland; too many different materials being used given that they are all black;
- There isn't very much shade provided on the south side, consider more shading there;
- Recommend deconstruction not demolition of existing building on site;
- One of the seating areas could be removed to provide more space for other programming;
- For accessibility purposes doors for both indoor and outdoor amenity spaces should have automatic functionality;
- Should design the appliances in the adaptable units such that they can be made adaptable in the future;
- Implement additional noise attenuation measures for units next to the elevator and those with a bedroom wall that is shared with their neighbouring unit's living room;
- Suggest using Canada Post standard mail room equipment as they are more secure and durable;
- Consider having a bike maintenance room with automatic door to the room;
- Incorporate wood element to give warmer, friendly feeling to chain link fence;
- Break up the monotony of the wall on the lane by adding a treatment with more visual appeal;

In response to questions from Panel members, the applicant team advised that:

- The surface material for the off-leash dog area will be mulch or pea gravel;
- In order to address potential issues with maneuverability of visitor parking spots they will look at a larger turnaround;
- There will be opaque privacy screens between the walk up patios;
- All units on ground floor have gates;
- The courtyard will have lighting;
- The reason they included an off-leash dog was there is nowhere near for people with pets to go, but they can discuss with client about where they could possibly reduce some outdoor amenity uses;
- They are trying to include edibles in the plantings on site; the podium area is too shady for a communal garden;
- It is a solid, four foot high wall on the lane where the parking stalls are, but is open above; the lane is lower;
- The loading parking space is accessed from the lane; and is also accessible from accessible entrance ramp; the podium level is accessible from the loading parking space;
- The development will be market housing;
- They can discuss the possibility of installing air conditioning/ heat pumps with the owner;
- Storage lockers will be included with each unit;
- They haven't yet discussed providing electrical plugs in the bike storage area for e-bikes;
- The strata will be responsible for maintaining the sand pit;
- Use Canada post mailboxes, more secure and durable;
- The roof treatment will be reflective to reduce heat island effect;
- There isn't a sidewalk on the lane; however, there is a planter there;
- Given that the fire pit could be an ongoing liability; suggest removing that amenity to provide more space for other amenities;

The applicant team left the meeting.

In response to questions from Panel members, staff advised that:

- With respect to having boulevard ground cover that is easy to maintain and discourages use of these areas as places for dogs to do their business:
 - another development project did look at different possibilities;
 - staff will discuss the issue with Engineering staff;
 - in new areas in Vancouver, boulevards have been converted to turf; staff are not suggesting this approach;
- Staff can determine if it is feasible to have an amenity space on the roof;
- Barriers cannot put between the stalls that are on either side of the entrance to bike parking room as cars wouldn't be able to maneuver into those stalls;
- There will also be laneway access for the development under construction at Glover Rd. and Eastleigh Crescent;

- The City does permit fire pits in developments; however, the Fire Department does have some requirements.

The Panel compiled a list of recommendations for the applicant.

It was MOVED and SECONDED

THAT:

1. The ADP receive the staff report dated October 6, 2023 for information; and
2. The ADP recommends the applicant give further consideration to the following prior to the application proceeding to Council:
 - a. Ensure secure model of visitor bicycle rack is used (e.g. two lock point potential) and improve visibility of visitor bike racks from within building (e.g. bringing them onto podium level);
 - b. Review opportunity for additional street-fronting trees on site;
 - c. Use an alternative fence material to chain link around the dog run area, including considering wood elements;
 - d. Review maneuverability of parking areas, including visitor parking spaces and bicycle room access between parking spaces;
 - e. Review use of sand in children's play area for accessibility and consider an alternative surface;
 - f. Consider reconfiguring the outdoor amenity area with fewer but larger programmed areas and simplifying the material palette;
 - g. Consider providing communal garden plots and/or edible plantings;
 - h. Consider more closely aligning colour palettes between building cladding and landscape materials;
 - i. Provide more design interest to the west parkade wall;
 - j. Review location of loading zone for usability;
 - k. Consider providing a rooftop amenity area;
 - l. Review Building Code compliance of courtyard exiting and elevator lobby;
 - m. Consider opportunities for shading on south-facing units;
 - n. Provide automatic doors for amenity spaces, both indoor and outdoor, and bicycle rooms;
 - o. Review accessibility of appliances in adaptable units (e.g. washers & dryers);
 - p. Consider the use of electric building systems (e.g. heat pumps and/or air conditioning);
 - q. Consider additional sound attenuation measures for units with elevator & living room-to-bedroom wall interfaces;
 - r. Provide electrical connections in bicycle rooms for e-bikes;
 - s. Consider providing a bicycle maintenance area;
 - t. Review and ensure security of the rear courtyard exit stair;

CARRIED

**4) DEVELOPMENT PERMIT APPLICATION DP 08-22
ZONING BYLAW AMENDMENT APPLICATION RZ 05-22**

Proposed 14-unit townhome complex at 4503 & 4513 200 Street.

Anton Metalnikov, Planner, spoke to the staff report dated October 4, 2023 and provided a brief overview of the Development Permit application.

Carl Johannsen, Director of Development Services advised that staff have proof of concept that other properties surrounding this development are viable for similar development; noting there are a number of ways to have access to the sites.

In response to questions from Panel members, staff advised that:

- The strata for this development will be made aware of the fact that the temporary lane being built will be closed in the future through information provided in signage on the site, in any sale documents and in a covenant placed on title;
- Once the lane is closed (which will occur only after neighbouring properties are developed), there are a number of options to prevent people from using it, which staff can discuss with Engineering staff;
- The temporary lane is not required to be a fire access; however, the Fire Department may want to have that option;
 - the moratorium on rezoning properties south of 50th Avenue Council imposed last year has been lifted as staff fulfilled the requirements Council requested be undertaken including such things as conducting a community survey of residents in the area and developing a best practices guide for ground-oriented residential developments in this area;
- No formal development applications have been received to date for the property to the north; however, the OCP does allow for redevelopment mid-block.
- The lane at the back will be constructed for this development and when the property to the north is developed, they will do the same;
- The lane will be dedicated as part of this development;
- The property to the south will have a hammerhead turn-around
- There will be a fence along the boundary of the property to the south;
- A traffic study will be undertaken for the intersection to the north; the potential to exit onto 200 St. and turn left will be reviewed as part of the traffic study;
- This building is three stories which is the maximum height for buildings in this area under the OCP;
- Staff will ask the applicant to correct the renderings that currently show the property backing onto a park, as it will actually be backing onto the fence of a single family home;
- The lane is 8 m wide; the building is 10 to 11 m away from property line of a single family home; on 200 Street there will be separation between

the traffic lane and pedestrian corridor, though there may be some sidewalk portions near the street in order to protect existing trees.

The Applicant team entered the meeting:

Layne French, Applicant

Meredith Mitchell, Landscape Architect, M2 Landscape Architecture

Fred Adab, Architect, F. Adab Architects Inc.

Azar Ahmadi, Senior Designer, Associate, F. Adab Architects Inc.

Mr. Adab presented the application, providing an overview of the development with details on the following:

- Context Plan
- Aerial Map
- Site Plan
- Energy savings and green measures
- Exterior finishes and colour
- First, second and third floor plans
- CPTED measures

Ms. Mitchell provided information on landscape design elements:

- Some retained trees on site
- Paving
- Pedestrian walkway
- Individual walkways to units
- Buffer planting between semi- public and public to private patio spaces
- Green planting at internal road
- Two units next to 200 St. stepped back to create front yard in keeping with other houses on street.

Panel members provided feedback on the form and character of the development and discussion took place regarding the following:

- When the lane is to be closed off make it more attractive by using fencing or landscaping to close it off rather than bollards;
- Adding some architectural interest to the blank wall;
- Include more wood in the development, including possibly on the front blank wall;

Councillor Solyom left the meeting at 9:15 pm. and did not return to the meeting.

- Possibility of adding solar panels, or pre-wiring for it in the future; engage with energy advisor;
- Height of the street fronting façade is quite big compared to single family, try to break up plane;
- There is not a lot of room for storm water retention; change to less impermeable surfaces;

- Shading is needed on south facades and would add interest;
- Adding rain shelter for decks on north side would make them for usable;
- Suggest using different surfaces in the lane to define vehicle and pedestrian access areas;
- As patios are so small, lane will become amenity space used by pedestrians, accordingly, support this use by having a surface treatment other than asphalt for the lane;
- Backyards are almost unusable; consider flipping building design to give extra space on drive aisle or planting areas, have front door on garage side;
- Create a physical buffer between visitor parking and buildings;
- The pavers between the sidewalk and centre laneway, there is the opportunity to run more texture down the centre or at least past the green space;
- Suggest charcoal brick instead of hardy board for the gable ends;
- There is an opportunity to mirror the buildings;
- Recommend broader flashing around windows;
- If using hardy board for the gable ends make it horizontal instead of vertical;
- Ensure the lighting in the development is down lighting so as not to impact neighbouring single detached homes;
- Need to delineate sidewalk in lane with curbing or vertical element to prevent vehicles from parking on it;
- Possibility of having garage doors with pedestrian door;
- Include unit numbers on garage doors for first responders and delivery drivers;
- Consult with owners of single family lots neighbouring the property as to what type of fencing they would be amenable to;
- Show room configuration of the smallest bedroom.

In response to questions from Panel members, the applicant team advised that:

- In the backyards there is a 1 m planting and walkway, planting bed, and 2 x 2 paver-covered area; there will be a small space that could accommodate a BBQ;
- The patio is 6 x 14 ft.; they could make the patio bigger but they wanted to have planting space to create separation from the walkway and patio;
- The hedge is inside the fence;
- There will be white magnolias, and conifer fir trees in front of the blank centre wall;
- The planting on the driveway will be viable;
- The intention is for garbage to be picked up from individual units;
- They can look at making the yards greener;
- There are privacy screens between balconies;
- They have not considered extra noise attenuation for units facing 200 Street, but could hire sound acoustical consultant

- The powder rooms are fully within the units;
- The condenser, fresh air intake, and exhaust for the heat pump are all in the garage;
- Bedroom placement below kitchen is normal, additional fire safety measures are put in place;
- The building will have sprinklers.

In response to questions from Panel members, staff advised that:

- The OCP and ground-oriented development guidelines indicate that yards need to be 4.5 m deep;
- The unit threshold to require amenity space be built in a development is 20 units;
- There is a park nearby to this development;
- City regulations require 4.5 m setbacks with the key goal of achieving 9 m separation distances between building faces; while a secondary goal is for these setbacks to create larger yards, given the significant dedications on this project, front doors were located along private walkways to maintain a typical townhome unit density which resulted in smaller back yards;
- Staff can get clarification on what kind of heat pump is being used before this application comes back to Council;
- Staff will review building guidelines to determine if wood fences are permitted. (It was subsequently noted by a Panel member that wood may not be the best material to use for the long term);

The applicant team left the meeting.

The Panel compiled a list of recommendations for the applicant.

It was MOVED and SECONDED

THAT:

3. The ADP receive the staff report dated October 6, 2023 for information; and
4. The ADP recommends the applicant give further consideration to the following prior to the application proceeding to Council:
 - a. Update renderings to illustrate accurate design and context (landscaping, balcony dividers);
 - b. Require an update to the street-fronting façade to better engage 200 Street, especially in central white space, including to bring down the apparent height (e.g. greater use of wood, brick, blue accent colours, considering window ornamentation, horizontal breaks);
 - c. Consider solar panels on roof (installed or pre-wired);
 - d. Consider more depth articulation to break up the block volumes;

- e. Review shading features on south-facing elevation and rain shelter on north (consider blue accents), including consulting with an energy advisor;
- f. Update surface materials in the central lane for place-making and to demarcate vehicle and pedestrian space;
- g. Provide protection between visitor parking spaces and buildings;
- h. Update landscape plans to remove garbage enclosure notation;
- i. Consider a broader window flashing;
- j. Ensure lighting design does not create a nuisance for neighbouring properties;
- k. Consider measures to improve the durability of the in-lane landscaping;
- l. Update the lane sidewalk to include a curb, while maintaining single slab design for Fire Rescue access;
- m. Consider garage doors with integrated person-doors and include unit addressing and wayfinding in internal lane;
- n. Replace wood fencing with a more durable material, including communication with neighbours;
- o. Provide more information on heat pump equipment configuration and location;
- p. Provide a sample room layout in the smallest bedroom;
- q. Provide enhanced sound attenuation measures on 200 Street-facing units.

CARRIED

5) NEXT MEETING

November 8, 15, or 22

6) ADJOURNMENT

It was MOVED and SECONDED

THAT the meeting adjourn at 9:48 pm.

CARRIED



ADVISORY DESIGN PANEL CHAIR



CORPORATE OFFICER



ADVISORY DESIGN PANEL REPORT

To: **Advisory Design Panel**

Subject: **Development Permit Application DP 08-23
Rezoning Application RZ 07-23
(20619 & 20629 Eastleigh Crescent)**

From: Anton Metalnikov, RPP, MCIP
Planner

File #: 6620.00

Bylaw #: 3261

Doc #:

Date: October 6, 2023

RECOMMENDATION:

THAT this report be received for information.

PURPOSE OF REPORT:

To consider Development Permit and Zoning Bylaw amendment applications by Sean Tilstra for a 6-storey, 136-unit apartment building at 20619 & 20629 Eastleigh Crescent.

POLICY:

The subject properties are currently zoned P2 Private Institutional/Recreation Zone in Zoning Bylaw No. 2100 and designated "Transit-Oriented Residential" in the Official Community Plan Land Use map. All lands designated for multi-unit residential use are subject to a Development Permit (DP) to address building form and character.

The density of the proposed development complies with the Official Community Plan but exceeds the parameters in the current Zoning Bylaw. As such, a Comprehensive Development Zone is proposed to accommodate it.

COMMENTS/ANALYSIS:

Background Information:

Applicant:	Sean Tilstra
Owner:	Highland Lodge Ltd.
Civic Addresses:	20619 & 20629 Eastleigh Crescent
Legal Description:	Lots 39 & 40, District Lot 37, Group 2, New Westminster District, Plan 34280
Site Area:	3,719 m ² (0.92 acres)
Number of Units:	136 apartments
Gross Floor Area:	10,313 m ² (111,008 ft ²)
Floor Area Ratio:	2.773
Lot Coverage:	54.33%
Building Height:	6 Storeys
Total Parking Required:	203 spaces (including 10 h/c spaces) <i>*RM3 requirement</i>
Parking Provided:	
Resident	149 spaces
<u>Visitor</u>	<u>20 spaces</u>
Total	169 spaces (including 9 h/c spaces)
OCP Designation:	Transit-Oriented Residential
Existing Zoning:	P2 Private Institutional/Recreation
Proposed Zoning:	CD92 Comprehensive Development
Variances Requested:	20 visitor parking spaces (28 required) 5.5 m long accessible parking spaces (5.8 m required) <i>Note a resident parking variance is not required due to the use of CD Zone – see staff commentary in Variances section of this report for further details and rationale</i>
Development Cost Charges:	\$2,751,688.00 (City - \$1,298,664.00, GVS&DD - \$580,584.00, GVWD - \$579,496.00, SD35 - \$81,600.00, TransLink - \$211,344.00)
Community Amenity Contributions (CACs):	\$557,000.00

Discussion:

1. Context

The applicant is proposing to develop a 6-storey, 136-unit apartment building on a site consisting of two properties currently sharing the former Highland Lodge/Arbutus Place seniors care facility, which is now vacant. The site is located in an established higher-density residential area which has seen significant recent development interest resulting in an ongoing transition in line with the City's Official Community Plan (OCP), with several recently developed and under-construction projects nearby, among other townhomes and apartment buildings of various ages.

The site's primary frontage is formed on its south by Eastleigh Crescent, a local road across from which sit a small commercial building currently used by Foundry (a youth services organization) and Rosewood Manor, a 3-storey apartment building developed in 1972. The site is also bounded by a City lane to its west, which separates it from an older townhome complex. The site's northern boundary abuts Wyndham Lane, a 3-storey townhome complex built in 2007, and its eastern boundary is shared with Centennial Manor, a 4-storey non-market apartment building for seniors and families completed in 1993.



Site context

The site is well positioned with connections to retail, service and post-secondary educational destinations, with Downtown and Kwantlen Polytechnic University (KPU) located within a few minutes' walk. It also benefits from proximity to key neighbourhood amenities, including:

- Dumais Park (5-to-10-minute walk);
- Timms Community Centre (10-minute walk); and
- Douglas Park Elementary School (10-to-15-minute walk).

The site is also located near several transportation services, including:

- The frequent service 503 Fraser Highway Express (5-minute walk);
- The Langley Centre transit exchange and the fifteen bus routes it serves (5-minute walk); and
- The planned 203 Street SkyTrain station and its associated transit exchange (10-minute walk).

2. Proposed Rezoning and the Official Community Plan (OCP)

The site is designated Transit-Oriented Residential in the City's OCP, which allows for apartment development of up to 15 storeys in height, subject to the federal Airport Zoning Regulation, and a Floor Area Ratio (FAR) of up to 4.5.

The subject properties are proposed to be rezoned to a site-specific Comprehensive Development (CD) Zone as no existing zones adequately accommodate the Transit-Oriented Residential designation. A new Zoning Bylaw is currently in development and the project was designed to conform to the preliminary draft zoning regulations associated with this designation. Should the CD rezoning be adopted it is anticipated that, as part of adopting the new Zoning Bylaw, the City will rezone this site from its CD Zone to the new zone created to implement the Transit-Oriented Residential designation.

3. Design

The applicant is proposing a 6-storey U-shaped building wrapping around a central courtyard open to the northeast to maximize efficiency on this high density designated site within a wood-frame form and address the street while reducing massing against the townhome complex to the north. The distance between the two building wings on the east and west of the courtyard is 15.85 metres, which meets the City's Development Permit Area guidelines of a minimum 10-12 metre separation between buildings faces. The building sits on a parkade accessed from two driveway entrances – one leading underground to a resident parking area and one rising slightly to a surface visitor parking area and additional resident parking. This surface parking area is screened by the building's first floor at the front of the site on Eastleigh Crescent, and is covered by the second level courtyard and upper five building storeys.

Toward the rear property line, the building steps down from 6 storeys to a 4-storey height, as required in Appendix B: District Policies of the City's Official Community Plan (OCP), to provide an upper-floor rear setback of over 14 metres and provide a more gradual transition to the townhomes neighbouring the site to the north. To further support this transition, the parkade is set back at the rear to preserve the existing trees on the townhome property lining the property line between them, as informed by a Certified Arborist's report. Additional landscaping is planted on the eastern half of this rear property line, and fencing is provided on the edge of the surface parking area to maintain privacy and prevent headlight glare from vehicles using the raised parking area.

The building meets the street with planter boxes delineating the ground-floor units, which have walk-out connections to the sidewalk and private patios. The planter boxes are painted in a dark grey colour to match the brick cladding of the first floor and the double-height entrance feature in the middle of the building. A white metal panel frame extends from this entrance feature to the building roof. The same material is used with charcoal corrugated metal on the central three floors, which is accented by lighter grey cement board panel siding on the floors below and above, along with black aluminum soffits and balcony railings.

The proposal's landscaping makes use of planters to line the outside edges of the site as well as the inside perimeter of the courtyard to provide separation between the private unit patios and the shared outdoor amenity area. In addition to the existing trees being retained on the neighbouring properties, the development includes 8 trees at grade at the street front and 8 trees in the courtyard, for a total of 16 trees on the site. The courtyard's hardscaping employs several paver types, sod, wood mulch, and sand to demarcate its various activity spaces and support its function as an outdoor amenity area.

The building's unit type distribution includes 91 one-bedroom units, 35 two-bedroom units, and 10 three-bedroom units. 28 (21%) of the units are adaptable. Storage lockers are provided in shared rooms on all floors. 508 m² (5,468 ft²) of total amenity space is provided, including 153 m² (1,647 ft²) of indoor amenity space and 355 m² (3,821 ft²) of outdoor amenity space. The outdoor amenity space includes an outdoor workout area, a dog run, dining and lounge areas, and a children's play space. A two-elevator core serves the building.

4. Sustainability

The proposal incorporates several sustainable development features, including:

- Using construction techniques that minimize site disturbance and protect air quality;

- Using lighting systems meeting ground-level and dark skies light pollution reduction principles;
- Incorporating a construction recycling plan;
- Reducing the heat island effect by use of landscaping and a courtyard amenity area;
- Using non-water dependent and drought-tolerant materials in the landscape design served by an irrigation system with central control and rain sensors;
- Providing 22 (32%) more bicycle parking spaces than required;
- Providing plugs for e-bikes in bicycle rooms; and
- Providing 15 resident parking stalls with Level II electric vehicle (EV) chargers, with the remaining resident spaces pre-wired and visitor spaces pre-ducted for future installation.

5. CPTED

The applicant's proposal benefited from a comprehensive Crime Prevention Through Environmental Design (CPTED) review by a qualified consultant whose recommendations were incorporated into the plans.

6. VariANCES

As noted above, the applicant's proposed development is generally consistent with the draft apartment building zoning regulations that are being considered for the new Zoning Bylaw to implement the Official Community Plan's Transit-Oriented Residential land use designation. However, given the proponent has applied to redevelop the site prior to the adoption of the new Zoning Bylaw, a site-specific Comprehensive Development (CD) Zone is proposed to be created to accommodate the redevelopment.

Despite the use of a CD Zone, the proposal requires variances from general Zoning Bylaw provisions to reduce the length of accessible parking spaces and reduce the number of visitor parking spaces. Staff support these variances per the rationales below.

The accessible parking space variance requested is to reduce their length from 5.8 metres to 5.5 metres. The 5.5 metre length is consistent with the City's standard parking stall dimension requirements and a review of nearby municipalities (Langley Township, Surrey, Maple Ridge, and Abbotsford) found that all used the same stall length for both standard and accessible parking spaces. Staff are also considering making standard and accessible parking stall lengths consistent in the City's upcoming new Zoning Bylaw.

Proposed Parking

If the current Zoning Bylaw requirement for a similar type of building (i.e. RM3 Zone) was applied to this application, the applicant's proposed overall parking amount is 16.8% less than what would be required. Given that a CD zone is being proposed to accommodate this development, technically a variance is only required for visitor parking. However, it is important to note that staff support the applicant's overall parking approach, as the proposal (less 34 spaces or 16.8%) meets the standard rates under preliminary consideration for the new Zoning Bylaw. These rates are being contemplated based on research work conducted by the City's Zoning Bylaw update consultant and staff to date, which has included a review of the Metro Vancouver Parking Study as well as of parking rate requirements in other municipalities within the Lower Mainland.

The project site is within the "Shoulder" of the OCP, which generally refers to properties within a 5-to-10-minute walk of the future SkyTrain station. If the preliminary "Shoulder" area rates being considered for the new Zoning Bylaw were applied to this application, 169 parking spaces would be required, based on rates of 1.0 spaces per 1-bedroom unit, 1.25 spaces per 2-bedroom unit, 1.45 spaces per 3-bedroom unit (=149 resident spaces), and 0.15 visitor spaces per unit (=20 visitor spaces). This total is equal to the applicant's proposed parking amount of 169 spaces, and is 16.8% less than the current RM3 Zone requirement of 203 spaces, which is based on rates of 1.2 spaces per 1-bedroom unit, 1.3 spaces per 2-bedroom unit, 2.0 spaces per 3-bedroom unit (=175 resident spaces), and 0.2 visitor spaces per unit (=28 visitor spaces). Similar variances have recently been approved by Council at 20191 53A Avenue (13% reduction), 20142 53A Avenue (14.5% reduction), and 20230 56 Avenue (15% reduction).

Based on the above commentary and analysis, staff support these variances.

7. Summary

The proposed development is consistent with the City's OCP and Development Permit Area guidelines for the area and presents a transit-supportive and efficient design providing housing in close proximity to parks, transit, and Downtown.

Engineering Requirements:

PRELIMINARY ONLY

Additional design changes may be required upon further investigation, site inspections and receipt of other supporting reports and documents.

All work to be done to the City of Langley's Design Criteria Manual (DCM), and the City's Subdivision and Development Servicing Bylaw (SDSB).

Per the City's DCM requirement, the developer and their consulting engineer shall submit to the City Engineer a signed and sealed copy of Form F-1 (Commitment by Owner and Consulting Engineer) prior to starting their design works.

Per the City's Watercourse Protection Bylaw No. 3152, the developer's consulting engineer shall submit to the City Engineer a signed and sealed copy of Form F-1 (Confirmation of Commitment by Qualified Environmental Professional - QEP) prior to starting their site monitoring works.

These requirements have been issued to reflect the application for development for a proposed **136 Unit Apartment Development located at 20619-29 Eastleigh Cres.**

These requirements may be subject to change upon receipt of a development application.

The City's Zoning Bylaw, 1996, #2100 has requirements concerning landscaping for buffer zonings, parking and loading areas, and garbage and recycling containers, all of which applies to this design.

A) The Developer is responsible for the following work which shall be designed by a Professional Engineer:

- I. A Qualified Environmental Professional (QEP) must be engaged to implement erosion and sediment control in accordance with the City of Langley Watercourse Protection Bylaw #3152, as amended.
- II. A storm water management plan for the site is required. Rainwater management measures used on site shall limit the release rate to pre-development levels to mitigate flooding and environmental impacts as detailed in the City's DCM. All calculations shall be based the City' DCM with 20% added to the calculated results to account for climate change. A safety factor of 20% shall be added to the calculated storage volume. *Pre-development release rates shall not include climate change effect.*
- III. All existing services shall be capped at the main by the City, at the Developer's expense prior to applying for a demolition permit.
- IV. New water, sanitary and storm sewer service connections are required. All pertinent pipe design calculations shall be submitted in spreadsheet format and shall include all formulas for review by the City. The Developer's engineer will determine the appropriate main tie-in locations and size the connections for the necessary capacity.
- V. At the Developer's expense, the capacity of the existing water and sanitary sewer mains shall be assessed through hydraulic modeling

- performed by the City's standing hydraulic modeling consultant per DCM 3.8 and 6.5.
- a. Any upgrade requirement for either sanitary or water mains not covered under the City's DCC bylaw shall be designed and installed by the Developer at the Developer's expense.
 - b. At the Developer's expense, the City's standing hydraulic modeling consultant shall conduct a fire hydrant flow test to be used in the City's water modeling to determine if the existing water network is adequate for fire flows (based on architectural data supplied by the Developer's Architect). Upgrading of the existing watermain(s) may be necessary to achieve the necessary pressure and flows to conform to Fire Underwriters Survey (FUS) "Water Supply for a Public Fire Protection, a Guide to Recommended Practice, 1995."
- VI. Additional C71P fire hydrants may be required to meet bylaw and firefighting requirements. Hydrant locations must be per DCM Section 3.10 and approved by the City Engineer and the City of Langley Fire Rescue Service.
- VII. A corner truncation of 4m will be required at the corner of Eastleigh Cres. and the lane n/w of the proposed project.
- VIII. At the Developer's expense, a Traffic Impact Assessment (TIA) will be completed per DCM Section 8.21. The proposed development plan and statistics, once ready, should be forwarded to the City Engineer to develop the scope of this traffic study. TIA reports must be approved by the City Engineer prior to taking the application to Council. The TIA completion timing must be:
- a. For OCP Amendment / Rezoning Applications: Prior to the holding of a Public Hearing; and
 - b. For Development Permits (DP): Prior to Council consideration of the application.
- IX. The scope and extent of the off-site works shall be determined in part from the TIA. New sidewalk, barrier curb, gutter will be required along the entire Eastleigh Cres. frontage, complete with boulevard trees and a planting strip as per DCM cross-section SS-R07 and Section 11.0.
- X. The condition of the existing pavement along all the proposed project's frontages shall be assessed by a geotechnical engineer. Pavements shall be adequate for an expected road life of 20 years under the expected traffic conditions for the class of road. Road construction and asphalt overlay designs shall be based on the analysis of the results of Benkelman Beam tests and test holes carried out on the existing road which is to be upgraded. If the pavement is inadequate, it shall be remediated by the Developer, at the Developer's expense.
- XI. The site layout shall be reviewed by a qualified Professional Engineer to ensure that the parking layout, vehicle circulation, turning paths and

access design meet applicable standards and sightline requirements, including setbacks from property lines. Appropriate turning templates should be used to prove parking stalls, loading areas and drive aisles are accessible by service vehicles. Refer to DCM Section 8.0. The design shall be adequate for MSU trucks as the design vehicle.

- XII. Existing street lighting along the entire project frontage shall be analyzed (excluding any BC Hydro lease lights) by a qualified electrical consultant to ensure street lighting and lighting levels meet the criteria outlined in DCM 9.0. Any required street lighting upgrades, relocation, and/or replacement shall be done by the Developer at the Developer's expense. Any existing BC Hydro lease-lights to be removed and disposed of off-site.
- XIII. Eliminate the existing overhead BC Hydro/telecommunication infrastructure along the development's Eastleigh Cres. project frontage by replacing with underground infrastructure.
- XIV. A dedicated on-site loading zone shall be provided by the developer. The design shall be adequate for MSU trucks as the design vehicle.

B) The Developer is required to deposit the following bonding and fees:

- I. The City will require a Security Deposit based on the estimated construction costs of installing civil works, as approved by the City Engineer.
- II. The City will require inspection and administration fees in accordance to the Subdivision Bylaw based on a percentage of the estimated construction costs, as per the City's Subdivision and Development Servicing Bylaw 2021 #3126.
- III. A deposit for a storm, sanitary and water services is required, which will be determined by City staff after detailed civil engineering drawings are submitted, sealed by a Professional Engineer.
- IV. The City will require a \$40,000 bond for the installation of a water meter to current City standards as per the DCM.
- V. A signed and sealed pavement cut form (Form F-2 of the City's DCM) shall be completed by the developer's consulting engineer. Upon the review and approval of the City Engineer of the submitted form, the corresponding Permanent pavement cut reinstatement and degradation fees shall be paid by the Developer.

NOTE: Deposits for utility services or connections are estimates only. The actual cost incurred for the work will be charged. The City will provide the developer with an estimate of connections costs, and the Developer will declare in writing that the estimate is acceptable.

C) The Developer is required to adhere to the following conditions:

- I. The Developer's Consulting Engineer shall perform their periodic Field Reviews, As required by EGBC, and send a copy of the Review to the City Engineer within a week of completion of each Review
- II. Unless otherwise specified by the City Engineer, all engineering works shall be designed based on the City's DCM specifications in accordance with the City's Subdivision and Development Servicing Bylaw 2021, No. 3126
- III. Undergrounding of hydro, telecommunication to the development site is required, complete with underground or at-grade transformer.
- IV. Transformers servicing developments are to be located on private property with maintenance access located on private property. All transformers to be wrapped upon installation by the Developer.
- V. All survey costs and registration of documents with the Land Titles Office are the responsibility of the developer/owner. Please refer to the City's Subdivision and Development Servicing Bylaw 2021, No. 3126 for more details.
- VI. A water meter is required to be installed on private property, preferably in the mechanical room, in accordance to the City's DCM standards at the Developer's cost.
- VII. An approved backflow prevention assembly must be installed on the domestic water connection immediately upon entering the building to provide premise isolation.
- VIII. A Stormceptor or equivalent oil separator is required to treat site surface drainage.
- IX. A complete set of record drawings (as-built) of off-site works, service record cards and a completed tangible capital asset form (TCA) all sealed by a Professional Engineer shall be submitted to the City within 60 days of the substantial completion date. Digital drawing files in .pdf and .dwg formats shall also be submitted. All the drawing submissions shall:
 - a. Use City's General Note Sheet and Title Block; and
 - b. Closely follow the format and sequence outlined in the City's DCM that will be provided to the Developer's Consulting Engineer.
- X. The selection, location and spacing of street trees and landscaping are subject to the approval of the City Engineer. Please refer to the City's DCM for more details.
- XI. Stormwater run-off generated on the site shall not impact adjacent properties, or roadways.
- XII. Garbage and recycling enclosures shall accommodate on the site and be designed to meet Metro Vancouver's "Technical Specifications for Recycling and Garbage Amenities in Multi-family and Commercial

Developments - June 2015 Update.” Please refer to the City’s Subdivision and Development Servicing Bylaw 2021, No. 3126 for more details.

Fire Department Comments:

Fire department access for the whole project was reviewed to ensure adequate access for apparatus and firefighters. A construction fire safety plan shall be completed, complete with crane inspection records. Crane is to be registered with BC Construction Safety Alliance. A progressive standpipe installation will be required as construction rises. Standpipes will be required in elevator lobby area, and at the entrance to the parkade. All garbage/recycling rooms are to be of adequate size to prevent spillover into parkade area. Stairwells must be constructed to accommodate shelter in place applications. Consideration will be given to the installation of power banks in the storage room lockers for e-bikes charging. A Fire Safety plan and FD “knox box” lock box will be required before occupancy. The 4” FDC will be located on a pedestal at the front of the building, exact location to be discussed with the Fire Department at a later date.

Advisory Design Panel:

In accordance with Development Application Procedures Bylaw No. 2488, the subject Zoning Bylaw amendment and Development Permit application will be reviewed by the Advisory Design Panel (ADP) at the October 18, 2023, meeting.


According to the Council-approved ADP Terms of Reference, the ADP is to provide form and character and urban design-related advice and recommendations for Council’s consideration. ADP recommendations will be presented to Council through the ADP meeting minutes and, if applicable, through an additional City staff report, prior to Council consideration of the proposed Zoning Bylaw amendment and Development Permit Applications.

A copy of the ADP minutes will be presented to Langley City Council at a future Regular Council meeting.

BUDGET IMPLICATIONS:

In accordance with Bylaw No. 2482, the proposed development would contribute \$1,298,664.00 to City Development Cost Charge accounts and \$557,000.00 in Community Amenity Contributions.

Prepared by:



Anton Metalnikov, RPP, MCIP
Planner

Concurrence:



Roy M. Beddow, RPP, MCIP
Deputy Director of Development Services

Concurrence:



Carl Johannsen, RPP, MCIP
Director of Development Services

Concurrence:



Hirod Gill
Manager of Engineering Services

Concurrence:



Scott Kennedy, Fire Chief

Attachments

WESMONT EASTLEIGH APARTMENTS, 20625 EASTLEIGH CRESCENT, LANGLEY, B.C.

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REISSUED FOR DEVELOPMENT PERMIT

NO.	ISSUE/REVISION	DATE
1	ISSUED FOR DP	23-08-01
2	REISSUED FOR DP	23-09-27
3	REISSUED FOR DP	23-10-04
4	REISSUED FOR DP	23-10-13
5	REISSUED FOR DP	23-11-06
6	REISSUED FOR DP	23-11-23
7	REISSUED FOR DP	23-12-01
8	REISSUED FOR DP	25-01-31

WESMONT EASTLEIGH APARTMENTS

20625 EASTLEIGH CRESCENT,
LANGLEY, B.C.

PROJECT # 23.112
CITY FILE #

SHEET SCHEDULE

SD0.01 COVER PAGE	SD2.08 P1 LEVEL PLAN
SD1.01 SITE CONTEXT	SD3.01 BUILDING ELEVATIONS
SD1.02 SITE CONTEXT	SD3.02 BUILDING ELEVATIONS
SD1.10 PROJECT DATA	SD3.03 BUILDING ELEVATIONS
SD1.11 PROJECT DATA	SD4.01 MATERIAL BOARD
SD1.12 PROJECT DATA	SD5.01 STREETSCAPES
SD1.13 FSR PLANS	SD5.10 SHADOW STUDY
SD1.14 FSR PLANS	SD5.11 SHADOW STUDY
SD1.15 FSR PLANS	SD6.01 SITE SECTIONS
SD1.20 DESIGN RATIONALE	SD6.02 SITE SECTIONS
SD1.21 RENDERINGS	SD6.03 SITE SECTIONS
SD1.22 RENDERINGS	SD7.01 SITE LAYOUT PLAN
SD2.01 SITE PLAN	SD7.02 SITE CODE PLAN
SD2.02 1ST LEVEL PLAN	
SD2.03 2ND LEVEL PLAN	
SD2.04 3RD/4TH LEVEL PLAN	
SD2.05 5TH LEVEL PLAN	
SD2.06 6TH LEVEL PLAN	
SD2.07 ROOF LEVEL PLAN	

WESMONT GROUP
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KEYSTONE ARCHITECTURE & PLANNING LTD.

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SCALE

SD0.01



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6	REISSUED FOR DP	23-11-23
7	REISSUED FOR DP	23-12-01
8	REISSUED FOR DP	25-01-31

**WESMONT
EASTLEIGH
APARTMENTS**

20625 EASTLEIGH CRESCENT,
LANGLEY, B.C.

PROJECT # 23.112
CITY FILE #



SITE CONTEXT

SCALE N.T.S.



SD1.01

SITE DESCRIPTION

THE PROPOSED DEVELOPMENT IS LOCATED IN CITY OF LANGLEY ON EASTLEIGH CRESCENT AND CONSISTS OF TWO PARCELS THAT WILL BE AMALGAMATED. BOTH LOTS ARE CURRENTLY OCCUPIED BY A SINGLE DWELLING. THE SITE CONNECTS TO THE DOWNTOWN AREA WITH PROXIMITY TO THE LANGLEY CITY HALL TO THE SOUTH WEST, KWANTLEN POLYTECHNIC UNIVERSITY TO THE NORTH EAST. FITNESS UNLIMITED ATHLETIC CLUB AND DUMAIS PARK ARE WITHIN WALKING DISTANCE FROM THE SITE. THE SITE IS ALSO WITHIN WALKING DISTANCE TO THE FUTURE SKY TRAIN STATION AT 203 STREET.



1 UNIVERSITY OF LANGLEY CAMPUS



2 DUMAIS PARK



3 FITNESS UNLIMITED ATHLETIC CLUB



4 FRASER VALLEY CONTINUING EDUCATION



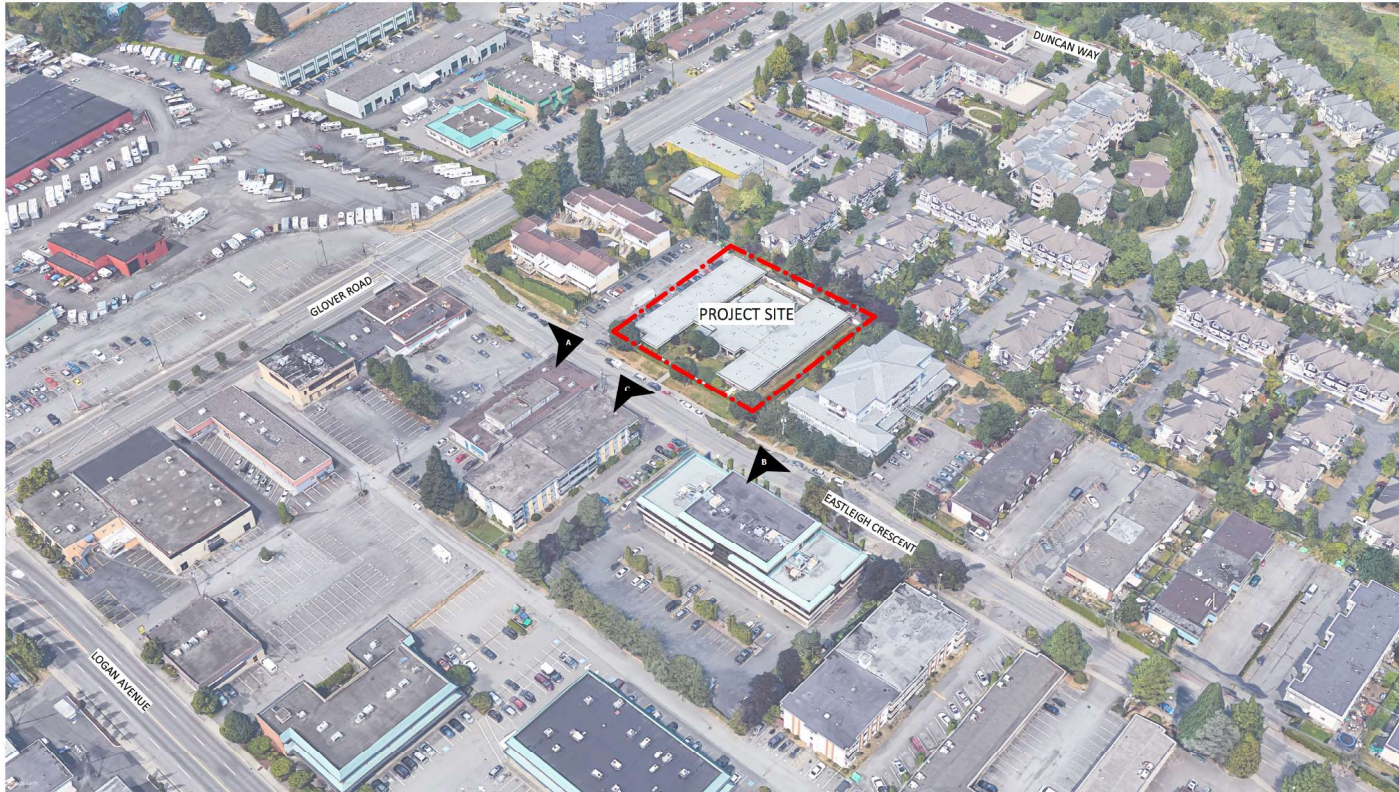
5 FRASER HEALTH LANGLEY HOME HEALTH



6 TIMMS COMMUNITY CENTRE



7 CITY OF LANGLEY LIBRARY



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8	REISSUED FOR DP	25-01-31

**WESMONT
EASTLEIGH
APARTMENTS**

20625 EASTLEIGH CRESCENT,
LANGLEY, B.C.

PROJECT # 23.112
CITY FILE #



SITE CONTEXT



A EASTLEIGH CRESCENT LOOKING SOUTH WEST



B EASTLEIGH CRESCENT LOOKING NORTHEAST



C EASTLEIGH CRESCENT LOOKING SOUTH WEST

SCALE N.T.S.

SD1.02



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7	REISSUED FOR DP	23-12-01
8	REISSUED FOR DP	25-01-31

**WESMONT
EASTLEIGH
APARTMENTS**

20625 EASTLEIGH CRESCENT,
LANGLEY, B.C.

PROJECT # 23112
CITY FILE #



PROJECT DATA

SCALE N.T.S.

SD1.10

1.0.0 PROJECT DATA	
PROJECT:	WESTMONT EASTLEIGH - LANGLEY CITY
ZONING:	P2 (PRIVATE INSTITUTIONAL/RECREATION ZONE)
LEGAL ADDRESS:	20619 & 20625 EASTLEIGH CRESCENT, LANGLEY, BC
LEGAL DESCRIPTION:	PLAN 34230 LOT 40
VARIANCES APPLIED FOR:	PROPOSED ZONING CD SETBACK (VARIANCE REQUIRED (REFER TO PROVIDED SETBACKS FOR MORE INFORMATION) 2ND LEVEL BALCONY/PODIUM PROJECTIONS MORE THAN 1.0M INTO THE REAR SETBACK STAIR RISER ON LEVEL 2 LIES OUTSIDE THE SETBACK CANOPY ON TOP OF THE EXIT DOOR FROM LEVEL 1 CORRIDOR OF THE WEST BUILDING PROJECTS INTO THE SETBACK BY MORE THAN 1.0M
BYLAW EXEMPTIONS:	EAVES AND GUTTERS, CORNICES, SILLS, BAY WINDOWS, SUN SHADES, CHIMNEYS, STEPS OR OTHER SIMILAR FEATURES MAY PROJECT INTO OR BE LOCATED IN A REQUIRED FRONT, SIDE OR REAR YARD PROVIDED THAT SUCH PROJECTIONS DO NOT EXCEED 1.0M (3.25 FT)
COORDINATING REGISTERED PROFESSIONAL CERTIFIED PROFESSIONAL:	ERIC FOXLEITNER [AOR], KEYSTONE ARCHITECTURE N/A
ZONING GRADE DEFINITION(S):	EXISTING GRADE: MEANS THE LOWEST GROUND ELEVATION EXISTING PRIOR TO CONSTRUCTION, AS ESTABLISHED ON A LEGAL SURVEY PLAN BY A REGISTERED BRITISH COLUMBIA LAND SURVEYOR, SUCH GROUND ELEVATION TO INCLUDE FILL MATERIALS PLACED ON THE LOT TO RAISE THE GROUND ELEVATION UP TO, BUT NOT ABOVE, THE AVERAGE ELEVATION OF ADJACENT LOTS AT THE ADJOINING LOT LINES FINISHED GRADE: THE LOWEST AVERAGE LEVELS OF THE PROPOSED GRADES ADJACENT TO EACH EXTERIOR WALL OF A BUILDING FIRST STOREY: MEANS THE UPPERMOST STOREY HAVING ITS FLOOR ELEVATION NOT MORE THAN 2.0 METERS ABOVE THE FINISHED GRADE, AND SHALL NOT BE MORE THAN 2.5 METERS ABOVE THE CROWN OF THE ROAD ADJACENT TO THE PROPERTY
ZONING AVERAGE GRADE:	9.87 m (9.89+9.74+9.85+9.99)/4 AVG EXISTING GRADE NORTH ELEVATION: (9.99+9.78/2) = 9.89 m AVG EXISTING GRADE EAST ELEVATION: (9.78+9.70) = 9.74 m AVG EXISTING GRADE SOUTH ELEVATION: (9.99+9.70/2) = 9.85 m AVG EXISTING GRADE WEST ELEVATION: (9.99+9.99/2) = 9.99 m
ZONING BUILDING HEIGHT:	21.94 m (6 STOREYS)
ZONING MAXIMUM BUILDING HEIGHT:	N/A
MINIMUM BUILDING ELEVATION:	N/A
FLOOD CONTROL LEVEL:	REQUIRED: GED-10.45 m (CIVIL ENGINEER) PROVIDED: GED-10.45 m (MEASURED TO FIRST FLOOR LEVEL)
	111384 SF 40027 SF 2.78
SITE AREA:	40027 SF 3,719 m ² 111384 SF 10,348 m ²
GROSS BUILDABLE AREA	171117 SF 15,897.29 m ²
LOT COVERAGE:	21904 SF / 40027 SF 54.72%
ZONING SETBACKS:	FRONT: 4.5 m REAR: 6.0 m SIDE (EAST): 4.50 m SIDE (WEST): 4.50 m
PROVIDED SETBACKS:	FRONT: 3.0 m REAR: 6.0 m SIDE (EAST): 5.0 m SIDE (WEST): 2.0 m
GARBAGE & RECYCLING REQUIREMENTS:	
NOTES:	1. REFER TO FSR PLANS SHEET FOR GROSS FLOOR AREA (FSR) PLANS, SCHEDULE, METHOD OF MEASUREMENT & EXCLUSIONS. 2. REFER TO GROSS BUILDABLE AREA SUMMARY SCHEDULE FOR A BREAKDOWN OF AREAS, METHOD OF MEASUREMENT & EXCLUSIONS.

1.2.0 CODE DATA	
APPLICABLE BUILDING CODES: 2024 BCRC/ 2024 BC FIRE CODE/ASHRAE 90.1-2016	
BUILDING CODE COMPLIANCE/ALTERNATE SOLUTIONS REPORT:	
1. PART B BUILDING	DIV. A - PART 1 COMPLIANCE 1.3.3.2.
2. MAJOR OCCUPANCY(IES):	3.1.2., & APPENDIX A - 3.1.2.1 (1)
2.1. STORAGE GARAGE F3 LOW HAZARD INDUSTRIAL	
2.2. RESIDENTIAL GROUP C	
3. BUILDING AREAS:	1.4.1.2. DEFINED TERMS - BUILDING AREA
EAST BUILDING AREA	10447 SF 971 m ²
WEST BUILDING AREA	11457 SF 1,064 m ²
BUILDING AREA (NO FIREWALL)	21904 SF 2,035 m ²
BASEMENT STORAGE GARAGE	35456 SF 3,294 m ²
4. BUILDING CLASSIFICATION(S):	3.2.2.19 - 3.2.2.92.
4.1. BASEMENT STORAGE GARAGE- LEVEL P1	3.2.2.82
GROUP F, DIVISION 3, ANY HEIGHT, ANY AREA, FULLY SPRINKLERED	3.2.2.82
NON-COMBUSTIBLE CONSTRUCTION	3.2.2.82 (2)
FLOOR ASSEMBLIES: FIRE SEPARATIONS WITH A FIRE RESISTANCE RATING NOT LESS THAN 2 HR	3.2.2.82 (2)(B)
MEZZANINES: N/A	
LOAD BEARING WALLS, COLUMNS & ARCHES NOT LESS THAN 2 HR FIRE RESISTANCE RATING	3.2.2.82 (2)(D)
4.2 STORAGE GARAGE CONSIDERED AS SEPARATE BUILDING- LEVEL P1	3.2.1.2.
FULLY SPRINKLERED	3.2.1.2 (2)(D)
NON-COMBUSTIBLE CONSTRUCTION	3.2.1.2 (1)
2 HR FIRE SEPARATION, EXTERIOR WALL OPENINGS EXEMPT	3.2.1.2 (1), 3.2.1.2 (2)(B)(2)(A)
2 HR FIRE RESISTANCE RATING	3.2.1.2 (1)
F.T. RATED FIRESTOP 3 x 1.9 (1/2)	3.1.9.1(2)
4.3 STORAGE GARAGE- LEVEL 1	ALTERNATE SOLUTION
GROUP F, DIVISION 3, UP TO 6 STOREYS, SPRINKLERED	3.2.2.82
MAX. ALLOWABLE BUILDING AREA - < 7200 m ²	3.2.2.82(1)(C)(VI)
2 HR FIREWALL (MASONRY CONSTRUCTION)	3.1.10.2(3), ALTERNATE SOLUTION
NON-COMBUSTIBLE CONSTRUCTION	3.2.2.82 (2)
FLOOR ASSEMBLIES: 2 HR FIRE SEPARATION WITH 2 HR FIRE RESISTANCE RATING	3.2.2.82 (2), ALTERNATE SOLUTION
LOAD BEARING WALLS, COLUMNS & ARCHES NOT LESS THAN REQUIRED FOR THE SUPPORTED ASSEMBLY	3.2.2.82(2)(C)
4.4. RESIDENTIAL LEVEL 1	ALTERNATE SOLUTION
GROUP C, UP TO 6 STOREYS, SPRINKLERED	3.2.2.45 (1), 3.2.2.45 (1)(A)
MAX. ALLOWABLE BUILDING AREA - < 6000 m ²	3.2.2.45 (1)(C)(VI)
2 HR FIREWALL (MASONRY CONSTRUCTION)	3.1.10.2(3), ALTERNATE SOLUTION
NON-COMBUSTIBLE CONSTRUCTION	3.2.2.45 (2)
FLOOR ASSEMBLIES: 2 HR FIRE SEPARATION WITH 2 HR FIRE RESISTANCE RATING	3.2.2.45 (2)(A), ALTERNATE SOLUTION
LOAD BEARING WALLS, COLUMNS & ARCHES NOT LESS THAN REQUIRED FOR THE SUPPORTED ASSEMBLY	3.2.2.45 (2)(C)
4.5. RESIDENTIAL LEVEL 2 TO 6	3.2.2.61
GROUP C, UP TO 6 STOREYS, SPRINKLERED	3.2.2.51 (1), 3.2.2.50 (1)(D)
MAX. ALLOWABLE BUILDING AREA - < 1500 m ² (REFER TO 3. BUILDING AREAS ABOVE)	3.2.2.51 (1)(D)
2 HR FIREWALL (MASONRY CONSTRUCTION)	3.1.10.2
COMBUSTIBLE CONSTRUCTION	3.2.2.51 (2) EXCEPT (2)(C)
FLOOR ASSEMBLIES: 1 HR FIRE SEPARATION WITH 1 HR FIRE RESISTANCE RATING	3.2.2.51 (2)(A)
ROOF ASSEMBLIES: 1 HR FIRE RESISTANCE RATING	3.2.2.51 (2)(C)
MEZZANINES: 1 HR FIRE RESISTANCE RATING	3.2.2.51 (2)(D)
LOAD BEARING WALLS, COLUMNS & ARCHES NOT LESS THAN REQUIRED FOR THE SUPPORTED ASSEMBLY	3.2.2.51 (2)(E)
4.5.1. BUILDING HEIGHT:	6 STOREYS
4.5.2. GRADE ELEVATION:	9.74 m (LOWEST AVG GRADE EAST ELEVATION: 9.78+9.70/2)
4.5.3. FIRST STOREY ELEVATION:	10.45m
4.5.4. 1ST STOREY TO UPPERMOST FLOOR LEVEL:	15.55 m (REFER TO ELEVATIONS)
4.5.5. 1ST STOREY TO UPPERMOST ROOF:	23.15 m (REFER TO ELEVATIONS)
5. BUILDINGS WITH MULTIPLE MAJOR OCCUPANCIES:	YES
	3.2.2.4 - 3.2.2.8, 3.2.2.51 (5)
6. NON-COMBUSTIBLE CLADDING:	YES
	3.1.4.8 (1)(A)
7. HIGH BUILDING:	NA
	3.2.6, 3.1.13.7., 3.2.2.51 (1)(C), 3.2.4.22, 6.9.2.3(1)
8. FIREWALL:	2 HR
	3.1.10
9. MEZZANINE(S):	NA
	3.2.1.1, (3) - (8)
10. MEZZANINE EYINGS:	NA
	3.4.2.2
11. INTERCONNECTED FLOOR SPACE:	NA, STORAGE GARAGE EXEMPT
	3.2.3.2 (3), 3.2.8, 3.1.3.1 (3), 3.2.8.2 (2)
12. STORAGE GARAGE-HORIZONTAL FIRE SEPARATION:	YES
	3.2.1.2.
13. SPRINKLER SYSTEM:	YES
	3.2.2.18, 3.2.5.13.
13.1. STORAGE GARAGE:	YES - NFPA 13 - 2019
	3.2.5.12 (1)
13.2. RESIDENTIAL:	YES - NFPA 13 - 2019
	3.2.5.12 (1)
13.3. FIRE EXTINGUISHERS:	YES - NFPA 10 - 2013
	BC FIRE CODE 2024
14. STANDPIPE SYSTEM:	YES - NFPA 14 - 2013
	3.2.5.8, 3.2.5.9, 3.2.5.16
15. FIRE ALARM SYSTEM:	YES - SINGLE STAGE - CAN/ULC-5524
	3.2.4.1, (2)(4)
16. SMOKE CONTROL MEASURES:	YES
	3.1.8.12
17. ANNUNCIATOR AND ZONE INDICATION:	YES
	3.2.4.9, 3.2.4.8
18. FIRE ACCESS ROUTE TO UPPERMOST FLOOR LEVEL:	16.38 m (REFER TO ELEVATIONS)
	3.2.5.6(2) (MAXIMUM - 20 m)
19. NUMBER OF STREETS:	1
	3.2.2.10
NOTES:	
1. *UNLESS OTHERWISE NOTED, REFERENCE NUMBERS LISTED REFER TO THE BRITISH COLUMBIA BUILDING CODE 2024	



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WESMONT
EASTLEIGH
APARTMENTS

20625 EASTLEIGH CRESCENT,
LANGLEY, B.C.

PROJECT # 23-112
CITY FILE #



PROJECT DATA

SCALE

SD1.11

1.3.0 GROSS BUILDABLE AREA SUMMARY NOTES

- MEASURED TO OUTSIDE FACE OF SHEATHING OR CONCRETE, CENTERLINE OF PARTY WALL & INSIDE FACE OF CORRIDOR/STAIR WALL.
- EXCLUSIONS: EXTERIOR PARKADE EXHAUST SHAFTS, EXTERIOR PARKADE EXIT STAIRS, EXTERIOR PARKADE VEHICLE RAMPS, EXTERIOR ROOFTOP AMENITY.

1.3.1 GROSS BUILDABLE AREA SUMMARY

LEVEL/AREA TYPE	AREA SF	AREA m ²	AREA %	COMMENTS
P1 LEVEL				
CIRCULATION	1435 SF	133.27 m ²	0.8%	
PARKADE	31728 SF	2,947.61 m ²	18.5%	
SERVICE ROOMS/SHAFTS	625 SF	58.06 m ²	0.4%	
STORAGE	1869 SF	173.04 m ²	1.0%	
	36466 SF	3,293.98 m²	20.7%	
1ST LEVEL				
CIRCULATION	2709 SF	251.71 m ²	1.6%	
PARKADE	20912 SF	1,942.83 m ²	12.2%	
RESIDENTIAL	4045 SF	375.83 m ²	2.4%	
SERVICE ROOMS/SHAFTS	1435 SF	133.27 m ²	0.8%	
STORAGE	1359 SF	126.28 m ²	0.8%	
	30461 SF	2,829.93 m²	17.8%	
2ND LEVEL				
CIRCULATION	2781 SF	258.32 m ²	1.6%	
INDOOR AMENITY	1548 SF	143.84 m ²	0.9%	
OUTDOOR AMENITY	3776 SF	350.85 m ²	2.2%	
RESIDENTIAL	16640 SF	1,545.89 m ²	9.7%	
SERVICE ROOMS/SHAFTS	10 SF	0.93 m ²	0.0%	
STORAGE	569 SF	52.88 m ²	0.3%	
	25364 SF	2,355.48 m²	14.8%	
3RD LEVEL				
CIRCULATION	2436 SF	226.34 m ²	1.4%	
RESIDENTIAL	17901 SF	1,663.03 m ²	10.5%	
SERVICE ROOMS/SHAFTS	40 SF	3.69 m ²	0.0%	
STORAGE	1081 SF	100.39 m ²	0.6%	
	21457 SF	1,993.45 m²	12.5%	
4TH LEVEL				
CIRCULATION	2436 SF	226.34 m ²	1.4%	
RESIDENTIAL	17901 SF	1,663.03 m ²	10.5%	
SERVICE ROOMS/SHAFTS	40 SF	3.69 m ²	0.0%	
STORAGE	1081 SF	100.39 m ²	0.6%	
	21457 SF	1,993.45 m²	12.5%	
5TH LEVEL				
CIRCULATION	2400 SF	222.93 m ²	1.4%	
RESIDENTIAL	14945 SF	1,388.41 m ²	8.7%	
SERVICE ROOMS/SHAFTS	41 SF	3.77 m ²	0.0%	
STORAGE	1081 SF	100.39 m ²	0.6%	
	18465 SF	1,715.50 m²	10.8%	
6TH LEVEL				
CIRCULATION	2400 SF	222.93 m ²	1.4%	
RESIDENTIAL	14945 SF	1,388.41 m ²	8.7%	
SERVICE ROOMS/SHAFTS	41 SF	3.77 m ²	0.0%	
STORAGE	1081 SF	100.39 m ²	0.6%	
	18465 SF	1,715.50 m²	10.8%	
AREA GRAND TOTAL	171117 SF	15,897.29 m²	100.0%	

1.4.0 UNIT COUNT SUMMARY

UNIT TYPE	UNIT COUNT	UNIT TYPE %	COMMENTS
1 BED	36	26.5%	
1 BED & DEN	27	19.5%	
1 BED ADAPTABLE	28	20.6%	
2 BED	25	18.4%	
2 BED & DEN	11	8.1%	
3 BED	9	6.6%	
TOTAL UNITS: 136		100.0%	

1.4.1 UNIT FLOOR AREA SUMMARY NOTES

- ALL UNIT AREAS ARE MEASURED TO THE FOLLOWING: A) EXTERIOR WALL; EXTERIOR SIDE OF SHEATHING; B) PARTY WALL; CENTER OF WALL; C) CORRIDOR/STAIR/ELEVATOR WALL; FULL THICKNESS OF WALL.
- AREAS GIVEN ON DRAWINGS AND IN SCHEDULES ARE NOT TO BE CONSIDERED LEGAL STRATA AREAS. CONFIRM STRATA AREAS BY SURVEY ON SITE.

1.4.2 UNIT FLOOR AREA SUMMARY

UNIT	UNIT TYPE	COUNT	UNIT AREA SF (1 SF)	UNIT AREA m ² (1 m ²)	TOTAL UNIT AREA SF	TOTAL UNIT AREA m ²
UNIT A1	1 BED	5	528 SF	48 m ²	2640 SF	244.8 m ²
UNIT A2	1 BED	19	519 SF	48 m ²	9854 SF	915.43 m ²
UNIT A2.1	1 BED	1	519 SF	48 m ²	519 SF	48.18 m ²
UNIT A3 ADAPTABLE	1 BED ADAPTABLE	9	536 SF	50 m ²	4828 SF	448.55 m ²
UNIT A3 ADAPTABLE	1 BED ADAPTABLE	19	537 SF	50 m ²	10196 SF	947.22 m ²
UNIT A3.1	1 BED	6	508 SF	47 m ²	3050 SF	283.38 m ²
UNIT A3.2	1 BED	1	514 SF	48 m ²	514 SF	47.78 m ²
UNIT A3.2	1 BED	3	518 SF	48 m ²	1554 SF	144.33 m ²
UNIT A4	1 BED	1	468 SF	43 m ²	468 SF	43.44 m ²
UNIT B1	1 BED & DEN	12	584 SF	54 m ²	7008 SF	650.59 m ²
UNIT B1	1 BED & DEN	1	596 SF	55 m ²	596 SF	55.35 m ²
UNIT B2	1 BED & DEN	4	624 SF	58 m ²	2497 SF	231.96 m ²
UNIT B2.1	1 BED & DEN	1	614 SF	57 m ²	614 SF	57.08 m ²
UNIT B3	1 BED & DEN	4	605 SF	56 m ²	2420 SF	224.77 m ²
UNIT B3	1 BED & DEN	4	609 SF	57 m ²	2434 SF	226.17 m ²
UNIT B4	1 BED & DEN	1	554 SF	51 m ²	554 SF	51.46 m ²
UNIT C1	2 BED	6	744 SF	69 m ²	4461 SF	414.47 m ²
UNIT C1	2 BED	5	747 SF	69 m ²	3737 SF	349.15 m ²
UNIT C1	2 BED	1	750 SF	70 m ²	750 SF	69.65 m ²
UNIT C2	2 BED	2	716 SF	67 m ²	1432 SF	133.08 m ²
UNIT C3	2 BED	10	710 SF	66 m ²	7100 SF	659.59 m ²
UNIT D1	2 BED & DEN	5	813 SF	76 m ²	4064 SF	377.53 m ²
UNIT D1	2 BED & DEN	6	813 SF	76 m ²	4876 SF	456.56 m ²
UNIT E1	3 BED	9	990 SF	92 m ²	8909 SF	827.63 m ²
UNIT E1.1	3 BED	1	990 SF	92 m ²	990 SF	91.96 m ²
UNIT TOTALS: 136					86118 SF	8000.64 m²



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WESMONT
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PROJECT DATA

SCALE

SD1.12

1.5.0 OFF-STREET VEHICLE/BICYCLE/STORAGE PARKING DATA-REQUIRED

	UNITS / AREA	REQUIRED FACTOR	REQUIRED STALLS
VEHICLE PARKING STALL DATA			
TENANTS:			
1 BED	64 UNITS	1.0	64 STALLS
1 BED & DEN	27 UNITS	1.0	27 STALLS
2 BED	25 UNITS	1.25	1.25(25) = 31.25 STALLS
2 BED & DEN	11 UNITS	1.25	1.25(11) = 13.75 STALLS
3 BED	9 UNITS	1.45	1.45(9) = 13.1 STALLS
SMALL CAR	N/A	40% MAX OF TOTAL STALLS	MAX. 0.40(149) = 60 STALLS
ACCESSIBLE	N/A	5% MIN OF TOTAL STALLS	MIN. 0.05(149) = 7.5 = 8 STALLS
ELECTRIC VEHICLE CHARGING	N/A	10% MIN OF TOTAL STALLS	MIN. 0.10(149) = 15 STALLS
TOTAL RESIDENT STALLS:			149 STALLS
VISITORS:			
STANDARD	136 UNITS	0.15	0.15(136) = 20.4 = 20 STALLS
SMALL CAR	N/A	40% MAX OF TOTAL STALLS	MAX. 0.40(20) = 8 STALLS
ACCESSIBLE	N/A	5% MIN OF TOTAL STALLS	MIN. 0.05(20) = 1 STALL
ELECTRIC VEHICLE CHARGING	N/A	10% MIN OF TOTAL STALLS	MIN. 0.10(20) = 2 STALLS
TOTAL VISITOR STALLS:			20 STALLS
SPECIALTY PARKING STALL			
LOADING	N/A	1 (L x W x H: 9m x 3m x 3.6m)	1
TOTAL COMMERCIAL STALLS:			1 STALL
TOTAL VEHICLE STALLS:			170 STALLS
BICYCLE STALL DATA			
RESIDENT (UNIT) (CLASS 1)	136 UNITS	0.5	0.5(136) = 68 STALLS
VISITOR (CLASS 2)	N/A	6 SPACES PER BUILDING	6
TOTAL BICYCLE STALLS:			74 STALLS
STORAGE STALL DATA			
RESIDENT	136 UNITS	1.0	136
TOTAL STORAGE STALLS:			136
NOTES:			

1.5.2 OFF-STREET VEHICLE PARKING DATA-PROVIDED

PARKING STALL USER/TYPE	PARKING STALL COUNT	% BY STALL USER	% OF OVERALL	COMMENTS
SPECIALTY PARKING STALL				
LOADING	1	100.0%	1%	
SPECIALTY PARKING STALL: 1		100.0%	1%	
TENANT				
ACCESSIBLE	8	5.4%	5%	
EV	15	10.1%	9%	
SMALL CAR	46	30.9%	27%	
STANDARD	80	53.7%	47%	
TENANT: 149	100.0%		88%	
VISITOR				
ACCESSIBLE	1	5.0%	1%	
EV	2	10.0%	1%	
SMALL CAR	8	40.0%	5%	
STANDARD	9	45.0%	5%	
VISITOR: 20	100.0%		12%	
TOTAL PARKING STALLS: 170			100%	

1.5.3 BIKE PARKING STALL DATA-PROVIDED

PARKING STALL USER/TYPE	PARKING STALL COUNT	PARKING STALL %	COMMENTS
TENANT			
STANDARD BIKE	52	60.5%	
VERTICAL BIKE	28	32.0%	
TENANT: 80		93.0%	
VISITOR			
SURFACE MOUNT BIKE STALL	6	7.0%	2 BIKE CAPACITY PER RACK
VISITOR: 6		7.0%	
TOTAL BIKE PARKING STALLS: 86		100.0%	

1.5.4 STORAGE STALL DATA-PROVIDED

PARKING STALL USER/TYPE	PARKING STALL COUNT	PARKING STALL %	COMMENTS
TENANT			
STORAGE COMPARTMENT STALL	136	100.0%	
TOTAL STORAGE STALLS: 136		100.0%	



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6	REISSUED FOR DP	23-11-23
7	REISSUED FOR DP	23-12-01
8	REISSUED FOR DP	25-01-31

WESMONT
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20625 EASTLEIGH CRESCENT,
LANGLEY, B.C.

PROJECT # 23-112
CITY FILE #



FSR PLANS

SCALE 1/16" = 1'-0"



SD1.13

1.6.0 GROSS FLOOR AREA (FSR) SUMMARY NOTES

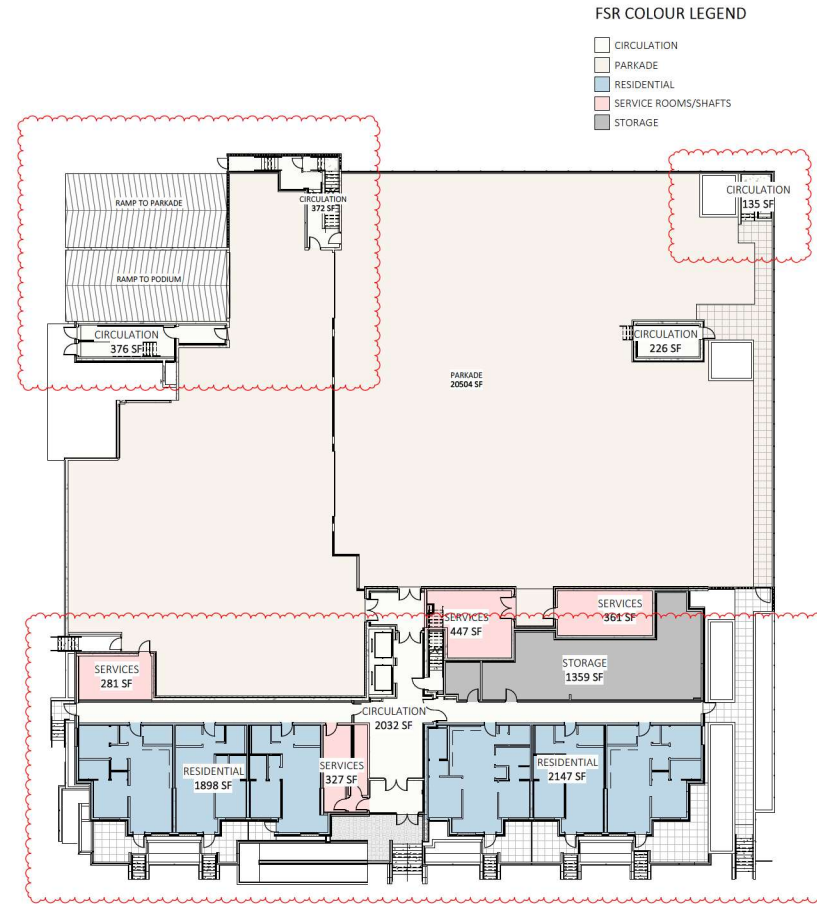
1. MEASURED TO OUTSIDE FACE OF SHEATHING OR CONCRETE, CENTERLINE OF PARTY WALL & INSIDE FACE OF CORRIDOR/STAIR WALL

1.6.2 FSR CALCULATION

GROSS FLOOR AREA (FSR) SF	SITE AREA SF	FSR
111384 SF	40027 SF	2.78

1.6.1 GROSS FLOOR AREA (FSR) SUMMARY

LEVEL / AREA TYPE	AREA SF	AREA m ²	AREA %	COMMENTS
STORAGE				
1ST LEVEL	1359 SF	126.28 m ²	1.2%	STORAGE
2ND LEVEL	519 SF	48.20 m ²	0.5%	STORAGE
3RD LEVEL	1037 SF	96.31 m ²	0.9%	STORAGE
4TH LEVEL	1081 SF	100.39 m ²	1.0%	STORAGE
5TH LEVEL	1037 SF	96.31 m ²	0.9%	STORAGE
6TH LEVEL	1037 SF	96.31 m ²	0.9%	STORAGE
	6069 SF	563.80 m²	5.4%	
SERVICE ROOMS/SHAFTS				
1ST LEVEL	1415 SF	131.47 m ²	1.3%	
2ND LEVEL	90 SF	8.36 m ²	0.1%	
3RD LEVEL	84 SF	7.77 m ²	0.1%	
4TH LEVEL	40 SF	3.69 m ²	0.0%	
5TH LEVEL	85 SF	7.85 m ²	0.1%	
6TH LEVEL	85 SF	7.87 m ²	0.1%	
	1798 SF	167.01 m²	1.6%	
RESIDENTIAL				
1ST LEVEL	4045 SF	375.83 m ²	3.6%	
2ND LEVEL	1620 SF	1544.09 m ²	14.9%	
3RD LEVEL	17963 SF	1659.25 m ²	16.1%	
4TH LEVEL	17901 SF	1663.03 m ²	16.1%	
5TH LEVEL	14928 SF	1386.89 m ²	13.4%	
6TH LEVEL	14928 SF	1386.89 m ²	13.4%	
	86304 SF	8017.95 m²	77.5%	
INDOOR AMENITY				
2ND LEVEL	1548 SF	143.84 m ²	1.4%	
	1548 SF	143.84 m²	1.4%	
CIRCULATION				
1ST LEVEL	3141 SF	291.79 m ²	2.8%	
2ND LEVEL	2800 SF	260.14 m ²	2.5%	
3RD LEVEL	2456 SF	228.16 m ²	2.2%	
4TH LEVEL	2496 SF	229.34 m ²	2.2%	
5TH LEVEL	2416 SF	224.45 m ²	2.2%	
6TH LEVEL	2416 SF	224.44 m ²	2.2%	
	15665 SF	1455.31 m²	14.1%	
AREA GRAND TOTAL	111384 SF	10347.91 m²	100.0%	



1ST LEVEL
1/16" = 1'-0"



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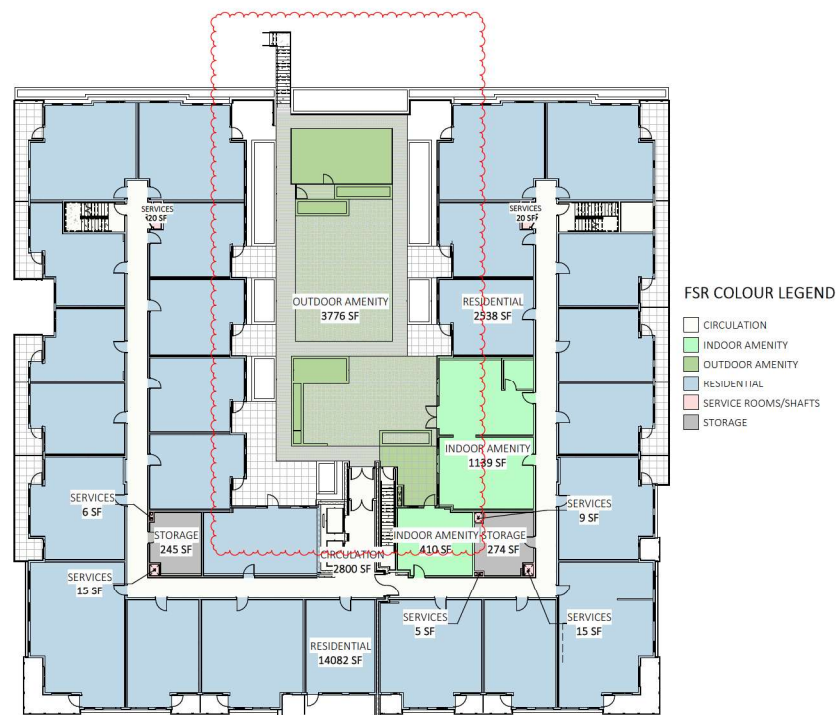


FSR PLANS

SCALE 1/16" = 1'-0"



SD1.14



2ND LEVEL
1/16" = 1'-0"



3RD/4TH LEVEL
1/16" = 1'-0"



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FSR PLANS



FSR COLOUR LEGEND

- CIRCULATION
- RESIDENTIAL
- SERVICE ROOMS/SHAFTS
- STORAGE

5TH LEVEL

1/16" = 1'-0"



FSR COLOUR LEGEND

- CIRCULATION
- RESIDENTIAL
- SERVICE ROOMS/SHAFTS
- STORAGE

6TH LEVEL

1/16" = 1'-0"



SCALE 1/16" = 1'-0"

SD1.15

DESIGN RATIONALE

SITE DESCRIPTION

THIS MULTI-FAMILY DEVELOPMENT ALIGNS WITH THE CITY OF LANGLEY VISION, PROVIDING HOUSING FOR A DIVERSE AND INCLUSIVE DEMOGRAPHIC, AND INCORPORATING ENVIRONMENTAL SOLUTIONS AND A SIGNIFICANT OUTDOOR GREEN SPACE. THE PROJECT SITE IS LOCATED ON THE NORTHERN SIDE OF EASTLEIGH CRESCENT, ONE BLOCK FROM THE GLOVER ROAD INTERSECTION. CONSISTING OF 2 SITES, THE EXISTING BUILDING IS A VACANT SENIORS CARE FACILITY THAT STRADDLES BOTH PROPERTIES.

PROJECT DESCRIPTION

THE PROPOSED DEVELOPMENT IS A SIX-STORY, 136-UNIT, MULTI-FAMILY RESIDENTIAL BUILDING CONSISTING OF ONE-LEVEL OF BELOW GRADE CONCRETE PARKADE, ONE LEVEL OF ABOVE GRADE PARKING WITH GROUND LEVEL UNITS FACE EASTLEIGH CRESCENT AND 5 LEVELS OF WOOD FRAME RESIDENTIAL UNITS ABOVE. A MIX OF 1-BED TO 3-BED UNITS SUPPORTS A VARIETY OF INCOME LEVELS AND DEMOGRAPHICS.

MASSING, FORM & CHARACTER

THE EXTERIOR FORM AND CHARACTER MARRY A MODERN CONTEMPORARY VERNACULAR MASSING FROM THE NEW DEVELOPMENTS ON EASTLEIGH CRESCENT WITH THE INDUSTRIAL HERITAGE OF THE NEIGHBORHOOD.

THE PROPOSAL OF WALK-OUT UNITS CONNECTING WITH THE PUBLIC SIDEWALK PROMOTES A PEDESTRIAN EXPERIENCE TO RESIDENTS, WHILE THE INTERNAL COURTYARD IS A SAFE, WELCOMING, AND COMMUNAL GATHERING PLACE WITH A STRONG COMMUNITY ATMOSPHERE, PROMOTING SOCIAL CONNECTION AND OVERALL WELLBEING.

THE GROUND LEVEL IS SCALED WITH PLANTERS TO ALLOW FOR A STREET-FRIENDLY AND INVITING CONNECTIVITY. THE BRICK VENEER ENHANCES A SENSE OF SECURITY AND STRENGTH, WHILE BRINGING WARMTH AND CRAFTSMANSHIP TO THE GROUND PLANE, BESIDES PROMOTING THE HIERARCHY OF ENTRANCE CANOPY. THE METAL HORIZONTAL FRAME PROVIDES WAYFINDING WITH SIGNAGE AND PROVIDES PRIVACY TO BALCONIES ABOVE THE MAIN ENTRY.

THE RESIDENTIAL LEVELS MAINLY CONSIST OF CORRUGATED METAL CLADDING, AND ITS USE OF COLORS AND TEXTURES EVOKE THE INDUSTRIAL PAST. THE LIGHTER CEMENT BOARD ON LEVEL 2 AND 6 OPTICALLY REDUCES THE OVERALL SCALE TO THE BUILDING AND ALLOWS THE LIGHT METAL FRAMED VOLUMES TO FREELY FLOAT. BALCONY PROJECTIONS ARTICULATE A LOWER SCALE AND ALLOW A SENSE OF INTEREST, OPENNESS, AND LIVABILITY THROUGH THE DEVELOPMENT, WITH ENHANCED VIEWS ALLOWING RESIDENTS TO EXPERIENCE THE OUTDOORS WHILE MAINTAINING PRIVACY WITHIN THEIR HOMES.

ENVIRONMENTAL SUSTAINABILITY

SUSTAINABILITY IS ADDRESSED THROUGH SEVERAL DESIGN STRATEGIES AND INTERVENTIONS:

- A MID-RISE BUILDING WITH A HIGH-DENSITY HOUSING COMPONENT MAKES MORE EFFICIENT USE OF MUNICIPAL SERVICES AND FACILITATES ECONOMIES OF SCALE IN THE DELIVERY OF MASS TRANSIT. DENSIFICATION IS AN IMPORTANT STRATEGY TO HELP REDUCE CARBON EMISSIONS.
- THE USE OF WOOD FRAME CONSTRUCTION HAS A LIGHTER CARBON FOOTPRINT THAN STEEL.
- NEW WATER EFFICIENT LANDSCAPING AND OUTDOOR AMENITY SPACES WILL AID IN STORM WATER MANAGEMENT.
- LIGHT POLLUTION REDUCTION BY MEANS OF DARK SKY COMPLIANT EXTERIOR LIGHTING SYSTEMS.
- THE BALCONY DESIGN PROVIDES SOLAR SHADING FOR MOST RESIDENTIAL UNITS, WITH PASSIVE VENTILATION SUPPLIED THROUGH OPERABLE WINDOWS.
- PROVISION OF EV PARKING STALLS AND HEAT ISLAND EFFECT REDUCTION BY MINIMIZING EXPOSED EXTERIOR PARKING.
- GENEROUS BIKE STORAGE SUPPORTS ACTIVE TRANSPORTATION FOR RESIDENTS AND VISITORS ALIKE.
- STORAGE AND COLLECTION OF RECYCLABLES.

CRIME PREVENTION

THE FOUR KEY PRINCIPLES OF CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN (CPTED) ARE NATURAL SURVEILLANCE, ACCESS CONTROL, TERRITORIALITY AND MAINTENANCE & MANAGEMENT.

NATURAL SURVEILLANCE IS INCORPORATED THROUGHOUT THE BUILDING PERIMETER AND THE INTERIOR COURTYARD THROUGH THE INTRODUCTION OF CLEAR SIGHTLINES AND "EYES ON THE STREET" VIA RESIDENTIAL WINDOWS, AND PRIVATE BALCONIES.

PRIMARY ENTRANCES ARE CLEARLY DEFINED AND GLAZED FOR HIGH VISIBILITY. THE INTERIOR OF THE PARKADE IS WELL LIT WITH VISITOR PARKING CLEARLY DESIGNATED. THE BUILDING LOBBY AND THE PARKADE ARE SUPPLIED WITH AN ELECTRONIC ACCESS CONTROL SYSTEM.

TERRITORIAL REINFORCEMENT IS PROVIDED THROUGH THE PAVING DESIGN THAT CONNECTS THE PUBLIC SIDEWALK TO THE BUILDING ENTRANCES. RESIDENTIAL UNITS WITH GROUND FLOOR PATIOS OPEN DIRECTLY ONTO THE STREET BUT ARE RAISED WITH TIERED PLANTERS TO ESTABLISH A BUFFER ZONE BETWEEN COMMON AND PRIVATE SPACES.

ISSUES SUCH AS GRAFFITI CAN GIVE THE IMPRESSION THAT OWNERS DO NOT CARE ABOUT THEIR PROPERTY. KEEPING THE BUILDING WELL MAINTAINED BRINGS A POSITIVE APPEARANCE TO THE NEIGHBOURHOOD.



SOUTH/WEST CORNER OF DEVELOPMENT



MAIN ENTRANCE



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DESIGN RATIONALE

SCALE

SD1.20



EASTLEIGH ELEVATION



OUTDOOR AMENITY LOOKING NORTH



OUTDOOR AMENITY LOOKING SOUTH



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RENDERINGS

SCALE

SD1.21



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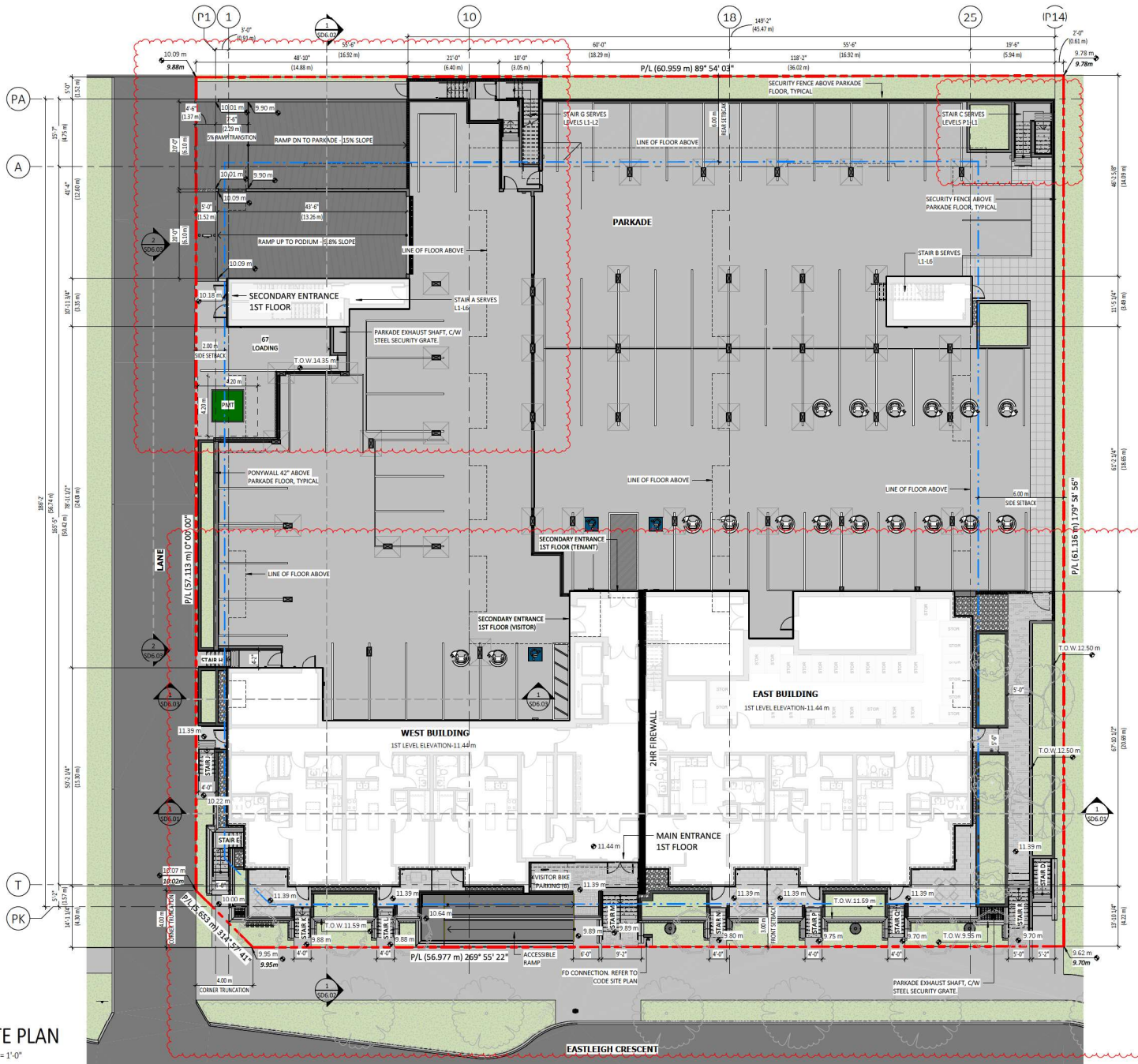
RENDERINGS



COURTYARD

SCALE

SD1.22



- 1.9.0 GENERAL SITE NOTES**
1. REFER TO SITE CODE PLAN & SITE LAYOUT PLAN FOR MORE INFORMATION.
 2. REFER TO CIVIL ENGINEER'S DRAWINGS FOR PAVED AREA DRAINAGE, SITE ELEVATIONS, SANITARY AND SEWER LINES, EXTENT OF DEMO, NEW AND REPAIRED PAVING, OTHER SERVICES, ETC.
 3. VERIFY ALL SITE INFORMATION, BUILDING AREA, DIMENSIONS AND BEARINGS WITH LEGAL SURVEY PLAN.
 4. REFER TO LANDSCAPE DRAWINGS FOR ALL HARD & SOFT LANDSCAPING.
 5. TYPICAL WALL TOC-TOP OF CURB B/W-BOTTOM OF WALL BOC-BOTTOM OF CURB
 6. NEW ELEVATION: ± 00.00 m
EXISTING ELEVATION: ± 00.00 m

KEYSTONE
ARCHITECTURE
300 - 3313 | SOUTH FRASER WAY, ABBOTSFORD BC
V2S 2B1 | 604-850-0577
410 - 331 | 117 AVENUE SW, CALGARY AB
T2R 1J9 | 587-391-4768
INFO@KEYSTONEARCH.CA



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8	REISSUED FOR DP	25-01-31

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SITE PLAN

SCALE 3/32" = 1'-0"

SITE PLAN
3/32" = 1'-0"

SD.01



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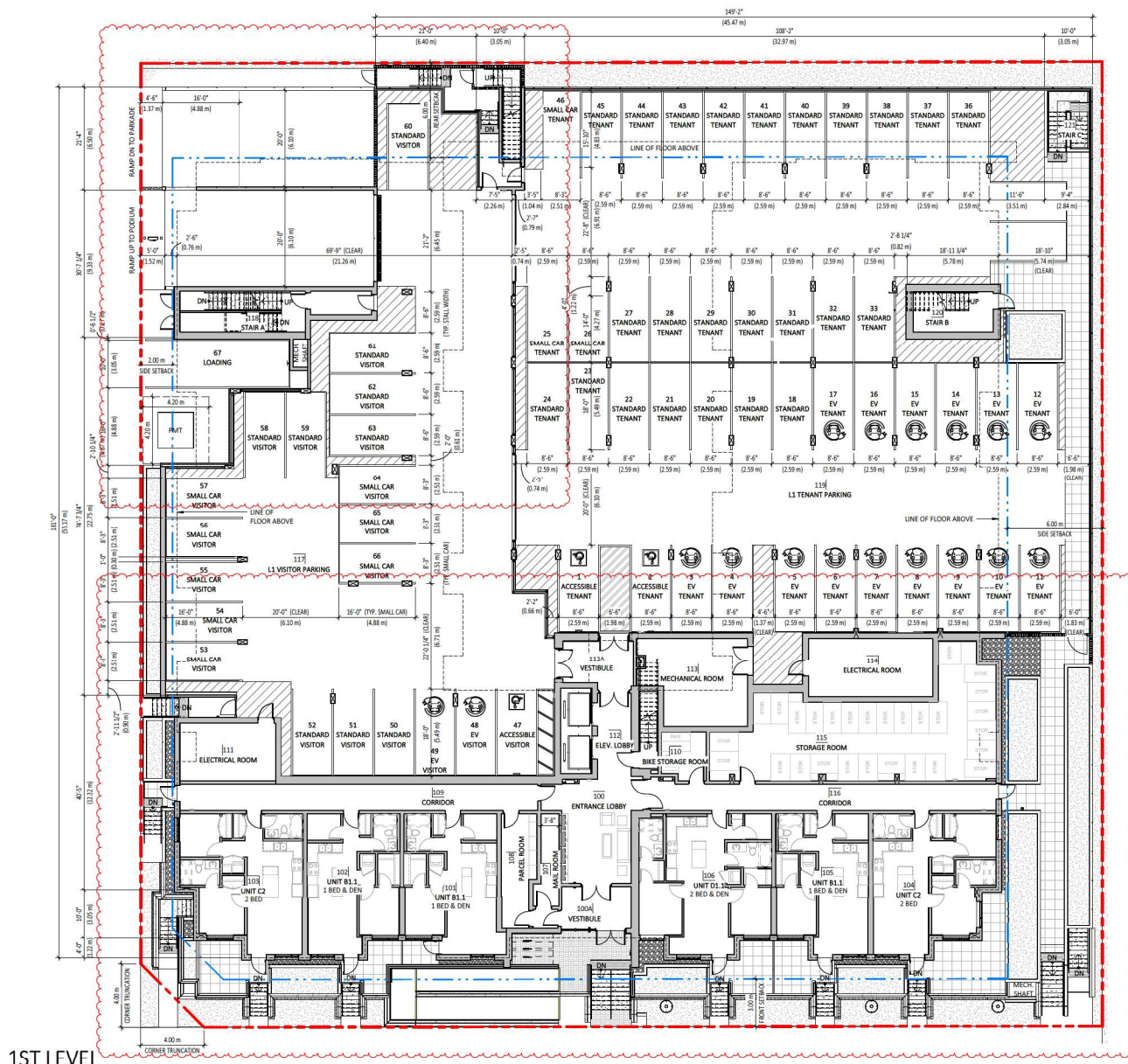
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1ST LEVEL PLAN

SCALE 3/32" = 1'-0"

SD.02



1ST LEVEL
3/32" = 1'-0"



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7	REISSUED FOR DP	23-12-01
8	REISSUED FOR DP	25-01-31

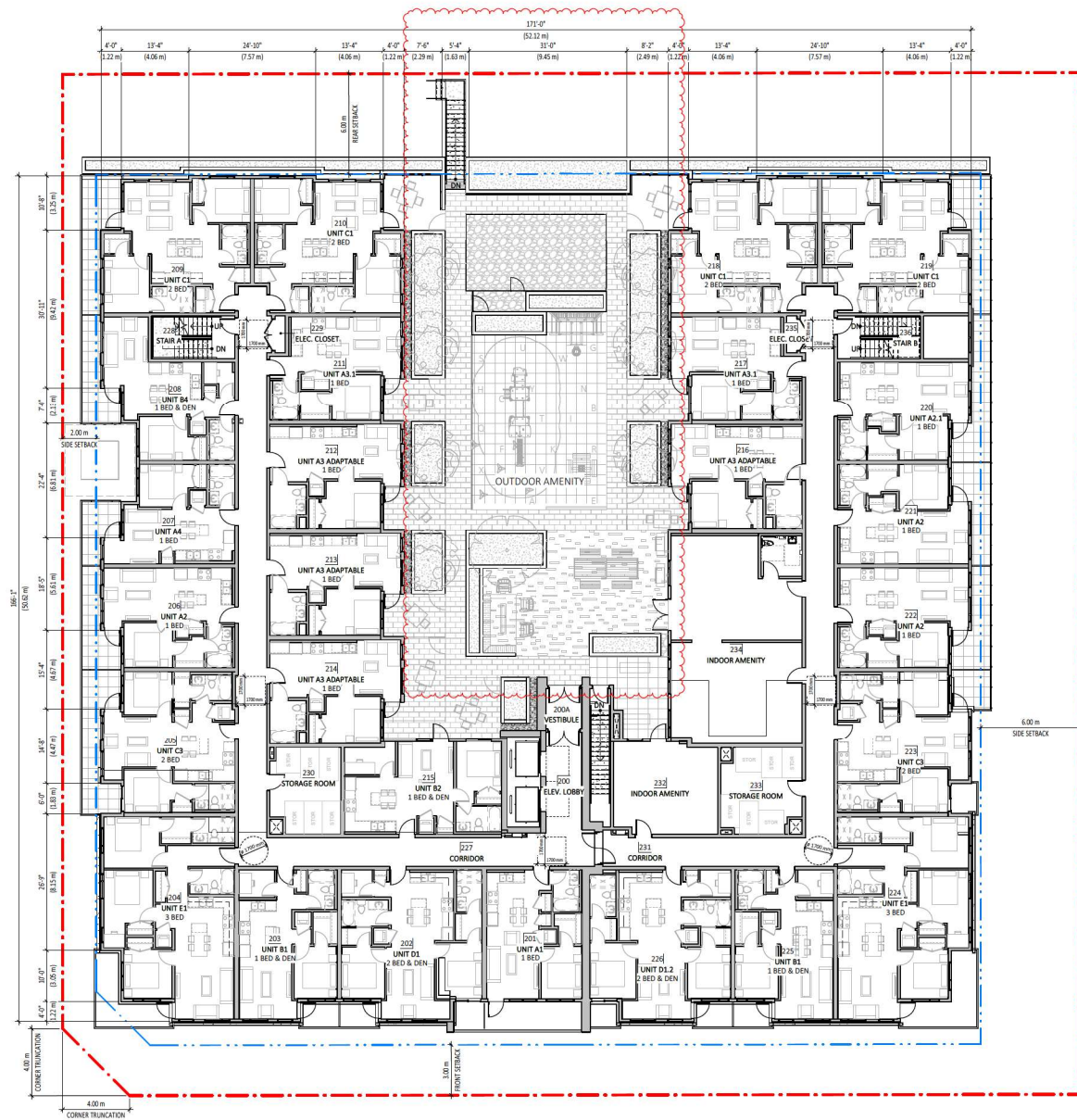
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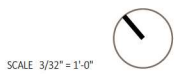
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2ND LEVEL PLAN



2ND LEVEL
3/32" = 1'-0"





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7	REISSUED FOR DP	23-12-01
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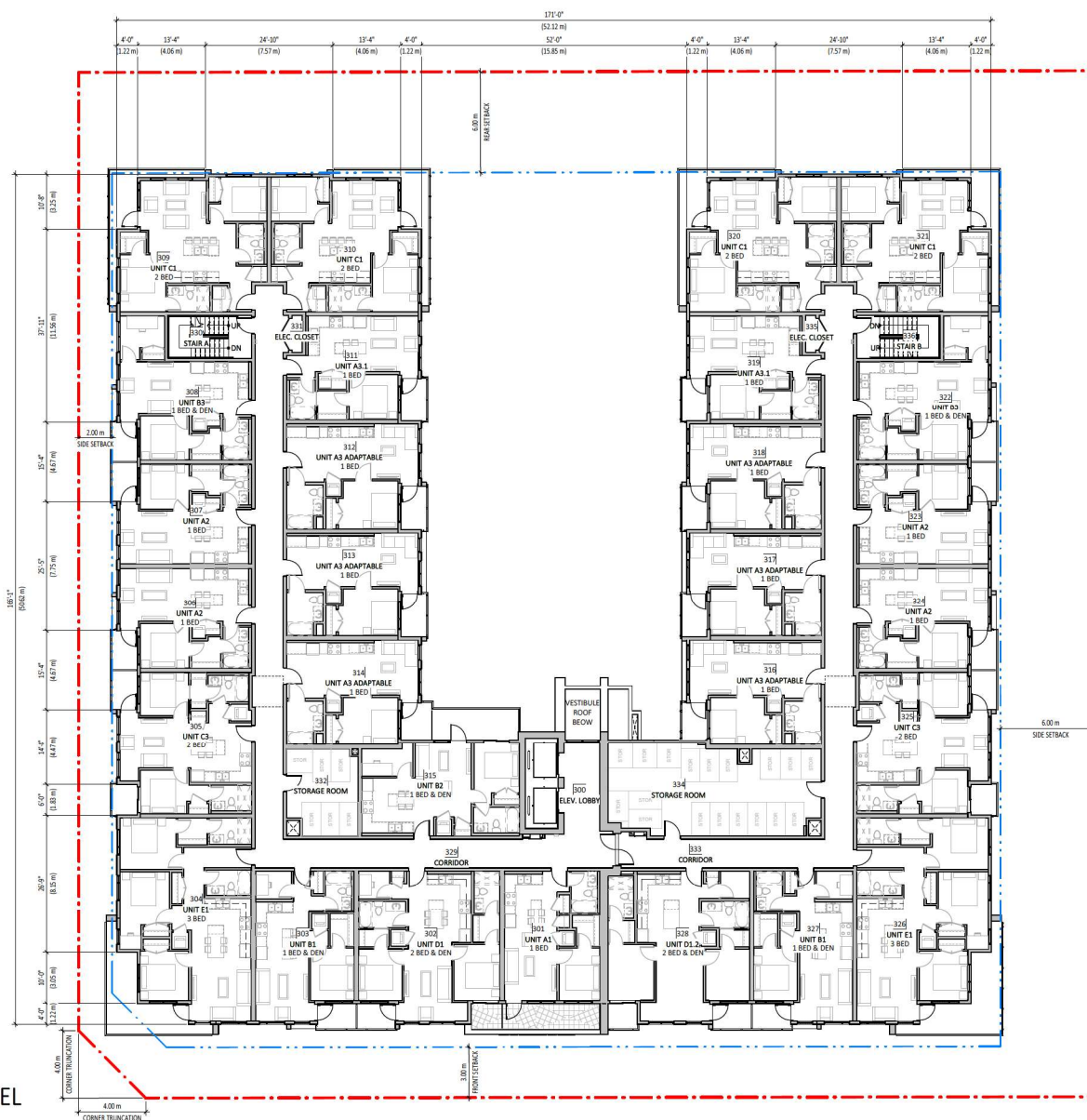
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**3RD/4TH LEVEL
PLAN**



3RD/4TH LEVEL
3/32" = 1'-0"

SCALE 3/32" = 1'-0"



SD2.04



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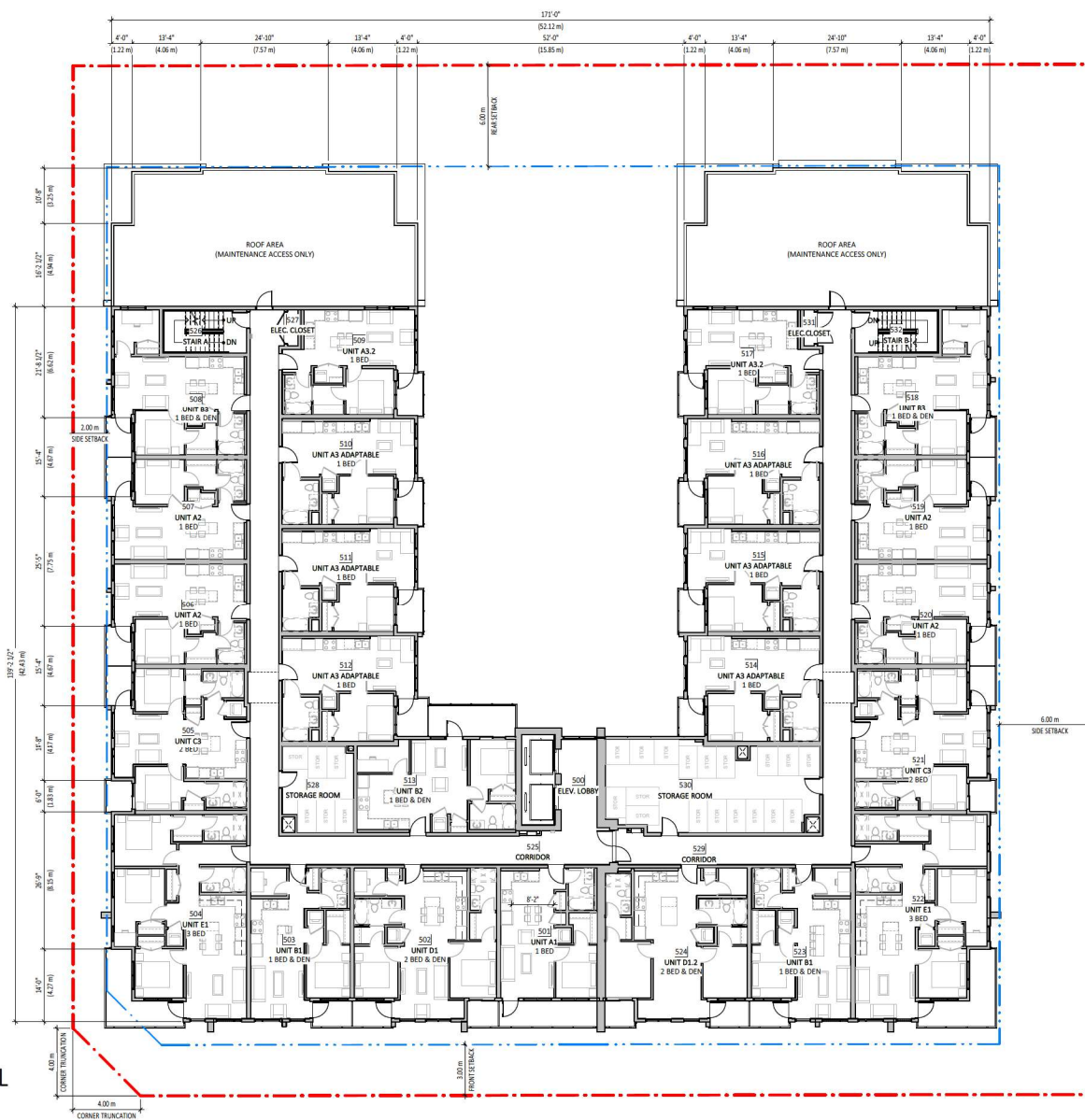
5TH LEVEL PLAN

SCALE 3/32" = 1'-0"



SD2.05

5TH LEVEL
3/32" = 1'-0"





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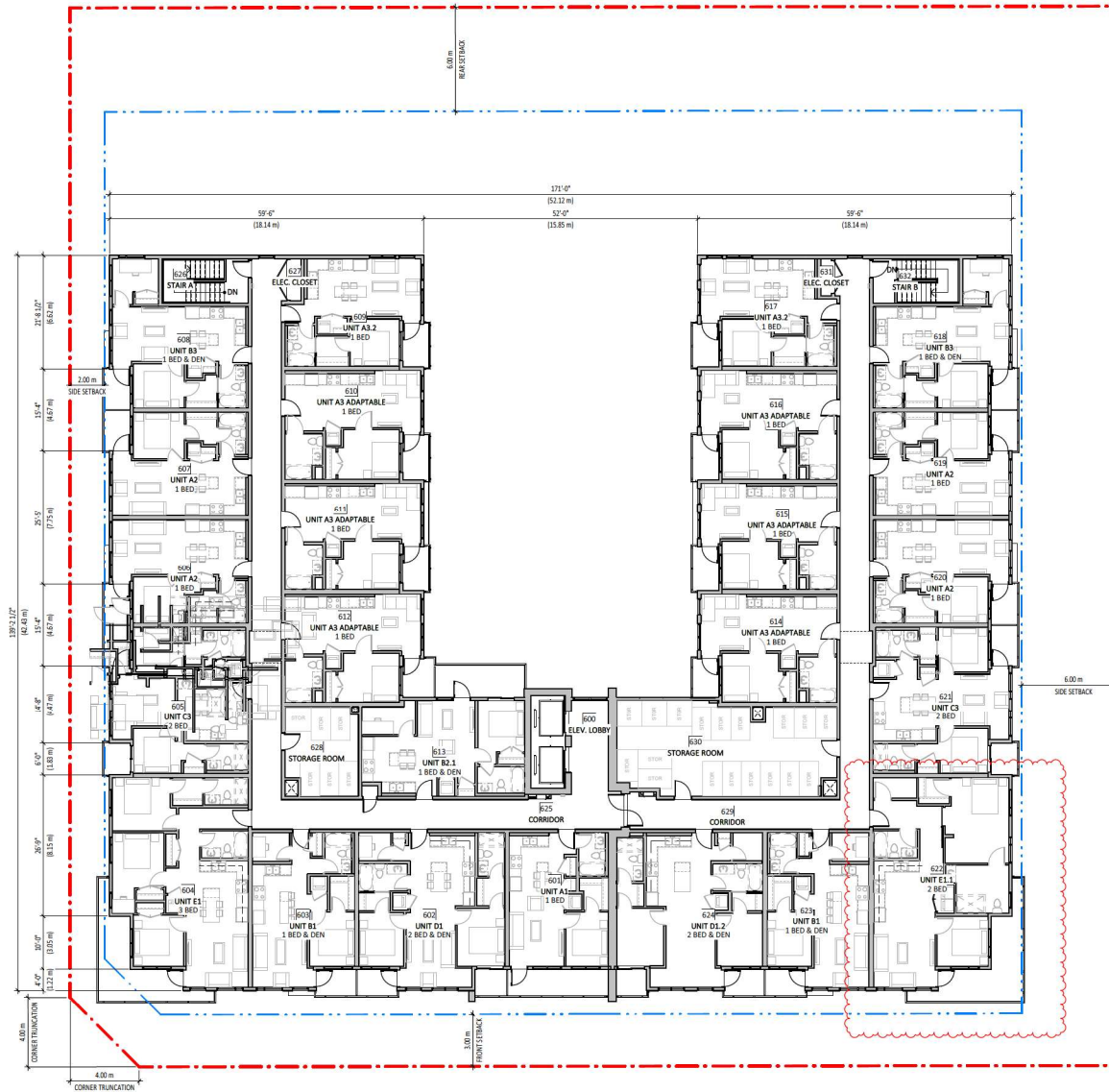
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6TH LEVEL PLAN



6TH LEVEL
3/32" = 1'-0"

SCALE 3/32" = 1'-0"



SD2.06



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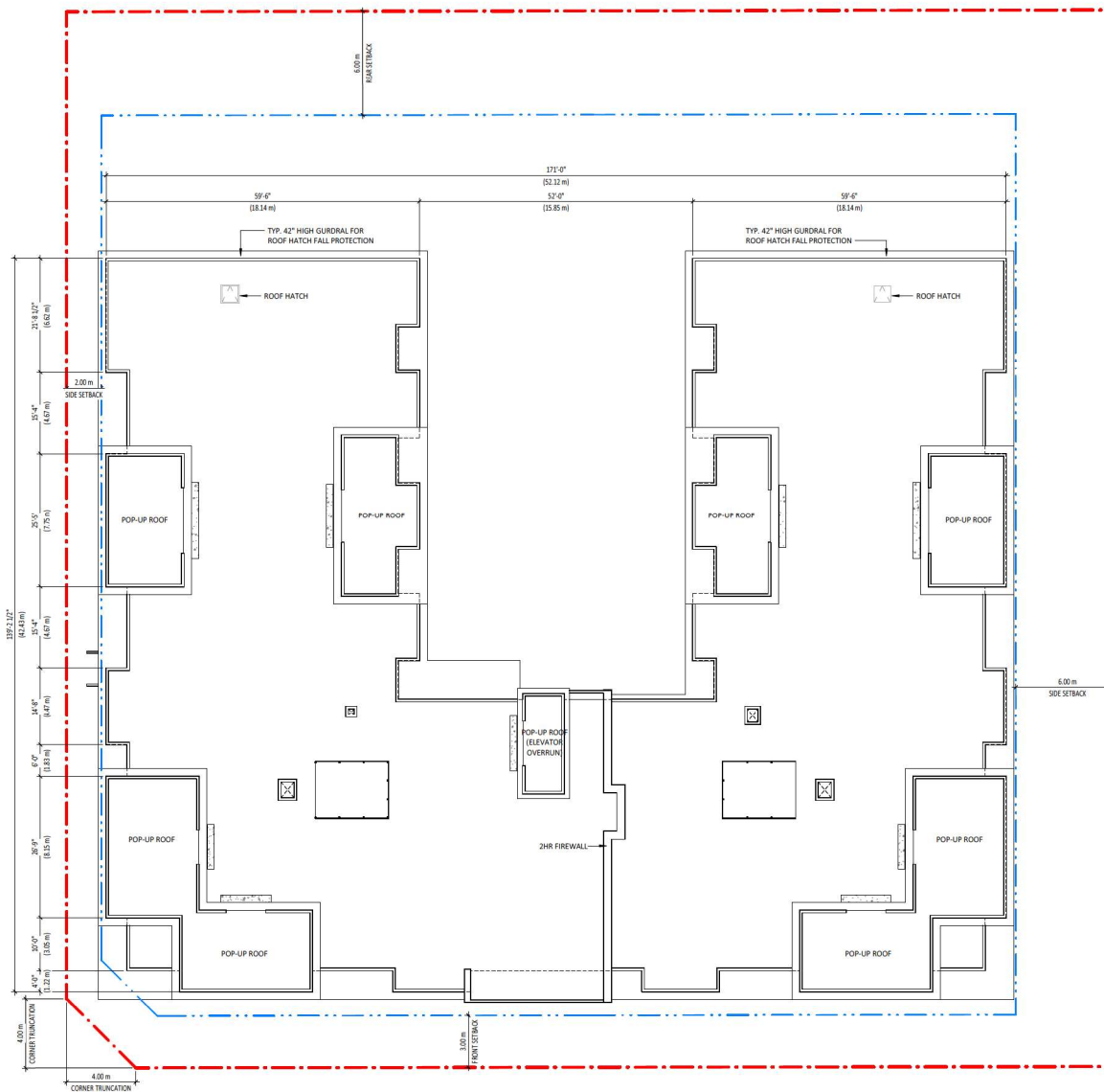
ROOF LEVEL PLAN

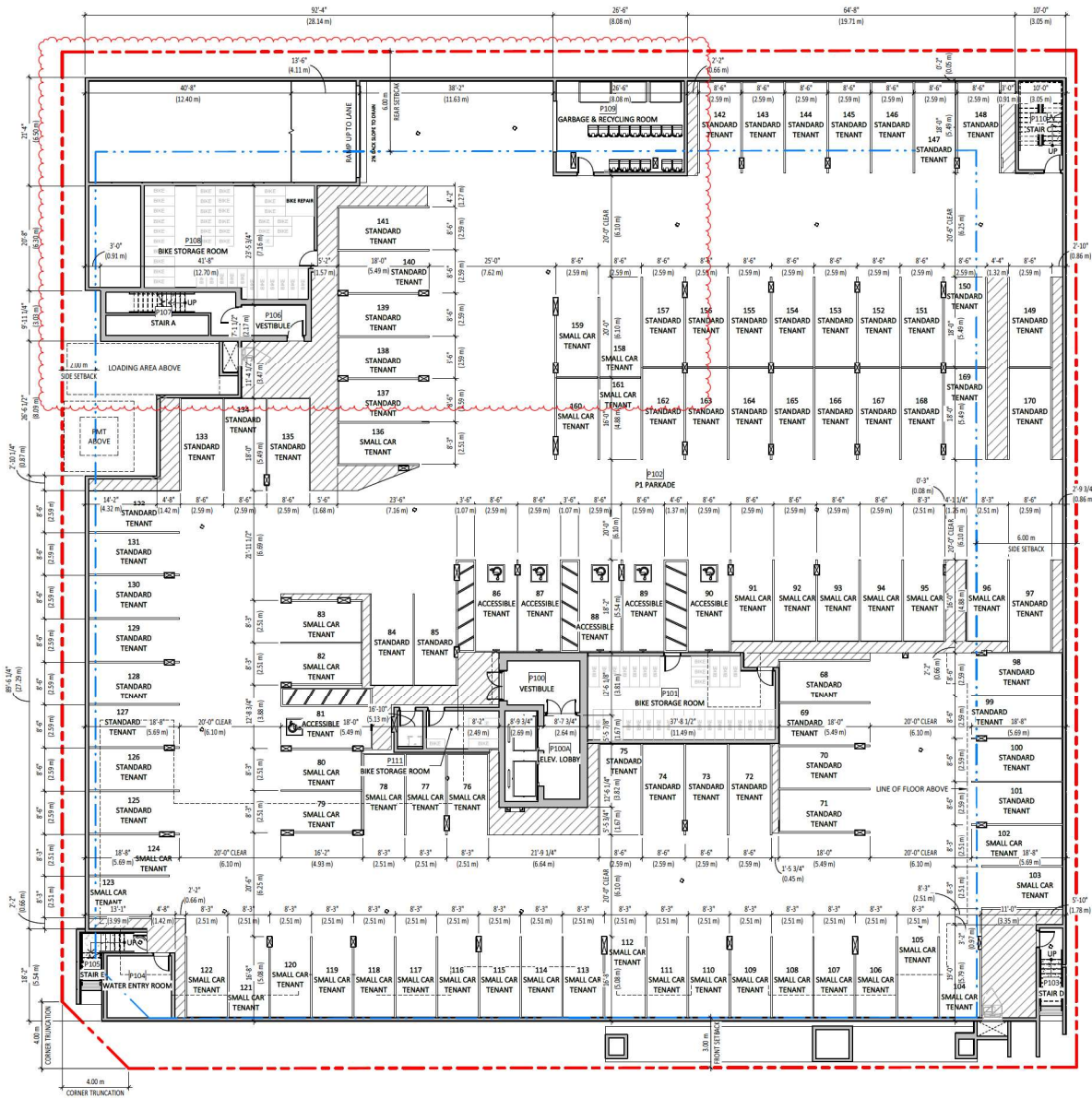
SCALE 3/32" = 1'-0"



SD2.07

ROOF LEVEL
3/32" = 1'-0"





P1 LEVEL PLAN
3/32" = 1'-0"

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P1 LEVEL PLAN

SCALE 3/32" = 1'-0"



SD2.08



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NO.	ISSUE/REVISION	DATE
1	ISSUED FOR DP	23-08-01
2	REISSUED FOR DP	23-09-27
3	REISSUED FOR DP	23-10-04
4	REISSUED FOR DP	23-10-13
5	REISSUED FOR DP	23-11-06
6	REISSUED FOR DP	23-11-23
7	REISSUED FOR DP	23-12-01
8	REISSUED FOR DP	25-01-31



SOUTH ELEVATION

3/32" = 1'-0"



WEST ELEVATION

3/32" = 1'-0"

WESMONT
EASTLEIGH
APARTMENTS

20625 EASTLEIGH CRESCENT,
LANGLEY, B.C.

PROJECT # 23-112
CITY FILE #



BUILDING
ELEVATIONS

SCALE 3/32" = 1'-0"

SD3.01



NORTH ELEVATION

3/32" = 1'-0"



EAST ELEVATION

3/32" = 1'-0"



**REISSUED FOR
DEVELOPMENT
PERMIT**

NO.	ISSUE/REVISION	DATE
1	ISSUED FOR DP	23-08-01
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3	REISSUED FOR DP	23-10-04
4	REISSUED FOR DP	23-10-13
5	REISSUED FOR DP	23-11-06
6	REISSUED FOR DP	23-11-23
7	REISSUED FOR DP	23-12-01
8	REISSUED FOR DP	25-01-31

**WESMONT
EASTLEIGH
APARTMENTS**

20625 EASTLEIGH CRESCENT,
LANGLEY, B.C.

PROJECT # 23.112
CITY FILE #



**BUILDING
ELEVATIONS**

SCALE 3/32" = 1'-0"

SD3.02



REISSUED FOR
DEVELOPMENT
PERMIT

NO.	ISSUE/REVISION	DATE
1	ISSUED FOR DP	23-08-01
2	REISSUED FOR DP	23-09-27
3	REISSUED FOR DP	23-10-04
4	REISSUED FOR DP	23-10-13
5	REISSUED FOR DP	23-11-06
6	REISSUED FOR DP	23-11-23
7	REISSUED FOR DP	23-12-01
8	REISSUED FOR DP	25-01-31

WESMONT
EASTLEIGH
APARTMENTS

20625 EASTLEIGH CRESCENT,
LANGLEY, B.C.

PROJECT # 23.112
CITY FILE #



BUILDING
ELEVATIONS

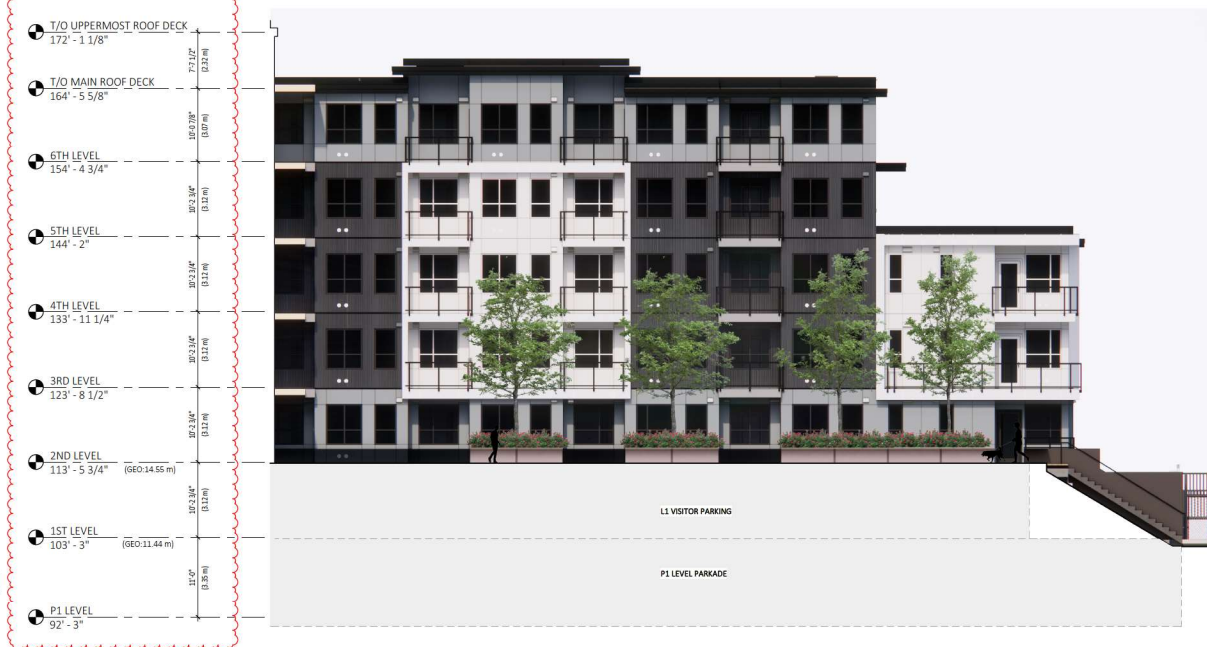
SCALE 1/8" = 1'-0"

SD3.03



PODIUM EAST ELEVATION

1/8" = 1'-0"



PODIUM WEST ELEVATION

1/8" = 1'-0"



REISSUED FOR
DEVELOPMENT
PERMIT

NO.	ISSUE/REVISION	DATE
1	ISSUED FOR DP	23-08-01
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3	REISSUED FOR DP	23-10-04
4	REISSUED FOR DP	23-10-13
5	REISSUED FOR DP	23-11-06
6	REISSUED FOR DP	23-11-23
7	REISSUED FOR DP	23-12-01
8	REISSUED FOR DP	25-01-31

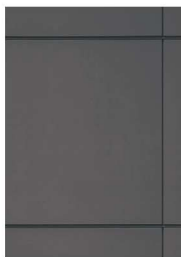
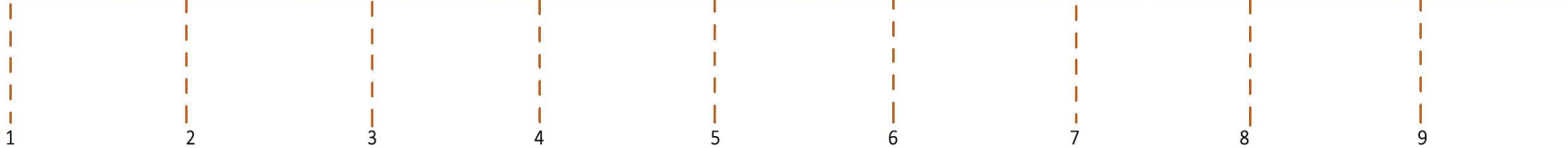
WESMONT
EASTLEIGH
APARTMENTS

20625 EASTLEIGH CRESCENT,
LANGLEY, B.C.

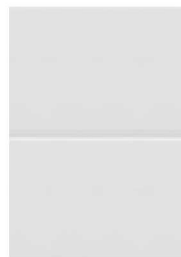
PROJECT # 23.112
CITY FILE #



MATERIAL BOARD



FASCIA BOARD AND PARAPET
COLOUR: IRON GRAY



METAL PANEL
COLOUR: WHITE



CEMENT BOARD PANEL SIDING
COLOUR: LIGHT MIST



BRICK, TEXTURE: "SMOOTH"
COLOUR: "DARK CHARCOAL GRAY"



ALUMINUM/GLASS GUARD/RAILING
COLOUR: BLACK



CORRUGATED METAL (VERTICAL)
COLOUR: "CHARCOAL"



WINDOW
COLOUR: VARIES
BLACK EXT. / WHITE INT.
WHITE EXT. / WHITE INT.
GREY EXT. / WHITE INT.



CONCRETE WALL COLOUR:
"PAINTED TO MATCH BRICK"



ALUMINUM SOFFIT
COLOUR: BLACK

SCALE: 1/8"=1'-0"

SD4.01



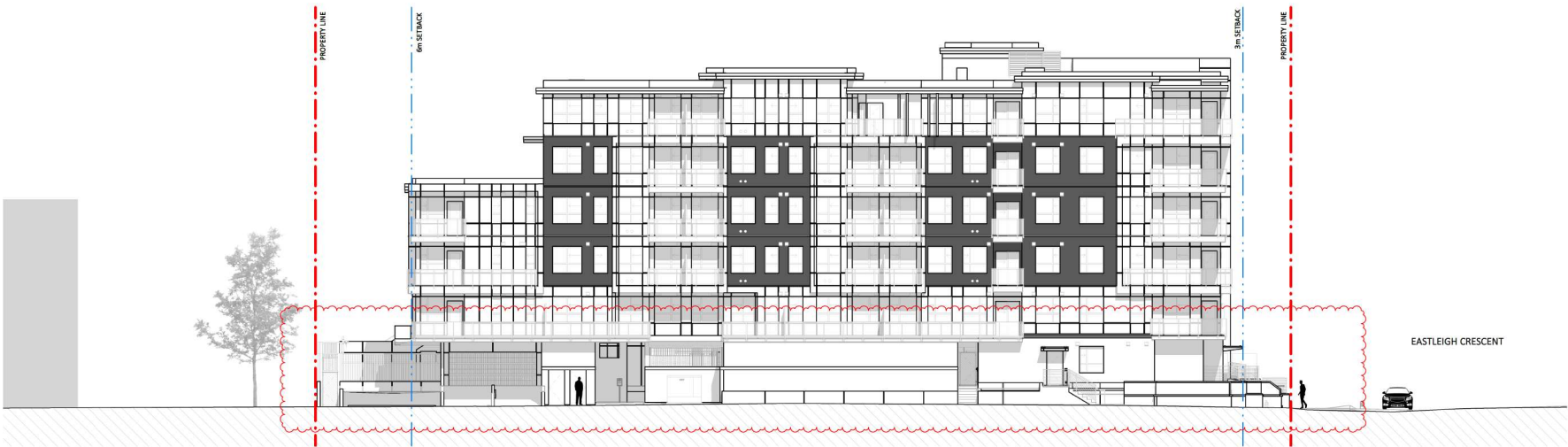
**REISSUED FOR
DEVELOPMENT
PERMIT**

NO.	ISSUE/REVISION	DATE
1	ISSUED FOR DP	23-08-01
2	REISSUED FOR DP	23-09-27
3	REISSUED FOR DP	23-10-04
4	REISSUED FOR DP	23-10-13
5	REISSUED FOR DP	23-11-06
6	REISSUED FOR DP	23-11-23
7	REISSUED FOR DP	23-12-01
8	REISSUED FOR DP	25-01-31



EASTLEIGH CRESCENT STREETSCAPE

3/32" = 1'-0"



LANE STREETSCAPE

3/32" = 1'-0"

**WESMONT
EASTLEIGH
APARTMENTS**

20625 EASTLEIGH CRESCENT,
LANGLEY, B.C.

PROJECT # 23.112
CITY FILE #



STREETSCAPES

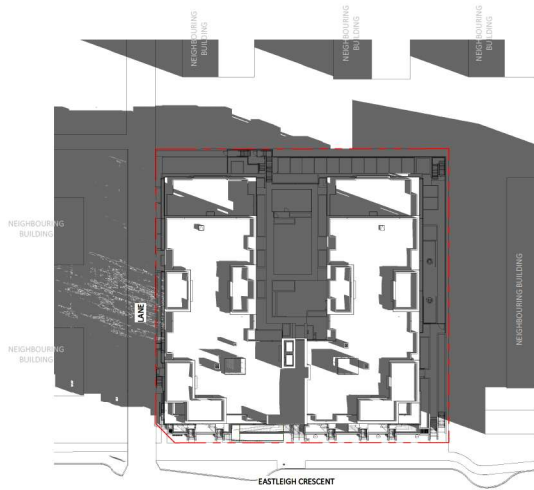
SCALE 3/32" = 1'-0"

SD5.01

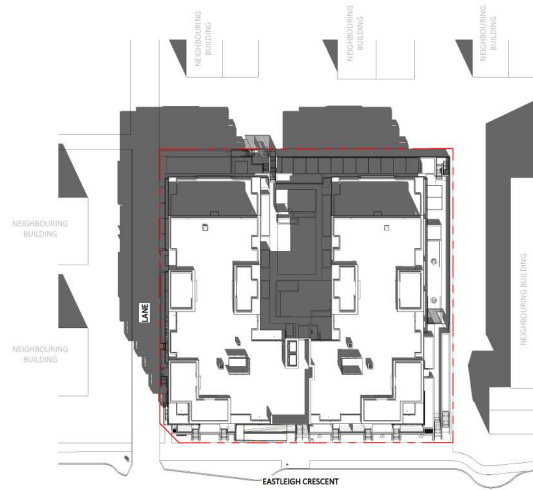


**REISSUED FOR
DEVELOPMENT
PERMIT**

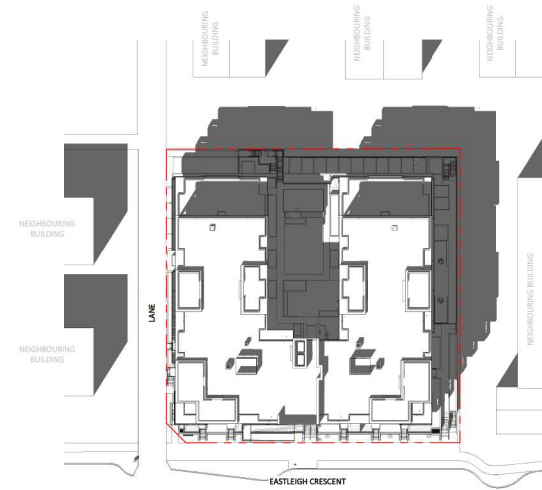
NO.	ISSUE/REVISION	DATE
1	ISSUED FOR DP	23-08-01
2	REISSUED FOR DP	23-09-27
3	REISSUED FOR DP	23-10-04
4	REISSUED FOR DP	23-10-13
5	REISSUED FOR DP	23-11-06
6	REISSUED FOR DP	23-11-23
7	REISSUED FOR DP	23-12-01
8	REISSUED FOR DP	25-01-31



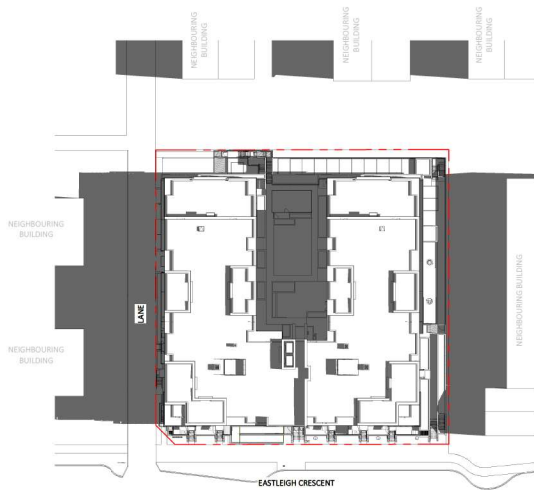
MARCH 21 - 9AM
1" = 40'-0"



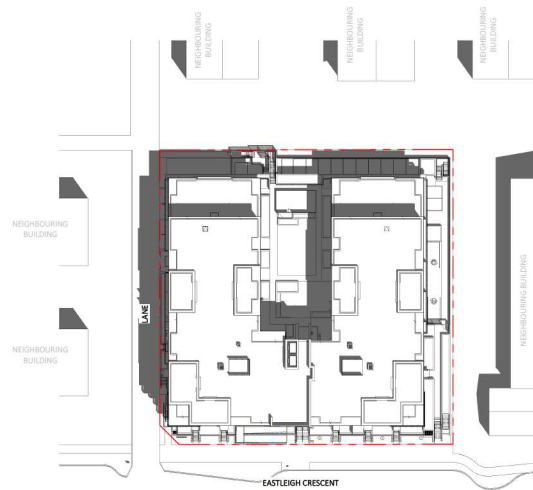
MARCH 21 - 12PM
1" = 40'-0"



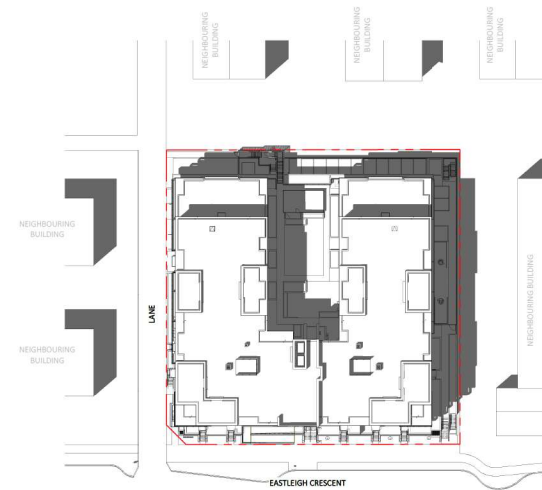
MARCH 21 - 3PM
1" = 40'-0"



JUNE 21 - 9AM
1" = 40'-0"



JUNE 21 - 12PM
1" = 40'-0"



JUNE 21 - 3PM
1" = 40'-0"

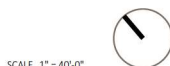
**WESMONT
EASTLEIGH
APARTMENTS**

20625 EASTLEIGH CRESCENT,
LANGLEY, B.C.

PROJECT # 23.112
CITY FILE #

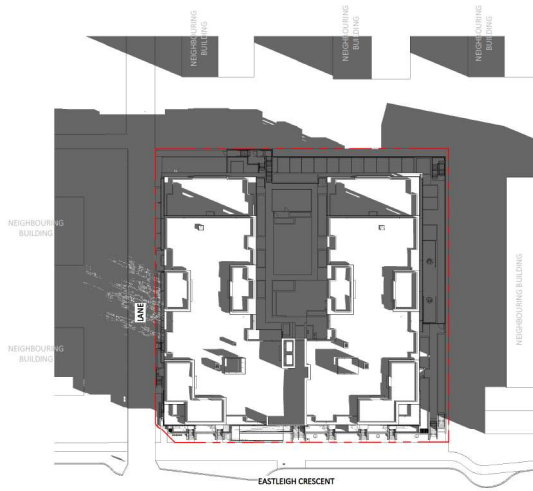


SHADOW STUDY

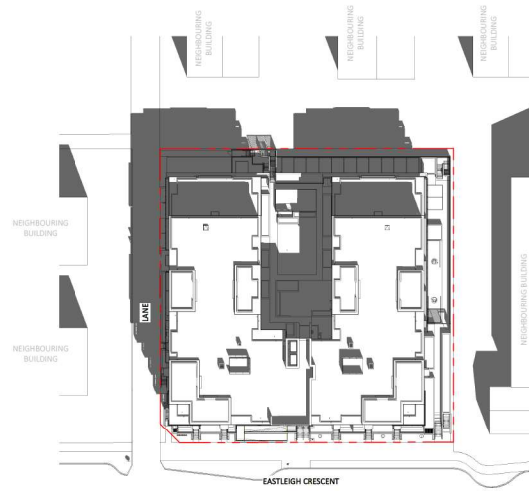


SCALE 1" = 40'-0"

SD5.10



SEPTEMBER 21 - 9AM
1" = 40'-0"



SEPTEMBER 21 - 12PM
1" = 40'-0"



SEPTEMBER 21 - 3PM
1" = 40'-0"



REISSUED FOR
DEVELOPMENT
PERMIT

NO.	ISSUE/REVISION	DATE
1	ISSUED FOR DP	23-08-01
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4	REISSUED FOR DP	23-10-13
5	REISSUED FOR DP	23-11-06
6	REISSUED FOR DP	23-11-23
7	REISSUED FOR DP	23-12-01
8	REISSUED FOR DP	25-01-31

WESMONT
EASTLEIGH
APARTMENTS

20625 EASTLEIGH CRESCENT,
LANGLEY, B.C.

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CITY FILE #



SHADOW STUDY



SCALE 1" = 40'-0"

SD5.11



REISSUED FOR
DEVELOPMENT
PERMIT

NO.	ISSUE/REVISION	DATE
1	ISSUED FOR DP	23-08-01
2	REISSUED FOR DP	23-09-27
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4	REISSUED FOR DP	23-10-13
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6	REISSUED FOR DP	23-11-23
7	REISSUED FOR DP	23-12-01
8	REISSUED FOR DP	25-01-31

WESMONT
EASTLEIGH
APARTMENTS

20625 EASTLEIGH CRESCENT,
LANGLEY, B.C.

PROJECT # 23.112
CITY FILE #



SITE SECTIONS



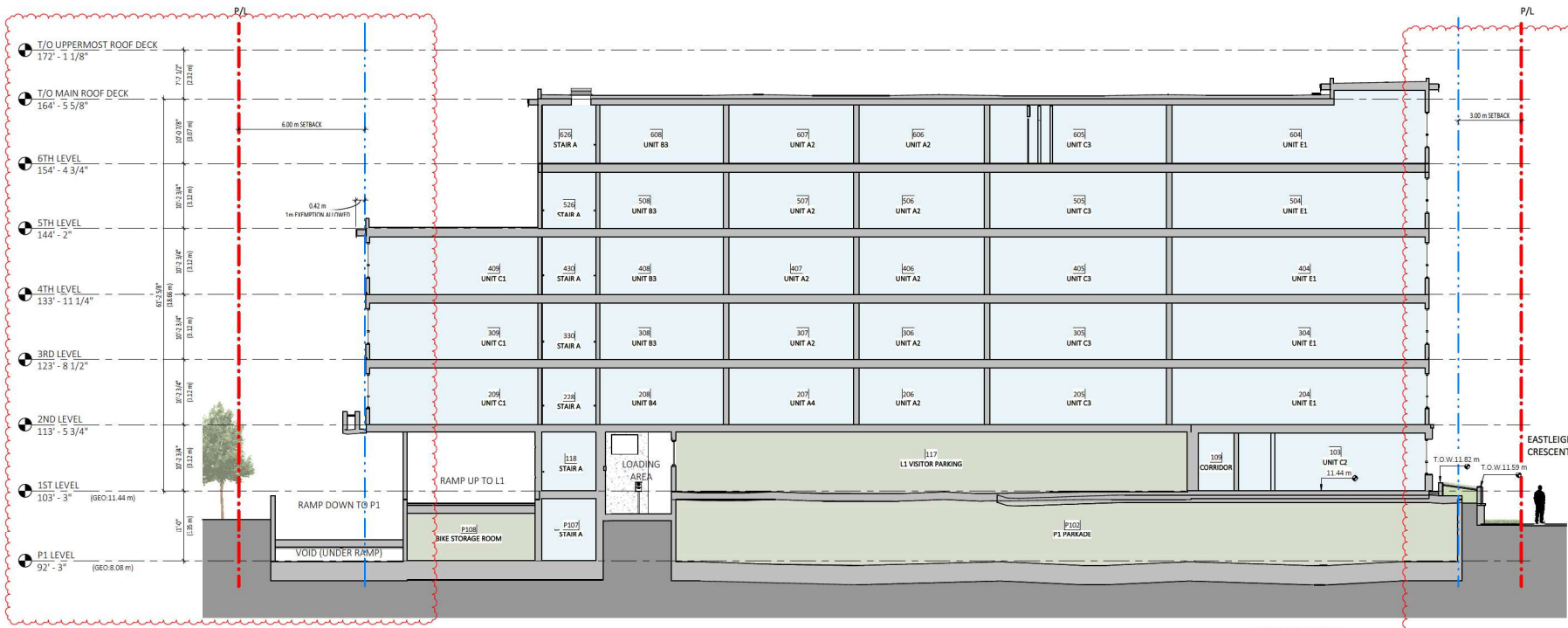
NW/SE SECTION
1/8" = 1'-0"

OCCUPANCY USE

- GROUP C - RESIDENTIAL DWELLING UNIT
- GROUP F3 - INDUSTRIAL STORAGE GARAGES

SCALE 1/8" = 1'-0"

SD6.01



REISSUED FOR DEVELOPMENT PERMIT

NO.	ISSUE/REVISION	DATE
1	ISSUED FOR DP	23-08-01
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3	REISSUED FOR DP	23-10-04
4	REISSUED FOR DP	23-10-13
5	REISSUED FOR DP	23-11-06
6	REISSUED FOR DP	23-11-23
7	REISSUED FOR DP	23-12-01
8	REISSUED FOR DP	25-01-31

WESMONT EASTLEIGH APARTMENTS

20625 EASTLEIGH CRESCENT, LANGLEY, B.C.

PROJECT # 23-112
CITY FILE #

OCCUPANCY USE

- GROUP C - RESIDENTIAL DWELLING UNIT
- GROUP F3 - INDUSTRIAL STORAGE GARAGES



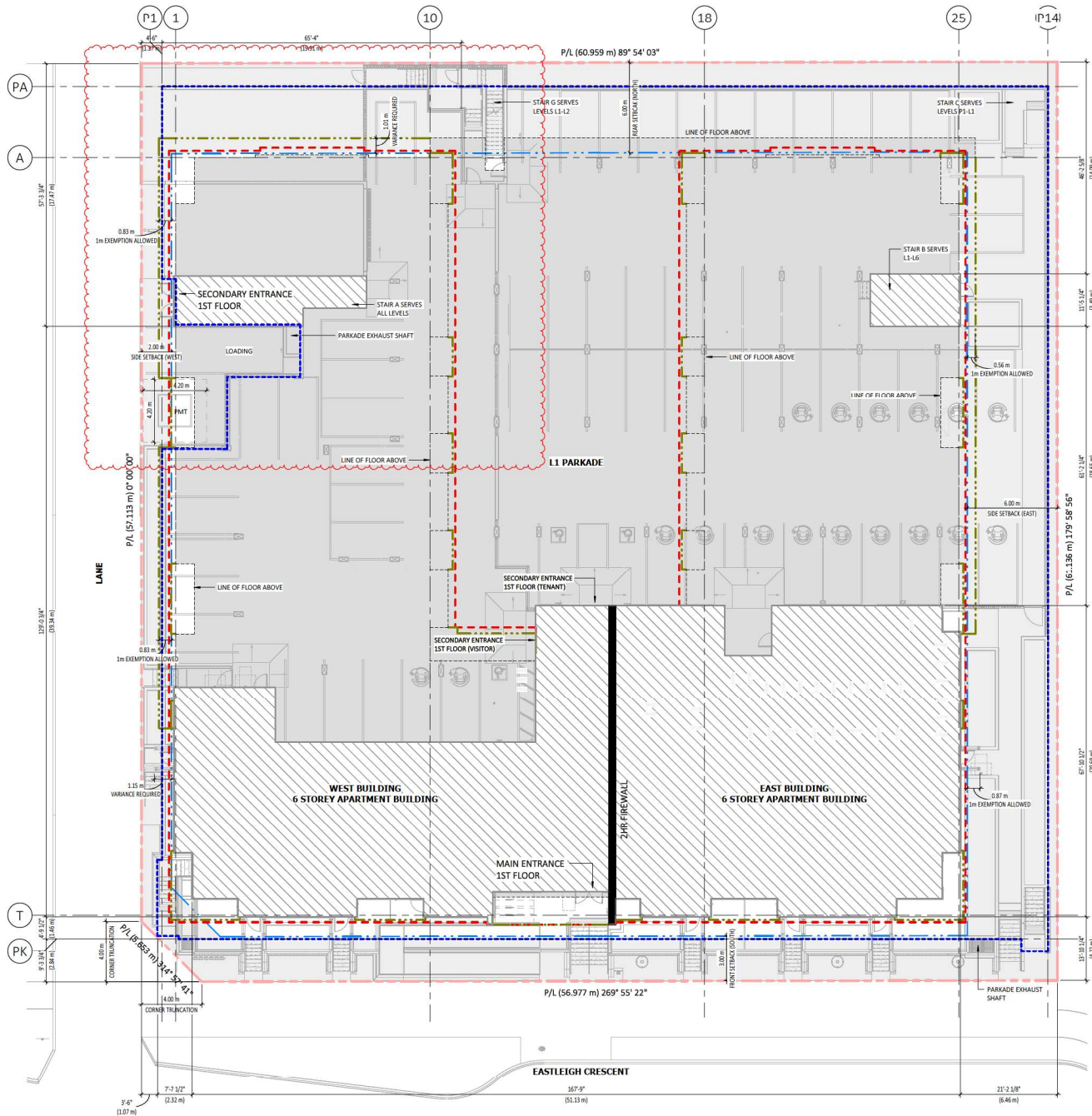
SITE SECTIONS

SCALE 1/8" = 1'-0"



SD6.02

SITE LAYOUT PLAN
3/32" = 1'-0"



1.9.1 SITE LAYOUT PLAN

LEGEND	
	PROPERTY LINE
	OUTLINE OF PARKADE
	OUTLINE OF ROOF ABOVE
	OUTLINE OF BALCONY ABOVE
	SETBACK
	BUILDING FOOTPRINT
	RIGHT OF WAY/EASEMENT

NOTES
1. REFER TO LEGAL SURVEY PLAN, COMPLETED BY ONCEWATER LAND SURVEYING DATED APRIL 18, 2023 TO VERIFY ALL SITE INFORMATION.

KEYSTONE ARCHITECTURE

300 - 3313 | SOUTH FRASER WAY, ABBOTSFORD BC
V2S 2B1 | 604-850-8577
410 - 333 | 117 AVENUE SW, CALGARY AB
T2R 1J9 | 587-391-4768
INFO@KEYSTONEARCH.CA



REISSUED FOR DEVELOPMENT PERMIT

NO.	ISSUE/REVISION	DATE
1	ISSUED FOR DP	23-08-01
2	REISSUED FOR DP	23-09-27
3	REISSUED FOR DP	23-10-04
4	REISSUED FOR DP	23-10-13
5	REISSUED FOR DP	23-11-06
6	REISSUED FOR DP	23-11-23
7	REISSUED FOR DP	23-12-01
8	BUILDING HEIGHT CHANGE	25-01-16

WESMONT EASTLEIGH APARTMENTS

20625 EASTLEIGH CRESCENT,
LANGLEY, B.C.

PROJECT # 23.112
CITY FILE #



SITE LAYOUT PLAN

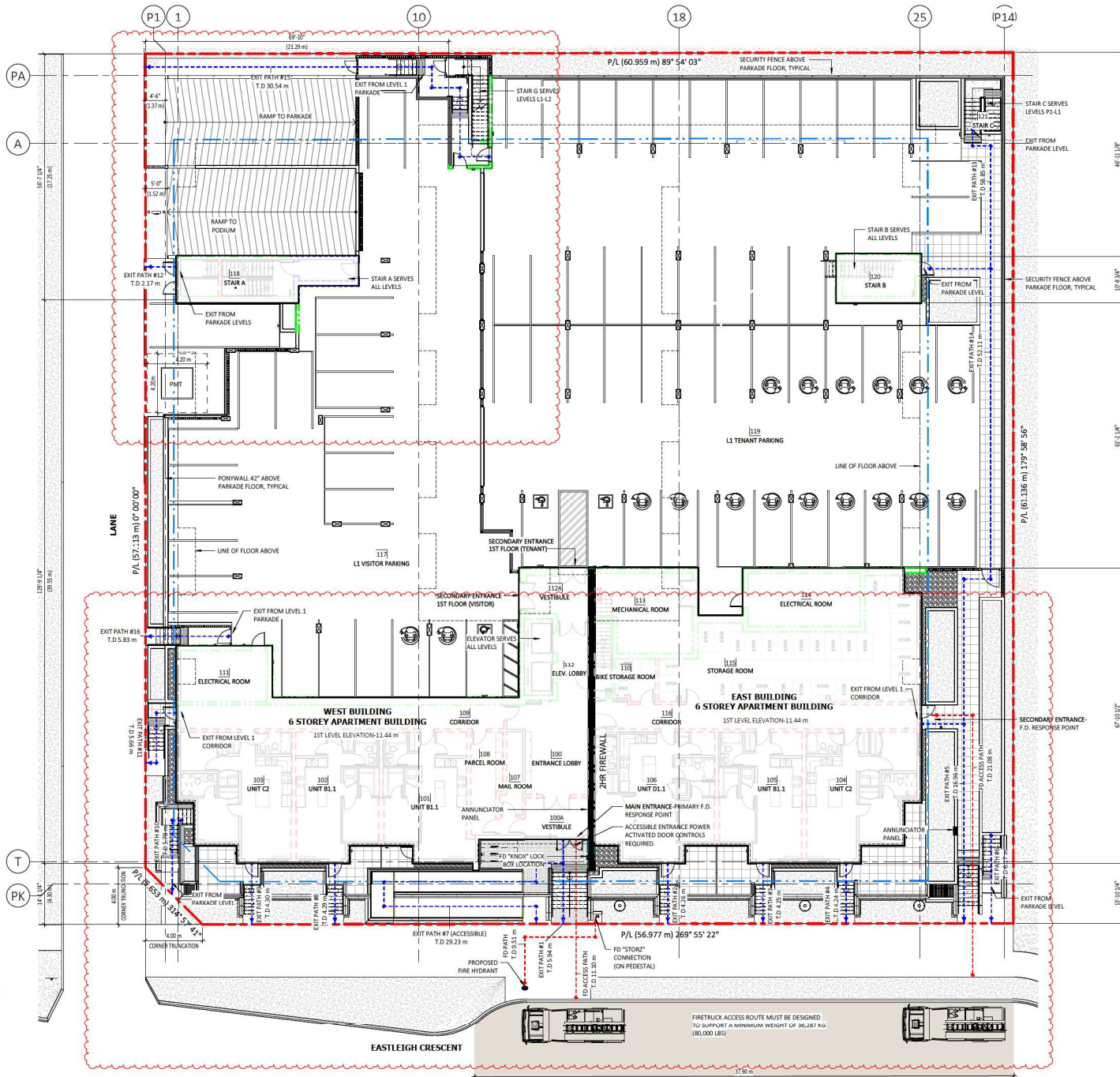
SCALE 3/32" = 1'-0"



SD7.01

SITE CODE PLAN

3/32" = 1'-0"



REISSUED FOR
DEVELOPMENT
PERMIT

NO.	ISSUE/REVISION	DATE
1	ISSUED FOR DP	23-08-01
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3	REISSUED FOR DP	23-10-04
4	REISSUED FOR DP	23-10-13
5	REISSUED FOR DP	23-11-06
6	REISSUED FOR DP	23-11-23
7	REISSUED FOR DP	23-12-01
8	REISSUED FOR DP	25-01-31

WESMONT
EASTLEIGH
APARTMENTS

20625 EASTLEIGH CRESCENT,
LANGLEY, B.C.

PROJECT # 23.112
CITY FILE #



SITE CODE PLAN

SCALE 3/32" = 1'-0"

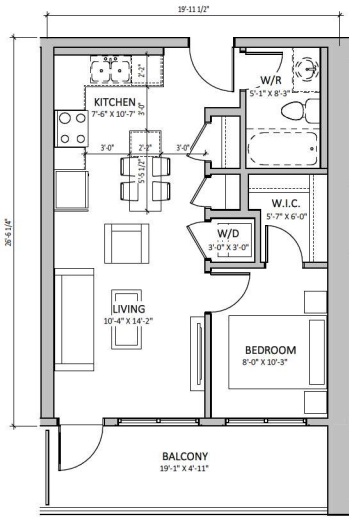


SD7.02

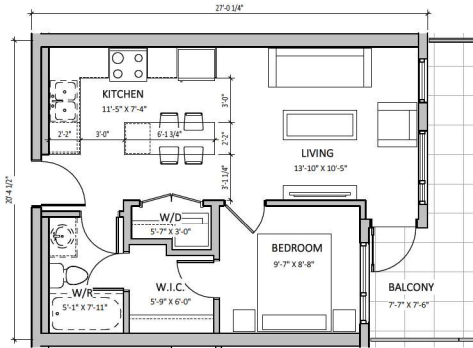


REISSUED FOR
DEVELOPMENT
PERMIT

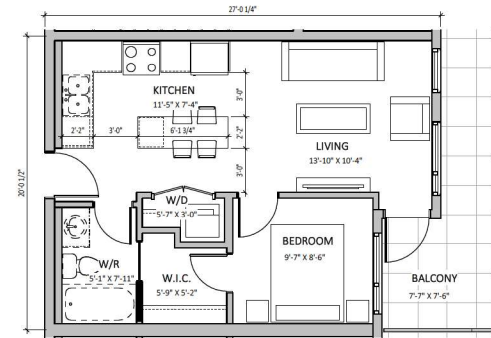
NO.	ISSUE/REVISION	DATE
1	REISSUED FOR DP	23-10-13
2	REISSUED FOR DP	23-12-01
3	REISSUED FOR DP	25-01-31



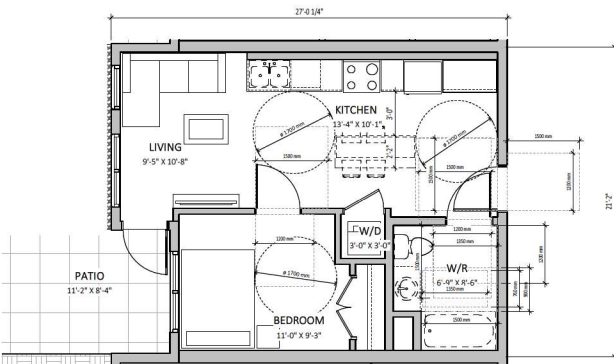
UNIT A1
528 SF 1 BED
OF UNITS: 5
LEVEL: 2 - 6
1/4" = 1'-0"



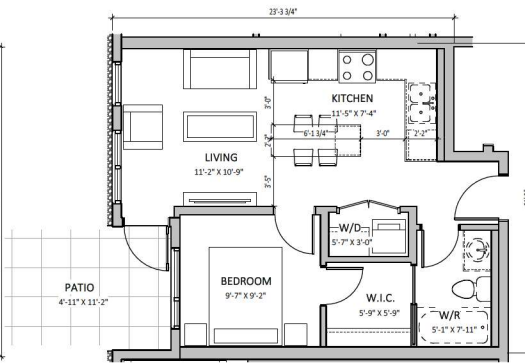
UNIT A2
519 SF 1 BED
OF UNITS: 20
LEVEL: 2 - 6
1/4" = 1'-0"



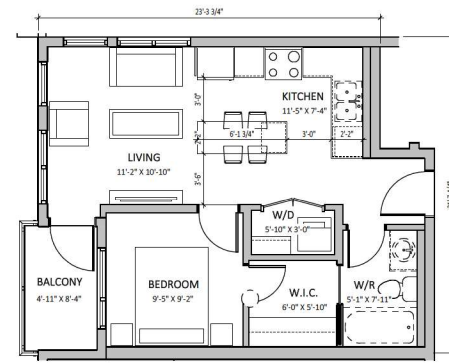
UNIT A2.1
519 SF 1 BED
OF UNITS: 10
LEVEL: 2 - 6
1/4" = 1'-0"



UNIT A3 ADAPTABLE
537 SF 1 BED ADAPTABLE
OF UNITS: 28
LEVEL: 2 - 6
1/4" = 1'-0"



UNIT A3.1
508 SF 1 BED
OF UNITS: 6
LEVEL: 2 - 4
1/4" = 1'-0"



UNIT A3.2
518 SF 1 BED
OF UNITS: 4
LEVEL: 5 - 6
1/4" = 1'-0"

**WESMONT
EASTLEIGH
APARTMENTS**

20625 EASTLEIGH CRESCENT,
LANGLEY, B.C.

PROJECT # 23.112
CITY FILE #



UNIT PLANS

SCALE 1/4" = 1'-0"

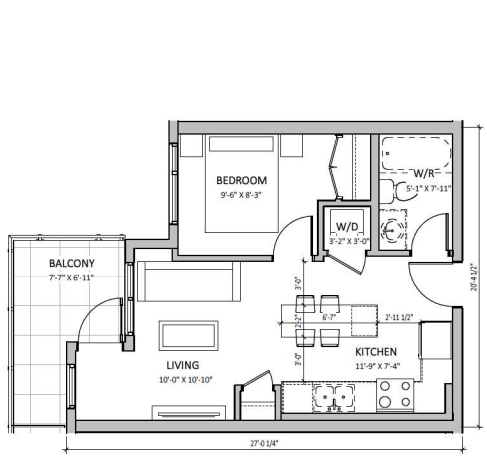


SD.8.01

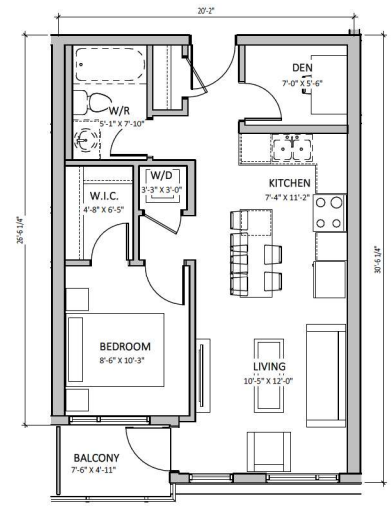


REISSUED FOR
DEVELOPMENT
PERMIT

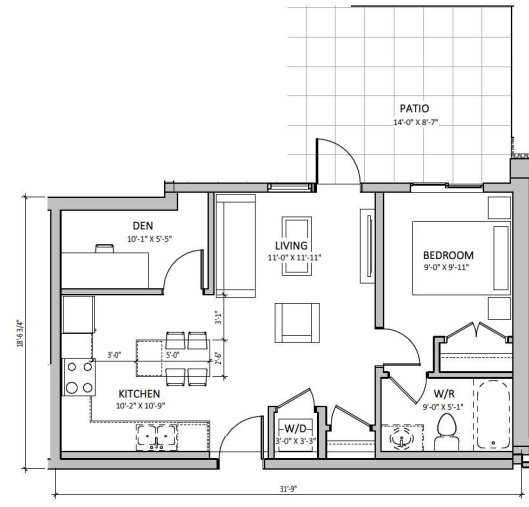
NO.	ISSUE/REVISION	DATE
1	REISSUED FOR DP	23-10-13
2	REISSUED FOR DP	23-12-01
3	REISSUED FOR DP	25-01-31



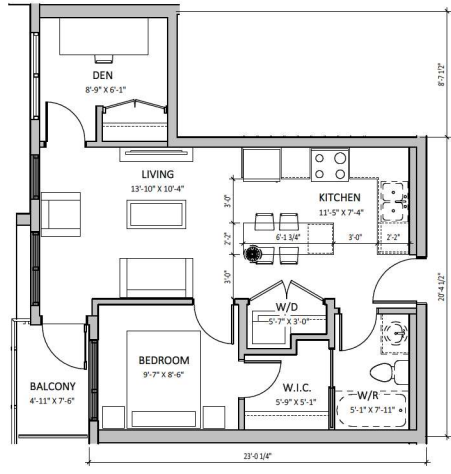
UNIT A4 468 SF 1 BED
OF UNITS: 1
LEVEL: 2
1/4" = 1'-0"



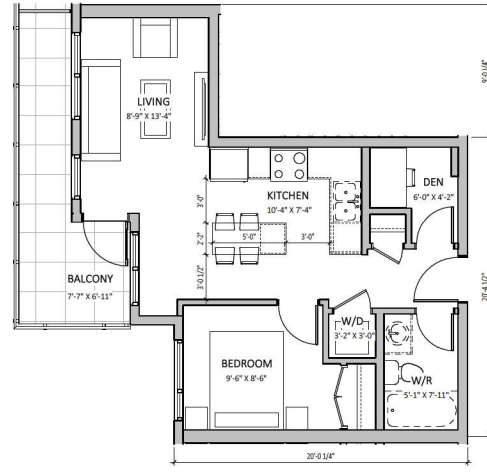
UNIT B1 584 SF 1 BED & DEN
OF UNITS: 13
LEVEL: 1 - 6
1/4" = 1'-0"



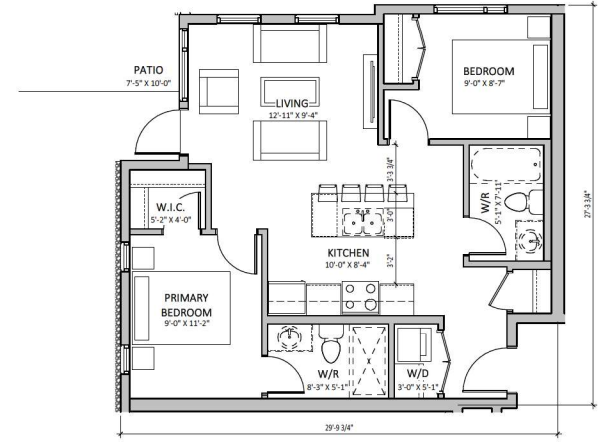
UNIT B2 624 SF 1 BED & DEN
OF UNITS: 5
LEVEL: 2 - 6
1/4" = 1'-0"



UNIT B3 605 SF 1 BED & DEN
OF UNITS: 8
LEVEL: 3 - 6
1/4" = 1'-0"



UNIT B4 554 SF 1 BED & DEN
OF UNITS: 1
LEVEL: 2
1/4" = 1'-0"



UNIT C1 744 SF 2 BED
OF UNITS: 12
LEVEL: 2 - 4
1/4" = 1'-0"

WESMONT
EASTLEIGH
APARTMENTS

20625 EASTLEIGH CRESCENT,
LANGLEY, B.C.

PROJECT # 23.112
CITY FILE #

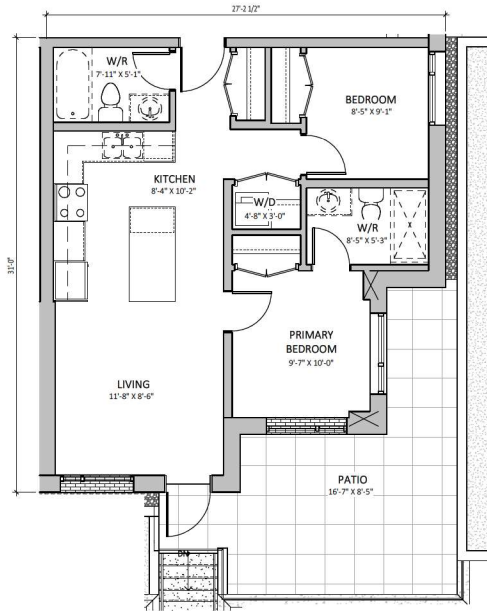


UNIT PLANS

SCALE 1/4" = 1'-0"

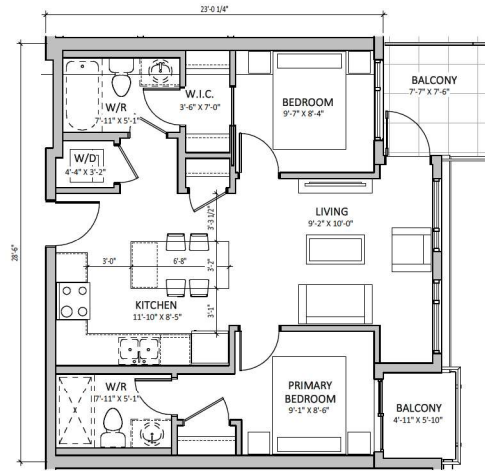


SD8.02



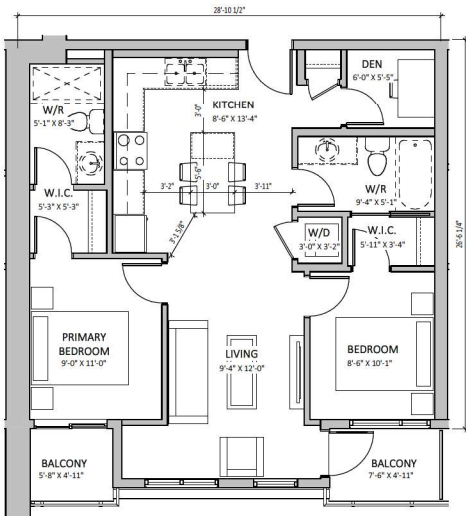
UNIT C2
1/4" = 1'-0"

716 SF 2 BED
OF UNITS: 2
LEVEL: 1



UNIT C3
1/4" = 1'-0"

710 SF 2 BED
OF UNITS: 10
LEVEL: 2 - 6



UNIT D1
1/4" = 1'-0"

823 SF 2 BED & DEN
OF UNITS: 11
LEVEL: 1 - 6



REISSUED FOR
DEVELOPMENT
PERMIT

NO.	ISSUE/REVISION	DATE
1	REISSUED FOR DP	23-10-13
2	REISSUED FOR DP	23-12-01
3	REISSUED FOR DP	25-01-31

**WESMONT
EASTLEIGH
APARTMENTS**

20625 EASTLEIGH CRESCENT,
LANGLEY, B.C.

PROJECT # 23.112
CITY FILE #

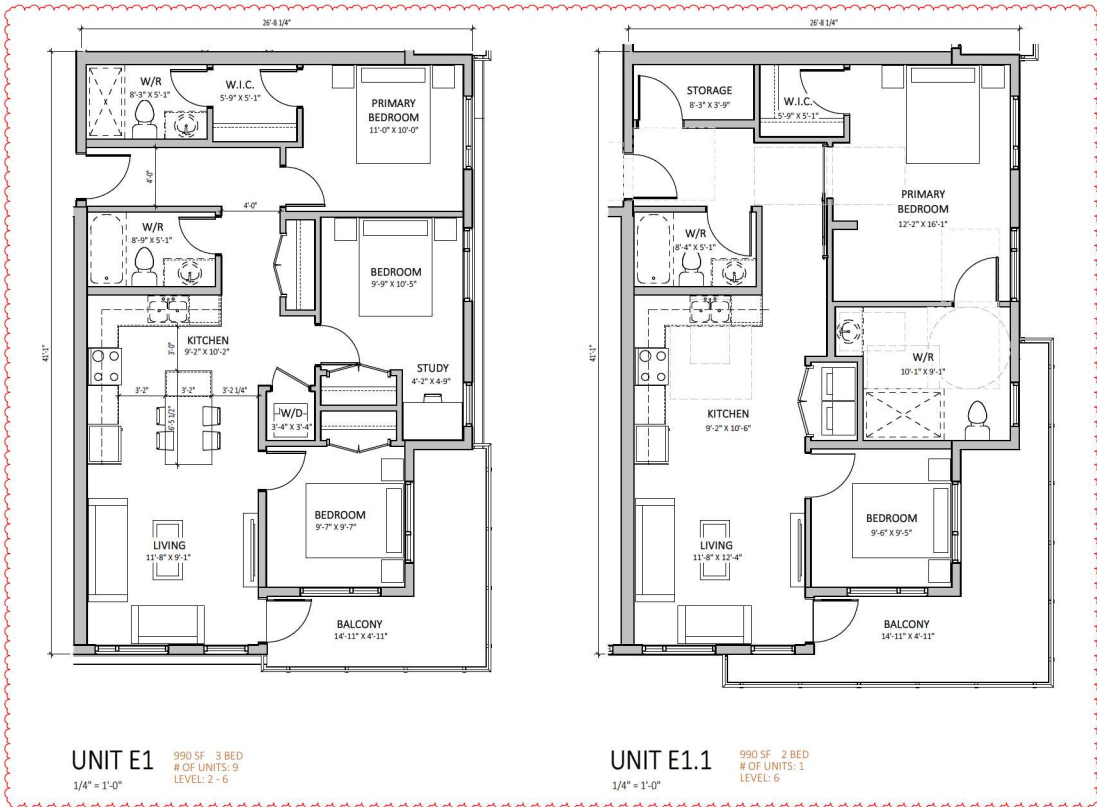


UNIT PLANS

SCALE 1/4" = 1'-0"



SD8.03



REISSUED FOR
DEVELOPMENT
PERMIT

NO.	ISSUE/REVISION	DATE
1	REISSUED FOR DP	23-10-13
2	REISSUED FOR DP	23-12-01
3	REISSUED FOR DP	25-01-31


WESMONT
EASTLEIGH
APARTMENTS

20625 EASTLEIGH CRESCENT,
LANGLEY, B.C.

PROJECT # 23.112
CITY FILE #



UNIT PLANS

SCALE 1/4" = 1'-0" 

SD8.04

WESMONT APARTMENTS EASTLEIGH, 20625 EASTLEIGH CRESCENT, LANGLEY, BC



KEYSTONE
ARCHITECTURE
ABBOTSFORD BC | 300 - 33131 SOUTH FRASER WAY
V2S 2B1 | 604.850.0577
CALGARY AB | 1601 - 333 11TH AVENUE SW
T2R 1L9 | 587.391.4768
INFO@KEYSTONearch.ca



LANDSCAPE ARCHITECTURE DIVISION

**ISSUED FOR
DEVELOPMENT
PERMIT**

NO.	ISSUE/REVISION	DATE
1	ISSUED FOR DP	07-28-23
2	RE-ISSUED FOR DP	09-26-23
3	RE-ISSUED FOR DP	10-05-23
4	RE-ISSUED FOR DP	11-06-23
5	RE-ISSUED FOR DP	28-01-30

**WESMONT
APARTMENTS
EASTLEIGH**

20625 EASTLEIGH CRESCENT,
LANGLEY, BC

PROJECT # 23112
CITY FILE #



COVER SHEET

sheet schedule

Sheet Number	Sheet Title
L-0.00	COVER SHEET
L-1.01	SITE PLAN
L-1.02	PODIUM PLAN
L-1.03	GRADING PLANS
L-2.00	PLANTING PRECEDENTS
L-2.01	SITE PLANTING PLAN
L-2.02	PODIUM PLANTING PLAN

DESIGN RATIONALE

THE LANDSCAPE OF WESMONT APARTMENTS ON EASTLEIGH IS DESIGNED TO REFLECT AN INDUSTRIAL, MODERN, AND SLEEK CHARACTER WITH BURSTS OF COLOUR ADDED THROUGH PLANT MATERIAL. THE SITE PLAN SHOWCASES APARTMENTS THAT HAVE A CONNECTION TO EASTLEIGH CRESCENT WITH AN EDGE DEFINED BY SMOOTH FINISH CONCRETE WALLS WITH LARGE REVEALS THAT COMPLEMENT A DECORATIVE CABLE FENCING THAT VISUALLY SEPARATES PUBLIC AND PRIVATE SPACES. UNIT ADDRESSES AND ASSOCIATED LIGHTING WILL ALSO STRENGTHEN THE ROAD FRONTAGE CONNECTION. FINALLY A CANOPY OF FRUIT TREES WITH AN UNDERSTOREY OF EDIBLES CONNECTS THE SURFACE PARKING LOT TO THE STREET.

THE OUTDOOR AMENITY SPACE CAN BE EXPLORED ON THE SECOND LEVEL WHERE STRONG CONNECTIONS HAVE BEEN MADE BETWEEN THE INDOOR AND OUTDOOR AMENITY SPACES WITH DOORS EXITING OUT TO AN OUTDOOR BBQ AREA FROM THE INTERIOR KITCHEN SPACE, AND AN OUTDOOR WORKOUT SPACE CONNECTED TO THE INDOOR GYM. ADDITIONAL AMENITIES INCLUDE A CHILDREN'S PLAY AREA, A DOG RUN, AND A FIRE PIT GATHERING SPACE. DUE TO PRIMARILY A NORTHERN EXPOSURE, A STRONG EMPHASIS WILL BE PUT ON ENHANCING THE SPACE WITH LUSH, SHADE-LOVING PLANTS THAT WILL MAKE THE SPACES FEEL INVITING AND INTENTIONAL.

WESMONT

T 604.371.0250

111 - 23189 FRANCIS AVENUE
LANGLEY, BC V1M 0G4



KEYSTONE ARCHITECTURE & PLANNING LTD.

T 604.850.0577

F 1.855.398.4578

T 587.391.4768

300 - 33131 SOUTH FRASER WAY

ABBOTSFORD, BC V2S 2B1

1601 - 333 11TH AVENUE SW,

CALGARY, AB T2R 1L9

E-MAIL: INFO@KEYSTONearch.ca

WEBSITE: KEYSTONearch.ca



LANDSCAPE ARCHITECTURE DIVISION

T 604.850.0577 EXT. 216

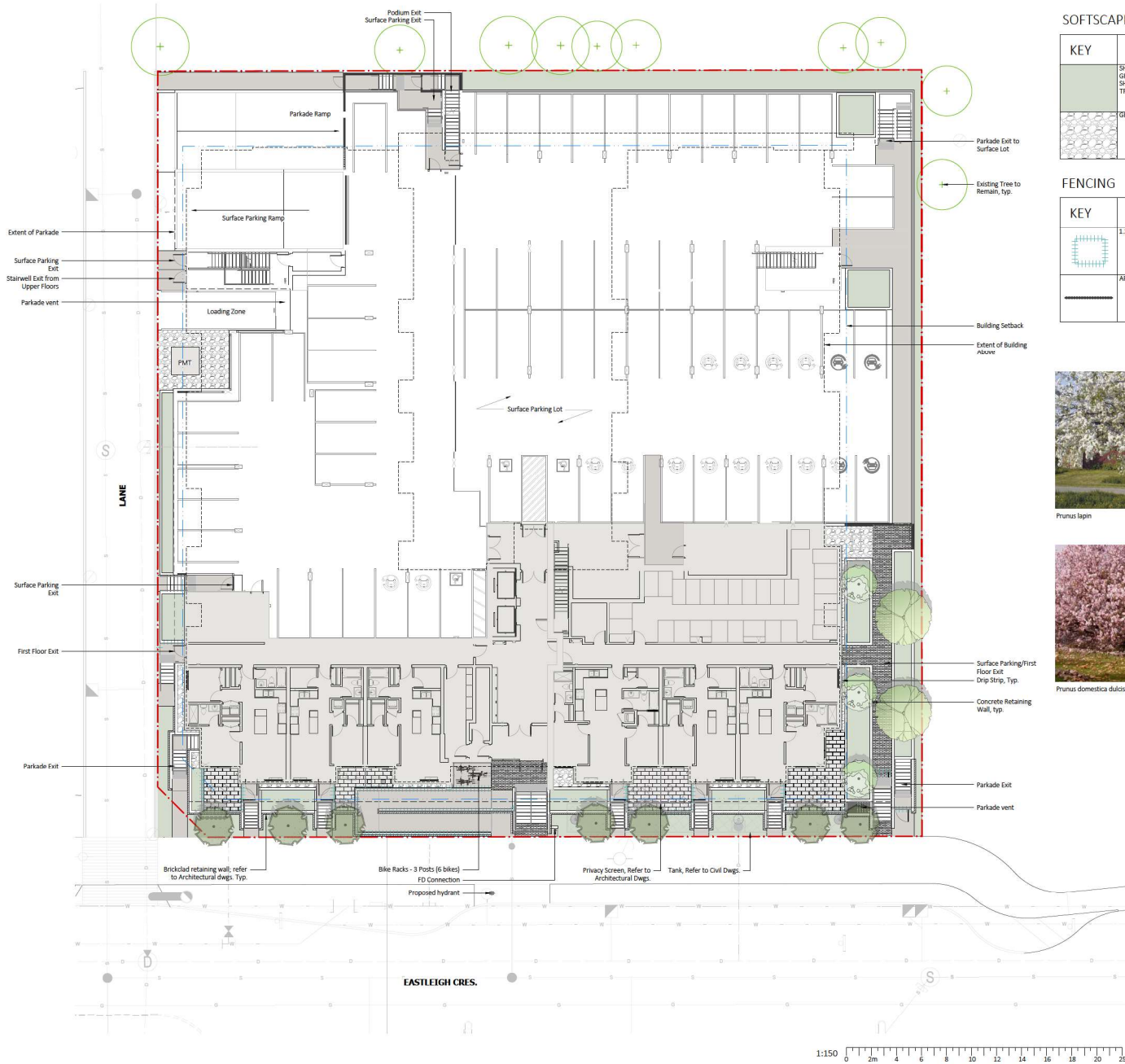
300 - 33131 SOUTH FRASER WAY

ABBOTSFORD, BC V2S 2B1

E-MAIL: JENNIFER@KEYSTONearch.ca

SCALE

L-0.00



SOFTSCAPE MATERIALS

KEY	DESCRIPTION
	SHRUB PLANTING GROWING MEDIUM: SHRUBS - 450mm MIN. DEPTH TREES - 900mm MIN. DEPTH
	GRANULAR DRIP STRIP

FENCING

KEY	DESCRIPTION
	1.2m HIGH DECORATIVE CABLE FENCE
	ARCHITECTURAL GUARDRAIL



HARDSCAPE MATERIALS

KEY	DESCRIPTION
	PLANK PAVEMENT Size: 75 x 450 x 100mm Colour: NATURAL (90%) + CHARCOAL (10%) Manufacturer: BASALITE
	HAMPPTON CONCRETE SLABS Size: 606 x 301 x 50.8mm Colour: WHITE Manufacturer: NEWSTONE GROUP
	CAST-IN-PLACE CONCRETE SIDEWALK C/W SAWCUT JOINTS
	CONCRETE RETAINING WALL
	CONCRETE RETAINING WALL w/ BRICK; REFER TO ARCHITECTURAL DWGS. TYP.

SITE FURNISHINGS

KEY	DESCRIPTION
	LOOP 2 SPACE BIKE RACK Colour: TBC Manufacturer: WISHBONE SITE FURNISHINGS Supplier: WISHBONE SITE FURNISHINGS Mount: SURFACE



TREE LEGEND

Prunus lapin	Prunus domestica dulcis 'Hall's Hardy'	Tilia cordata 'Summer Sprite'	Existing Tree

TREE SCHEDULE

QUAN	BOTANICAL NAME	COMMON NAME	SIZE
2	Prunus domestica dulcis 'Hall's Hardy'	Hall's Hardy Almond	B18; 60m call
3	Prunus lapin	Lapin Sweet Cherry	B18; 60m call
7	Tilia cordata 'Summer Sprite'	Summer Sprite Linden	B18; 60m call



NO.	ISSUE/REVISION	DATE
1	ISSUED FOR DP	07-28-23
2	RE-ISSUED FOR DP	09-26-23
3	RE-ISSUED FOR DP	10-05-23
4	RE-ISSUED FOR DP	11-06-23
5	RE-ISSUED FOR DP	28-01-30

WESMONT APARTMENTS EASTLEIGH

20625 EASTLEIGH CRESCENT,
LANGLEY, BC

PROJECT # 23112
CITY FILE #



SITE PLAN

SCALE 1:150



HARDSCAPE MATERIALS

KEY	DESCRIPTION
	PAVING PAVES Size: 75 x 450 x 100mm Colour: NATURAL (90%) + CHARCOAL (10%) Manufacturer: BASALITE
	HAMPSON CONCRETE SLABS Size: 606 x 301 x 50.8mm Colour: WHITE Manufacturer: NEWSTONE GROUP
	RUBBER PAVETILES Colour: 100% RECYCLED BLACK Manufacturer: DNIFLEX Supplier: HABITAT SYSTEMS
	CONCRETE RETAINING WALL

SOFTSCAPE MATERIALS

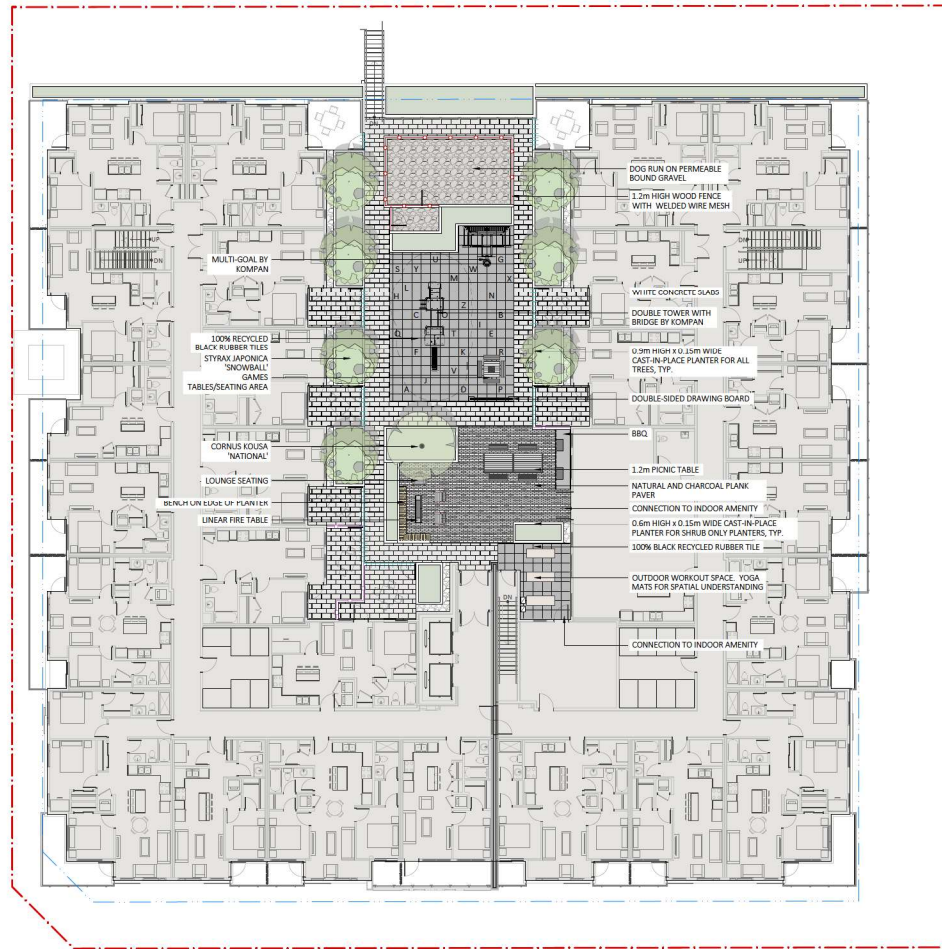
KEY	DESCRIPTION
	SHRUB PLANTING SHOWING MEDIUM: SHRUBS - 450mm MIN. DEPTH TREES - 900mm MIN. DEPTH
	GRANULAR DRIP STRIP
	SOD
	RESIN-BOUND PEA GRAVEL Product: Rompac - Profi-Deko Manufacturer: Romex

SITE FURNISHINGS

KEY	DESCRIPTION
	MAGLIN LEXICON 8' TABLE Colour: TBD Manufacturer: MAGLIN SITE FURNISHINGS Supplier: MAGLIN SITE FURNISHINGS Mount: SURFACE
	MAGLIN 725 CHAIR Colour: 16D Manufacturer: MAGLIN SITE FURNISHINGS Supplier: MAGLIN SITE FURNISHINGS Mount: SURFACE
	MAGLIN 1100 GAME TABLE Colour: TBD Manufacturer: MAGLIN SITE FURNISHINGS Supplier: MAGLIN SITE FURNISHINGS Mount: SURFACE

FENCING

KEY	DESCRIPTION
	1.5m HIGH FENCE PRIVACY FENCE
	1.2m HIGH DECORATIVE CABLE FENCE
	ARCHITECTURAL GUARDRAIL
	1.2m WOOD FENCE WITH WELDED WIRE MESH



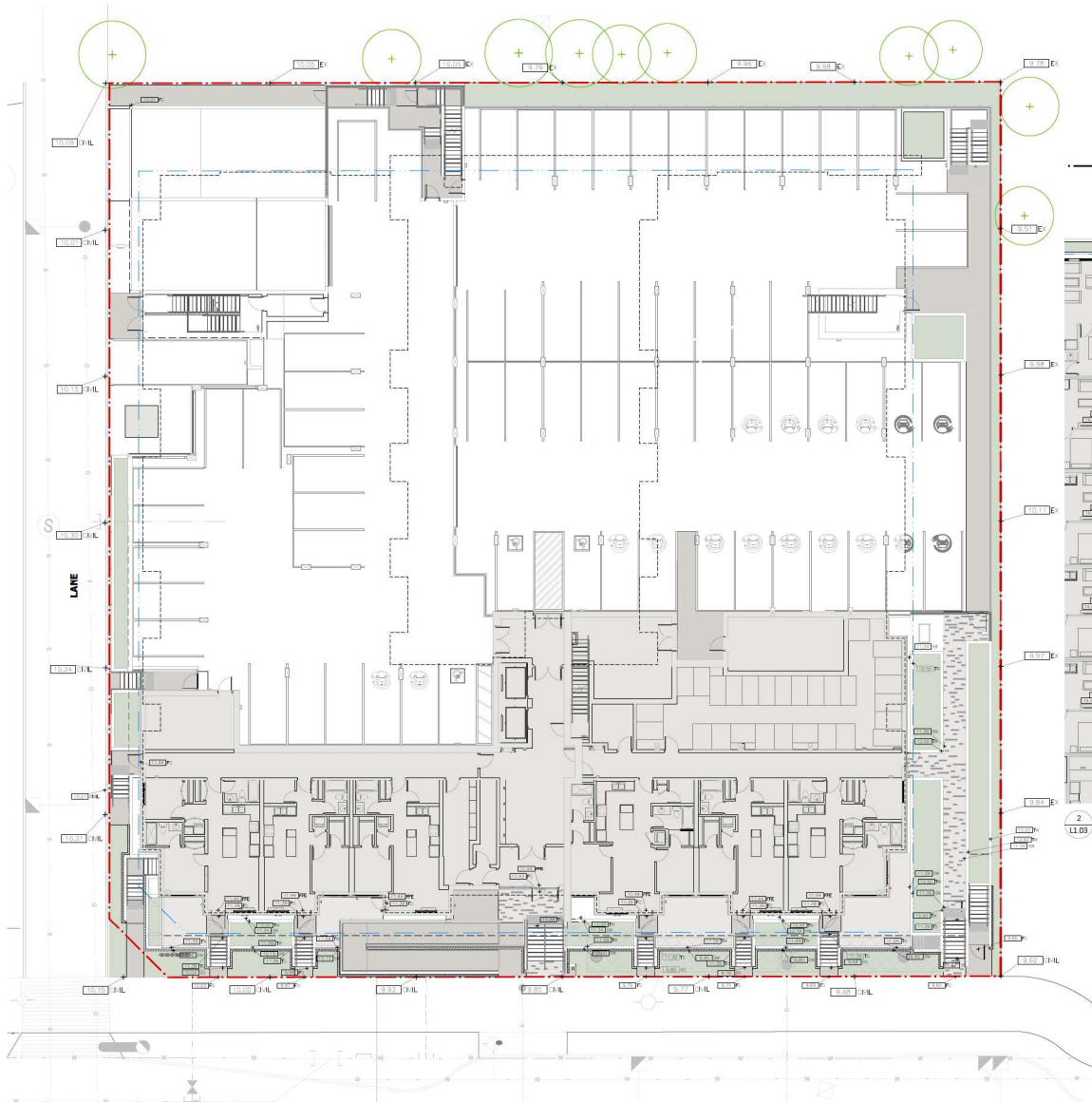
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1:150 0 2 4 6 8 10 12 14 16 18 20 25



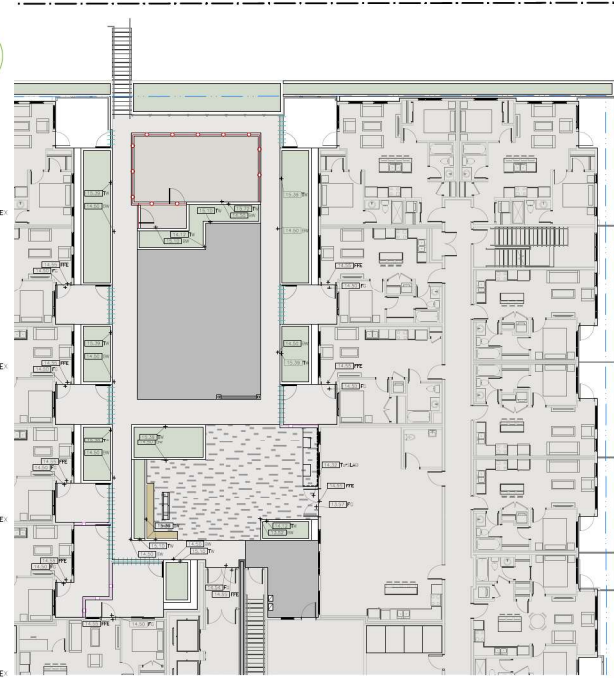
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4	RE-ISSUED FOR DP	11-06-23
5	RE-ISSUED FOR DP	28-01-30





1
LL.03
SITE GRADING PLAN
Scale 1:150

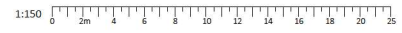
EASTLEIGH CRES.



2
LL.03
PODIUM GRADING PLAN
Scale 1:150

GRADING LEGEND

KEY	DESCRIPTION
± 0.000 FFE	FINISHED FLOOR ELEVATION
± 0.000 FG	FINISHED GRADE
± 0.000 TW	TOP OF WALL
± 0.000 BW	BOTTOM OF WALL
± 0.000 TS	TOP OF STAIR
± 0.000 BS	BOTTOM OF STAIR
± 0.000 T&A	TOP OF SLAB
± 0.000 P-BL	PROPOSED GRADE BY CIVIL
± 0.000 EX	EXISTING GRADE



LANDSCAPE ARCHITECTURE DIVISION
ISSUED FOR DEVELOPMENT PERMIT

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WESMONT APARTMENTS EASTLEIGH

20625 EASTLEIGH CRESCENT,
LANGLEY, BC

PROJECT # 23112
CITY FILE #



GRADING PLANS

SCALE 1:150



L-1.03



LANDSCAPE ARCHITECTURE DIVISION

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PERMIT**

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**WESMONT
APARTMENTS
EASTLEIGH**

20625 EASTLEIGH CRESCENT,
LANGLEY, BC

PROJECT # 23112
CITY FILE #



**PLANTING
PRECEDENTS**

SCALE N.T.S.

L-2.00



HYDRANGEA



LIRIOPE



RHODODENDRON



CARYOPTERIS



LAVANDULA



VACCINIUM



AZALEA



ERICA



HYDRANGEA



HEMEROCALLIS



LEUCOTHOE



ROSA



AZALEA



WEIGELA



FRAGARIUS



KALMIA



SANGUISORBA



VACCINIUM



PANICUM



NANDINA



ORIGANUM



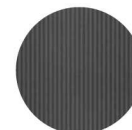
CAREX



CORNUS



ENKIANTHUS



ARCHITECTURAL PALETTE



TELLIMA



ASPLENIUM



ILEX



LANDSCAPE ARCHITECTURE DIVISION

ISSUED FOR
DEVELOPMENT
PERMIT

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5	RE-ISSUED FOR DP	28-01-30

WESMONT
APARTMENTS
EASTLEIGH

20625 EASTLEIGH CRESCENT,
LANGLEY, BC

PROJECT # 23112
CITY FILE #

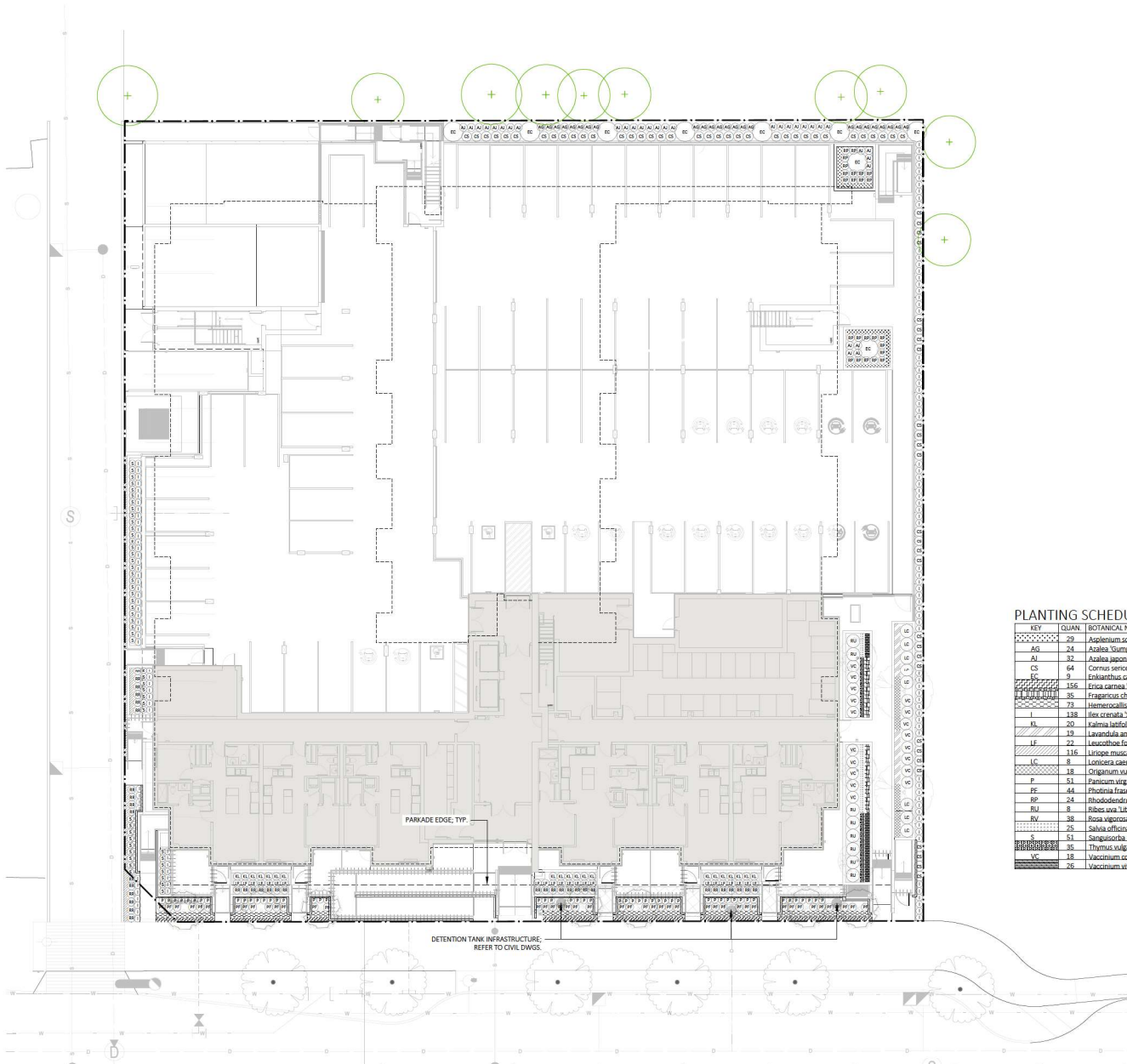


SITE PLANTING
PLAN

SCALE 1:150

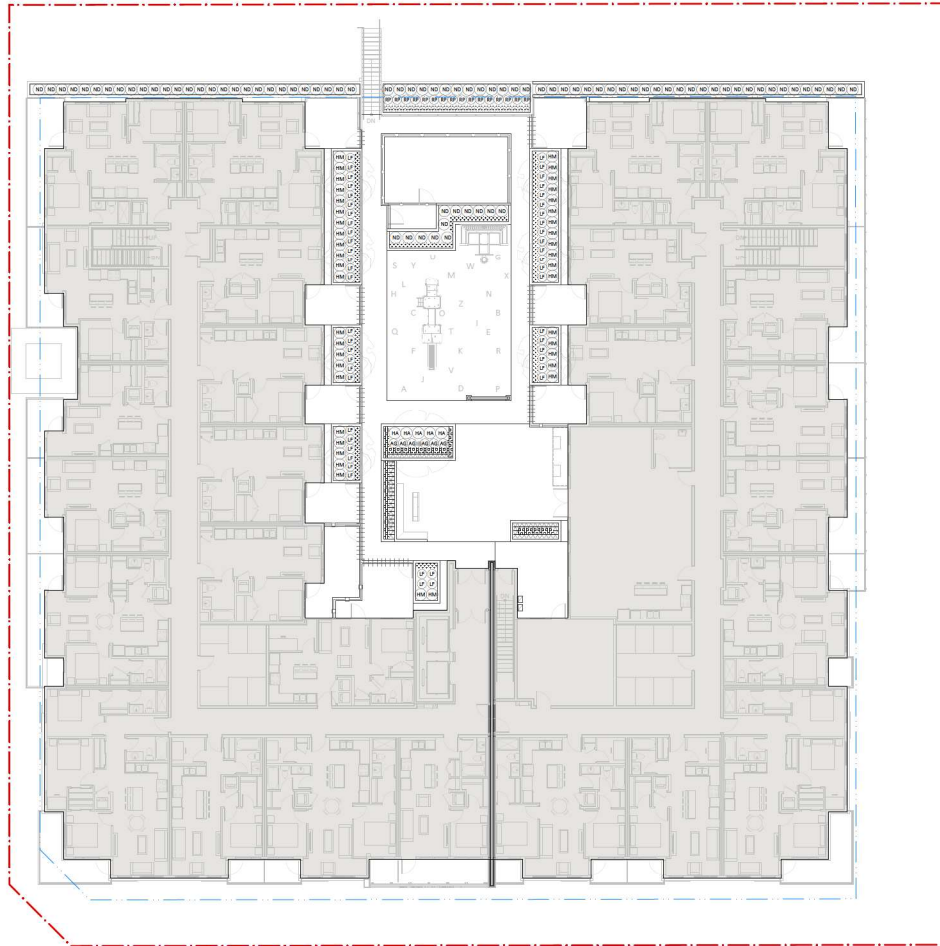


L-2.01



PLANTING SCHEDULE

KEY	QUAN	BOTANICAL NAME	COMMON NAME	SIZE
AS	20	Asplenium scolopendrium	Hart's Tongue Fern	No. 1 Pot
AW	24	Azalea Sumpo White	Sumpo White Azalea	No. 3 Pot
AJ	32	Azalea japonica 'Eridoline'	Fridoline Azalea	No. 3 Pot
CS	64	Cornus sericea 'Kelsvei'	Kelsvei Dwarf Dogwood	No. 3 Pot
EC	9	Ericaethus campanulatus	Redvein Ericaethus	No. 10 Pot
EC	156	Erica carnea 'Springwood White'	Springwood White Heather	No. 1 Pot
FR	36	Fragaria chiloensis	Beach Strawberry	No. 1 Pot
HE	72	Hemerocallis 'Moonlit Masquerade'	Moonlit Masquerade Daylily	No. 1 Pot
I	138	Ilex crenata 'Sky Pencil'	Sky Pencil Japanese Holly	No. 5 Pot
IL	20	Ilex latifolia 'Minuet'	Minuet Mountain Laurel	No. 3 Pot
LE	10	Levandula angustifolia 'Munstead'	Munstead English Lavender	No. 1 Pot
LF	22	Leucoboth fontaniana 'Rainbow Improved'	Rainbow Improved Leucothoe	No. 3 Pot
L	116	Liriope muscari 'Big Blue'	Big Blue Liriope	No. 1 Pot
LC	8	Lonicera sempervirens 'Tessberry Sugar Pie'	Japanese Huckleberry	No. 3 Pot
O	18	Origanum vulgare	Greek Oregano	No. 1 Pot
P	51	Panicum virgatum 'Prairie Flame'	Prairie Flame Switch Grass	No. 1 Pot
PF	44	Phloxia fraseri 'Fire Fantasy'	Fire Fantasy Phloxia	No. 3 Pot
RP	24	Rhododendron 'Purple Gem'	Purple Gem Rhododendron	No. 3 Pot
RU	8	Ribes sora 'Little Ben'	Little Ben Gooseberry	No. 3 Pot
RV	38	Rosa vigorosa 'Red Ribbons'	Red Ribbons Rose	No. 2 Pot
S	75	Salvia officinalis 'Tricolor'	Tricolor Sage	No. 1 Pot
S	51	Sanguisorba officinalis 'Tanna'	Tanna Great Burnet	No. 1 Pot
TH	36	Thymus vulgaris	Garden Thyme	No. 1 Pot
VC	18	Vaccinium corymbosum 'North Country'	North Country Blueberry	No. 3 Pot
V	26	Viburnum minus ideae	Lipsberry	No. 1 Pot



PLANTING SCHEDULE

KEY	QUAN	BOTANICAL NAME	COMMON NAME	SIZE
[Pattern]	121	Asplenium scolopendrium	Hart's Tongue Fern	No. 1 Pot
AW	6	Azalea 'Gumpo White'	Gumpo White Azalea	No. 3 Pot
EW	51	Carex oshimensis 'Everlime'	Everlime Japanese Sedge	No. 1 Pot
HA	5	Hydrangea arborescens 'Innocence White'	Innocence White Hydrangea	No. 3 Pot
HM	41	Hydrangea macrophylla 'Wee Bit Grumpy'	Wee Bit Grumpy Hydrangea	No. 3 Pot
IF	50	Leucothoe fontanesiana 'Rainbow Improved'	Rainbow Improved Leucothoe	No. 3 Pot
ND	80	Nandina domestica 'Fringepew'	Fringepew Heavenly Bamboo	No. 3 Pot
RP	16	Rhododendron 'Purple Gem'	Purple Gem Rhododendron	No. 3 Pot
[Pattern]	52	Tillima grandiflora	Fringecup	No. 1 Pot
[Pattern]	20	Weigela florida 'Midnight Sun'	Midnight Sun Weigela	No. 2 Pot



LANDSCAPE ARCHITECTURE DIVISION

**ISSUED FOR
DEVELOPMENT
PERMIT**

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1	ISSUED FOR LP	07-28-23
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3	RE-ISSUED FOR DP	10-05-23
4	RE-ISSUED FOR DP	11-06-23
5	RE-ISSUED FOR DP	28-01-30

**WESMONT
APARTMENTS
EASTLEIGH**

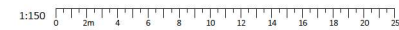
20625 EASTLEIGH CRESCENT,
LANGLEY, BC

PROJECT # 23112
CITY FILE #



**PODIUM PLANTING
PLAN**

SCALE 1:150



L-2.02

CITY OF
LANGLEY



CITY OF LANGLEY

MOTION

Development Permit Application No. 08-23

THAT Development Permit No. 08-23 to accommodate a 6-storey, 136-unit apartment building at 20619 & 20629 Eastleigh Crescent be approved.



REPORT TO COUNCIL

To: **Mayor and Councillors**

Subject: **City of Langley Contributions to Township Aquatic Subsidies**

File #: 0110.00

Doc #: 199451

From: Francis Cheung, P. Eng.
Chief Administrative Officer

Date: February 3, 2025

RECOMMENDATION:

1. THAT City Council direct staff to explore inter-municipal recreation services cost-sharing models, with a focus on aquatic facilities, that may be applicable within the context of the City of Langley and the Township of Langley.
 2. THAT City Council direct staff to report back the findings from the exploratory work referenced in Recommendation 1 to City Council.
 3. THAT this resolution be conveyed to the Township of Langley's Mayor Eric Woodward and further advising that following investigation into this matter, Council will subsequently respond to his request accordingly.
-

PURPOSE:

The purpose of this report is to offer preliminary comment in response to the January 31, 2025 letter from Township of Langley's Mayor Eric Woodward regarding City of Langley contributions to Township aquatic subsidies.

POLICY:

Not applicable at this time.

COMMENTS/ANALYSIS:

In the January 31, 2025 letter from Township of Langley's Mayor Eric Woodward to City of Langley's Mayor Nathan Pachal and City Council, he cited that Township of

Langley (“Langley Township”) taxpayers are subsidizing the annual cost for programming, staffing, maintenance and capital renewal from the frequency of use by non-residents from the City of Langley (“Langley City”). Mayor Woodward requests collaboration from Langley City to jointly fund the true cost by providing an annual, multi-year financial commitment from Langley City to assist with the on-going subsidy needed to support Langley Township’s indoor aquatic facilities. Failing this financial commitment from Langley City by March 21, 2025, Mayor Woodward will recommend to Langley Township’s Council to proceed with a non-resident additional surcharge likely to be considered in 2025.

It would be a logical assumption that Langley City’s residents not only use the aquatic facilities in Langley Township but also in surrounding communities. It is reasonable to assume that Langley Township residents and residents from surrounding communities also use Langley City’s Al Anderson Memorial Pool. Langley City has offered the Grade 5 Swim Program to all students in the school district for well over 50 years. Langley City recognizes the benefits of providing recreational opportunities to all segments of our population and our philosophy has been to offer affordable access to our recreational facilities whether you are residents or non-residents of Langley City.

Langley City staff support exploring an inter-municipal recreation services funding model that is based on best practices, is evidence-based, and benefits the residents of both communities. There are various inter-municipal recreation services funding models in British Columbia and across Canada. Recognizing that there is no “one-size fits all’ model, a City of Langley/Township of Langley model will require significant research, analysis and dialogue between the communities to develop a fair, reasonable and equitable inter-municipal recreation services funding model. Given the scope of work required and complexity of such agreements, it is highly unlikely that Langley City will be able to execute an annual, multi-year financial with Langley Township by March 21, 2025.

Due to committed staff resources to implement Council’s strategic initiatives and other priorities, we will need to prioritize the effort required to conduct the necessary research and analysis. Therefore, it is recommended that City Council direct staff to explore best practices and evidence-based inter-municipal recreation services cost-sharing models, with a focus on aquatic facilities, that may be applicable within the context of Langley City and Langley Township and report back to City Council.

BUDGET IMPLICATIONS:

Not applicable at this time.

ALTERNATIVES:

None provided.

Respectfully Submitted,



Francis Cheung, P. Eng.
Chief Administrative Officer

Attachment:

1. January 31, 2025 letter from Township of Langley's Mayor Eric Woodward



EST. 1873

The City of Langley
20399 Douglas Crescent
Langley BC
V3A 4B3

January 31st, 2025

RE: CITY OF LANGLEY CONTRIBUTIONS TO TOWNSHIP AQUATIC SUBSIDIES

Dear Mayor Pachal and City of Langley Council,

As you know, the Township of Langley operates three public aquatic facilities, two of which are indoors. W.C. Blair Recreation Centre resides in close proximity to the City of Langley, the Walnut Grove Community Centre provides the only 50-meter pool in the Langley area, and Aldergrove Community Centre offers year-round outdoor options and a unique summer experience.

While we welcome and appreciate patronage by City of Langley residents, we must consider the annual subsidies required to operate and maintain these facilities. The significant annual cost for programming, staffing, maintenance and capital renewal isn't recoverable from fees and charges. These costs are subsidized solely by taxpayers of the Township of Langley.

Given the frequency of use by non-residents from the City of Langley, without complementary facilities, it's fair and equitable to request collaboration to jointly fund the true cost. Therefore, we are requesting an annual, multi-year financial commitment from the City of Langley to assist with the ongoing annual subsidy needed to support Langley's only indoor aquatic facilities.

In exchange for a mutually acceptable confirmation to assist, I could then recommend to Township of Langley Council that it not proceed with a non-resident additional surcharge likely to be considered in 2025. Please confirm your response for our Council's consideration no later than March 21, 2025. As always, on any issue, I am available to discuss this further, if needed.

Sincerely,

Eric Woodward
Mayor
Township of Langley



REPORT TO COUNCIL

To: **Mayor and Councillors**

Subject: **Next Generation 911 Implementation and Operation Contract**

File #: 0110.00

Doc #: 199494

From: Francis Cheung, P. Eng.
Chief Administrative Officer

Date: February 4, 2025

RECOMMENDATION:

THAT Council authorize the Chief Administrative Officer to execute the Next Generation 911 Implementation and Operation Contract between the City of Langley and Metro Vancouver.

PURPOSE:

The purpose of this report is to seek approval from City Council to authorize the Chief Administrative Officer to execute the Next Generation 911 Implementation and Operation Contract between the City of Langley and Metro Vancouver.

POLICY:

Not applicable.

COMMENTS/ANALYSIS:

The Canadian Radio-television and Telecommunications Commission (CRTC) has mandated the modernization of 911 services to Next Generation 911 (NG911). This mandate was proclaimed on March 22, 2022 to all Public Safety Answering Points (PSAP) and secondary PSAPs, to transfer to NG911 by March 2025. The Next Generation 911 Local Government Service Agreement (LGSA) governs this service.

The LGSA refers to the collaborative efforts and agreements among local governments to transition PSAPs to the NG911 network. NG911 is the evolution of the emergency services network from analog to digital and is critical for updating the

nation's emergency response systems to a modern digital interoperable platform that can handle voice, text, and multimedia communications. This transition also includes the ability to route emergency calls using Geographic Information System (GIS) data and geoprocessing. The geo coordinates in the form of latitude and longitude (potentially including elevation) will route emergency calls with greater precision than a civic address.

The LGSA is part of a broader initiative to enhance emergency services and ensure they are equipped to handle the demands of modern communication technologies. It is a step towards a more unified and standardized approach to emergency response across different jurisdictions and is led by the CRTC along with provincial organizers.

All municipalities in British Columbia are required to sign an LGSA agreement with Telus as the authorized provider of 911 services in British Columbia. Municipalities in the Metro Vancouver Regional District (Metro Vancouver) including Langley City, are required to sign this agreement through Metro Vancouver as the governing body. Metro Vancouver in turn, will be signing on behalf of the Metro Vancouver municipalities with Telus.

Langley City has been working closely with Metro Vancouver, Telus, provincial entities, and other municipalities leading up to the signing of the LGSA to ensure the appropriate language regarding respective responsibilities, particularly related to the accuracy of municipal GIS records, is contained within the agreement.

It must be noted that Metro Vancouver will need to sign LGSA with Telus, as the assigned 911 service provider. To ensure it can meet its obligations under the Telus LGSA, Metro Vancouver is requiring each of its members to enter into a Next Generation 911 Implementation and Operation Contract (IOC). Pursuant to the terms of the LGSA, each member municipality, including the Langley City, will agree to maintain certain GIS data and provide it to Telus. Under the IOC, Langley City will:

- maintain civic location GIS data;
- provide civic location GIS data directly to Telus;
- when required by Telus, associate civic location GIS data with emergency service zones;
- inform Telus of changes in civic location GIS data as soon as possible;
- correct discrepancies and errors with submitted civic location GIS data maintained by the City, as soon as possible after receiving notice from Telus; and provide Telus access to the City's data file of street names and house number ranges (Master Service Addressing Guide) until the legacy 9-1-1 system is decommissioned.

The term of the IOC is from the date signed by Langley City and Metro Vancouver, until the date the LGSA between Telus and Metro Vancouver, expires or is

terminated. The LGSA has an initial term of five years, which will be automatically renewed for successive five year terms. Either Metro Vancouver or Telus can terminate the LGSA by giving the other party at least 6 month's written notice before the end of the applicable term.

The LGSA and the IOC agreements have been reviewed by City staff to ensure the key requirements in the agreement are appropriate and can be supported by Langley City for the term of the agreement.

BUDGET IMPLICATIONS:

No impact to the City. Telus will recover costs associated to this initiative through direct fees levied to each end-user that is provided telecommunications services.

ALTERNATIVES:

None provided.

Respectfully Submitted,



Francis Cheung, P. Eng.
Chief Administrative Officer

Attachments:

1. Next Generation 911 Implementation and Operations Contract
2. Next Generation 911 Local Government Service Agreement

**NEXT GENERATION 9-1-1 IMPLEMENTATION AND OPERATION CONTRACT
MUNICIPALITY**

THIS AGREEMENT signed _____ is effective _____, 2024 (the "**Effective Date**")

BETWEEN:

METRO VANCOUVER REGIONAL DISTRICT

("Metro Vancouver")

AND:

("Municipality")

(each a "**Party**", and together, the "**Parties**")

Background

- A. Metro Vancouver has the capacity and was given the authority by its Supplementary Letters Patent dated May 19, 1988 to implement a regional enhanced 9-1-1 emergency telephone system (the "**E9-1-1 Service**");
- B. Pursuant to the Greater Vancouver Regional District E9-1-1 Emergency Telephone Extended Service Establishment Bylaw No. 645, 1990, the E9-1-1 Service function was converted to an extended service and Metro Vancouver was given the authority to enter into contracts for the provision of all or part of such service;
- C. Pursuant to Telecom Regulatory Policy CRTC 2017-182 titled "Next Generation 9-1-1 – Modernizing 9-1-1 networks to meet the public safety needs of Canadians" ("**TRP 2017-182**"), the legacy 9-1-1 calling system is due to be decommissioned by order of the Canadian Radio-television Commission ("**CRTC**"), to be replaced by Next Generation 9-1-1 ("**NG9-1-1**") system which supports telephone calls, sessions and events (voice, text, video and related data and nonhuman-initiated automatic event alerts, such as alarms, telematics, or sensor data, which may also include real-time voice, text, or video communications) sent from the Serving Area to the 3-digit emergency telephone number 9-1-1 and directed to a public safety answering point ("**NG9-1-1 Calls**");
- D. In light of TRP 2017-182, as part of E9-1-1 Service, Metro Vancouver wishes to provide its inhabitants with the NG9-1-1 service ("**NG9-1-1 Service**"). TELUS Communications Inc. ("**TELUS**") is the sole provider of NG9-1-1 Service in British Columbia. In connection with the NG9-1-1 Service, Metro Vancouver entered or will imminently enter into an agreement with TELUS (the "**TELUS Agreement**");
- E. In connection with NG9-1-1 Service, Metro Vancouver, in respect to Electoral Area A, and Metro

Vancouver members, in respect to their respective areas, are expected to create, maintain, and deliver certain GIS and MSAG data to TELUS; and

- F. By executing this letter agreement, Metro Vancouver and the Municipality (the “**Parties**”) wish to set out their respective rights and obligations in connection with the NG9-1-1 Service.

NOW THEREFORE, in consideration of the premises contained herein, and other consideration (the sufficiency of which is agreed by the Parties), the Parties covenant and agree as follows.

1. In this Agreement, including the Recitals, and including Schedule A, capitalized terms have the same meaning as set out in the TELUS Agreement, except as otherwise expressly defined, and except the following:
 - (a) “Agreement” means this agreement between Metro Vancouver and the Municipality; and
 - (b) “Effective Date” means the reference date of this Agreement.
2. In the interpretation of this Agreement:
 - (a) words importing the singular include the plural and vice versa, and words importing persons include individuals and entities;
 - (b) the words "include" and "including" are to be construed as meaning "including, without limitation";
 - (c) schedules referenced in and attached to this Agreement form part of this Agreement; and
 - (d) the division of this Agreement into sections and the insertion of headings are for convenience only and will not affect the construction or interpretation of the Agreement.
3. In respect to the Municipality’s area, the Municipality will comply with the obligations set out in Schedule A to this Agreement.
4. From time to time, during the Term, the Municipality will deliver to Metro Vancouver such information, records, and documents as Metro Vancouver may reasonably require to confirm compliance by the Municipality with its obligations in this Agreement, including Schedule A. The Municipality acknowledges that Metro Vancouver requires this information to ensure Metro Vancouver’s compliance with the TELUS Agreement.
5. The term of this Agreement will commence on the Effective Date and will continue until the TELUS Agreement expires or is terminated.
6. Subject to the prior approval of TELUS, Metro Vancouver agrees that the Municipality may contact and deal directly with TELUS with respect to matters associated with GIS Data, GIS, and MSAG in the Municipality’s area. Promptly following execution of this Agreement, Metro Vancouver will deliver to TELUS written confirmation of the authority granted to the Municipality pursuant to this section 6.
7. Neither Party will have the right to assign, transfer (whether directly or indirectly by way of a change of control) or otherwise dispose of any of its interest in all or any part of the Agreement, whether

gratuitously or for consideration, without the prior written consent of the other Party.

8. Any notice required pursuant to this Agreement will be in writing and delivered personally, or by electronic means of communication to the addresses listed below or to such other address or contact person as either Party may indicate in writing to the other from time to time.

Metro Vancouver

Metro Vancouver Regional District
Metrotower III
4515 Central Boulevard, Burnaby, BC V5H 0C6
Attention: Division Manager, Protective Services &
Emergency Management
Email: Brant.Arnold-Smith@metrovancover.org

The Municipality

Attention:
Email:

9. This Agreement will enure to the benefit of and be binding upon the Parties and their respective successors and permitted assigns.
10. This Agreement constitutes the entire agreement of the Parties with respect to the subject matter hereof and supersedes any previous agreement between the Parties, whether written or verbal.
11. If any provision of this Agreement is held to be unenforceable, then such provision will be severed from this Agreement and the remaining provisions will remain in full force and effect. The Parties will in good faith negotiate a mutually acceptable and enforceable substitute for the unenforceable provision, which substitute will be as consistent as possible with the original intent of the Parties.
12. The failure of either Party to require the performance of any obligation hereunder, or the waiver of any obligation in a specific instance, will not be interpreted as a general waiver of any of the obligations hereunder, which will remain in full force and effect.
13. No amendment to this Agreement will be valid or binding unless set forth in writing and duly executed by both Parties.
14. This Agreement will not create nor will it be interpreted as creating any association, partnership or any agency relationship between the Parties.
15. This Agreement is governed by and will be construed in accordance with the laws of the Province of British Columbia and the laws of Canada applicable therein, and the Parties attorn to the exclusive jurisdiction of the courts of British Columbia.
16. Time is the essence of this Agreement.
17. This Agreement may be executed electronically and in counterparts, both of which together will constitute one and the same instrument, and either Party may deliver its counterpart page by electronic transmission.
18. Schedule A is attached and forms part of this Agreement.

IN WITNESS WHEREOF the Parties have executed this Agreement as of the Effective Date.

METRO VANCOUVER REGIONAL DISTRICT

THE MUNICIPALITY

Jerry W. Dobrowolny, P.Eng, MBA
Chief Administrative Officer

Schedule A

1. The Municipality confirms that it had the opportunity to review the TELUS Agreement and has received a copy of the TELUS Agreement.
2. For reference, the PSAPs designated under the TELUS Agreement to operate in the Serving Area, and the Emergency Service Zones identified in the TELUS Agreement, are reproduced in Appendix 1 to this Schedule A.
3. The Municipality will not operate a PSAP, or retain any entity to provide services of a PSAP, unless:
 - (a) the Municipality has provided to Metro Vancouver a minimum of 120 days' prior written notice of its intention to do so;
 - (b) Metro Vancouver has confirmed to the Municipality in writing that the proposed PSAP has been designated by Metro Vancouver and TELUS as a PSAP under the TELUS Agreement; and
 - (c) the Municipality has taken reasonable steps to determine that the PSAP is connected to the TELUS NG9-1-1 Network.
4. The Municipality acknowledges that if a PSAP is not designated as a PSAP under the TELUS Agreement, or if a PSAP's operation is not in compliance with the requirements imposed on PSAPs under the TELUS Agreement, TELUS may refuse connecting the PSAP to the TELUS NG9-1-1 Network, or may disconnect the PSAP from the TELUS NG9-1-1 Network, all of which may negatively impact the NG9-1-1 Service.
5. The Municipality acknowledges that under the TELUS NG9-1-1 Tariff (CRTC 21461 Item 1001) (the "**Tariff**"), TELUS will provide NG9-1-1 Service to Metro Vancouver in order to provide End-Users, within the Serving Area, served by Originating Network Providers who have entered into agreements with TELUS with respect to access to NG9-1-1 Service, access to Emergency Services. The Municipality will work collaboratively with Metro Vancouver and TELUS to implement NG9-1-1 Service in the Serving Area in the manner described in the Tariff and in this section 5 of Schedule A. The Municipality acknowledges that answering and handing of emergency calls, sessions, and events, along with the emergency response, are not part of the NG91-1 Service under the Tariff.
6. The Municipality acknowledges that:
 - (a) as set out in section 4.3 of the TELUS Agreement, as of the Effective Date, in the Serving Area, GIS or MSAG are not defined and established under the applicable provincial legislation, and there is no provincial body that acts as a GIS Data Aggregator. NG9-1-1 Service community stakeholders are currently exploring a coordinated approach to have GIS Data aggregation across the Province of British Columbia; and

- (b) as set out in section 3.1.5 of the TELUS Agreement, TELUS will receive GIS Data, aggregate GIS Data into a dataset, and maintain the GIS dataset for the Serving Area.
7. As set out in section 4.2 of the TELUS Agreement, the Municipality acknowledges that in cases where NG9-1-1 Calls are delivered to TELUS without complete location information, they may be routed to a default PSAP which may be a default i3 PSAP, designated by the provincial government of British Columbia, or an alternate default PSAP selected and managed by TELUS.
8. As set out in section 4.4 of the TELUS Agreement, in respect of its area, the Municipality will:
- (a) as of and from a date mutually determined by the Municipality, Metro Vancouver, and TELUS, which date will reflect the implementation of the GIS functionality within the TELUS NG9-1-1 Network, the readiness of the Municipality, and the CRTC directives on the GIS functionality for NG9-1-1 Service:
 - i. maintain Civic Location GIS Data;
 - ii. provide Civic Location GIS Data maintained by the Municipality directly to TELUS in a secure manner without transiting through any shared open platform, the technical details of the manner of transiting to be provided by TELUS in advance of GIS functionality implementation;
 - iii. when required by TELUS, associate Civic Location GIS Data maintained by the Municipality with Emergency Service Zones;
 - iv. inform TELUS of changes in the Civic Location GIS Data maintained by the Municipality. Changes in that data must be reported to TELUS as soon as possible; and
 - v. correct discrepancies and errors with submitted Civic Location GIS Data, as reported by TELUS, as soon as possible after receiving from TELUS a Discrepancy Report identifying the discrepancy/error, and resubmit the data to TELUS;
 - (b) provide TELUS access to the Municipality's data file of street names and house number ranges (also known as the Municipality's Master Service Addressing Guide) until such time as the legacy 9-1-1 network is decommissioned or advised by TELUS that the data file of street names and house number ranges is no longer required; and
 - (c) notify TELUS and Metro Vancouver in writing, as soon as possible after entering into this Agreement, and subsequently in accordance with section 10 of this Schedule A, if the LGA or the LGA Member intends to have a third party submit to TELUS GIS Data on its behalf.
9. As set out in section 4.5 of the TELUS Agreement:

- (a) the Parties acknowledge that the NG9-1-1 GIS Data Model is in its preliminary stages of implementation in Canada;
 - (b) the Municipality acknowledges that in cases where NG9-1-1 Calls are delivered to TELUS without complete location information, they may be routed to a default PSAP which may be a default i3 PSAP, designated by the provincial government of British Columbia, or an alternate default PSAP selected and managed by TELUS¹;
 - (c) the Municipality, in respect to its area, does not manage Civic Location GIS Data for provincial highways. This Civic Location GIS Data is managed by the Province of British Columbia. The Municipality will use reasonable commercial efforts to collaborate with Metro Vancouver and the Province of British Columbia, as necessary to facilitate the submission to TELUS of Civic Location GIS Data by the Province on provincial highways; and
 - (d) the Municipality, in respect to its area, does not manage Civic Location GIS Data for federal highways, and other types of federal lands (including airport lands and port lands). The Municipality will use reasonable commercial efforts to collaborate with Metro Vancouver, the Government of Canada, or its agents, as applicable, and the Province of British Columbia, to facilitate the submission to TELUS by either of the foregoing entities of Civic Location GIS Data on federal lands.
10. As set out in section 4.6 of the TELUS Agreement, the Municipality will provide Metro Vancouver a minimum of 120 days' written notice of an intended change in the Civic Location GIS Data providers, to enable Metro Vancouver to provide TELUS with a 90 days' written notice to that effect.
11. As set out in section 4.7 of the TELUS Agreement, the Municipality acknowledges that TELUS will collaborate with the Province of British Columbia to engage directly with First Nation governments in the Serving Area to support the collection and aggregation of GIS Data on the First Nation Lands. The Municipality will assist Metro Vancouver, TELUS and the Province to identify the First Nation Lands in the Municipality's area.
12. As set out in section 4.12, the Municipality acknowledges that, from time to time, due to unforeseen major outages or planned upgrades, TELUS network may be impacted and changes to addressing database may be suspended. The Municipality will support Metro Vancouver and TELUS, and work cooperatively with Metro Vancouver and with TELUS during such events.
13. As set out in section 7.1 of the TELUS Agreement, forthwith after signing this Agreement, the Municipality will deliver to Metro Vancouver and to TELUS the Confidential Information Consent

¹ See also section 7 of this Schedule A. This acknowledgment is duplicated in the same manner in the TELUS Agreement.

Form, signed by an authorized signatory of the Municipality, in the form attached as Appendix 2 to this Schedule A.

14. As set out in section 7.3 of the TELUS Agreement, the Municipality acknowledges that TELUS' commitment to the protection of personal information is further detailed in the TELUS Business Customer Privacy Policy available at www.telus.com/businessprivacy. TELUS' provision of the NG9-1-1 Service is subject to this policy. This policy may be updated by TELUS from time to time, provided that all updates must be in compliance with all applicable laws. The amended policy will be posted at the location above. Unless otherwise indicated, the effective date of the amended policy will be the date of posting.
15. As set out in section 7.4 of the TELUS Agreement, the Municipality agrees that any information including any and all written documentation provided by TELUS to the Municipality, directly or through Metro Vancouver, pertaining to the design, development, implementation, the operation and the maintenance of the NG9-1-1 Service is confidential, and will be provided only to such persons who have a need to know for the purposes of NG9-1-1 Service. The Municipality will not, and will not permit any of its employees, servants, agents, assignees and/or contractors, to duplicate, reproduce, or otherwise copy any such confidential information for any purpose whatsoever, except as may be required by any such employees, servants, agents, assigns and/or contractors with a need to do so for the purposes of NG9-1-1 Service.
16. The Parties will:
 - (a) abide by all applicable federal and provincial legislation with respect to the protection of privacy and confidential information in effect from time to time;
 - (b) promptly advise each other of any security incident that involves loss or unauthorized disclosure of confidential or personal information collected and retained pursuant to this Agreement, and cooperatively work to address any such incident;
 - (c) promptly assist each other to respond to any information requests which require response pursuant to applicable laws; and
 - (d) promptly assist each other in connection with a privacy impact assessment prepared by either Party in connection with the NG9-1-1 Service in the Serving Area.
17. The Municipality will indemnify Metro Vancouver against all reasonable claims and expenses (including reasonable legal costs) that Metro Vancouver incurs as a result of breach by the Municipality of its obligations under sections 13 to 16 (inclusive) of this Schedule A, except to the extent resulting from wrongful acts or gross negligence of Metro Vancouver, or breach by Metro Vancouver of its obligations under sections 13 to 16 (inclusive) of this Schedule A.
18. As set out in section 12.2 of the TELUS Agreement, the Municipality acknowledges that TELUS may immediately suspend the entirety or a portion of the NG9-1-1 Service if TELUS has

reasonable cause to believe that the Metro Vancouver's NG9-1-1 traffic is compromised or otherwise poses a risk to the NG9-1-1 Service or the TELUS NG9-1-1 Network.

19. Appendices 1 and 2 are attached to and form part of this Schedule A.

20. Sections 13 to 17 (inclusive) will survive the expiration or the earlier termination of this Agreement.

**Appendix 1
PSAPs and Emergency Service Zones**

PSAP Serving Information					
PSAP Name	PSAP Address	PSAP Address – Backup Site	Target Migration Date		
E-Comm 9-1-1	3301 E Pender Street Vancouver, BC	2955 Virtual Way Vancouver, BC			
Burnaby Fire Dispatch	4867 Sperling Ave Burnaby, BC	3151 Gilmore Diversion Burnaby, BC			
Surrey Fire Regional Dispatch	8767 132nd Street Surrey, BC	14355 57th Avenue Surrey, BC			
E-Comm Fire Dispatch	3301 E Pender Street Vancouver, BC	2955 Virtual Way Vancouver, BC			
E-Comm Police	3301 E Pender Street Vancouver, BC	2955 Virtual Way Vancouver, BC			
Metro Vancouver Regional District					
ESZ	Community	Local Government	9-1-1 Answer	Fire	Police
4221	Electoral Area A: University Endowment Lands University of British Columbia	Metro Vancouver RD	ECOMM	ECOMM Fire	ECOMM Police
4261	City of Vancouver	Metro Vancouver RD	ECOMM	ECOMM Fire	ECOMM Police
4277	City of Richmond	Metro Vancouver RD	ECOMM	ECOMM Fire	ECOMM Police
4298	City of Burnaby	Metro Vancouver RD	ECOMM	Burnaby Fire	ECOMM Police
4461	Village of Anmore Village of Belcarra Electoral Area A: Boulder Island and	Metro Vancouver RD	ECOMM	Surrey Fire	Coquitlam RCMP

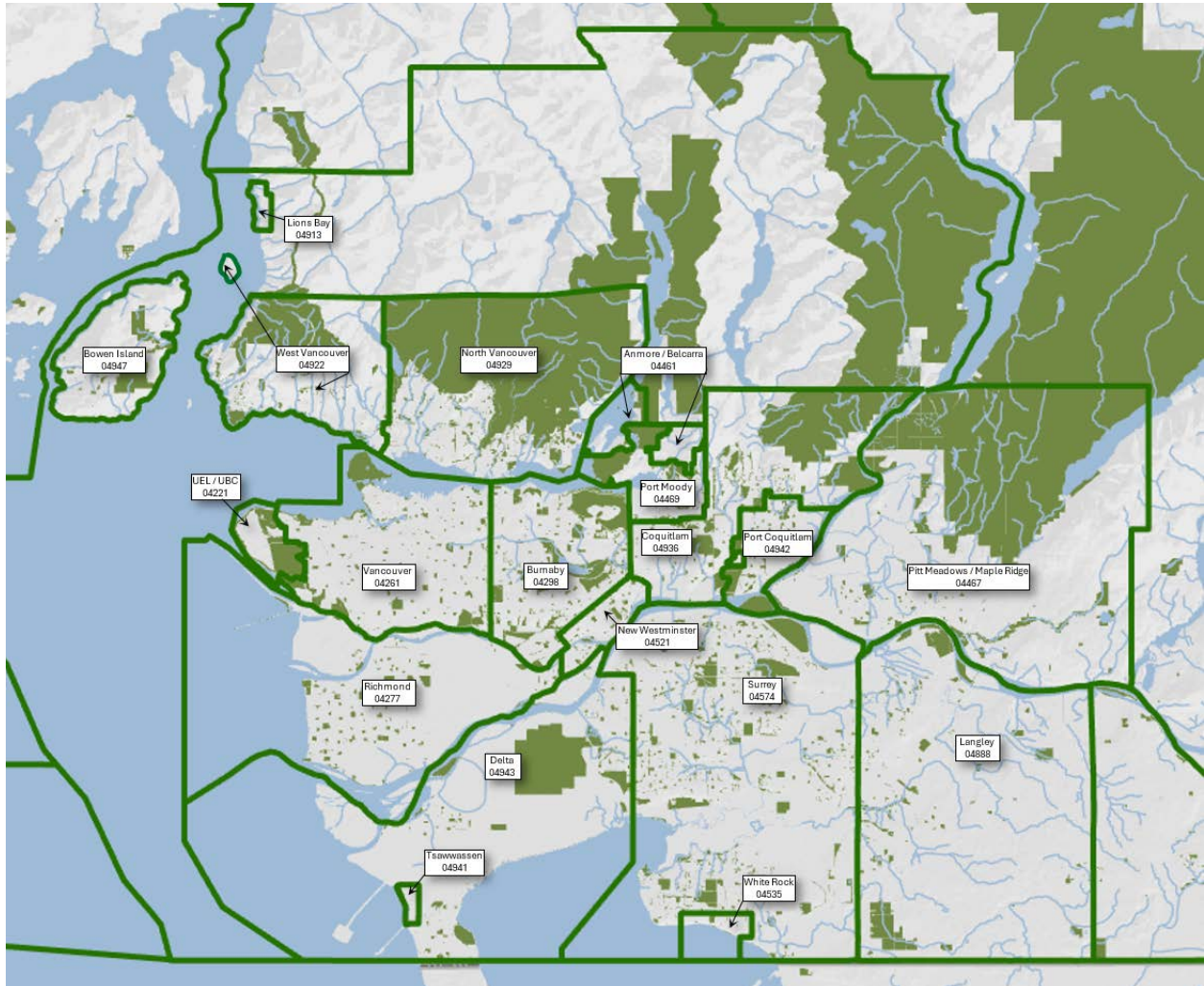
	Carraholly Point				
4467	City of Maple Ridge City of Pitt Meadows Electoral Area A: including communities of Ocean Point, Strachan Point and Montizambert Wynd ²	Metro Vancouver RD	ECOMM	Surrey Fire	ECOMM Police
4947	Bowen Island Municipality	Metro Vancouver RD	ECOMM	Surrey Fire	ECOMM Police
4469	City of Port Moody	Metro Vancouver RD	ECOMM	ECOMM Fire	ECOMM Police
4521	City of New Westminster	Metro Vancouver RD	ECOMM	ECOMM Fire	ECOMM Police
4535	City of White Rock	Metro Vancouver RD	ECOMM	Surrey Fire	RCMP Surrey
4574	City of Surrey ³ Electoral Area A: Barnston Island	Metro Vancouver RD	ECOMM	Surrey Fire	RCMP Surrey
4888	City of Langley Township of Langley	Metro Vancouver RD	ECOMM	Surrey Fire	RCMP Langley

² See Appendix 1 to this Schedule B for sketch plan of the area.

³ The City of Surrey coordinates PSAP operations within the municipal boundaries of the City of Surrey. See section 1.3 of this Agreement.

4913	Village of Lions Bay	Metro Vancouver RD	ECOMM	Surrey Fire	ECOMM Police
4922	District of West Vancouver Electoral Area A: Bowyer Island, Passage Island	Metro Vancouver RD	ECOMM	Surrey Fire	ECOMM Police
4929	City of North Vancouver District of North Vancouver	Metro Vancouver RD	ECOMM	Surrey Fire	ECOMM Police
4936	City of Coquitlam	Metro Vancouver RD	ECOMM	ECOMM Fire	Coquitlam RCMP
4941	scəwəθən məsteyəx ^w Tsawwassen First Nation Lands	Metro Vancouver RD	ECOMM	ECOMM Fire	ECOMM Police
4942	City of Port Coquitlam	Metro Vancouver RD	ECOMM	Surrey Fire	Coquitlam RCMP
4943	City of Delta	Metro Vancouver RD	ECOMM	ECOMM Fire	ECOMM Police

Appendix 1 continued - Emergency Service Zones



Appendix 2
Confidential Information Consent Form

From: _____ (the “Municipality”)
To: TELUS COMMUNICATIONS INC. (TELUS)
Re: NG9-1-1 Service provided by TELUS within the geographic boundaries of Metro Vancouver Regional District (NG9-1-1 Service)
Date:

Unless the Municipality provides express written consent, or disclosure is pursuant to an applicable law, all information provided to TELUS by the Municipality in connection with NG9-1-1 Service, other than the Municipality’s name, address and listed telephone number, is confidential and may not be disclosed by TELUS to anyone other than:

- (a) The Municipality;
- (b) A person who, in the reasonable judgment of TELUS, is seeking the information as an authorized agent of the Municipality;
- (c) Another telecommunications company, provided the information is required for the efficient and cost-effective provision of the NG9-1-1 Service and disclosure is made on a confidential basis with the information to be used only for that purpose;
- (d) An agent retained by TELUS in the collection of payments (if any) lawfully due to TELUS by the Municipality in connection with NG9-1-1 Service, provided the information is required for and is to be used only for that purpose;
- (e) Governmental authority or agent of a governmental authority, for emergency public alerting purposes, if the governmental authority has determined that there is an imminent or unfolding danger that threatens the life, health or security of an individual and that the danger could be avoided or minimized by disclosure of information; and
- (f) A TELUS affiliate involved in supplying Metro Vancouver Regional District and/or the Municipality with the NG9-1-1 Service, provided the information is required for that purpose and disclosure is made on a confidential basis with the information to be used only for that purpose.

By:

NEXT GENERATION 9-1-1 LOCAL GOVERNMENT SERVICE AGREEMENT

This Agreement for the provision of TELUS' Next Generation 9-1-1 Service (the "**Agreement**") is effective the _____ day of _____, 2025 (the "**Effective Date**")

BETWEEN:

Metro Vancouver Regional District
(the "**Local Government Authority**" or "**LGA**")

AND:

TELUS Communications Inc.
(**"TELUS"** or the "**Company**")
(each a "**Party**", and together, the "**Parties**")

WHEREAS:

- A. The LGA is a regional district incorporated and operating pursuant to the *Local Government Act* (BC). The LGA is composed of member municipalities, one treaty First Nation, and Electoral Area A ("**LGA Members**");
- B. Within the Serving Area:
 - the Primary PSAP is the Emergency Communications Corporation established pursuant to the *Emergency Communications Corporations Act* (BC) ("**E-Comm**"), and administered by the province;
 - the LGA contracts with E-Comm to ensure the provision of initial 9-1-1 calling services within the LGA boundaries; and
 - provincial, federal, and municipal authorities (including the LGA and the LGA Members) administer, govern, and regulate the Emergency Services and the PSAPs, when the LGA, more particularly, contractually administers the PSAPs, including E-Comm, as specified in this Agreement;
- C. The LGA wishes to provide its inhabitants with access to Next-generation 9-1-1 service ("**NG9-1-1 Service**") through calls, sessions and events sent to the 3-digit emergency telephone number 9-1-1;
- D. The legacy 9-1-1 service is, as per Telecom Regulatory Policy CRTC 2017-182 titled "Next Generation 9-1-1 – Modernizing 9-1-1 networks to meet the public safety needs of Canadians" ("**TRP 2017-182**"), due to be decommissioned by order of the Canadian Radio-television Commission ("**CRTC**");
- E. The current legacy 9-1-1 services will remain in effect and supplement the NG9-1-1 Service until such time the legacy 9-1-1 network is decommissioned;
- F. As mandated by the CRTC under TRP 2017-182, TELUS is the sole provider of NG9-1-1 Service in British

NEXT GENERATION 9-1-1 LOCAL GOVERNMENT SERVICE AGREEMENT

Columbia, and as such can route calls, sessions or events from the inhabitants of the LGA calling the 3-digit emergency telephone number 9-1-1 to the appropriate PSAP which provides the 9-1-1 caller with access to Emergency Services;

- G. The NG9-1-1 Service is Internet Protocol (“IP”) based and is designed to replace the legacy provincial basic and enhanced 9-1-1 service, which will transit calls, sessions and events to the 3-digit emergency telephone number 9-1-1 in accordance with the terms and conditions laid out in applicable CRTC policies and decisions, including TRP 2017-182 and Telecom Decision CRTC 2021-199 (“**Decision 2021-199**”);
- H. TELUS NG9-1-1 Tariff (CRTC 21461 Item 1001)¹ (the “**Tariff**”) states that TELUS will recover costs associated with delivering the TELUS NG9-1-1 Service in the form of a fee levied against each End-User;
- I. In Telecom Order 2021-421, the CRTC approved a template NG9-1-1 Local Government Service Agreement for use by TELUS and local government authorities responsible for the provision of emergency services in Alberta and British Columbia. In Telecom Order 2022-119, the CRTC approved a modification to the original template filed by TELUS, and confirmed that the CRTC expects that finalized agreements between TELUS and local government authorities will be modified, as necessary, to account for individual local government authority context; and
- J. The Parties wish to enter into this Agreement for NG9-1-1 Service within the boundaries of the LGA, using a template agreement approved by the CRTC as modified to reflect the circumstances of the LGA and the reality that the details of NG9-1-1 implementation, including in respect to GIS Data, are still being worked on by the NG9-1-1 community,

NOW THEREFORE in consideration of the mutual agreements hereinafter contained and other good and valuable consideration, the Parties hereto agree as follows:

1 INTERPRETATION

- 1.1 In this Agreement, in addition to those terms which are parenthetically defined, capitalized terms will have the meanings ascribed to them in Schedule A (Definitions).
- 1.2 TELUS has or will enter into a contract with: (a) the British Columbia Health Care Services (“**Health Care Services**”) and (b) the Royal Canadian Mounted Police (“**RCMP**”) in connection with (among other things) their respective administration of public safety answering points within the Serving Area, including, with respect to RCMP, the municipally-run RCMP operational communications centres in the City of Langley, the City of Coquitlam and the City of Surrey. The LGA has no contracts with the Health Care Services or the RCMP in connection with this Agreement, or the administration of public safety answering points in the Serving Area supported by the Health Care Services and the RCMP. As such, the LGA has no obligation to coordinate with the Health Care Services and the RCMP in connection with this Agreement.

¹ This Tariff was filed by TELUS with the CRTC in accordance with the process laid out in TRP 2017-182.

NEXT GENERATION 9-1-1 LOCAL GOVERNMENT SERVICE AGREEMENT

- 1.3 TELUS has or will enter into a contract with the City of Surrey in connection with (i) the GIS Data delivery within the municipal boundaries of the City of Surrey, and (ii) the PSAPs operating within the municipal boundaries of the City of Surrey (the “**TELUS/Surrey Agreement**”). As such, in respect of the municipal boundaries of the City of Surrey, the LGA has no obligation to coordinate with the City of Surrey in connection with this Agreement.
- 1.4 As of the Effective Date, *NENA Standard for NG9-1-1 GIS Data Model, NENA-STA-006* (the “**NG9-1-1 GIS Data Model**”) is the baseline standard for NG9-1-1 GIS services in Canada.

2 SCOPE OF AGREEMENT

- 2.1 **Agreement:** Without limiting section 13.3, the Parties hereby agree to fulfil their respective obligations as per the terms and conditions set out in the Tariff and those contained in this Agreement, in order to provide and receive NG9-1-1 Service in the Serving Area. The Parties agree that this Agreement is for their mutual advantage and is designed to provide continued access to NG9-1-1 Service to the served inhabitants within the Serving Area.
- 2.2 **Cost Recoveries:** The Parties agree that TELUS will recover costs associated with delivering the NG9-1-1 Service via the Tariff in the form of a fee levied against each End-User.
- 2.3 **Service Description:** The NG9-1-1 Service provides a managed, private, dedicated IP network referred to as the Emergency Services Internet Protocol network (“**ESInet**”). The ESInet provides the transport and interconnectivity for all i3-PSAPs within the Serving Area as well as Originating Network Provider networks supporting 9-1-1 calling over IP-based networks and devices. For i3-PSAPs, TELUS delivers the ESInet to the Primary PSAP and the Secondary PSAP operations premise using TELUS’s IP VPN (Virtual Private Network) service to the PSAPs. The NG9-1-1 Service also provides a series of applications and service interfaces known as NG9-1-1 Core Services (“**NGCS**”) and may include other third-party applications from Trusted Entities (as defined in section 6.1) as may be requested by the LGA, and agreed to by TELUS. NG9-1-1 Service features are described in the User-to-Network Interface (“**UNI**”) document. The LGA agrees that TELUS is not responsible nor liable for damages arising from the LGA’s or the PSAPs’ use of third-party applications in conjunction with the TELUS NG9-1-1 Service, unless (a) the application is approved by TELUS, or (b) the application is permitted or required by an applicable law, a court order, or a governmental authority (including CRTC). TELUS agrees that the LGA and the PSAPs are not responsible nor liable for damages arising from TELUS’ wrongful or grossly negligent operation and administration of the NG9-1-1 Service.

3 TELUS’ OBLIGATIONS

- 3.1 Without limiting TELUS’ obligations under the Tariff, or any policies, orders and decisions of the CRTC, in accordance with the Tariff, TELUS will:
 - 3.1.1 Provide NG9-1-1 Service to the LGA in order to provide End-Users, within the Serving Area, served by Originating Network Providers who have entered into agreements with TELUS with respect to access to NG9-1-1

NEXT GENERATION 9-1-1 LOCAL GOVERNMENT SERVICE AGREEMENT

Service, access to Emergency Services through calls, sessions and events sent to the 3-digit emergency telephone number 9-1-1, as further described herein;

- 3.1.2. Provide TELUS' Next Generation 9-1-1 network (the "**TELUS NG9-1-1 Network**") access, network termination/demarcation, and services to the Primary PSAP and the Secondary PSAPs, in the manner agreed to by TELUS and the LGA from time to time, to be used to answer and transfer calls, sessions and events to the 3-digit emergency telephone number 9-1-1;
- 3.1.3. Provide Selective Routing and Transfer of emergency calls, sessions and events to the Primary PSAP and Secondary PSAPs according to instructions provided by the LGA from time to time, including those described in PSAP Contingency Plans;
- 3.1.4. Provide 9-1-1 caller information, as ordered by the CRTC, to the PSAP(s);
- 3.1.5. For the Serving Area: receive GIS Data, aggregate GIS Data into a dataset, and maintain the GIS Data dataset;
- 3.1.6. Be responsible for any other requirements not specifically identified in this Agreement related to matters of the kind as imposed by the CRTC;
- 3.1.7. Where an Originating Network Provider has entered into agreements with TELUS with respect to access to NG 9-1-1 Service, TELUS will remain responsible for all aspects of the operation of the NG 9-1-1 Service and will not be relieved of any of its obligations under this Agreement;
- 3.1.8. Maintain a 24x7 9-1-1 Support Team to monitor the TELUSNG9-1-1 Network and coordinate activities with stakeholders;
- 3.1.9. Maintain a fallback Operator Service that will accept NG9-1-1 Calls, sessions and events and route them to the appropriate PSAP in the event of network, routing, or location issues;
- 3.1.10. Selectively route and enable the selective transfer of NG9-1-1 Calls to the Primary PSAP, Secondary PSAPs and Dispatch Agency according to Policy Routing Rules crafted to the needs of the LGA, including those described in PSAP Contingency Plans;
- 3.1.11. Maintain a PSAP Contingency Plan as prepared by each PSAP in the event of network or customer equipment outage or evacuation. Schedule E sets out the Contingency Plans and Policy Routing Rules in place as of the Effective Date. The Parties may update Schedule E as necessary from time to time, by mutual written consent, without requiring an amendment to this Agreement;
- 3.1.12. Perform Quality Assurance and Quality Control (QA/QC) (as described in

NEXT GENERATION 9-1-1 LOCAL GOVERNMENT SERVICE AGREEMENT

the Tariff) on the aggregated GIS Data dataset and provide mapping and addressing discrepancy/errors reporting back to the LGA or its designees (the “**Discrepancy Report**”). For greater certainty, this includes resolving gaps, overlaps, and other GIS Data discrepancies; and

- 3.1.13. Provide ESInet IP connection with redundant and, dependent upon availability, diverse facilities to the Primary PSAP and the Secondary PSAP locations listed in Schedule B.
- 3.2 TELUS is responsible for delivering NG9-1-1 traffic to the TELUS NG9-1-1 Demarcation Point(s). TELUS will not be responsible for any issues, nor will it troubleshoot outages or failures proved to be occurring with the PSAP network, which begin on the PSAP- side of the TELUS NG9-1-1 Demarcation Point. Neither the LGA nor the PSAPs will be responsible for any issues, nor will they troubleshoot outages or failures, proved to be occurring with the TELUS network on the TELUS side of the TELUS NG9-1-1 Demarcation Point.

4 OBLIGATIONS OF THE LGA

4.1 The LGA:

- 4.1.1. Has designated the Primary PSAPs and the Secondary PSAPs, including back up locations for the PSAPs, to answer and dispatch 9-1-1 Calls in the Serving Area, as set out in Schedule B. In the event that the LGA or an LGA Member contracts with a third party for the management and operation of a PSAP, the LGA will not be relieved of any of its obligations under this Agreement.
- 4.1.2. Will provide TELUS with a minimum of ninety (90) days’ written notice of an intended change of a PSAP in the Serving Area.
- 4.1.3. Will require the PSAPs to:
 - (a) operate in the manner that is i3-compliant, based on the technical requirements listed in Schedule C;
 - (b) provide, operate, and manage the personnel and the equipment, including terminal equipment, required to receive and process all emergency calls, sessions and events directed to the PSAP, based on the technical requirements listed in Schedule C; and
 - (c) establish a PSAP’s Business Continuity Plan and to test it annually.
- 4.2 The LGA acknowledges and understands that in cases where NG9-1-1 Calls are delivered to TELUS without complete location information, they may be routed to a default PSAP which may be a default i3 PSAP, designated by the provincial government of British Columbia, or an alternate default PSAP selected and managed by TELUS.
- 4.3 The Parties acknowledge that, as of the Effective Date of this Agreement, in the Serving Area, GIS or MSAG are not defined and established under the applicable provincial

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legislation, and there is currently no provincial or regional body that acts as a GIS Data aggregator (the “**GIS Data Aggregator**”). The Parties further acknowledge that NG9-1-1 Service community stakeholders are currently exploring a coordinated approach to have GIS Data aggregation across the Province of British Columbia.

- 4.4 The LGA will, in respect to Electoral Area A, and will direct each LGA Member (except the City of Surrey) in respect to their respective areas to:
- 4.4.1. as of and from a mutually acceptable date, which will reflect the implementation of the GIS functionality within the TELUS NG9-1-1 Network, the readiness of the LGA and the LGA Members, and the CRTCC directives on the GIS functionality for NG9-1-1 Service:
 - (a) maintain the layers of GIS Data as described in the NG9-1-1 GIS Data Model (collectively, the “**Civic Location GIS Data**”);
 - (b) provide Civic Location GIS Data maintained by the LGA or the LGA Member directly to TELUS in a secure manner without transiting through any shared open platform, the technical details of the manner of transiting to be provided by TELUS in advance of GIS functionality implementation;
 - (c) when required by TELUS, associate Civic Location GIS Data maintained by the LGA or the LGA Member with Emergency Service Zones;
 - (d) inform TELUS of changes in the Civic Location GIS Data maintained by the LGA or the LGA Member. Changes in that data must be reported to TELUS as soon as possible; and
 - (e) correct discrepancies and errors with submitted Civic Location GIS Data, as reported by TELUS, as soon as possible after receiving from TELUS a Discrepancy Report identifying the discrepancy/error, and resubmit the data to TELUS; and
 - 4.4.2. provide TELUS access to the LGA’s or the LGA Member’s data file of street names and house number ranges (also known as an LGA’s or the LGA Member’s Master Service Addressing Guide) until such time as the legacy 9-1-1 network is decommissioned or advised by TELUS that the data file of street names and house number ranges is no longer required and notify TELUS in writing, as soon as possible, if the LGA or the LGA Member intends to have a third party submit to TELUS GIS Data on its behalf. To the extent known as of the Effective Date, third parties identified to submit Civic Location GIS Data on behalf of the LGA or an LGA Member are identified in Schedule D.
 - 4.4.3. The Parties may update Schedule D, from time to time, by mutual written consent, without requiring an amendment to this Agreement. If a GIS Data Aggregator is willing to assume some of the obligations of the LGA or LGA Member under this Agreement, the Parties will work cooperatively to amend this Agreement, as needed, to reflect the role of such GIS Data Aggregator and any changes to the rights or obligations of each Party.

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- 4.5 As of the Effective Date:
- 4.5.1. the Parties acknowledge that the NG9-1-1 GIS Data Model is in its preliminary stages of implementation in Canada;
 - 4.5.2. the LGA acknowledges that in cases where NG9-1-1 Calls are delivered to TELUS without complete location information, they may be routed to a default PSAP which may be a default i3 PSAP, designated by the provincial government of British Columbia, or an alternate default PSAP selected and managed by TELUS;
 - 4.5.3. the LGA and the LGA Members do not manage Civic Location GIS Data for provincial highways. This Civic Location GIS Data is managed by the Province of British Columbia. The LGA will use reasonable commercial efforts to collaborate with the Province of British Columbia to facilitate the submission to TELUS of Civic Location GIS Data by the Province on provincial highways; and
 - 4.5.4. the LGA and the LGA Members do not manage Civic Location GIS Data for federal highways, and other types of federal lands (including airport lands and port lands). The LGA will use reasonable commercial efforts to collaborate with the Government of Canada, or its agents, as applicable, and the Province of British Columbia, to facilitate the submission to TELUS by either of the foregoing entities of Civic Location GIS Data on federal lands.
- 4.6 The LGA will provide TELUS with a minimum of ninety (90) days' written notice of an intended change in the Civic Location GIS Data providers.
- 4.7 The Parties acknowledge and agree that there are several First Nation reserves and treaty lands within the Serving Area (the "**First Nation Lands**"). TELUS will collaborate with the Province of British Columbia to engage directly with the respective First Nation governments to support the creation, collection, and aggregation of Civic Location GIS Data on the First Nation Lands. The LGA will assist TELUS and the Province to identify the First Nation Lands in the Serving Area and to complete Schedule G. The Parties may update Schedule G, from time to time, by mutual written consent, without requiring an amendment to this Agreement.
- 4.8 With respect to the Serving Area, the LGA will:
- 4.8.1. Determine, in conjunction with TELUS, the Serving Area and Emergency Service Zones served by the PSAPs. For greater certainty, the Serving Area and the Emergency Service Zones have been determined as of the Effective Date, as set out in Schedule B. The Parties may update Schedule B, from time to time, by mutual written consent, without requiring an amendment to this Agreement;

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- 4.8.2. Ensure the PSAPs have secure 9-1-1 data and systems within the PSAPs domains, which security includes physical security, network security, cybersecurity, and all other considerations within the PSAPs domains, all in the manner generally accepted in Canada for such services;
 - 4.8.3. Ensure the PSAPs have and maintain current contact information and make it available as per the NENA i3 standard;
 - 4.8.4. Ensure the Primary PSAP accepts specific planned test calls from the public;
 - 4.8.5. Ensure the Primary PSAP implements a call handling solution that includes a test call interface and automaton as described in NENA i3; and
 - 4.8.6. Provide TELUS with 85 days written notice of an intended change in borders of the Serving Area.²
- 4.9 The LGA will ensure the PSAPs comply with the current UNI and NENA i3 standards and other technical and operational requirements set out in the documents referenced in this Agreement, or otherwise communicated by TELUS to all LGAs and PSAPs prior to the Effective Date. The Parties acknowledge and understand that technical and operational requirements related to the NG9-1-1 Service may evolve from time to time, or need to be detailed. If, after the Effective Date:
- 4.9.1. CRTC orders TELUS to implement new technical, or operational requirements in connection with the NG9-1-1 Service; or
 - 4.9.2. TELUS implements new technical, or operational requirements to address safety, security, or similar concerns,
- then, if directed to do so in writing by TELUS, the LGA will require the PSAPs to comply with the new technical and operational requirements on the implementation schedule set out by the CRTC, or by TELUS, acting reasonably. Change of technical and operational requirements pursuant to this section 4.9 will not require an amendment to this Agreement.
- 4.10 The LGA will require PSAPs to not authorize, assist, or permit any person, other than TELUS, to change, repair, reinstall or tamper with the TELUS NG9-1-1 Network located on property owned or operated by the PSAP, up to the PSAP side of the Demarcation Point.
- 4.11 The LGA recognizes that the NG9-1-1 Service allows for many new functionalities regarding types of data that can be transmitted over the TELUS NG9-1-1 Network. It is expected that the CRTC will order TELUS to implement such new functionalities. The availability of these functionalities may require software and/or hardware upgrades by the PSAPs. If, after the Effective Date, CRTC orders TELUS to implement new functionalities, then, if directed to do so by TELUS in writing, the LGA will require the

² Please see Telecom Decision 2011-309 – CISC consensus reports – Emergency Services Working Group – ESRE0053 Section 4.2.2 – Change activity timelines.

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PSAPs to implement the necessary software and/or hardware upgrades on the implementation schedule set out by the CRTC. Implementation of new functionalities pursuant to this section 4.11 will not require an amendment to this Agreement.

- 4.12 The LGA acknowledges that, from time to time, due to unforeseen major outages or planned upgrades, TELUS network may be impacted and changes to addressing database may be suspended. The LGA will, and will require the PSAPs to, support, and work cooperatively with TELUS during such events.
- 4.13 The LGA will require the PSAPs to implement guidelines and procedures with respect to the retention and destruction of the End Users' personal information (the term "personal information" is defined in the same manner as in the *BC Freedom of Information and Protection of Privacy Act*) related to NG9-1-1 Service, prior to the provision of the NG9-1-1 Service, in accordance with the *BC Freedom of Information and Protection of Privacy Act*.
- 4.14 The LGA will require the PSAPs to:
- 4.14.1. Take all reasonable steps necessary to ensure that all communications destined for carriage over the TELUS NG9-1-1 Network will be secure, in the manner generally accepted in Canada for such services; and
 - 4.14.2. Take all reasonable steps necessary to protect the confidentiality of the information carried over these networks, to the extent generally accepted in Canada for such services.
- 4.15 The LGA warrants and represents that it has the authority to:
- 4.15.1. Enter into this Agreement;
 - 4.15.2. Through its agreements with PSAPs, utilize the NG 9-1-1 Service to provide End-Users within the Serving Area, served by TELUS or by Originating Network Providers who have entered into agreements with TELUS with respect to access to the NG 9-1-1 Service; and
 - 4.15.3. Through its agreements with PSAPs, determine that all End-Users, within the Serving Area, served by TELUS or by Originating Network Providers who have entered into agreements with TELUS with respect to access to the NG9-1-1 Service, will receive access to NG-9-1-1 Service through use by the LGA of the NG9-1-1 Service.

5 PROPERTY RIGHTS

- 5.1 Title to, ownership of, and all intellectual property rights in any facilities, equipment, software, systems, processes, and documentation used by TELUS to provide the NG 9-1-1 Service and all enhancements on them will be and remain with TELUS or its suppliers. Except as expressly set forth elsewhere in this Agreement, this Agreement does not grant the LGA any intellectual property or other rights or licenses in or to any service

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components listed above.

6 TRUSTED ENTITIES

- 6.1 Trusted entities are entities that have been qualified, certified and authorized by either TELUS, or CRTC, or both, to connect to the TELUS NG 9-1-1 Network (“**Trusted Entities**”).

7 CONFIDENTIAL INFORMATION

- 7.1 Unless the LGA provides express written consent, or disclosure is pursuant to an applicable law, all information provided to TELUS by the LGA pursuant to this Agreement, other than the LGA’s name, address and listed telephone number, is confidential and may not be disclosed by TELUS to anyone other than:

- 7.1.1. The LGA;
- 7.1.2. A person who, in the reasonable judgment of TELUS, is seeking the information as an authorized agent of the LGA;
- 7.1.3. Another telecommunications company, provided the information is required for the efficient and cost-effective provision of the NG9-1-1 Service in the Serving Area and disclosure is made on a confidential basis with the information to be used only for that purpose;
- 7.1.4. An agent retained by TELUS in the collection of payments (if any) lawfully due to TELUS by the LGA in connection with this Agreement, provided the information is required for and is to be used only for that purpose;
- 7.1.5. Governmental authority or agent of a governmental authority, for emergency public alerting purposes, if the governmental authority has determined that there is an imminent or unfolding danger that threatens the life, health or security of an individual and that the danger could be avoided or minimized by disclosure of information; and
- 7.1.6. A TELUS affiliate involved in supplying the LGA with the NG9-1-1 Service, provided the information is required for that purpose and disclosure is made on a confidential basis with the information to be used only for that purpose.

The LGA will require the LGA Members and the PSAPs to grant to TELUS a signed consent in respect to their respective information in the manner that parallels the language of this section 7.1.

- 7.2 TELUS acknowledges that the LGA is subject to the BC *Freedom of Information and Protection of Privacy Act* (“**FOIPPA**”). LGA’s obligations in this Agreement are subject to FOIPPA.
- 7.3 TELUS will comply with Canadian privacy legislation (including the *Personal Information*

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Protection and Electronic Documents Act (PIPEDA), the Personal Information Protection Act (BC) and the FOIPPA as such legislation is applicable to TELUS in connection with the provision of the NG9-1-1 Services under this Agreement. Without limiting the foregoing statement, TELUS' commitment to the protection of personal information is further detailed in the TELUS Business Customer Privacy Policy available at www.telus.com/businessprivacy. TELUS' provision of the NG9-1-1 Service is subject to this policy. This policy may be updated by TELUS from time to time, provided that all updates must be in compliance with all applicable laws. The amended policy will be posted at the location above, and notice of the change will be provided by TELUS to the LGA in writing in advance. Unless otherwise indicated, the effective date of the amended policy will be the date of posting. The continued use of the NG9-1-1 Service by the LGA after such date will be deemed to constitute the acceptance of the amended policy. The LGA's use of the NG9-1-1 Service, or the deemed acceptance of the policy, as amended, will not be deemed to constitute a representation or warranty by the LGA that TELUS or the policy is in compliance with applicable laws. TELUS is solely responsible for ensuring that its policies and practices comply with all applicable laws.

- 7.4 Any information including any and all written documentation provided by TELUS to the LGA, its employees, servants, agents, assigns and/or contractors (including the PSAPs) pertaining to the design, development, implementation, the operation and the maintenance of the NG9-1-1 Service is confidential, and will be provided only to such persons who have a need to know for the purposes of NG9-1-1 Service. The LGA will not permit any of its employees, servants, agents, assignees and/or contractors (including the PSAPs) to duplicate, reproduce, or otherwise copy any such confidential information for any purpose whatsoever, except as may be required by any such employees, servants, agents, assigns and/or contractors with a need to do so for the purposes of NG9-1-1 Service. The LGA shall include the restrictions set forth in this section in its agreements with the PSAPs and the LGA Members.
- 7.5 The LGA will require the PSAPs to comply with the applicable laws, including FOIPPA, in connection with the collection, use, retention, disclosure, and destruction of personal information (as defined under FOIPPA) provided to the PSAPs by the End-Users in the context of the NG9-1-1 Service ("**Personal Information**").
- 7.6 The LGA will require the PSAPs to use Personal Information for the sole purpose of responding to the 9-1-1 related communication, unless:
- 7.6.1. otherwise permitted or required under applicable laws;
 - 7.6.2. the End-User consents to other use or disclosure; or
 - 7.6.3. a court or another governmental authority having jurisdiction orders otherwise.
- 7.7 The LGA will, and will require the PSAPs to:
- 7.7.1. retain Personal Information in accordance with all applicable laws;
 - 7.7.2. not use Personal Information except as set out in section 7.6; and

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- 7.7.3. not disclose Personal Information except as set out in section 7.6.
- 7.8 The LGA will indemnify TELUS against all reasonable claims and expenses (including reasonable legal costs) that TELUS incurs as a result of breach by the LGA of its obligations under this Article 7, except to the extent resulting from wrongful acts or gross negligence of TELUS, or breach by TELUS of its obligations under this Agreement. This section 7.8 will survive the expiration or the earlier termination of this Agreement even if it is annulled, in part or in whole, or even if it is terminated for any other reason.
- 7.9 The Parties will:
- 7.9.1. Abide by all applicable federal and provincial legislation with respect to the protection of privacy and confidential information in effect from time to time;
 - 7.9.2. Promptly advise each other of any security incident that involves loss or unauthorized disclosure of confidential or personal information collected and retained pursuant to this Agreement, and cooperatively work to address any such incident;
 - 7.9.3. Promptly assist each other to respond to any information requests which require response pursuant to applicable laws; and
 - 7.9.4. Promptly assist each other in connection with a privacy impact assessment prepared by either Party in connection with the NG9-1-1 Service in the Serving Area.

8 QUALITY OF THE LGA'S SERVICE

- 8.1 The LGA will require the PSAPs to acknowledge the importance under this Agreement that the PSAPs connected to the TELUS NG9-1-1 Network:
- 8.1.1. provide, operate, and manage the personnel and the equipment, including terminal equipment, required to receive and process all emergency calls, sessions and events directed to the PSAP, based on the technical requirements listed in Schedule C and the requirements described in TELUS General Tariff CRTC 21461 – item 1001 Next Generation 9-1-1 service; and
 - 8.1.2. meet at all times the technical requirements set out under this Agreement. A default of a PSAP to comply with such technical requirement can compromise the TELUS NG9-1-1 Network and affect the End-Users.

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9 FORCE MAJEURE

- 9.1 Neither TELUS nor the LGA will be held responsible for any damages or delays as a result of war, invasion, insurrection, demonstrations, or as a result of decisions by civilian or military authorities, fire, floods, strikes, decisions of regulatory authorities, and, generally, as a result of any event that is beyond the LGA's or TELUS' reasonable control ("**Force Majeure**").
- 9.2 In the event of a Force Majeure, the Parties will cooperate and make all reasonable efforts to provide temporary replacement service until permanent service is completely restored.
- 9.3 The costs required to provide temporary replacement service will be borne according to the respective roles of TELUS and the LGA, as indicated in sections 3 and 4 of this Agreement.

10 IMPLEMENTATION

- 10.1 TELUS and the LGA agree that the implementation of the NG 9-1-1 Service within the Serving Area based on the details in Schedule B, will be coordinated with the PSAPs in accordance with mutual readiness for deployment of the NG9-1-1 Service and in compliance with CRTC deadlines. TELUS and the LGA agree that the implementation of the GIS Data delivery contemplated in this Agreement will be coordinated with the LGA Members in accordance with section 4.4, and with First Nation governments in accordance with section 4.7.

11 LIMITATION OF LIABILITY

- 11.1 The LGA acknowledges and agrees that TELUS' liability for the performance of its obligations pursuant to this Agreement are limited pursuant to CRTC 21461, Item 124 (as amended or replaced from time to time) ("**Terms of Service**"). It is understood that TELUS' limited liability under this Agreement is a condition without which TELUS would not have entered into this Agreement, and therefore, TELUS' liability for the performance of its obligations pursuant to this Agreement will not exceed any limitation of liability set out in the Terms of Service, even if such limitation of liability does not specifically apply or refer to the LGA.
- 11.2 The LGA and TELUS will, during the Term, maintain sufficient insurance to face their respective monetary obligations stemming from liability under this Agreement. The Parties may self-insure. Each Party will provide the other Party evidence of insurance, or self-insurance, as applicable, upon demand by the other Party.
- 11.3 Section 11.1 will survive the expiration or the earlier termination of this Agreement even if it is annulled, in part or in whole, or even if it is terminated for any other reason.

12 TERM, TERMINATION AND CHANGES

- 12.1 **Term:** This Agreement will be effective as of the Effective Date, and will be valid for a

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period of five years (the “**Initial Term**”) unless otherwise terminated under the terms of this Agreement. Upon expiry of the Initial Term, the Agreement will be automatically renewed for successive periods of five years each (each, the “**Extended Term**”). Either Party may terminate this Agreement by giving the other Party at least six months’ written notice of termination before the end of the Initial Term, or the end of an Extended Term, as applicable.

- 12.2 **Termination or Suspension of a Service:** TELUS may immediately suspend the entirety or a portion of the NG9-1-1 Service (without terminating this Agreement) if TELUS has reasonable cause to believe that the LGA’s NG9-1-1 traffic is compromised or otherwise poses a risk to the NG9-1-1 Service or the TELUS NG9-1-1 Network.

13 REGULATORY APPROVAL

- 13.1 It is expressly understood that NG 9-1-1 Service is provided pursuant to the terms and conditions of the Tariff as amended from time to time (with the approval of CRTC), and as approved by the CRTC, and this Agreement as amended from time to time.
- 13.2 Any material amendments to this Agreement (excluding the Schedules) will require the prior written approval by the CRTC.
- 13.3 Notwithstanding sections 13.1 and 13.2, the Parties acknowledge and agree that the CRTC does not have regulatory jurisdiction over the LGA, the LGA Members, or the PSAPs. This Agreement, including its approval by the CRTC, does not change that. The LGA’s agreement to the terms of the Tariff, and the incorporation of the Tariff by reference into this Agreement, is contractual.

14 WAIVER

- 14.1 The failure of either Party to require the performance of any obligation hereunder, or the waiver of any obligation in a specific instance, will not be interpreted as a general waiver of any of the obligations hereunder, which will continue to remain in full force and effect.

15 RELATIONSHIP OF THE PARTIES

- 15.1 This Agreement will not create nor will it be interpreted as creating any association, partnership, any employment relationship, or any agency relationship between the Parties.

16 ENTIRE AGREEMENT

- 16.1 Except as otherwise stated herein, this Agreement constitutes the entire agreement of the Parties and supersedes any previous agreement, whether written or verbal. Should any provision of this Agreement be declared null, void, or inoperative, the remainder of the Agreement will remain in full force and effect. In the event of a conflict between this Agreement and the Tariff, the terms of the Tariff will prevail.

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17 NOTICES

17.1 Except if expressly specified otherwise elsewhere in the Agreement, all notices necessary under this Agreement will be given in writing. In the case of TELUS, the notice will be sent by e-mail and in the case of the LGA, the notice can be either personally delivered, or sent by registered mail, or by e-mail at the addresses indicated below. Notices, if personally delivered, will be deemed to have been received the same day, or if sent by registered mail, will be deemed to have been received four days (excluding Saturdays, Sundays and statutory holidays in the province of British Columbia) after the date of mailing. Notices delivered by e-mail will only be effective if:

17.1.1 the notices include the following information: (i) sender's name, address, telephone number, and e-mail address; and (ii) date and time of the transmission; and

17.1.2 the recipient provides by e-mail a confirmation of delivery and the date of acceptance of the delivery.

Notices will be to the following:

Metro Vancouver Regional District

TELUS Communications Inc.

Metro Vancouver Regional District

TELUS

4515 Central Boulevard, Burnaby, BC, V5H 0C6

Regulatory Affairs

Attention: Division Manager, Protective Services
& Emergency Management

Attn: TELUS NG9-1-1 Leadership Team

Brant.Arnold-Smith@metrovancover.org

Regulatory.affairs@telus.com

Or to such other address as either Party may indicate in writing to the other.

18 SCHEDULES

The following schedules are attached to and form part of this Agreement:

- Schedule A – Definitions
- Schedule B – Emergency Service Zones & PSAP migration identification in the Serving Area
- Schedule C – Technical Requirements\ESInet Access Criteria
- Schedule D – Civic Location GIS Data Provider Details
- Schedule E – Contingency Plan and Policy Routing Rules
- Schedule F – Designated LRA
- Schedule G – First Nation Identification & corresponding LGA/GIS data status

[signature blocks follow]

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IN WITNESS WHEREOF the Parties have caused this Agreement to be executed by their duly authorized representatives, such execution effective on the Effective Date.

Metro Vancouver Regional District

TELUS Communications Inc.

Per: _____

Per: _____

Printed: Jerry W. Dobrovolny, P.Eng, MBA

Printed: Jeff Smith

Title: Chief Administrative Officer

Title: Managing Consultant–Regulatory Affairs

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Schedule A Definitions

1 DEFINITIONS

For the purposes of this Agreement, in addition to other terms defined elsewhere in the Agreement, the following terms have the meanings ascribed below:

1.1 “Automatic Number Identification” or “ANI”:

TELUS’ NG9-1-1 Network’s capability to automatically identify the calling telephone number and to provide a display of the number at the PSAP.

1.2 “Border Control Function” or “BCF”:

Provides a secure entry into the ESInet for emergency calls presented to the network. The BCF incorporates firewall, admission control, and may include anchoring of session and media as well as other security mechanisms to prevent deliberate or malicious attacks on PSAPs or other entities connected to the ESInet.

1.3 “Business Continuity Plan”:

A plan outlining how to continue operating during an unplanned service disruption.

1.4 “CRTC”:

The Canadian Radio-television and Telecommunications Commission and its successors.

1.5 “Default Routing”:

Default Routing is a contingency routing scheme whereby 9-1-1 calls, sessions and events are directed to an alternative PSAP or PSAPs due to network issues or missing or invalid location information.

1.6 “Demarcation Point”:

The boundary that delineates the network responsibilities between TELUS, as the provider of the TELUS NG9-1-1 Network, and the PSAPs, in the location acceptable to TELUS and the PSAPs, acting reasonably.

1.7 “Dispatch Agency” means an agency that dispatches emergency responders;

1.8 “Electoral Area A” means the unincorporated area of the Metro Vancouver Regional District, including (for certainty) Bowyer Island, Barnston Island, Boulder Island, Passage Island, University Endowment Lands, and the University of British Columbia;

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1.9 “Emergency Service Zone” or “ESZ”:

A defined area within a Serving Area consisting of a specific combination of LGA, law enforcement, fire, emergency medical, and PSAP coverage areas. As of the Effective Date, the ESZs are as set out in Schedule B and Appendix 1 to Schedule B.

1.10 “Emergency Services”:

The first responders to situations that require immediate assistance, such as law enforcement, fire department, ambulance service, or other emergency medical assistance service.

1.11 “Emergency Services IP Network” or “ESInet”:

An ESInet is a managed, private, dedicated IP network used for Emergency Services communications. The ESInet provides the transport and interconnectivity for trusted entities designated by the CRTC such as NENA i3-compliant PSAPs within the Serving Area, as well as CRTC-registered ONPs supporting 9-1-1 calling over IP-capable networks. For PSAPs, the ESInet is delivered using the Company's IP VPN service to the PSAPs' operations premises described in Schedule B, as amended from time to time. ONPs interconnect to the ESInet through designated physical Points of Interconnection (POIs).

1.12 “End-User”:

Under the Tariff, “End User” means, an end-user with NG9-1-1 Network Access within the geographic boundaries of the LGA, as set out in the LGA's letters patent from time to time.

1.13 “GIS”:

“GIS” means mapping and addressing geographic information system; “GIS Data” means mapping and addressing data in an i3 format used in real time within the NG9-1-1 call flow for location validation, call routing and mapping.

1.14 “i3” or “NENA i3”:

“i3” or “NENA i3” means the NG9-1-1 system architecture defined by NENA, which standardizes the structure and design of functional elements making up the set of software services, databases, network elements and interfaces needed to process multi-media emergency calls and data for NG9-1-1.

1.15 “i3 PSAP”:

A PSAP that is capable of receiving Internet Protocol (IP) - based signaling and media for delivery of emergency calls conformant to the i3 standard.

1.16 “Local Government Authority” or “LGA” means the Metro Vancouver Regional District.

1.17 “Master Service Addressing Guide” or “MSAG”:

The MSAG/SAG is a database of street names and house number ranges; it defines

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emergency service zones within a community and the emergency service numbers associated to them in order to enable proper routing of basic 9-1-1 and enhanced 9-1-1 calls.

1.18 “NENA”:

“NENA” means National Emergency Number Association, Inc.

1.19 “Network Access”:

A connection that allows calls, sessions, or other types of events intended to be delivered to the TELUS NG9-1-1 Network.

1.20 “Next Generation Core Services” or “NGCS”:

The base set of services needed to process an NG9-1-1 Call on an ESInet. NGCS includes the Emergency Service Routing Proxy (ESRP), Emergency Call Routing Function (ECRF), Location Validation Function (LVF), Border Control Function (BCF), Bridge, Policy Store, Logging Services and typical IP services such as Domain Name System (DNS). The term NGCS includes the services but not the network on which they operate.

1.21 “NG9-1-1 Calls” means telephone calls, sessions and events (voice, text, video and related data and nonhuman-initiated automatic event alerts, such as alarms, telematics, or sensor data, which may also include real-time voice, text, or video communications) sent from the Serving Area to the 3-digit emergency telephone number 9-1-1 and directed to a public safety answering point.

1.22 “NG9-1-1 Network Provider”:

The carrier that provides connectivity, services, and management for NG9-1-1 service to a local government authority or a public safety answering point. In this Agreement, TELUS is the provider of the TELUS NG9-1-1 Network.

1.23 “Operator Service”:

Operator Service for NG9-1-1 is a last resort routing scheme whereby calls, sessions and events that cannot be routed by the NG9-1-1 network on the ESInet to a public safety answering point will be routed to a third party call centre contracted by the NG9-1-1 Network Provider as mandated in Telecom Policy 2019-66.

1.24 “Originating Network Provider”:

A CRTC-approved authorized telecommunications service provider, wireless service provider, or other service provider which delivers traffic to the TELUS NG9-1-1 Network for routing to a PSAP.

1.25 “Policy Routing Rules” or “PRRs”:

Policy Routing Rules (PRRs) allow a PSAP to enable multi-layered treatment policies for

NEXT GENERATION 9-1-1 LOCAL GOVERNMENT SERVICE AGREEMENT

diversion within the TELUS NG9-1-1 Network, providing more options to the PSAP to divert 9-1-1 calls, sessions and events to another destination based upon multiple conditions defined in the PRRs.

1.26 “Public Safety Answering Point” or “PSAP”:

Under the Tariff, a primary public safety answering point is a point to which 9-1-1 calls, sessions and events are routed as the first point of contact with a 9-1-1 telecommunicator (a “Primary PSAP”). When the primary public safety answering point does not dispatch emergency responders itself, the primary public safety answering point then contacts the Dispatch Agency. However, in cases where local authorities determine that specialized expertise, is required to handle the 9-1-1 call, sessions and events are then transferred to a secondary public safety answering point (a “Secondary PSAP”). As of the Effective Date, Primary PSAPs and Secondary PSAPs designated by the LGA pursuant to this Agreement are listed in Schedule B. Without limiting section 4.1.1 and Schedule B, for the purpose of the LGA’s obligations under this Agreement, as of the Effective Date:

- (a) “**Primary PSAP**” means the Emergency Communications Corporation under the *Emergency Communications Corporations Act* (BC) (“**E-Comm**”), which is the Primary PSAP that the LGA contractually administers for the purpose of this Agreement;
- (b) “**Secondary PSAP**” means the following: (a) E-Comm; (b) Burnaby Fire Dispatch; and (c) Surrey Fire Regional Dispatch, which are the Secondary PSAPs that the LGA contractually administers for the purpose of this Agreement (except for the City of Surrey area);
- (c) The term “**PSAP**” or “**Primary Public Safety Answering Point**” refers to those PSAPs which the LGA contractually administers, as defined in section 1.26(a) and section 1.26(b) of this Schedule A. The LGA does not contractually administer, for the purpose of this Agreement, the following PSAPs: (i) British Columbia Emergency Health Care Services (operating pursuant to the *Emergency Health Services Act* (BC)), (ii) the Royal Canadian Mounted Police (operating pursuant to the *Royal Canadian Mounted Police Act* (Canada)), including municipally-run RCMP operational communications centres in the City of Langley, the City of Coquitlam, City of Surrey, and the City of North Vancouver. The LGA does not contractually administer PSAPs operating within the municipal boundaries of the City of Surrey, as set out in section 1.3 of this Agreement.

1.27 “PSAP Contingency Plan”:

It is a plan prepared by the PSAP, in collaboration with TELUS, to provide Default Routing to ensure 9-1-1 calls are answered. PSAP Contingency Plan is about alternative routing and configuration options related to the NG9-1-1 Network and is more specific than the overall PSAP Business Continuity Plan.

1.28 “Selective Routing and Transfer”:

A feature that automatically routes traffic destined for emergency services to the appropriate PSAP based on the location data provided during the setup of the 9-1-1 call, session or event (Automatic Identification information or Geodetic) and facilitates inter-agency transfer.

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1.29 “Serving Area”:

Under the Tariff, the area within the LGA’s boundaries, as determined by TELUS and the LGA, from which calls, sessions and events sent to the 3-digit emergency telephone number 9-1-1 will be directed to the Primary PSAP.

In this Agreement, the Serving Area means the entire area of the LGA described in the LGA’s letters patent from time to time.

1.30 “User-to-Network Interface (UNI) Interconnection Design Specifications”:

User-to-Network Interface (UNI) Interconnection Design Specifications means the authoritative document which sets the technical specifications an i3-PSAP must comply with.

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**Schedule B
Emergency Service Zones and PSAP migration identification in the Serving Area**

Current Emergency Zones & PSAP migration identification
Schedule B is a list of PSAP's as of the Effective Date that provide services to the LGA. Please review and confirm accuracy (initial) of all contracted PSAPs. Post NG9-1-1 transition changes or updates to Schedule B will be communicated to TELUS via current TELUS operations change process.
LGA initial: _____

PSAP Serving Information³					
PSAP Name	PSAP Address	PSAP Address – Backup Site	Target Migration Date		
E-Comm 9-1-1	3301 E Pender Street Vancouver, BC	4170 Still Creek Drive, Burnaby, BC			
Burnaby Fire Dispatch	4867 Sperling Ave Burnaby, BC	3151 Gilmore Diversion Burnaby, BC			
Surrey Fire Regional Dispatch	8767 132nd Street Surrey, BC	14355 57th Avenue Surrey, BC			
E-Comm Fire Dispatch	3301 E Pender Street Vancouver, BC	4170 Still Creek Drive, Burnaby, BC			
E-Comm Police	3301 E Pender Street Vancouver, BC	4170 Still Creek Drive, Burnaby, BC			
Metro Vancouver Regional District					
ESZ	Community	Local Government	9-1-1 Answer	Fire	Police
4221	Electoral Area A: University Endowment Lands University of British Columbia	Metro Vancouver RD	ECOMM	ECOMM Fire	ECOMM Police
4261	City of Vancouver	Metro Vancouver RD	ECOMM	ECOMM Fire	ECOMM Police

³ The list of designated PSAPs does not include PSAPs operated within the Serving Area by the RCMP and the Health Care Services. See section 1.2 of this Agreement.

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4277	City of Richmond	Metro Vancouver RD	ECOMM	ECOMM Fire	ECOMM Police
4298	City of Burnaby	Metro Vancouver RD	ECOMM	Burnaby Fire	ECOMM Police
4461	Village of Anmore Village of Belcarra	Metro Vancouver RD	ECOMM	Surrey Fire	Coquitlam RCMP
4467	City of Maple Ridge City of Pitt Meadows Electoral Area A: including communities of Boulder Island, Carraholly Point, Bowyer Island, Passage Island, Ocean Point, Strachan Point and Montizambert Wynd ⁴	Metro Vancouver RD	ECOMM	Surrey Fire	ECOMM Police
4947	Bowen Island Municipality	Metro Vancouver RD	ECOMM	Surrey Fire	ECOMM Police
4469	City of Port Moody	Metro Vancouver RD	ECOMM	ECOMM Fire	ECOMM Police
4521	City of New Westminster	Metro Vancouver RD	ECOMM	ECOMM Fire	ECOMM Police
4535	City of White Rock	Metro Vancouver RD	ECOMM	Surrey Fire	Surrey Police

⁴ See Appendix 1 to this Schedule B for sketch plan of the area.

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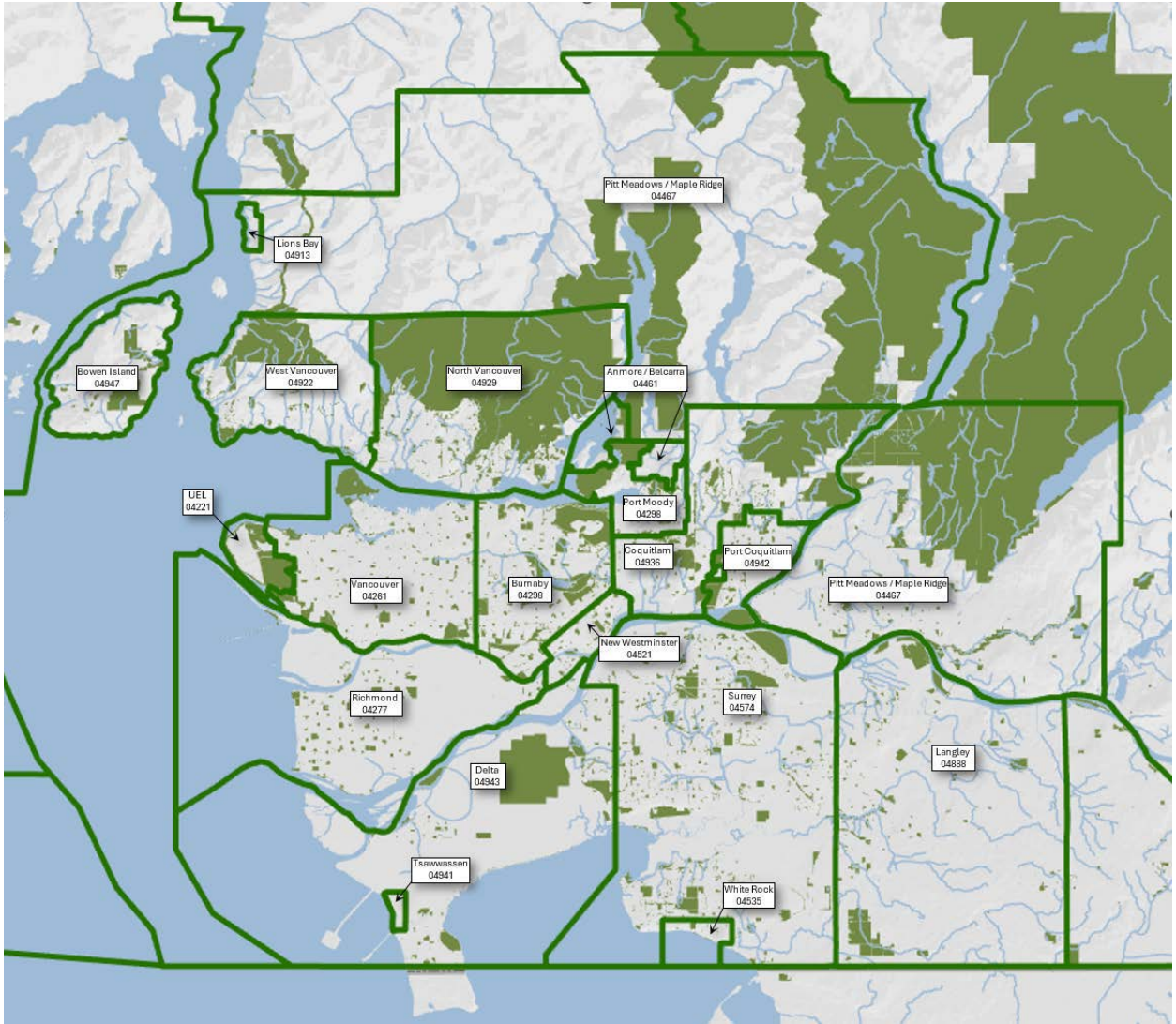
4574	City of Surrey ⁵	Metro Vancouver RD	ECOMM	Surrey Fire	Surrey Police
4888	City of Langley Township of Langley Electoral Area A: Barnston Island	Metro Vancouver RD	ECOMM	Surrey Fire	RCMP Langley
4913	Village of Lions Bay	Metro Vancouver RD	ECOMM	Surrey Fire	ECOMM Police
4922	District of West Vancouver	Metro Vancouver RD	ECOMM	Surrey Fire	ECOMM Police
4929	City of North Vancouver District of North Vancouver	Metro Vancouver RD	ECOMM	Surrey Fire	ECOMM Police
4936	City of Coquitlam	Metro Vancouver RD	ECOMM	ECOMM Fire	Coquitlam RCMP
4941	scəwáθən məsteyəx™ Tsawwassen First Nation Lands	Metro Vancouver RD	ECOMM	ECOMM Fire	ECOMM Police
4942	City of Port Coquitlam	Metro Vancouver RD	ECOMM	Surrey Fire	Coquitlam RCMP
4943	City of Delta	Metro Vancouver	ECOMM	ECOMM Fire	ECOMM Police

Appendix 1 to Schedule B is attached at next page showing the geographic boundaries of the Emergency Service Zones as of the Effective Date.

⁵ The City of Surrey coordinates PSAP operations within the municipal boundaries of the City of Surrey. See section 1.3 of this Agreement.

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Appendix 1 to Schedule B – Emergency Service Zones



NEXT GENERATION 9-1-1 LOCAL GOVERNMENT SERVICE AGREEMENT

Schedule C Technical Requirements/ESInet Access Criteria

Next Generation 9-1-1 is comprised of complex and interactive systems. In order to ensure proper network security, resiliency, diversity, and reliability, the LGA must ensure that all of the PSAPs meet the technical requirements detailed below. A PSAP cannot interconnect to the TELUS NG9-1-1 Network without meeting these requirements.

PSAPs utilizing networks to process and deliver NG9-1-1 calls outside of the ESInet do so at their own risk and assume all liabilities, including prolonged restoration times in the event of an outage.

LGA will direct the PSAP(s) to:

- 1 Deploy Dual Stack as the preferred method for simultaneous use of IPV4 & IPV6 address space OR to individually perform NAT-PT (Network Address Translation - Protocol Translation) for their Network Domain as defined in the NG9-1-1 network provider's UNI Interconnection Design Specifications, as a mandatory condition to interconnect to the NG9-1-1 network.
- 2 Support a set MTU (Maximum Transmission Unit) value of 1500 bytes for their network domain.
- 3 Utilize the Border Gateway Protocol (BGP) for dynamic routing between peering networks, using registered Autonomous System (AS) numbers, when available.
- 4 Assign a Local Registration Authority ("**LRA**") within Schedule F. The LRA will be responsible for determining and managing which users will be authorized to access the ESInet. An LRA can be assigned for a specific PSAPs or may be assigned for all PSAPs in an entire serving territory. The PSAP must notify TELUS at least 30 days prior to onboarding to the NG9-1-1 network of its selection and provide TELUS with 60 days' notice prior to any changes to its LRA structure. The LRA will have to enter into a distinct agreement with TELUS regarding the rights and obligations specific to the LRA and agree to TELUS Certificate Policy. For greater clarity, if access to the ESInet is needed for devices, the PSAP must assign an Authorized Organization Representative ("**AOR**"), which will also enter into a distinct agreement with TELUS. For greater clarity, LRA and AOR doesn't need to be the PSAP itself. The Parties may update Schedule F, from time to time, by mutual written consent, without requiring an amendment to this Agreement.
- 5 Utilize the PCA service provided by the NG9-1-1 network provider, as defined in the UNI Interconnection Design Specifications, as a mandatory condition of interconnection with the NG9-1-1 network until a nation-wide PSAP Credentialing Agency is established.
- 6 Comply with the UNI and any other bulletins or technical documents communicated by TELUS to all LGAs and PSAPs from time to time. Employ a NENA i3 compliant BCF (Border Control Function), as defined in the NG9-1-1 network provider UNI Interconnection Design Specifications, as a mandatory condition of interconnection with the NG9-1-1 network. In addition, the BCF must be deployed in a manner that prevents single points of failure.
- 7 Employ the QoS requirements as defined in the NG9-1-1 network provider UNI Interconnection Design Specifications as a mandatory condition of interconnection with the NG9-1-1 network.

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- 8 Implement the mandatory list of audio CODECs as provided by the NG9-1-1 network providers as part of the Onboarding Process, and as updated through the proposed change management process managed by CISC.
- 9 Use the two (2) redundant 9-1-1 IP-VPN circuits and routers provided by TELUS to deliver 9-1-1 calls, sessions and events, and associated data as per TELUS acceptable use policy available at www.telus.com/aup. The PSAPs will not modify, repair, reinstall, or tamper with the 9-1-1 IP-VPN circuits and routers, or use them in a manner that interferes with any service components used to provide them, TELUS' networks, or with the use of TELUS services by other persons, or in a manner that avoids the payment of any charges, or use the 9-1-1 IP-VPN circuits in violation of any law or regulation. TELUS recommends that the PSAP use both 9-1-1 IP-VPN circuits to avoid service impacts in the event of an 9-1-1 IP-VPN circuit or terminating router failure.
- 10 Design and operation the PSAPs WAN/LAN, including resiliency, capacity, management, quality of service and security.
- 11 Support end-to-end encryption of traffic from and towards the ESInet as defined in the TELUS NG9-1-1 UNI Interconnection Design Specifications. PSAPs are strongly encouraged to utilize the TELUS NGCS-based DNS service to ensure the resiliency of DNS functions and seamless PCA functionality. If a PSAP opts to use its own DNS service, it will be the sole responsibility of that agency to design, maintain and administer this element.
- 12 Use the provided ESInet connections strictly for the delivery of NG9-1-1 calling and associated data and not to use any private VPN tunnels across the ESInet.
- 13 Create Policy Routing Rules for NG9-1-1 and communicate their Default Routing, if any, as part of their PSAP Contingency Plans to ensure that 9-1-1 calls are answered in the event of a PSAP outage.
- 14 Synchronize their network elements with those of the NGCS based on the Network Time Protocol resource provided by TELUS.
- 15 Apply on an ongoing basis, the required security updates (including any security patches) promptly, on the schedule communicated by TELUS.

The failure of a PSAP to comply with the technical requirement and access criteria may result in having such PSAP removed from the TELUS NG9-1-1 Network. In the event where a PSAP does not meet the above technical requirements and access criteria to the ESInet, TELUS will inform the LGA before removing the PSAP from the TELUS NG9-1-1 Network.

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**Schedule D
GIS Data Provider Details**

Municipality, County or Other Government Entity name	GIS Data Provider or Provincial/ Territorial Designated Data Aggregator name	Provincial /Territorial Legislation (Y/N)
Electoral Area A – University of British Columbia	Data Provider: University of British Columbia	
Electoral Area A – University Endowment Lands	Data Provider: Province of British Columbia (as administrator of University Endowment Lands)	
Electoral Area A – First Nation reserves	Data Provider: see section 4.7	

In the absence of Provincial or Territorial legislation defining a Data Aggregator body, by default, the NG9-1-1 Network Provider will be the defined GIS and addressing Data Aggregator ([Telecom Decision CRTC 2020-150 | CRTC](#))

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**Schedule E
Contingency Plans and Policy Routing Rules**

LGA must verify with each PSAP and PSAP location listed in Schedule B has a 9-1-1 Contingency Plan and Policy Routing Rules documented and identified to TELUS. TELUS' requirement is to obtain documented contingencies and does not imply imposing mutual aid, backup sites, or any actual contingency options.

PSAP Serving Information			
PSAP Name (*1 & *2)	PSAP Address	PSAP Address – Backup Site	Contingency Plan & Policy Routing Rules LGA verified (initial)
E-Comm 9-1-1	3301 E Pender Street Vancouver, BC	4170 Still Creek Drive, Burnaby, BC	
Burnaby Fire Dispatch	4867 Sperling Ave Burnaby, BC	3151 Gilmore Diversion Burnaby, BC	
Surrey Fire Regional Dispatch	8767 132nd Street Surrey, BC	14355 57th Avenue Surrey, BC	
E-Comm Fire Dispatch	3301 E Pender Street Vancouver, BC	4170 Still Creek Drive, Burnaby, BC	
E-Comm Police	3301 E Pender Street Vancouver, BC	4170 Still Creek Drive, Burnaby, BC	

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**Schedule F
Designated LRA**

LGA must designate a Local Registration Authority (“LRA”) * reference Schedule C, #4

Digital Subscriber Certificate Agreement and Application Form – submitted by LGA’s Local Registration Authority designate upon TELUS onboarding

PSAP Serving Information			
PSAP Name	PSAP Address	PSAP Address – Backup Site	LGA designated Local Registration Authority (“LRA”)
E-Comm 9-1-1	3301 E Pender Street Vancouver, BC	4170 Still Creek Drive, Burnaby, BC	
Burnaby Fire Dispatch	4867 Sperling Ave Burnaby, BC	3151 Gilmore Diversion Burnaby, BC	
Surrey Fire Regional Dispatch	8767 132nd Street Surrey, BC	14355 57th Avenue Surrey, BC	
E-Comm Fire Dispatch	3301 E Pender Street Vancouver, BC	4170 Still Creek Drive, Burnaby, BC	
E-Comm Police	3301 E Pender Street Vancouver, BC	4170 Still Creek Drive, Burnaby, BC	



CITY OF LANGLEY

MOTION

Langley City Fire Department Operational Review Report – Councillor Mack

WHEREAS an Operational Review of the Langley City Fire Rescue Department was approved in 2022's budget, which sought to, "Engage a consultant to review the department and make recommendations about future growth of the department and determine if the arrival of sky train will affect department staffing."; **AND**

WHEREAS this publicly funded report has yet to be released to Council;

THEREFORE BE IT RESOLVED that Council direct staff to release this report to Council.

Background:

<https://www.langleycity.ca/media/file/2022-2026-financial-plan>

Page 139

Line item FD2 for \$60,000



CITY OF LANGLEY

MOTION

Langley City Fire Department Operational Review Transparency – Councillor Mack

WHEREAS an Operational Review of the Langley City Fire Rescue Department was approved in 2022's budget, which sought to, "Engage a consultant to review the department and make recommendations about future growth of the department and determine if the arrival of sky train will affect department staffing."; **AND**

WHEREAS transparency is a paramount principle of good governance; **AND**

WHEREAS this publicly funded report has yet to be released to the Public;

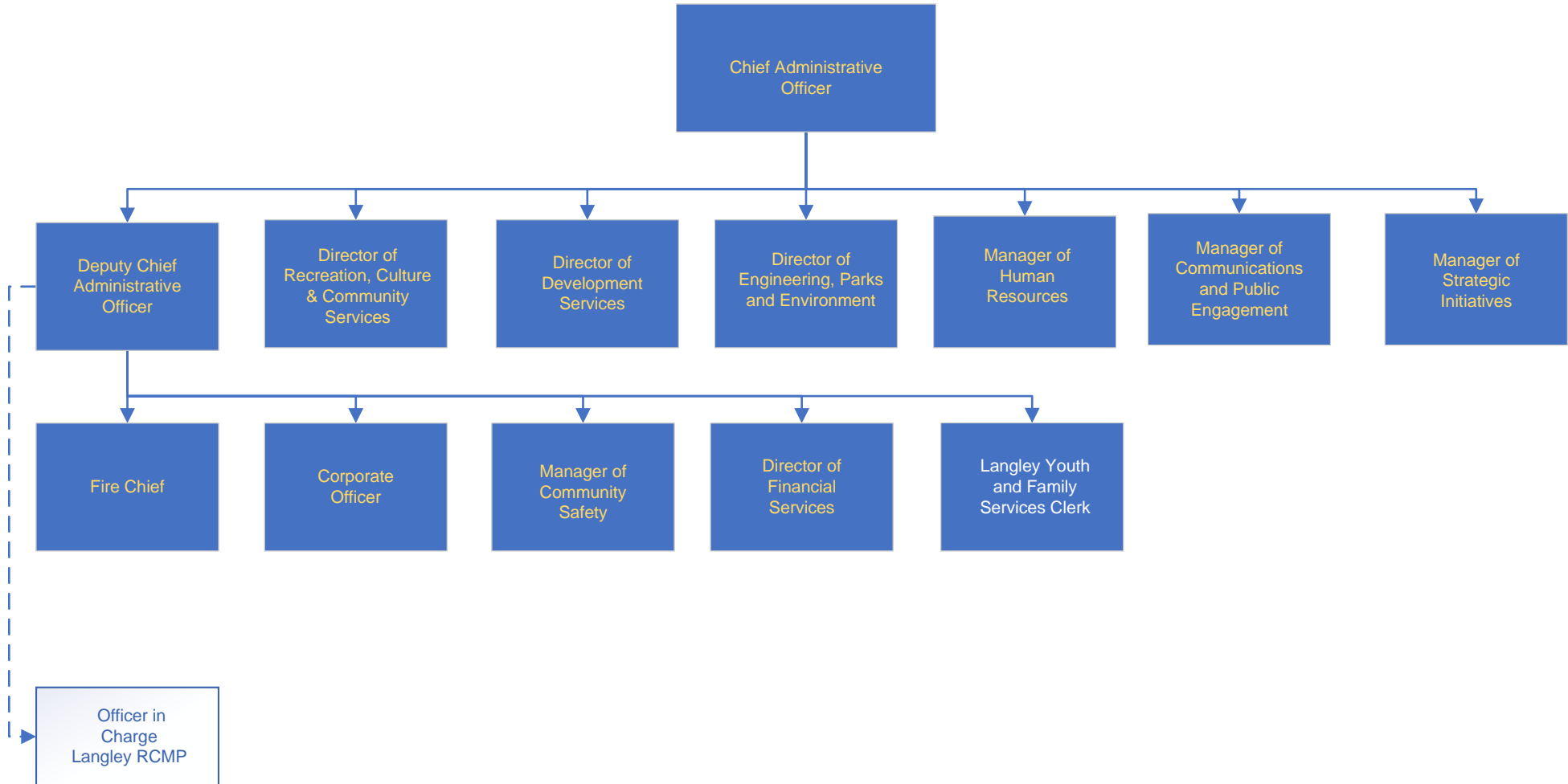
THEREFORE BE IT RESOLVED that Council direct staff to release this report publicly.

Background:

<https://www.langleycity.ca/media/file/2022-2026-financial-plan>

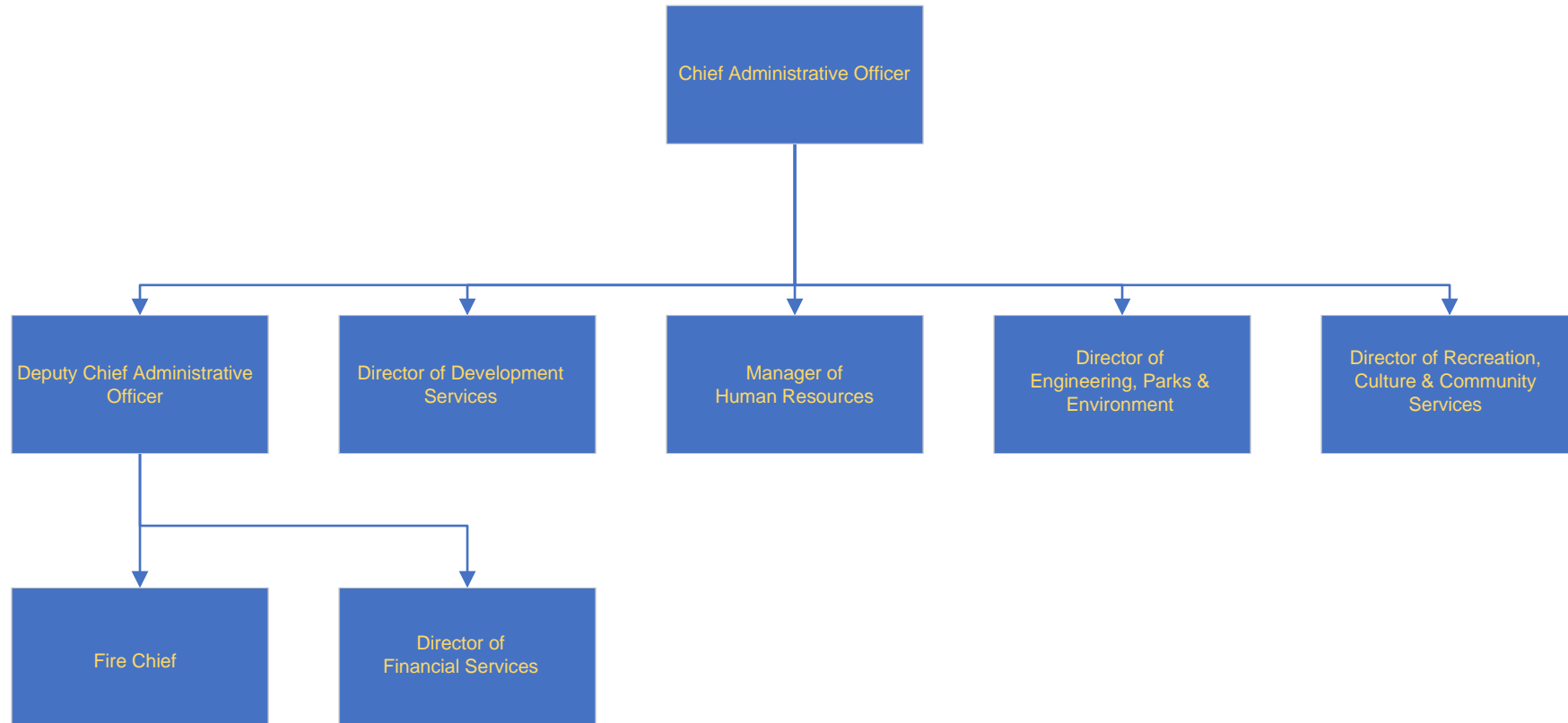
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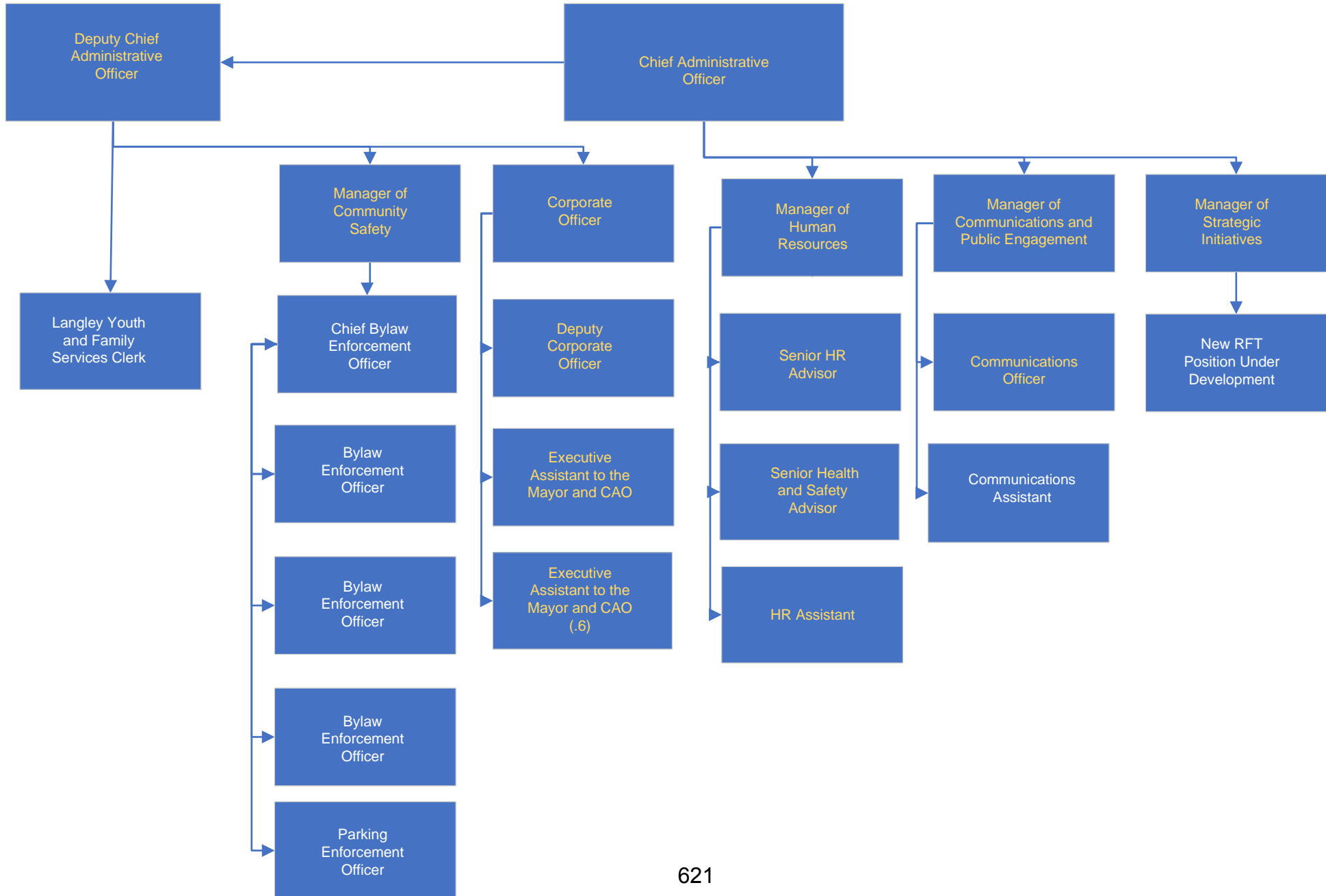
Line item FD2 for \$60,000

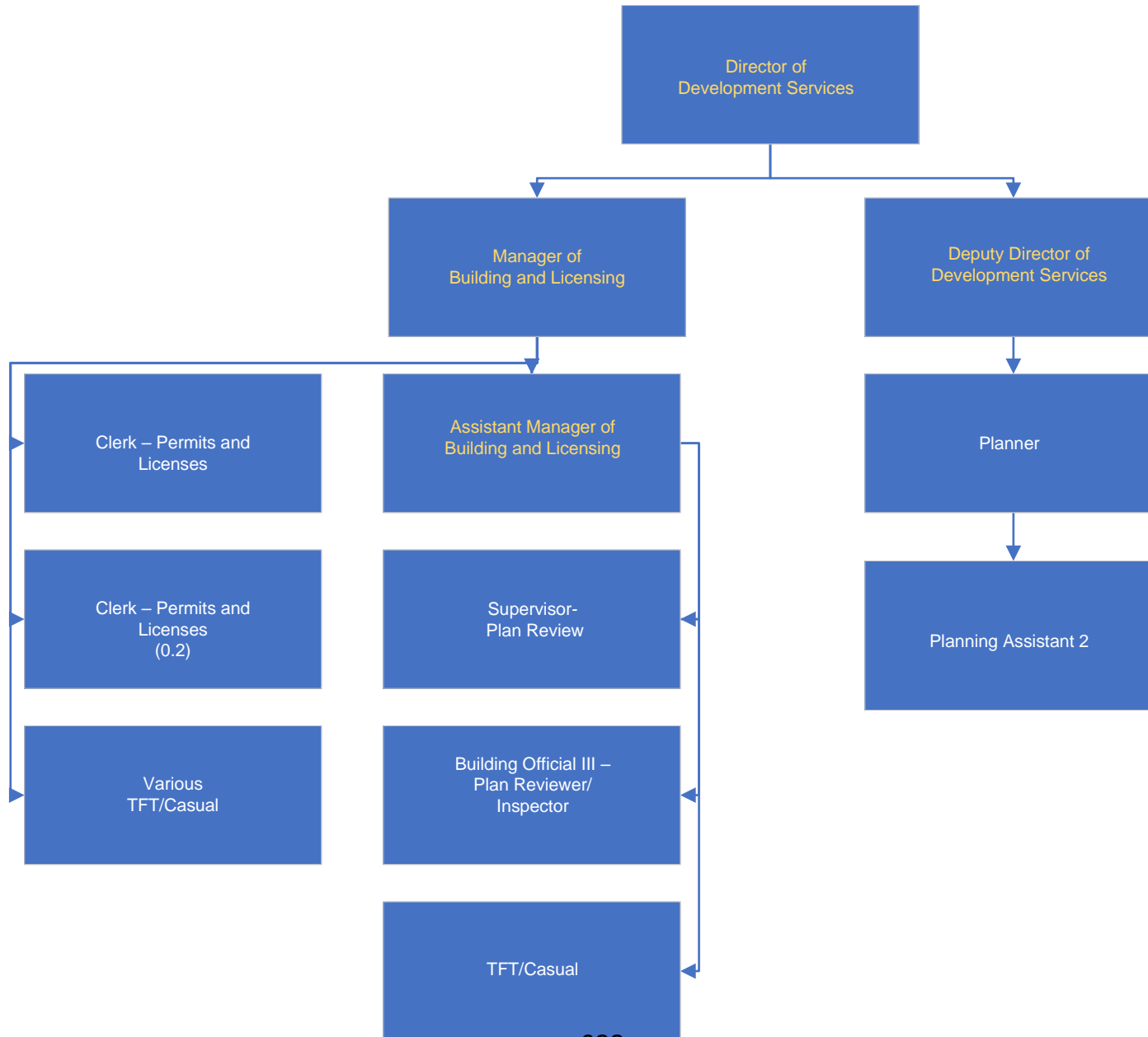


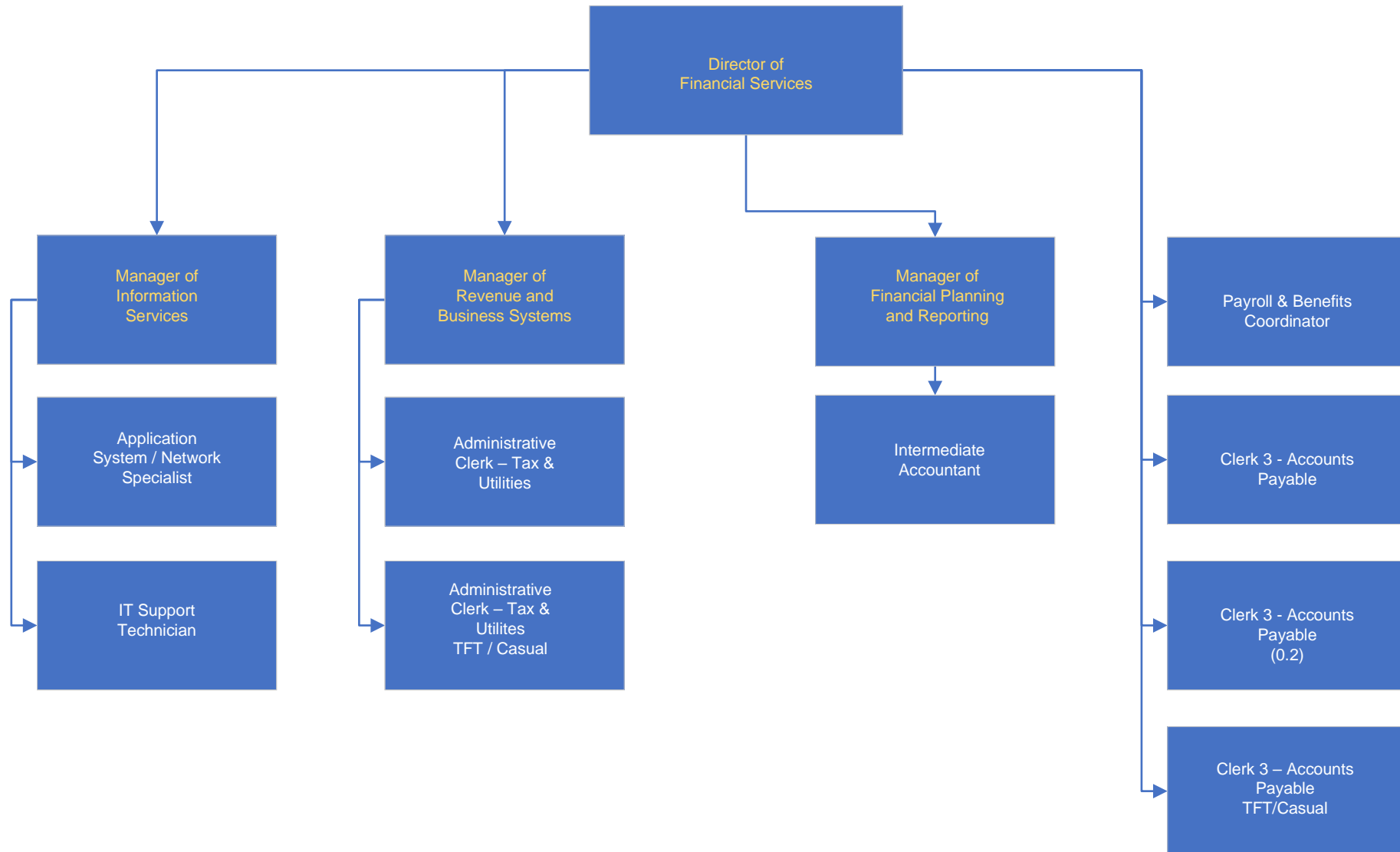
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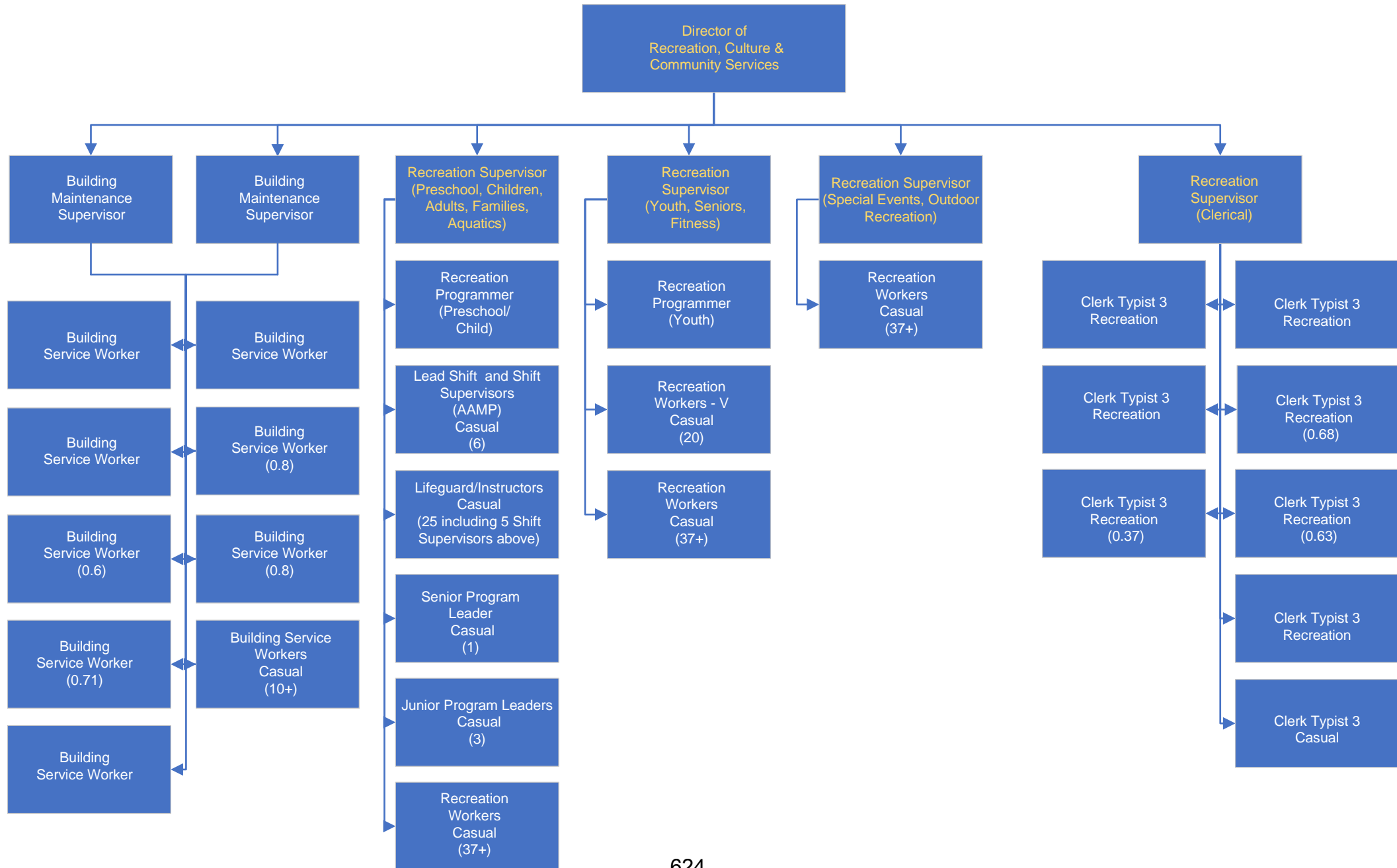
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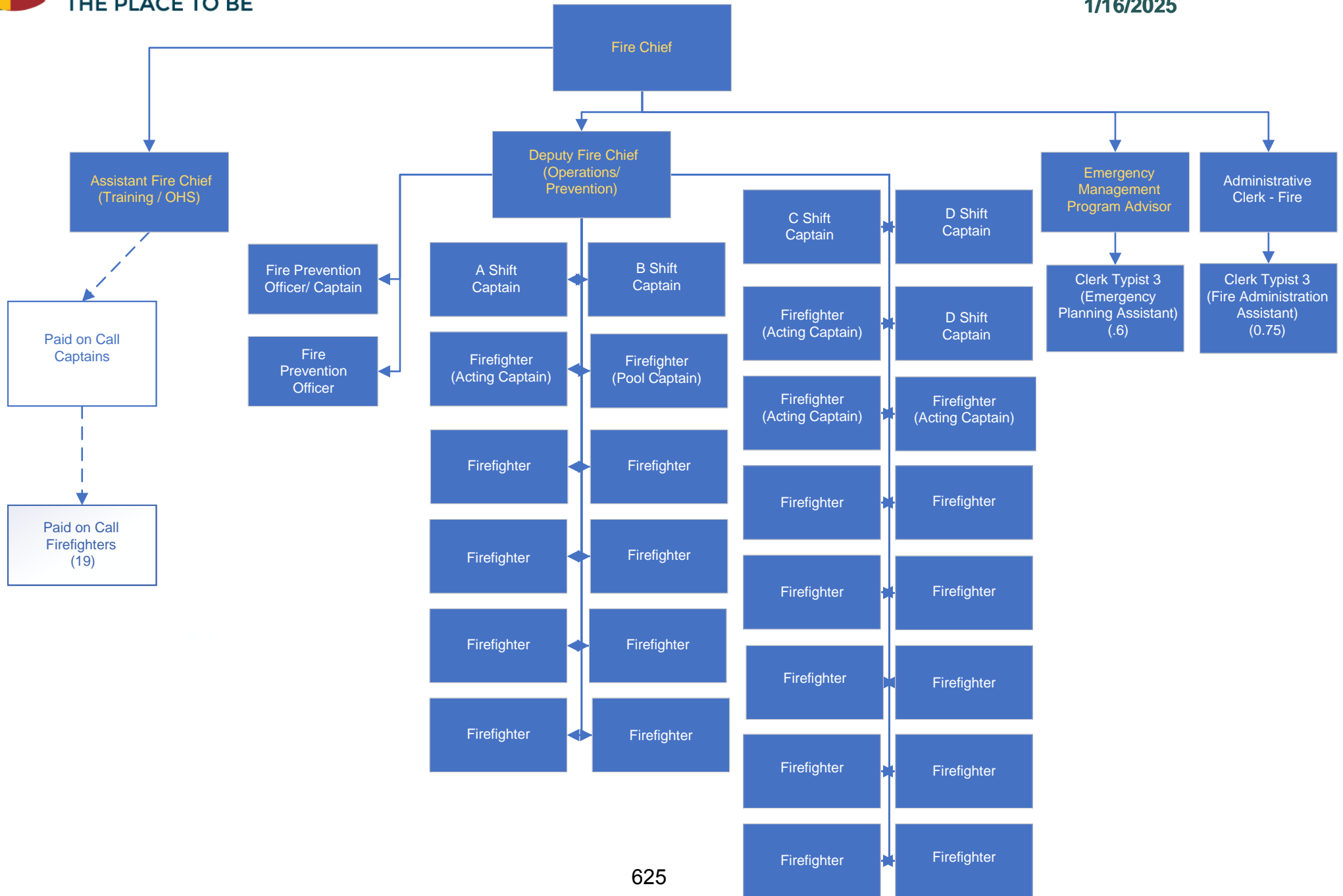


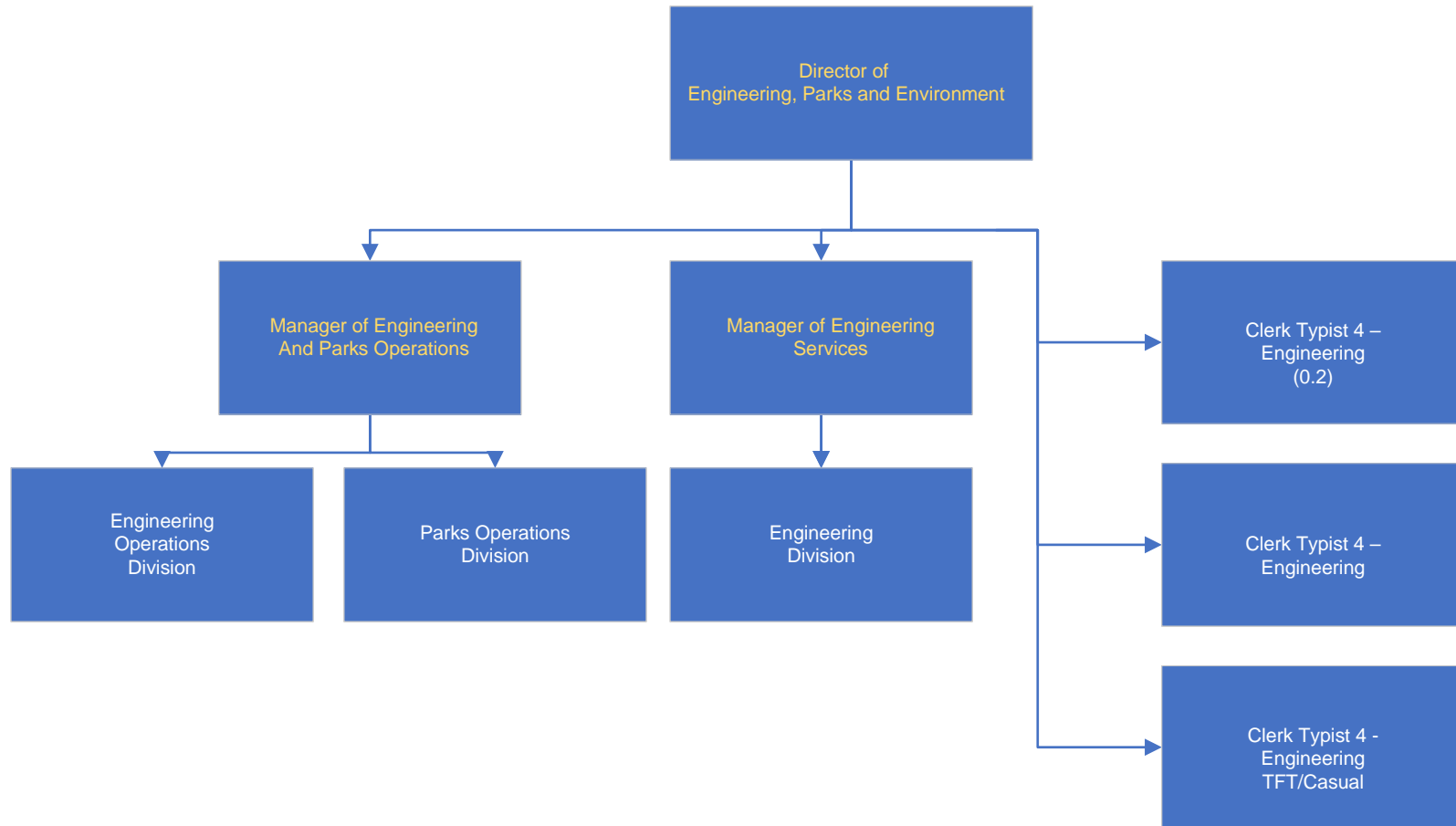


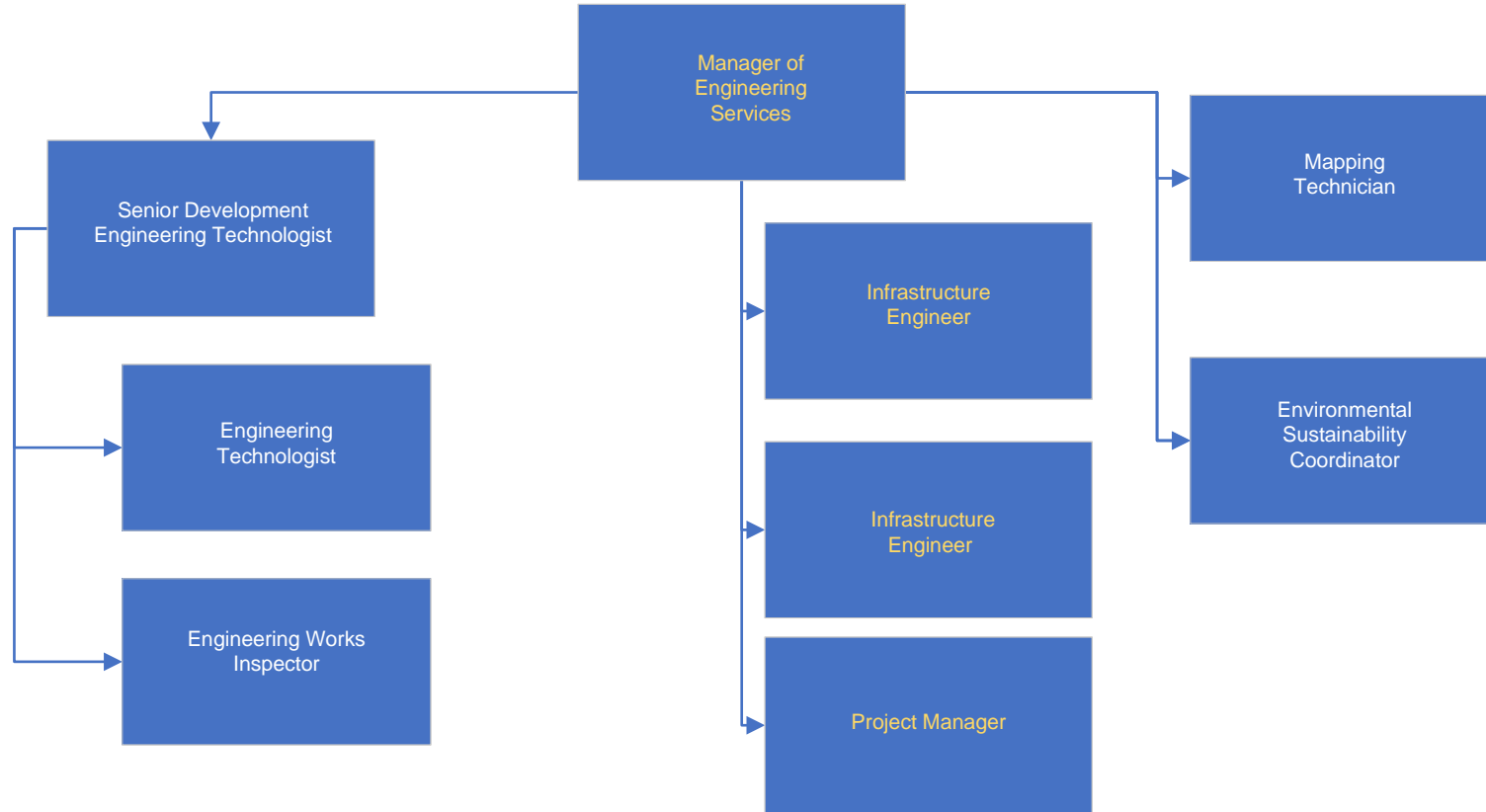


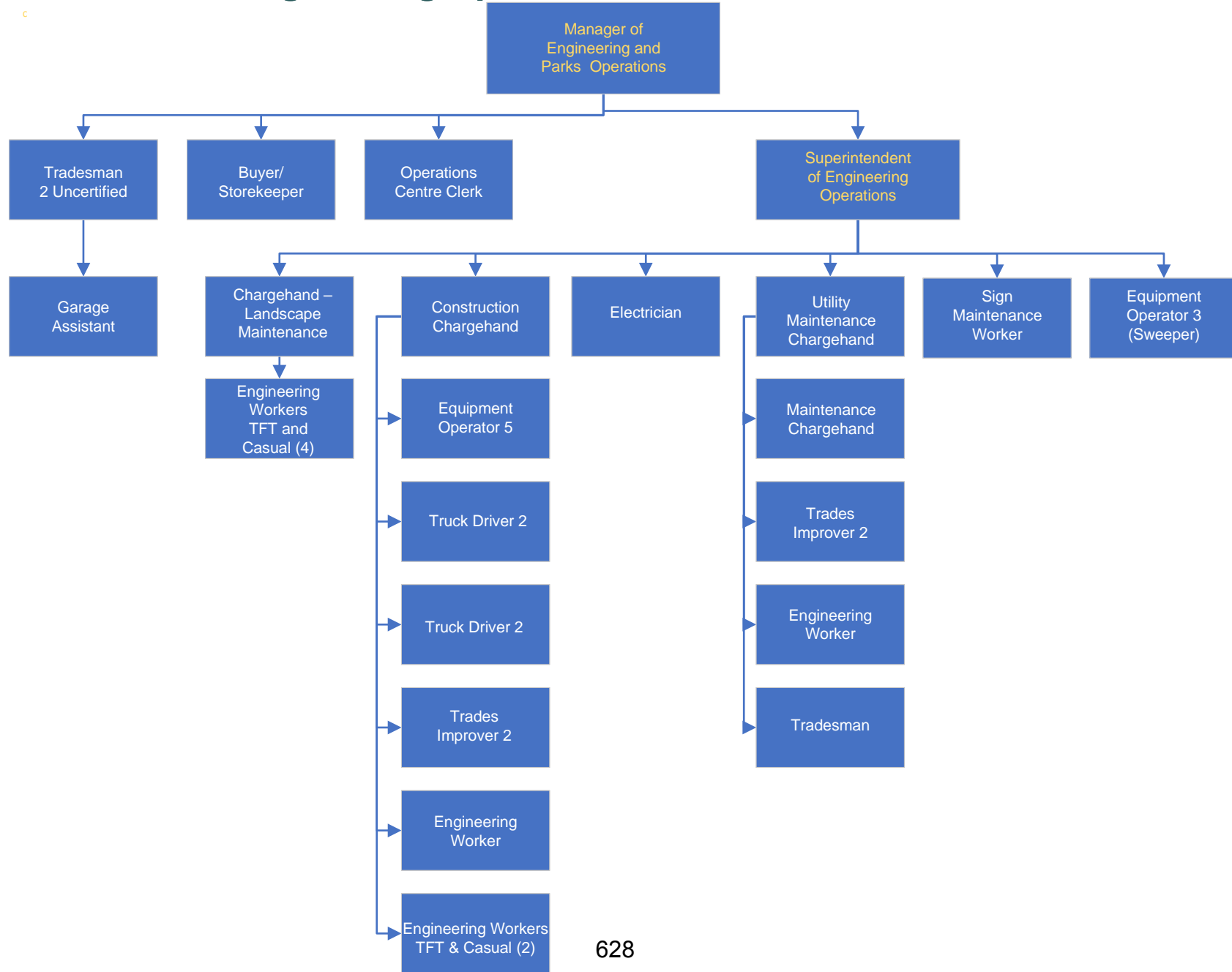
Fire Rescue Services Department

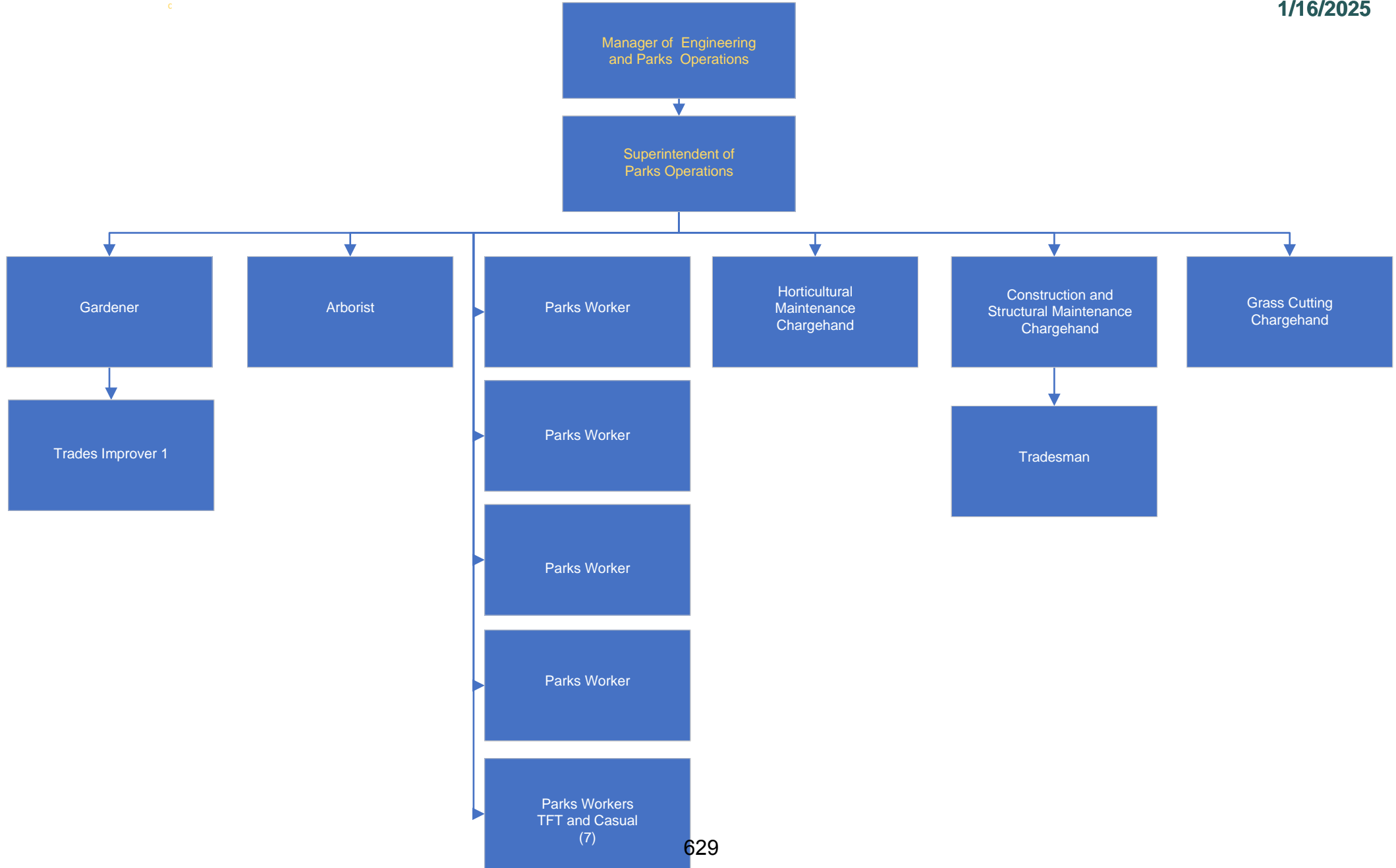
1/16/2025













Squamish Nation
320 Seymour Blvd,
North Vancouver, BC V7J 2J3

January 28, 2025

Skwxwú7mesh
Úxwumíxw

Introducing Squamish Nation’s Climate Legacy Strategy

The Squamish Nation is pleased to share our new Climate Legacy Strategy, a comprehensive framework aimed at advancing climate action within our Territory. This initiative reflects two years of community engagement, strategic planning, and data-driven analysis. Built on four pillars—Low-Carbon Infrastructure, Land and Water, Green Economy, and People and Community—the Strategy outlines 50 targeted actions designed to address the climate emergency. These actions range from promoting green infrastructure, protecting our land, and advancing climate resilience, all aligned with national and international climate goals for a net-zero future by 2050.

The Climate Legacy Strategy presents an opportunity for government and private partners operating within Squamish Territory to support climate actions that align with Squamish Nation priorities, and enhance resilience for all who live, work and play in the Territory. This Strategy is also a tangible step toward reconciliation, guided by the principles of the United Nations Declaration on the Rights of Indigenous Peoples (UNDRIP). By collaborating on the Strategy, your organization can play a role in the responsible stewardship of our lands and waters, helping to meet United Nations and IPCC climate targets. Moreover, collaboration also provides an opportunity to further our shared climate goals and/or targets.

We wish to develop successful partnerships in the implementation of this work. If you wish to arrange for a meeting, please contact our Climate Action Manager – Julia Stafford (Julia_stafford@squamish.net).

Thank you for considering this opportunity to join us in building a resilient, sustainable future. We look forward to your collaboration and support in realizing the ambitious vision of the Squamish Nation’s Climate Legacy Strategy. Please view an online version of the Climate Legacy Strategy using the QR code below.

Huy chexw a,

Chairperson Khelsilem
Squamish Nation Council
Skwxwú7mesh Úxwumíxw | Squamish Nation





2024

Climate Legacy Strategy

Developed By:
Sk̓wx̓wú7mesh Úxwumixw
Ta Na Wa Yúus Ta Stitúyntsam̓



631

Sk̓wx̓wú7mesh Úxwumixw
Squamish Nation

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“Indigenous environmental design and stewardship strategies led by Indigenous people, who are experts in our fields and territories, is the way forward.”

—Sierra Tasi Baker



S7ulh a'ysaych Our Territory

The total area of the Skwxwú7mesh Aysáych (Squamish Territory) is 6,732 square kilometres (673,200 hectares).

The Skwxwú7mesh Úxwumixw (Squamish Nation) consists of 23 villages encompassing 28.28 square kilometers (2,828 hectares). These parcels of land are scattered from Vancouver to Gibsons Landing to the area north of Howe Sound.

Skwxwú7mesh Aysáych is located in the Lower Mainland region of British Columbia. Prior to and following the arrival of Europeans in the late 1700s, the lands and waters we used and occupied, either exclusively or jointly with our First Nation neighbours, spanned from Point Grey in the south to Roberts Creek in the west; then north along the height of land to the Elaho River headwaters, including all of the islands in Howe Sound, the entire Skwxwú7mesh Valley, and Howe Sound drainages; then southeast to the confluence of the Soo and Green Rivers north from Whistler; then south along the height of land to the Port Moody area, including the entire Mamquam River and Indian Arm drainages; and west along the height of land back to Point Grey.

Our Skwxwú7mesh Aysáych includes some of the present-day cities of Vancouver, Burnaby, and New Westminster; all of the cities of North Vancouver, West Vancouver, and Port Moody; and all of the District of North Vancouver, the District of Squamish, and the Municipality of Whistler. These boundaries embrace all of Howe Sound, Burrard Inlet, and English Bay, as well as the rivers and creeks that flow into these bodies of water. In addition, we used and occupied the various islands located in Howe Sound.

Our historical links to these lands and waters are numerous. Skwxwú7mesh place names exist throughout Skwxwú7mesh Aysáych. In many instances, a location has distinct meaning to our people because of the existence of oral traditions that explained that place in the Skwxwú7mesh universe and in our relationship to the land. In addition, the land bears witness to the settlements, resource sites, and spiritual and ritual places of our ancestors, including villages, hunting camps, cedar bark gathering areas, rock quarries, clam processing camps, pictographs, and cemeteries. Some of these village sites date back 3000 years.

Chet kw'enmántumiwit

Acknowledgements


The Skwxwú7mesh Úxwumixw Climate Legacy project was led by Ta na wa Yúus ta Stitúyntsah (Rights and Title Department) and is the result of two years of work conducted by the project team alongside the invaluable guidance, contributions, and leadership of many Skwxwú7mesh people, staff, and administration at the Skwxwú7mesh Úxwumixw.

We raise our hands to our Skwxwú7mesh People who participated in the engagement process, the Steering Committee, Community Working Group, Technical Committee, the opening ceremonies, the interviews, the education programs, and the community initiatives. We also raise our hands to Aaron Williams, Chris Lewis, and Elizabeth Ross for their support leading the opening ceremonies. We offer our gratitude to Charlene Williams for helping us create the Steering Committee group. We would also like to thank the Indigenous Climate Action Network for their support in the facilitation of two Climate Warriors Education Programs.

“I want there to be a natural world that has ancient and old-growth forests and clean oceans, free of chemicals, sea lice, and other harmful elements that are killing the oceans and all the wild creatures, for future generations.”

—Cease Wyss





Yewáń syétsem Background

Our strategy for advancing climate action in our Skwxwú7mesh Aysáych (Territory) articulates our vision and desire to take meaningful action on climate within our Skwxwú7mesh Aysáych, in order to ensure a sustainable and thriving environment for those who come after us. Climate Legacy aligns with the United Nations Intergovernmental Panel on Climate Change (IPCC) requirements for a stable climate (net zero emissions by 2050). The initiation of Climate Legacy was made possible by a July 2019 Council motion that declared a climate emergency and established initial climate commitments. This motion also mandated the development of a comprehensive Climate Legacy Strategy to address policies and projects within our community and Skwxwú7mesh Aysáych. In Fall 2021, a project team was hired to lead this effort under the Ta na wa Yúus ta Stitúyntsarń. Over the course of two years, a comprehensive community engagement process was facilitated, data analysis was conducted, and the Climate Legacy Strategy was developed.

Climate Legacy was created to meet and exceed existing best practices in climate action in the Territory in alignment with existing governmental climate strategies. Governments, industries, and institutions are encouraged to use Climate Legacy to guide their relationship with the Skwxwú7mesh Úxwumixw to advance climate action. Climate Legacy, its implementation, and the priorities of the Skwxwú7mesh Úxwumixw must be understood as the means by which the Skwxwú7mesh People assert their Indigenous Rights as articulated by the United Nations Declaration on the Rights of Indigenous Peoples (UNDRIP).

The visions, goals, actions, and eleven associated Quick-Starts outlined in Climate Legacy mark the beginning of our work on climate action. Following this, a detailed implementation plan with corresponding timelines, workplans, and budgets for this strategy will be developed.

Kw'úlhutsu Quick-Start Actions

Recognizing the climate emergency in which we find ourselves and the associated threats posed to our community, the Skwxwú7mesh Úxwumixw is introducing eleven (11) Quick-Start Actions. These Actions intend to address the climate emergency with the urgency required, as we continue the longer-term development of our Climate Legacy Implementation Plan.

We acknowledge that isolated initiatives are limited in impact. As such, these Quick-Start Actions mark only the initial phase of our commitment to climate action. They serve as a call to action and a source of inspiration for our people, our staff, other First Nation communities, and all levels of government. These actions will be referenced in the Climate Legacy Strategy introduced below.

01 No New Industrial Fossil Fuel Projects in the Skwxwú7mesh Aysáych

Implement a policy to prevent approvals of future industrial fossil fuel projects (oil, coal, and natural gas) in the Skwxwú7mesh Aysáych. This could include but is not limited to pipelines, processing facilities, refineries, and extraction.

02 Climate Action Standard for New Buildings

Implement a Climate Action Standard to apply to all new buildings on Skwxwú7mesh reserves and fully Skwxwú7mesh-owned developments. This standard will serve as best practice for external government and industry.

03 Low-Carbon Transportation Plan

Develop a low-carbon transportation plan and hire dedicated staff, such as a transportation planner, to support implementation of transportation work.

04 Plant 1,000 Trees in the Skwxwú7mesh Úxwumixw

Plant trees across community lands, including erosion control sites, to increase shade on reserves, sequester carbon, reduce impacts of flooding, and connect people to the land.

05 Dedicated Green Space on Reserve Land

Create and implement a policy to dedicate a portion of total area as green space through land-use planning for all new developments on reserve land.

06 Expansion of the Guardianship Program

Hire additional staff as Guardians to expand the program in the Squamish Valley and increase our ability to protect the land in alignment with our Xay Temixw (Land-use Plan) and Xay Shkwen (Marine-use Plan).

07 Expansion of Food Security Infrastructure

Develop and implement a plan to increase our ability to provide food to community members in North Vancouver and the Squamish Valley through our food pantry program and other food services.

08 Zero-Waste Operations Policy

Develop and implement a zero-waste operations policy for Skwxwú7mesh Úxwumixw government offices and events.

09 Protection of Skwxwú7mesh Homes from Wildfires

Complete FireSmart BC wildfire prevention and mitigation measures for all existing homes and community buildings on reserve at risk of impact by wildfires.

10 Community Emergency Supplies

Deliver 72-hour emergency preparedness kits to each household.

11 Launch the Skwxwú7mesh Climate Warriors Program

Develop and launch a permanent Climate Warriors Program for climate change education and training, community grants, land-based learning, and stewardship opportunities.



Our Climate Legacy Strategy

DUAL VISION OBJECTIVES

Wa cht timásteñamut Our Jurisdiction

Encapsulates our aspirations for
Skw̓xwú7mesh Úxwumixw
by 2050.

Ta skwelkwálwen cht wa k'álentawit Our Co-Jurisdictional Influence

We will use and extend our influence beyond
our immediate jurisdiction to foster a broader
impact, ensuring that proactive actions lead
to transformative change in our entire
Skw̓xwú7mesh Aysáych to support
our 2050 goals.

FOUR PILLARS

Wa cht iyímen ta átskiwílhmin

Our Low-Carbon
Infrastructure

Wa cht lháwat ta k'ek'sín ti syatshen

Our Land & Water

Wa cht iyimen ta s7ulh nek'ilus wenlh ts'its'áp' cht

Our Green Economy

Wa cht lháwat ta úxwumixw

Our People
& Community

Reading the Climate Legacy Strategy

The Climate Legacy Strategy (the Strategy) is built upon Four Pillars. These pillars represent the key areas where we must focus our efforts and strategies to attempt to rebuild a healthy and resilient climate. Each pillar encompasses specific visions, goals, and actions. A crucial aspect of the Strategy is the distinction between areas within our jurisdiction and those where we can act through our co-jurisdictional influence.

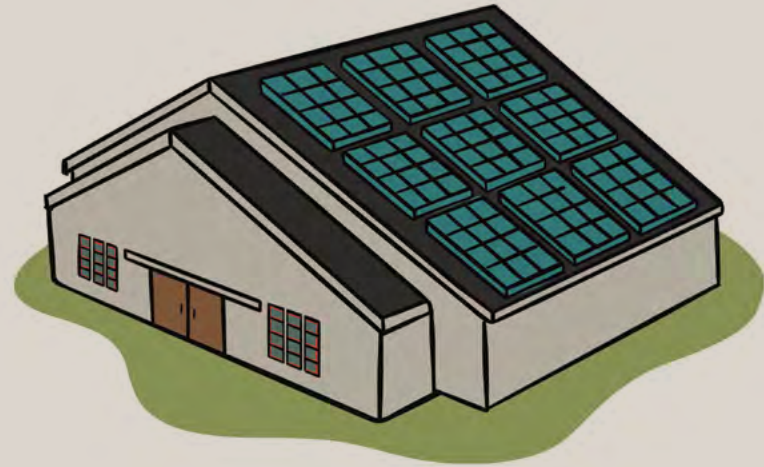
The vision statements and goals for each of the Four Pillars will serve as the foundation for future climate action development, to be detailed in our updated department plans and implementation plan. These elements will also be incorporated into future strategic plans and updates to the recently adopted Úxwumixw 2050: Skw̓xwú7mesh Generational Plan.

Ultimately, the purpose of the Strategy is to inspire both our community and our external partners in the urgent context of the climate emergency. Its scope extends beyond our internal government structure to include other governmental bodies, institutions, academia, and society at large. By integrating our Skw̓xwú7mesh teachings and traditional land stewardship knowledge, the Strategy offers an aspirational approach to pave the way for progressive climate policy within our Skw̓xwú7mesh Aysáych and beyond.

PILLAR 1

Wa cht iyí'men ta átskiwílhmin

Our Low-Carbon Infrastructure



OUR VISION

The Skwxwú7mesh Úxwumixw buildings, transportation, and energy systems are in harmony with the environment and are adapted to climate change.

Through our co-jurisdictional influence, we guide development of complete and resilient communities in our Skwxwú7mesh Aysáych.



AREA 1
CLIMATE LEGACY GOALS

S7ulh kexáwtxw
Buildings

CLIMATE LEGACY
GOAL 1 ➤

Work towards implementing requirements for all buildings in our S̄kw̄xwú7mesh Aysáych to be zero-carbon with high energy efficiency, to pursue high sustainability standards, and to be resilient to climate change by 2030.

ACTIONS:

ACTION 1.1:

Assess and implement policy options for **sustainability and climate resilient standards for new and existing buildings** in the S̄kw̄xwú7mesh Úxwumixw and our S̄kw̄xwú7mesh Aysáych.

- In line with Quick-Start #2 Climate Action Standard for New Buildings



CLIMATE LEGACY

GOAL 2 ➤

Work towards reducing energy use and greenhouse gas emissions in existing buildings in Sk̓wx̓wú7mesh Úxwumixw through retrofits and energy-saving measures by 50% over 2021 baseline levels by 2030.

ACTIONS:

ACTION 2.1:

Assess and implement opportunities for **retrofitting Sk̓wx̓wú7mesh Úxwumixw buildings** to meet sustainability and climate resiliency considerations.

ACTION 2.2:

Educate and support our Sk̓wx̓wú7mesh People to make informed decisions on **energy- and cost-saving opportunities** in their homes.

“Climate Action is important to me because I want my children and my children’s children to experience our Territory like I have and have a sense of pride in protecting it.”

—Sierra Tasi Baker



AREA 2
CLIMATE LEGACY GOALS

Welh nékwentsut cht
Transportation

CLIMATE LEGACY
GOAL 3 ➤

Work towards increasing the share of trips made by active, public, and shared transportation in our Sḵw̓xwú7mesh Aysáych by 50% by 2030.

ACTIONS:

ACTION 3.1:

Assess and implement opportunities to **increase public transit access** in the Sḵw̓xwú7mesh Aysáych.

ACTION 3.2:

Assess and implement opportunities to **enhance transportation services** offered by the Sḵw̓xwú7mesh Úxwumixw (potentially including but not limited to shuttles and ridesharing programs).



ACTION 3.3:

Assess and implement opportunities to **improve active transportation infrastructure** in the Skwxwú7mesh Úxwumixw and our Skwxwú7mesh Aysáych (potentially including but not limited to bicycle paths and street lighting).

ACTION 3.4:

Assess and implement opportunities to **expand shared micromobility programs** in the Skwxwú7mesh Úxwumixw and our Skwxwú7mesh Aysáych (potentially including but not limited to bicycle sharing programs).

ACTION 3.5

Explore opportunities to **develop walkable and complete communities** in the Skwxwú7mesh Úxwumixw through our community planning.

ACTION 3.6:

Educate and support our staff and Skwxwú7mesh People on **active, shared, and electrified transportation opportunities** in the Skwxwú7mesh Úxwumixw and our Skwxwú7mesh Aysáych.

— All in line with Quick-Start #3
Low-Carbon Transportation Plan

“We have such a beautiful and rich traditional Territory that holds our knowledge and stories within it, and it is important to protect and share those stories with each other.”

—Myia Antone





CLIMATE LEGACY
GOAL 4 ➤

Work towards electrifying our fleet and creating sufficient charging infrastructure in the Sk̓wx̓wú7mesh Úxwumixw by 2030.

ACTIONS:

ACTION 4.1:

Assess and implement the **installation of electric vehicle charging infrastructure** in all relevant commercial, community, and government buildings to support the electrification of transportation in the Sk̓wx̓wú7mesh Úxwumixw.

ACTION 4.2:

Explore the development of new Sk̓wx̓wú7mesh Úxwumixw **policies for purchasing and replacing fleet vehicles with electric alternatives.**

“I have children, you know, I worry about what those places are going to be like, what are we leaving for them? What is our footprint going to be like, for their generation?”

—Lenore Baker

AREA 3
CLIMATE LEGACY GOALS

Ta wa lh7iyím
Energy

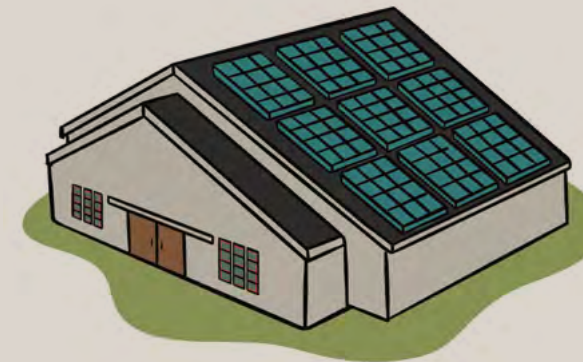
CLIMATE LEGACY
GOAL 5 ➤

Work towards developing our own sources of renewable energy to cover core community needs and to pursue energy sovereignty in the Sḵw̱x̱wú7mesh Úxwumixw by 2050.

ACTIONS:

ACTION 5.1:

Assess the feasibility of renewable energy alternatives and evaluate opportunities for integrating renewable energy sources to enhance energy sovereignty in the Sḵw̱x̱wú7mesh Úxwumixw.



PILLAR 2

Wa cht lháwat ta k'ek'sín ti syatshen

Our Land & Water



OUR VISION

Our land and waters are stewarded and protected by our people, and the Skwxwú7mesh Úxwumixw is food-secure and sovereign, in alignment with our traditional teachings.

We assert our inherent rights and title to address the ecological decline brought about by the climate emergency and to restore our ecosystems, ensuring the well-being, stability, and resiliency of our people and all living creatures within our Skwxwú7mesh Aysáych for generations to come.



AREA 4
CLIMATE LEGACY GOALS

**Ta temíxw iy ta stákw
wa nseyxni7tem**
Land & Water

CLIMATE LEGACY
GOAL 6 ➤

**Work towards protecting 30% of our
Skwxwú7mesh Aysáych by 2030.**



ACTIONS:

ACTION 6.1:

Assess existing protected areas to **determine a baseline of protected land and waters** in our Skwxwú7mesh Aysáych.

ACTION 6.2:

Explore opportunities to **increase protected land and waters to meet the 30% target** in our Skwxwú7mesh Aysáych.

ACTION 6.3:

Assess and implement opportunities to create and support policies that **ensure the protected areas in our Skwxwú7mesh Aysáych remain protected.**

CLIMATE LEGACY

GOAL 7 ➤

Work towards ensuring that at least 30% of areas of degraded terrestrial, inland water, and coastal and marine ecosystems in our Sḵw̱x̱wú7mesh Aysá'ych are under effective restoration by 2030.

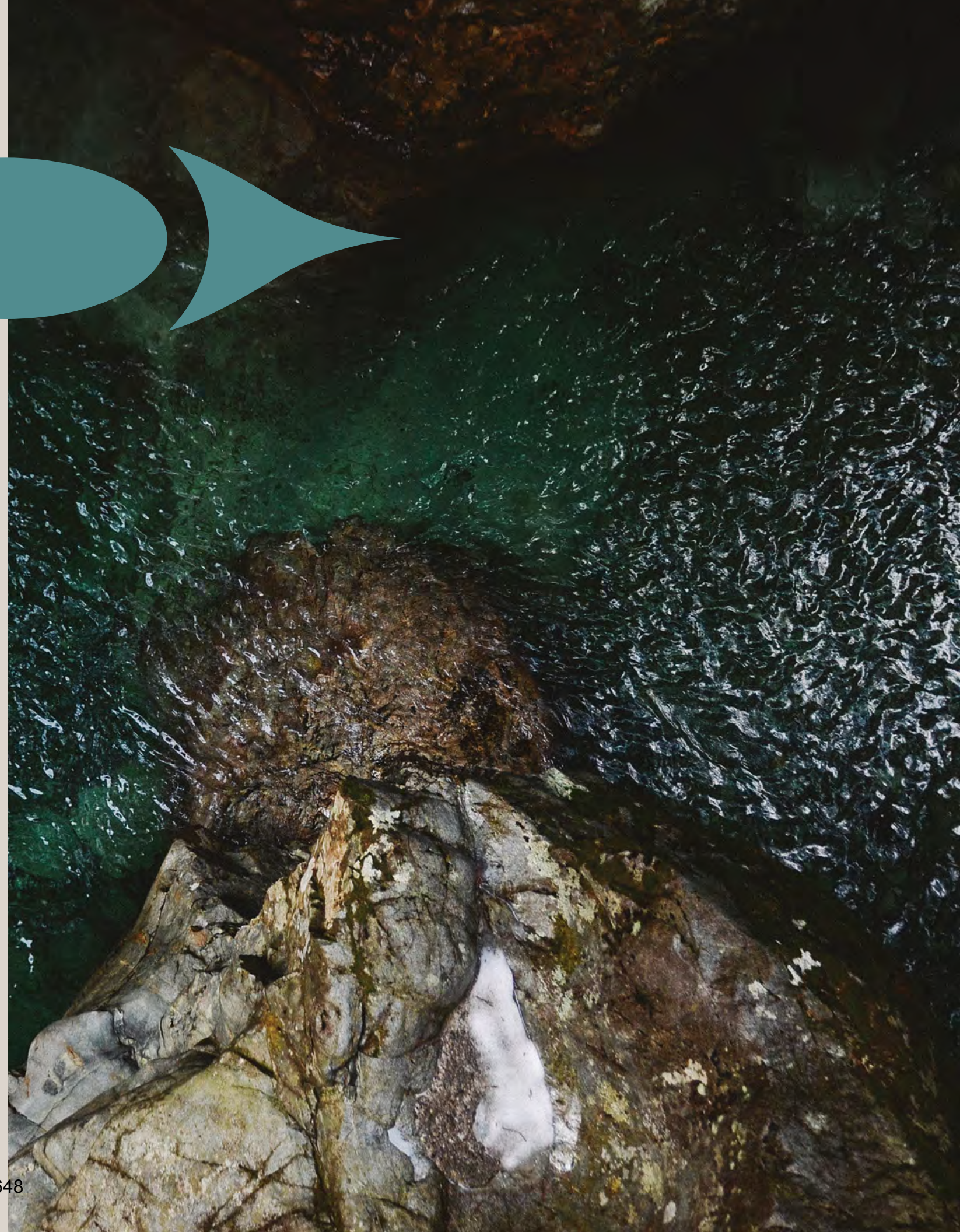
ACTIONS:

ACTION 7.1:

Explore opportunities to **complete restoration projects across our Sḵw̱x̱wú7mesh Aysá'ych land and waters** to mitigate and respond to the impacts of climate change.

ACTION 7.2:

Explore opportunities to **create and support policies that pursue restoration projects** to mitigate and respond to the impacts of climate change across our Sḵw̱x̱wú7mesh Aysá'ych.





CLIMATE LEGACY
GOAL 8 ➤

Work towards sustainably managing and promoting resilience in 100% of our Sk̓wx̓wú7mesh Aysáych by 2050.

ACTIONS:

ACTION 8.1:

Assess and implement opportunities to **expand the protection and management of our Sk̓wx̓wú7mesh Aysáych** to mitigate and respond to the impacts of climate change.

- In line with Quick-Start #6
Expansion of the Guardianship Program

ACTION 8.2:

Educate and support our Sk̓wx̓wú7mesh People in **continuing to practice Sk̓wx̓wú7mesh traditional ways of caring for the land and waters** in the context of climate change.

ACTION 8.3:

Assess and implement opportunities to **monitor and respond to the impacts of climate change** on our Sk̓wx̓wú7mesh Aysáych land and waters **and the resulting impacts on our culture.**

ACTION 8.4:

Explore opportunities to **address the impacts of climate change on biodiversity**, prioritizing species of cultural significance in our Sk̓wx̓wú7mesh Aysáych.

ACTION 8.5:

Explore opportunities to **prevent and mitigate the impacts of climate change on the cultural and archaeological sites** in our Sk̓wx̓wú7mesh Aysáych

AREA 5
CLIMATE LEGACY GOALS

**Wa cht k̄éxwim̄
ta s7ilhen cht**
Food

CLIMATE LEGACY
GOAL 9 ➤

Work towards increasing food assets and services by a minimum of 50% over 2024 baseline levels in the S̄kw̄xw̄7mesh Úxwumixw by 2030.



ACTIONS:

ACTION 9.1:

Explore opportunities to **expand community food-sharing programs** in the S̄kw̄xw̄7mesh Úxwumixw (potentially including but not limited to meal delivery programs).

ACTION 9.2:

Explore and expand opportunities to **grow food in the S̄kw̄xw̄7mesh Úxwumixw to support the food sovereignty** of our S̄kw̄xw̄7mesh People (potentially including but not limited to greenhouses and community gardens).

ACTION 9.3:

Educate and support our Skwxwú7mesh People in food sovereignty practices such as traditional hunting, gathering, fishing, preparation, and preservation.

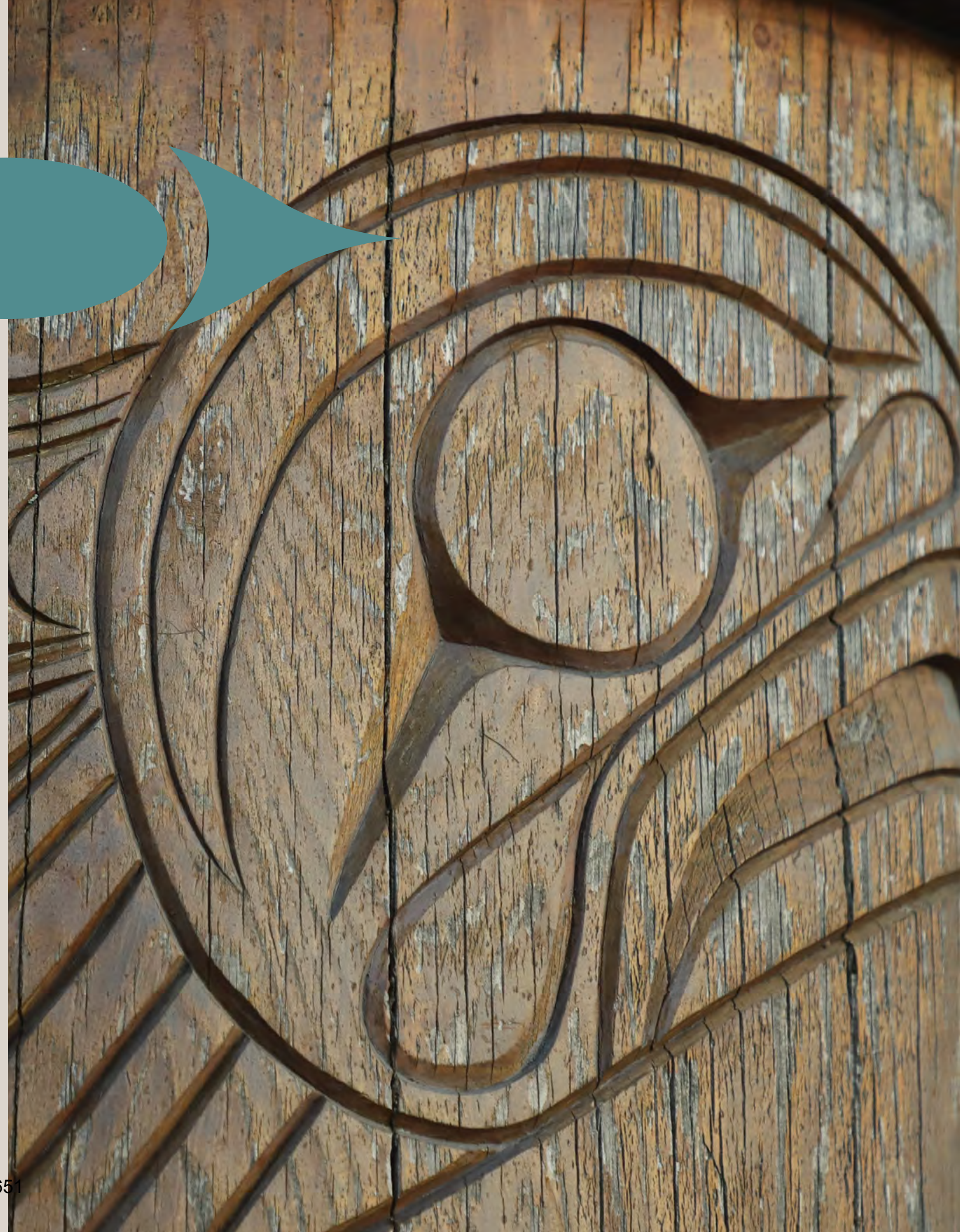
ACTION 9.4:

Assess and implement opportunities to **expand existing food programming** in the Skwxwú7mesh Úxwumixw to improve the food security of our Skwxwú7mesh People.

- In line with Quick-Start #7
Expansion of Food Security
Infrastructure

“I’m 74 years old. And I’ve seen a lot of change in my lifetime, and certainly from our parents’ lifetime. But I understand that change happens, you know, things change, things evolve. The concern I have is at what expense and at whose expense.”

—Anonymous Elder



PILLAR 3

Wa cht iyimen ta s7ulh neḵ'ilus wenlh ts'its'áp' cht

Our Green Economy



OUR VISION

Our Sḵwḵwú7mesh Úxwumixw has strong economic independence supported by Sḵwḵwú7mesh-led sustainable economic development initiatives that provide green employment opportunities to our Sḵwḵwú7mesh People.

We lead economic growth in line with the protection of our Sḵwḵwú7mesh Aysáy'ch.



AREA 6
CLIMATE LEGACY GOALS

**Wa cht iyimen ta s7ulh nek'ilus
wenlh ts'its'áp' cht**
Green Economy

CLIMATE LEGACY

GOAL 10 ▶

Work towards supporting and strengthening the participation and leadership of our Sḵw̓x̓wú7mesh People in the green economy by doubling the number of green jobs in the Sḵw̓x̓wú7mesh Úxwumixw over 2024 baseline levels by 2040, prioritizing a just transition.

ACTIONS:

ACTION 10.1:

Explore opportunities for a just transition that provides pathways for Sḵw̓x̓wú7mesh People seeking to shift employment from extractive to green industries.

ACTION 10.2:

Educate and support our Sḵw̓x̓wú7mesh People in acquiring the necessary skills to **transition to climate resilience and sustainability positions.**



CLIMATE LEGACY

GOAL 11 ➤

Work towards divesting financial assets of the Skwxwú7mesh Úxwumixw from fossil fuels by 2040.

ACTIONS:

ACTION 11.1:

Explore opportunities for the **divestment of Skwxwú7mesh Úxwumixw financial assets, pension plans, and banking** from fossil fuels.

“There's no such thing as perfect in zero-waste, but we need to adopt it as a practice, which means it needs to be implemented as a policy.”

—Charlene Seward





CLIMATE LEGACY

GOAL 12 ►

Work with industry and other governments operating in our S̄kw̄x̄w̄7mesh Aysáych to ensure alignment with Intergovernmental Panel on Climate Change (IPCC) emissions reduction goals.

ACTIONS:

ACTION 12.1:

Explore opportunities to develop policies that **support the transition of new and existing industries** operating in our S̄kw̄x̄w̄7mesh Aysáych, **to ensure alignment with IPCC emissions reduction goals.**

- In line with Quick-Start #1 No New Fossil Fuel Industrial Development in the S̄kw̄x̄w̄7mesh Aysáych

ACTION 12.2:

Explore opportunities to **develop agreements with other governments** operating within our S̄kw̄x̄w̄7mesh Aysáych **to ensure alignment of their planning, policies, and procedures with IPCC emissions reduction goals.**

ACTION 12.3:

Work to ensure that, in alignment with the UN Declaration on the Rights of Indigenous Peoples (UNDRIP), the **S̄kw̄x̄w̄7mesh Úxwumixw has meaningful participation and decision-making authority on climate policy matters** across our S̄kw̄x̄w̄7mesh Aysáych.

ACTION 12.4:

Explore opportunities to **create policies that support the implementation of Climate Legacy** in our S̄kw̄x̄w̄7mesh Aysáych.

AREA 7
CLIMATE LEGACY GOALS

Tsetsiyákwustaý ta es7átetemcht

Waste Reduction & the Sharing Economy

CLIMATE LEGACY

GOAL 13 ➤

Work towards applying circular economy principles to enable a 50% reduction in waste-related emissions over 2021 baseline levels in our S̄kw̄wú7mesh Aysáych by 2030.



ACTIONS:

ACTION 13.1:

Explore **policy options for circular economy solutions** to reduce waste in the S̄kw̄wú7mesh Úxwumixw and our S̄kw̄wú7mesh Aysáych (potentially including but not limited to composting and the reduction of single-use items).

— In line with Quick-Start #8
Zero-Waste Operations Policy

ACTION 13.2:

Educate and support our S̄kw̄wú7mesh People on **circular economy solutions** in the S̄kw̄wú7mesh Úxwumixw (potentially including but not limited to sharing programs and repair workshops).

PILLAR 4

Wa cht lháwat ta úxwumixw

Our People & Community



OUR VISION

By aligning our emergency preparedness, health services, community operations, and governance to climate action, we guarantee the health and resilience of our Skwxwú7mesh Úxwumixw.

We lead the way to ensure the Skwxwú7mesh Aysáych is healthy and resilient in the face of the climate emergency.



AREA 8
CLIMATE LEGACY GOALS

**P'áyaqalhenumuh chat ek' wa
p'etxnumuh kwi key stam**
Community Resilience &
Emergency Preparedness

CLIMATE LEGACY

GOAL 14 ➤

Work towards assessing climate hazards every five years and implementing adaptation solutions to manage the projected natural hazards resulting from climate change in the Sḵwxwú7mesh Úxwumixw.

ACTIONS:

ACTION 14.1:

Assess and implement opportunities to **respond to drought risks and impacts** in the Sḵwxwú7mesh Úxwumixw and our Sḵwxwú7mesh Aysáych (potentially including but not limited to emergency water storage).

ACTION 14.2:

Assess and implement opportunities to **respond to extreme heat risks and impacts** in the Sḵwxwú7mesh Úxwumixw (potentially including but not limited to cooling centers and check-ins for vulnerable populations).

- In line with Quick-Start #4
Plant 1,000 Trees in the
Sḵwxwú7mesh Úxwumixw



ACTION 14.3:

Assess and implement opportunities to **respond to river, rainfall, and sea level rise flood risks and impacts** in the Skwxwú7mesh Úxwumixw and our Skwxwú7mesh Aysáych (potentially including but not limited to flood mapping, erosion management, and infrastructure upgrades).

ACTION 14.4:

Assess and implement opportunities to **respond to wildfire and smoke risks and impacts** in the Skwxwú7mesh Úxwumixw and our Skwxwú7mesh Aysáych (potentially including but not limited to removing hazardous vegetation and installing smoke filters).

- In line with Quick-Start #9 Protection of Skwxwú7mesh Homes from Wildfires

ACTION 14.5:

Educate and support our staff and Skwxwú7mesh People in **understanding and accessing our emergency response and climate resilience programs.**

- In line with Quick-Start #10 Community Emergency Supplies

ACTION 14.6:

Assess and implement opportunities to **respond to other extreme weather and climate change disasters** in the Skwxwú7mesh Úxwumixw and our Skwxwú7mesh Aysáych.

ACTION 14.7:

Explore opportunities to **support and expand emergency planning and response to manage the impacts of climate change on the cultural and archaeological sites** in our Skwxwú7mesh Aysáych.



AREA 9
CLIMATE LEGACY GOALS

Nexwáyetsut
Health

CLIMATE LEGACY
GOAL 15

▶ **Work towards ensuring that all our Skwxwú7mesh People have adequate access to our Skwxwú7mesh Aysáych land and waters to support their health and wellness by 2030.**

ACTIONS:

ACTION 15.1:

Explore opportunities to create and support policies, community planning, and services to ensure that our Skwxwú7mesh People have **access to our Skwxwú7mesh Aysáych land and waters** to support their health and wellness.

- In line with Quick-Start #4
Dedicated Green Space on Reserve Land



CLIMATE LEGACY

GOAL 16 ►

Work towards assessing mental and physical health impacts resulting from climate change on our Skwxwú7mesh People every five years and implementing solutions to manage these impacts.

ACTIONS:

ACTION 16.1:

Assess climate change health impacts and explore the **expansion of Skwxwú7mesh Úxwumixw health services** to respond to these impacts.

ACTION 16.2:

Educate and support our staff and Skwxwú7mesh People in understanding **climate-related health impacts and available health services.**

“I am so grateful that I was taught at a very young age where our territories are, where our villages were. [To] have a sense of belonging and ownership over this, and [over] how to treat the land, is how to be a person of this land.”

—Paula George



AREA 10
CLIMATE LEGACY GOALS

Nch'ú7mut
Engagement & Education

CLIMATE LEGACY

GOAL 17 ➤

Work towards providing a clear pathway for every individual, group, association, department, entity, and body in the Sḵw̱x̱wú7mesh Úxwumixw to be engaged in climate action.



ACTIONS:

ACTION 17.1:

Integrate Climate Legacy in all existing and new planning, policies, projects, and procedures of the Sḵw̱x̱wú7mesh Úxwumixw.

ACTION 17.2:

Ensure that Sḵw̱x̱wú7mesh Úxwumixw **subsidiaries and entities are in alignment** with Climate Legacy.

ACTION 17.3:

Explore opportunities to **align our external partners** with Climate Legacy.

CLIMATE LEGACY

GOAL 18 ►

Work towards ensuring that all our Skwxwú7mesh People have access to education on our traditional and sustainable ways of being, in line with climate action.

ACTIONS:

ACTION 18.1:

Offer **ongoing climate change education** programs to our staff and Skwxwú7mesh People.

ACTION 18.2:

Expand Skwxwú7mesh Úxwumixw **land- and water-based education** programs.

- In line with Quick-Start #11
Launch the Skwxwú7mesh Climate Warriors Program

“My mom told me that our responsibility as Indigenous people is to the land, you know, that we are the land and the land is us and we have a responsibility to protect the land, and to care for the land.”

—Charlene Williams







Skw̓w̓w̓7mesh Úxwumixw
Squamish Nation