



REGULAR COUNCIL MEETING AGENDA

Monday, November 21, 2016
7:00 P.M.
Council Chambers, Langley City Hall
20399 Douglas Crescent

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1. <u>COMMITTEE OF THE WHOLE</u>	
a. Development Permit Application No. 09-16 20286 Michaud Crescent	1
2. <u>ADOPTION OF AGENDA</u>	
a. Adoption of the November 21, 2016 Regular Agenda	
3. <u>ADOPTION OF THE MINUTES</u>	
a. Regular Meeting Minutes from November 7, 2016	24
4. <u>BUSINESS ARISING FROM COMMITTEE OF THE WHOLE</u>	
a. Development Permit Application No. 09-16 20286 Michaud Crescent	32
5. <u>COMMUNITY SPOTLIGHTS</u>	
a. Nigel Thom Fibromyalgia Well Spring Foundation	56
6. <u>MAYOR'S REPORT</u>	
a. Upcoming Meetings Regular Council Meeting – December 5, 2016 - Televised Regular Council Meeting – December 12, 2016	
b. Metro Vancouver Update - Councillor Storteboom	
c. Library Happenings - Councillor Martin	

7. **BYLAWS**

- a. Bylaw 3006 57
First and second reading of a bylaw to amend the Zoning Bylaw to add a new Comprehensive Development Zone, CD44, at 5501 & 5503 198 Street & 19771 55 Avenue.

8. **ADMINISTRATIVE REPORTS**

- a. 2015 Corporate Energy & GHG Emissions Inventory 92
Presentation from Roy Beddow, Deputy Director of Development Services

9. **NEW AND UNFINISHED BUSINESS**

- a. Motions/Notices of Motion
b. Correspondence
c. New Business

10. **ADJOURNMENT**



City of Langley

REPORT TO ADVISORY PLANNING COMMISSION

Subject: Development Permit Application DP 09-16
20286 Michaud Crescent
David Danyluck Architect

Report #: 16-038

From: Development Services & Economic
Development Department

File #: 6630.00
Doc #: 138327

Date: October 27, 2016

COMMITTEE RECOMMENDATION:

That Development Permit Application DP 09-16 to accommodate a four-storey, 7-unit condominium apartment building at 20286 Michaud Crescent with reduced front and exterior yard setbacks be approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report.

PURPOSE OF REPORT:

To consider a Development Permit Application to accommodate a four-storey, 7-unit condominium apartment building at 20286 Michaud Crescent

POLICY:

The subject property is zoned C1 Downtown Commercial Zone and designated Downtown Commercial in the Official Community Plan. As such, the application is subject to the Downtown Master Plan Development Permit Area Guidelines.



COMMENTS/ANAYLSIS:

Background Information:

Applicant:	David Danyluck Architect
Owner:	Cai Tran
Civic Address:	20286 Michaud Crescent
Legal Description:	Lot 376, District Lot 305, Group 2, New Westminster District, Plan 46221 Except: 1 st Part Dedicated Road on Reference Plan 66239, and Secondly Part Dedicated Road on Plan BCP35185
Site Area:	579 m ² (6,229 sq ft)
Dwelling Units:	7 (2-BR)
Density:	121 units/ha (49 units/acre)
Gross Floor Area:	930 m ²
Floor Area Ratio:	1.607
Lot Coverage:	40.2%
Parking Required:	10 spaces (incl. 2 visitor, 1 h/c)
Parking Provided:	10 spaces (incl. 2 visitor, 1 h/c)
Height:	4 storeys (13.8 m)
Exterior Finishes:	Painted cement board, aluminum railings
Current Zoning:	C1 Downtown Commercial Zone
OCP Designation:	Downtown Commercial (DC)
DCC's:	\$78,547.00 (City: \$66,843.00, GVS&DD: \$7,574.00, SD35: \$4,130.00)
Community Amenity Charge:	\$7,000.00
Variance Requested:	Front and Exterior Setback Variances (from 1.8m to 0.0m)

Engineering Requirements:

PRELIMINARY ONLY

Additional design changes may be required upon further investigation, site inspections and receipt of other supporting reports and documents. All work to be done to the City of Langley Specifications & MMCD Standards.

- A) The developer is responsible for the following work which shall be designed and approved by a Professional Engineer:



1. Implement erosion and sediment control measures designed and approved by a qualified professional in accordance with the City of Langley Watercourse Protection Bylaw #2518.
2. Conduct a water flow test and provide fire flow calculations by a Professional Engineer to determine if the existing water network is adequate for fire flows and achieve the necessary pressure and flows to conform to Fire Underwriters Survey (FUS) “Water Supply for a Public Fire Protection, a Guide to Recommended Practice, 1995”.
3. Additional C71P fire hydrants may be required to meet bylaw and firefighting requirements. Hydrant locations must be approved by the City of Langley Fire Department.
4. New water, sanitary and storm sewer service connections are required for the site. The developer’s engineer will determine the appropriate main tie in locations and size the connections for the necessary capacity. The capacity of the existing water and sewer mains shall be assessed and any upgrades required to service the site shall be designed and installed at the Developer’s expense. All existing services shall be capped at the main, at the Developer’s expense.
5. A stormwater management plan for the site is required. Rainwater management measures used on site shall limit the release rate to mitigate flooding and environmental impacts as detailed in the Subdivision and Development Bylaw.
6. The condition of the existing pavement on 203 Street, Michaud Crescent and the laneway shall be assessed by a geotechnical engineer. Pavements shall be adequate for an expected road life of 20 years under the expected traffic conditions for the class of road. Road construction and asphalt overlay designs shall be based on the analysis of the results of Benkelman Beam tests and test holes carried out on the existing road which is to be upgraded. If the pavement is inadequate it shall be remediated, at the developer’s cost. Additionally, any widening of the pavement structure, required to meet the design road width, will need to be designed by a geotechnical engineer.
7. A laneway dedication is required. The current width of the laneway shall be widened to City of Langley standard of 6.0m. The dedication of



laneway shall permit the release of the statutory right-of-way fronting the site.

8. Street lighting, fronting the site, along 203 Street shall be upgraded as per the Downtown Langley master Plan. The new lighting shall be designed by an approved lighting consultant, to ensure lighting levels meet current City of Langley standards.
9. Undergrounding of overhead hydro/tel, along Michaud Crescent is required. As the overhead wiring is minimal, a cash in lieu payment of \$1,500.00 per meter will be acceptable.
10. A Landscape plan prepared by a licensed professional is required and will address boulevard landscaping fronting the site.

B) The developer is required to deposit the following bonding and connection fees:

1. A Security Deposit of 110% of the estimated offsite works, as approved by the Director of Engineering, Parks and Environment, will be required.
2. Inspection and administration fees in accordance to the Subdivision Bylaw based on a percentage of the estimated construction costs. (See Schedule A – General Requirement - GR5.1 for details).
3. A deposit for storm, sanitary and water connections is required, which will be determined after detailed civil engineering drawings are submitted, sealed by a Professional Engineer.
4. A \$20,000 bond for the installation of a water meter to current standards is required.

C) The developer is required to adhere to the following conditions:

1. Underground hydro and telephone, and cable services to the development site are required.
2. All survey costs and registration of documents with the Land Titles Office are the responsibility of the developer/owner.
3. Water meters are required for each water connection and are to be installed outside in a vault away from any structure, in accordance with the City's water meter specifications, at the developer's cost.
4. An approved backflow prevention assembly must be installed on the domestic water connection immediately upon entering the building to provide premise isolation.



5. A "Stormceptor" or equivalent oil separator is required to treat site surface drainage.
6. A complete set of "as-built" drawings sealed by a Professional Engineer shall be submitted to the City after completion of the works. Digital drawing files in .pdf and .dwg format shall also be submitted.
7. The selection, location and spacing of street trees and landscaping shall be in accordance with the City of Langley's Official Community Plan Bylaw, 2005, No. 2600 and Street Tree Program, November, 1999 manual.
8. Stormwater run-off generated on the site shall not impact adjacent properties, or roadways.
9. Garbage and recycling enclosures shall be designed to meet Metro Vancouver's "Technical Specifications for Recycling and Garbage Amenities in Multi-family and Commercial Developments - June 2015 Update".

Development Services Comments:

The applicant is proposing to develop a 4-storey, 7-unit apartment building at the southwest corner of 203 Street and Michaud Crescent. The subject property is a small remnant parcel created from the realignment of 203 Street in 2008. The proposed development features an apartment building consisting of three floors on top of a ground floor lobby and parkade. The pedestrian entrance and lobby are located at the corner of Michaud Crescent and 203 Street while the parkade access is derived from a short north-south lane that also serves 5521 – 203 Street.

The flat-roofed building includes balconies for all of the units and steps back on the fourth floor level to provide a roof patio and garden area for the 2,492 sq ft penthouse unit. The building creates a strong architectural presence on a prominent corner and provides ample fenestration and glazing at the street level on 203 Street. The wide City boulevard areas on 203 Street and Michaud Crescent will be enhanced with generous Downtown Public Realm Plan elements including pavers, street trees and rain garden landscape features. The proposed development generally complies with the Downtown Master Plan Guidelines for the transitional areas along the multifamily residential edges of the downtown core.



The proposed development benefited from a comprehensive Crime Prevention Through Environmental Design (CPTED) review by a qualified consultant whose recommendations were incorporated into the plans.

In order to accommodate an economically viable development on this constrained site, the applicant is requesting variances to the minimum front and exterior yard setbacks (reduced from 1.8 metres to 0 metres). Staff support the proposed variances given the unusually small size of the lot and the wide City boulevards flanking the property.

Fire Department Comments:

Langley City Fire-Rescue Service has reviewed the attached plans and provided preliminary comments to the applicant. The department will review, and make further comment, as the project continues to the building permit design stage.

Advisory Planning Commission:

In accordance with Development Application Procedures Bylaw No. 2488, the subject applications will be reviewed by the Advisory Planning Commission at the November 9, 2016 meeting. A copy of the APC minutes will be presented to Langley City Council at the November 21, 2016 Regular Council meeting.

BUDGET IMPLICATIONS:

The proposed development would contribute \$66,843.00 to City Development Cost Charge accounts and \$7,000.00 in Community Amenity Charges.



ALTERNATIVES:

1. Require changes to the applicant's proposal relating to building form and character.

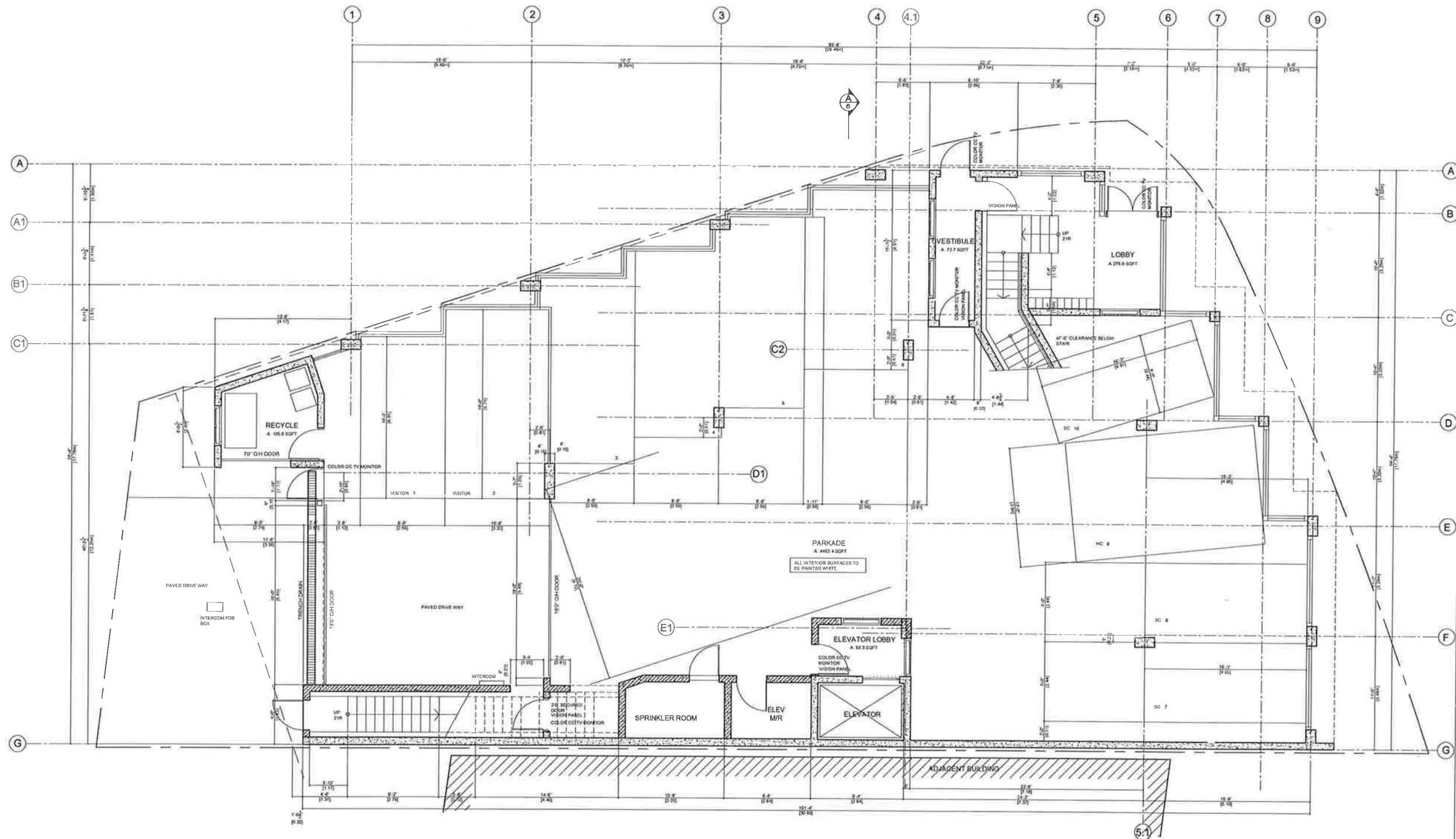
Prepared by,



Gerald Minchuk, MCIP, RPP
Director of Development Services & Economic Development

RMB/





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Issued for Development Permit
Sep 2016

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Project
Mixed Use Building
20286 Michaud Cr, Langley, B.C.

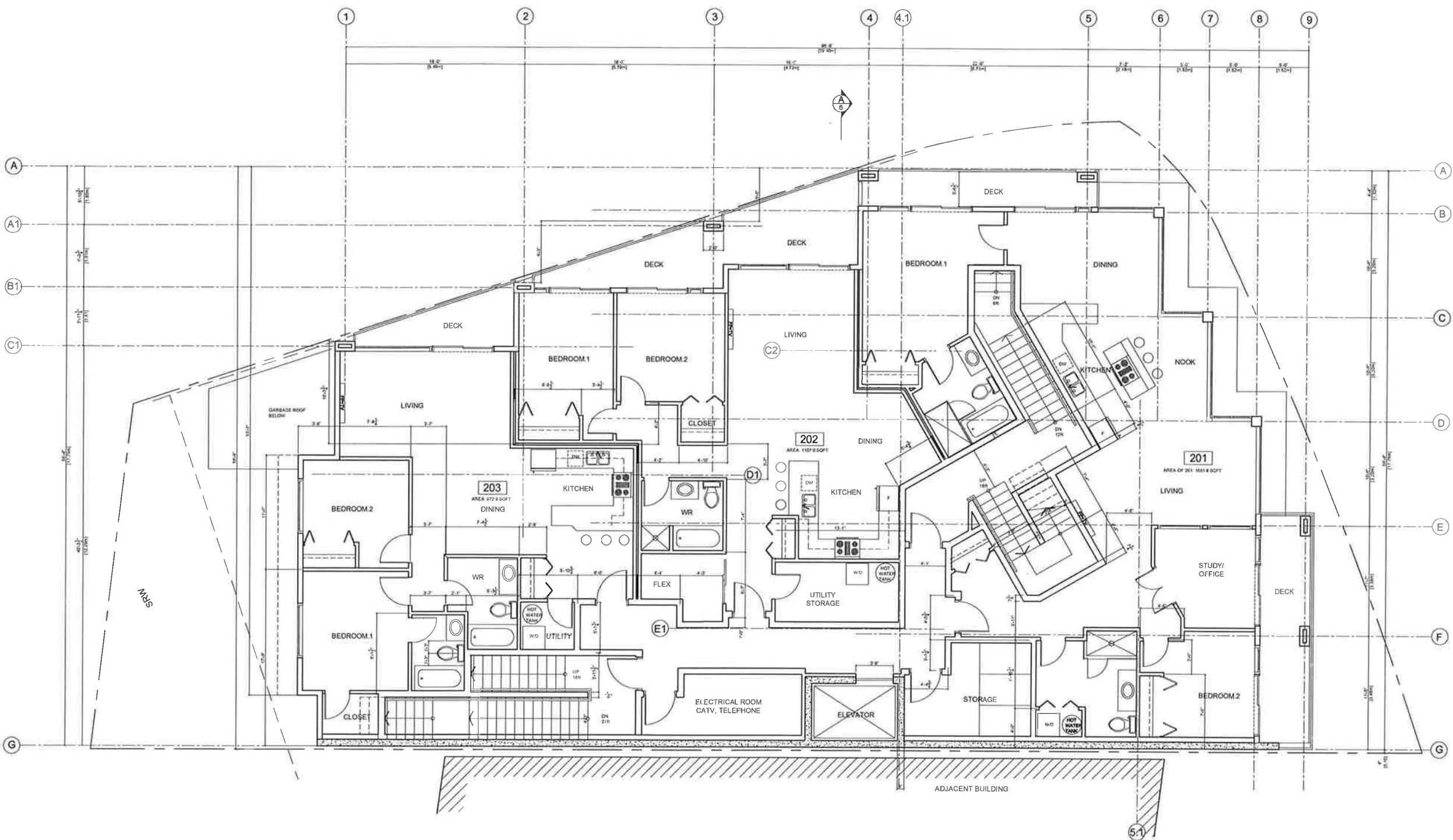
Sheet
Parkade Plan

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions shown on the drawing and shall notify the Architect of discrepancies so that these may be corrected. Shop drawings shall be submitted for review.

Drawn Tamas	Checked
Date 17 Oct 2016	Scale 1/4" = 1'-0"
Sheet No	

DP2





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Sep 2016

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Project:

Mixed Use Building
20786 Michaud Cr, Langley, B. C.

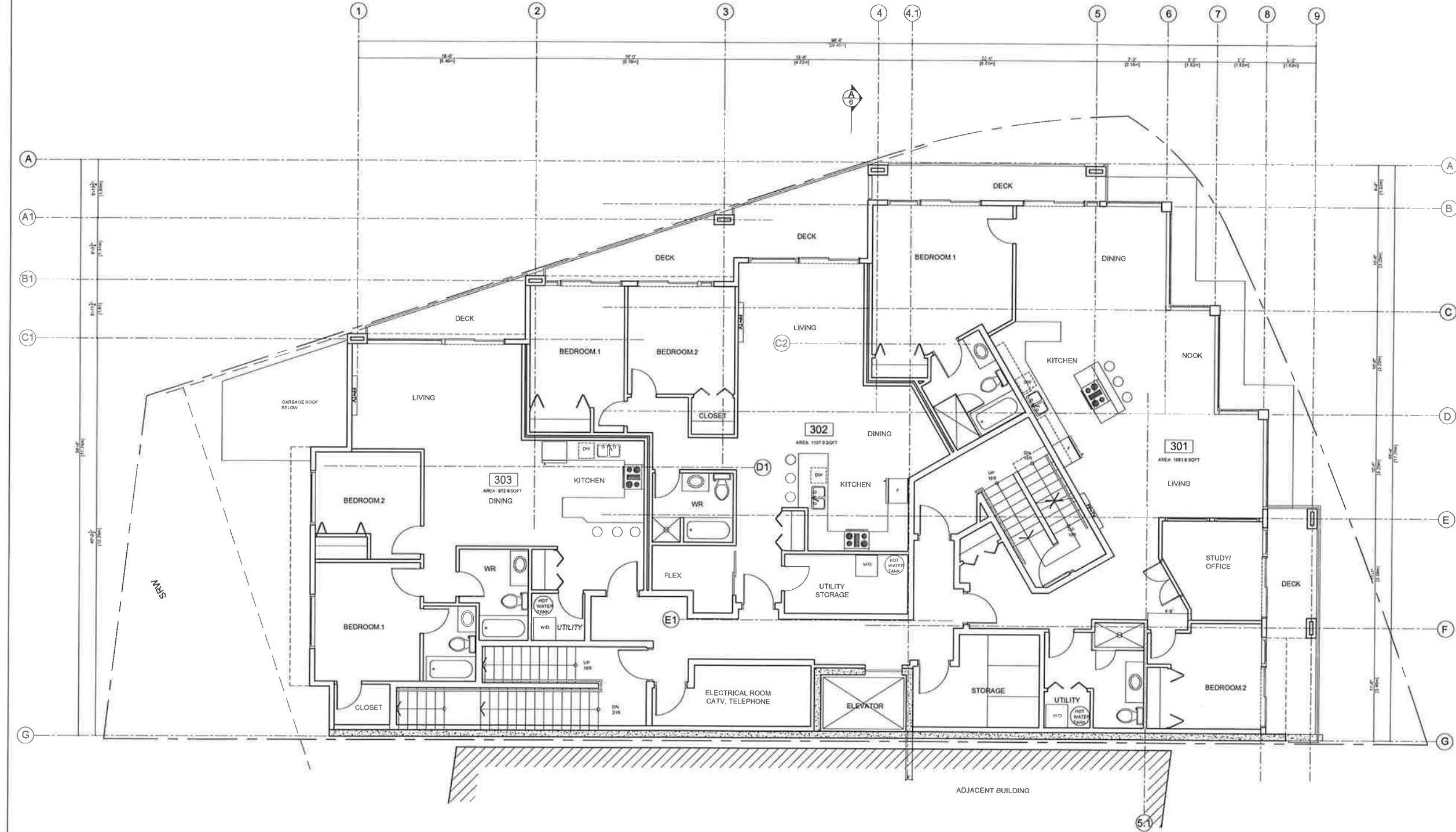
Sheet
Second Floor Plan

Written dimensions shall have precedence
over scaled dimensions. Contractors shall
verify and be responsible for all dimensions
and conditions shown on the drawing and
shall notify the Architect of discrepancies
so that they may be corrected. Shop drawings
shall be submitted for review.

Drawn Tamas	Checked Name
Date: 17 Oct 2016	Scale: 1/4"=1'-0"
Sheet No	

DP3

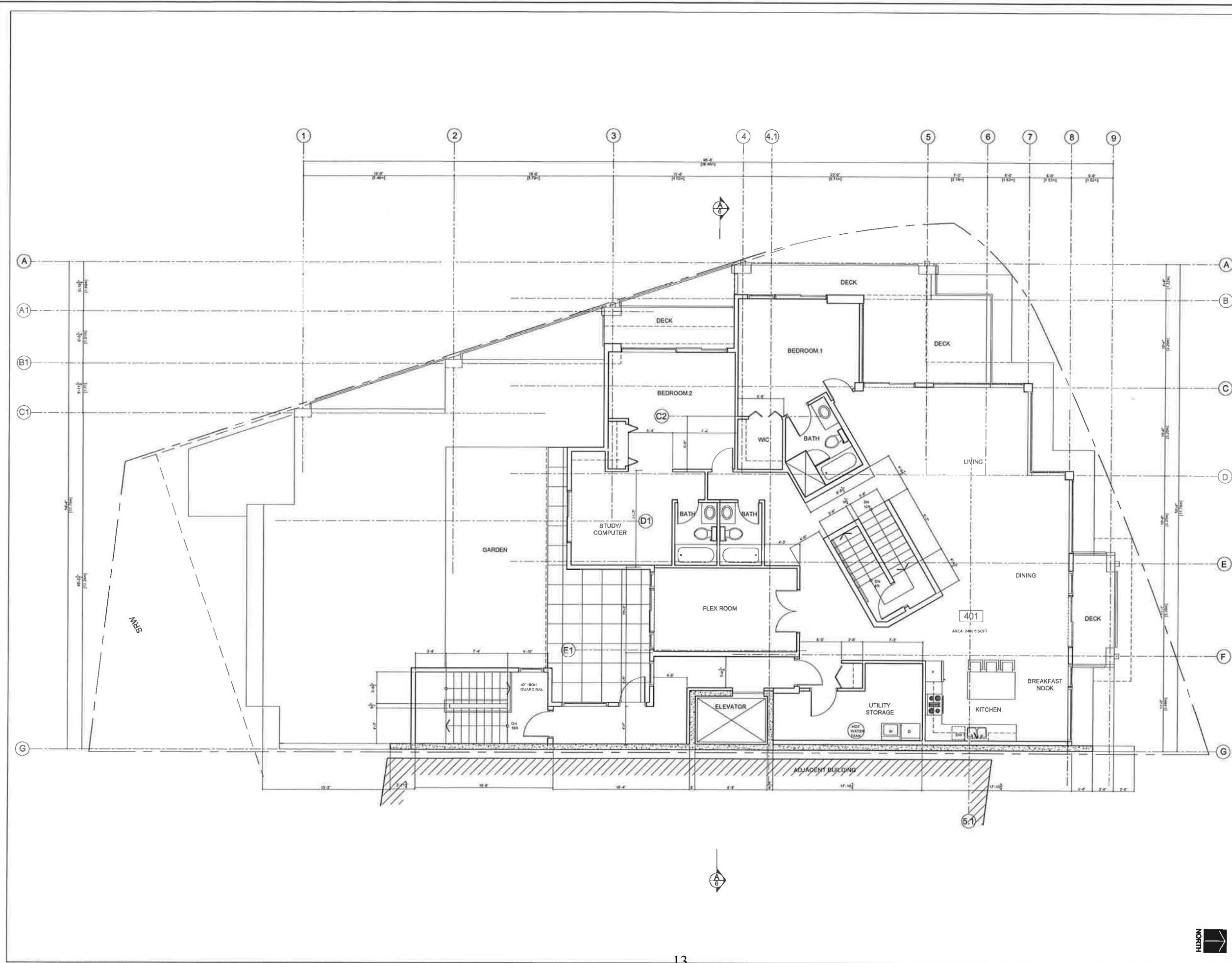




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Project Mixed Use Building 20286 Michaud Cr, Langley, B. C.	
Sheet Third Floor Plan	
Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions shown in the drawing and shall notify the Architect of discrepancies so that these may be corrected. Shop drawings shall be submitted for review.	
Drawn Tamps	Checked Name
Date 17 Oct 2016	Scale: 1/4"=1'-0"
See No	DP4





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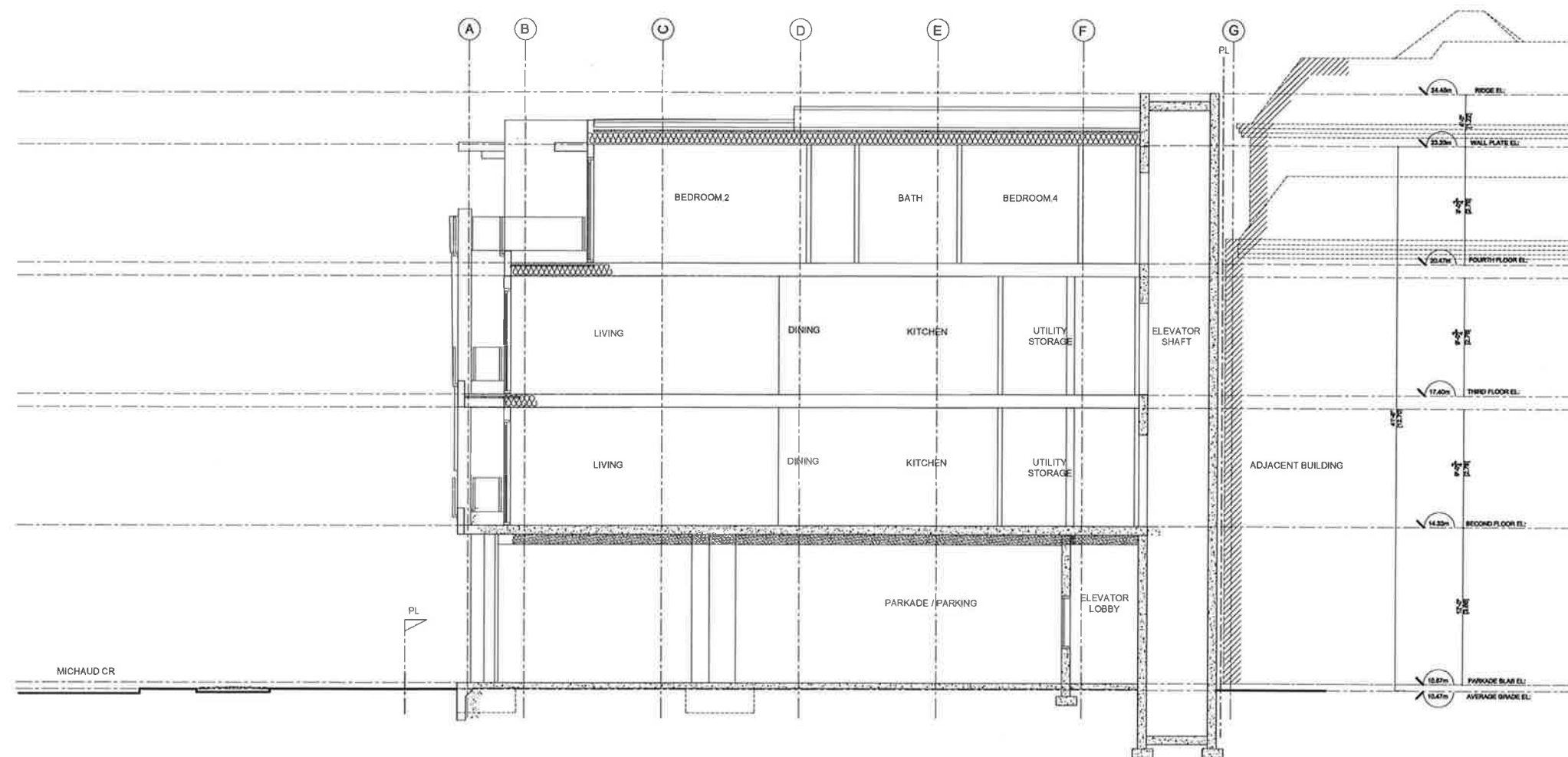
Project:
Mixed Use Building
20286 Michaud Cr, Langley, B.C.

Sheet:
Fourth Floor Plan

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions shown on the drawing and shall notify the Architect of discrepancies so that these may be corrected. Shop drawings shall be submitted for review.

Drawn	Checked
Tamas	
Date: 17 Oct 2016	Scale: 1/4"=1'-0"
Sheet No	

DP5



SECTION A-A

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Project

Mixed Use Building
20286 Michaud Cr., Langley, B. C.

Sheet

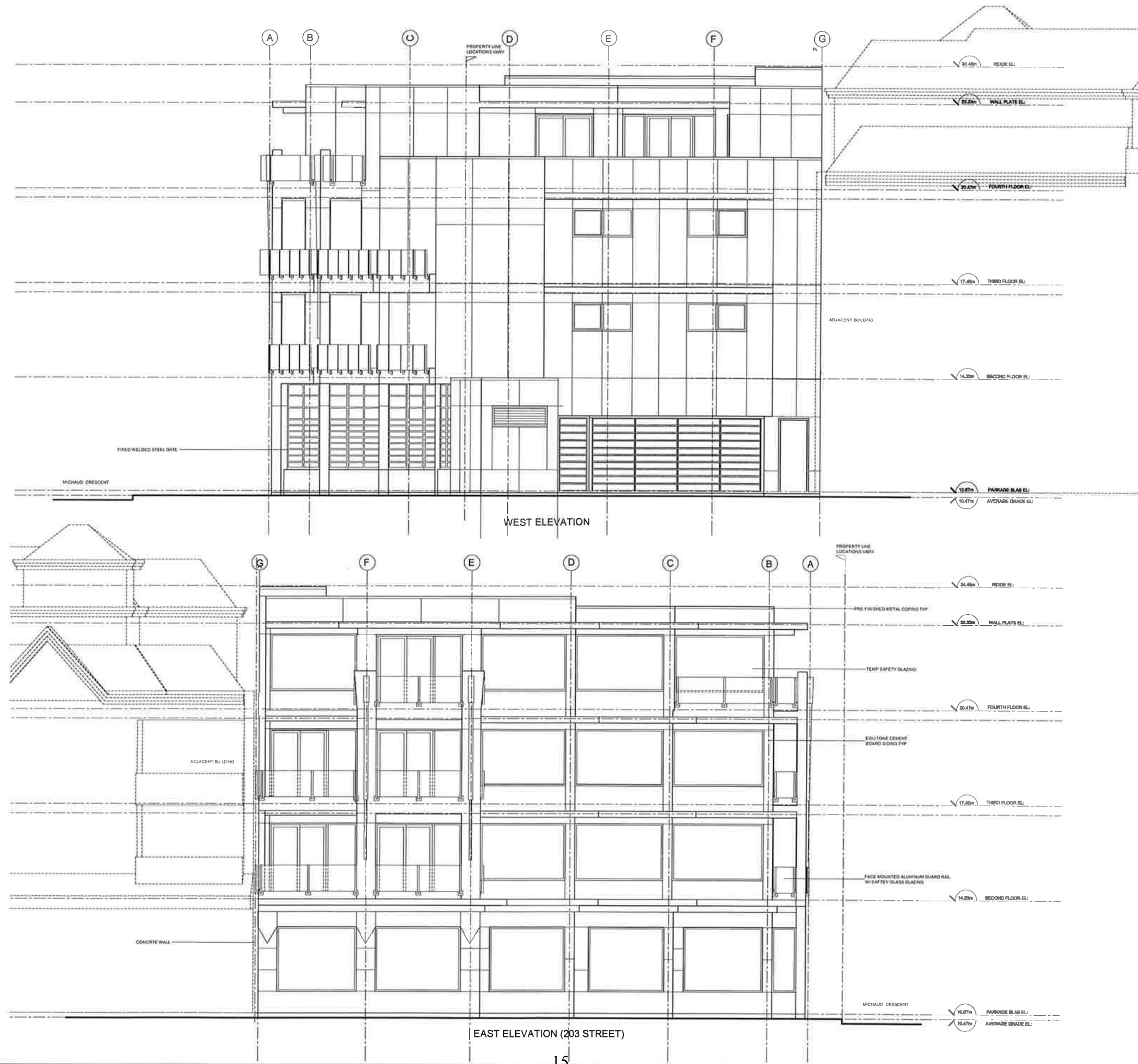
Section A-A

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Drawn Tamas	Checked
Date: 17 Oct 2016	Scale: 1/4" = 1'-0"
Sheet No	

DP6





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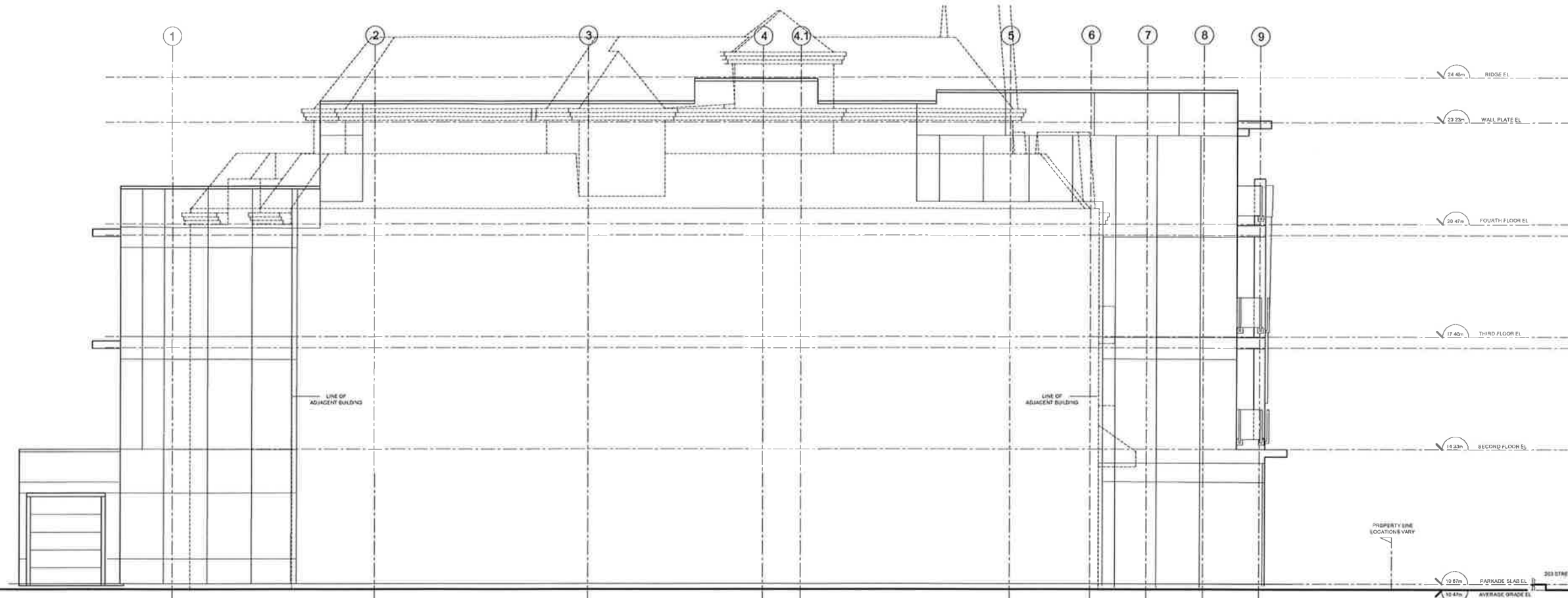
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Project:
Mixed Use Building
20266 Michaud Cr, Langley, B.C.

Sheet:
East & West Elevations

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions shown on the drawing and shall notify the Architect of discrepancies so that these may be corrected. Shop drawings shall be submitted for review.

Drawn Tamas	Checked Name
Date: 19 Oct 2016	Scale: 1/4"=1'-0"
Sheet No	DP7



SOUTH ELEVATION



NORTH ELEVATION (MICHAUD CRESCENT)

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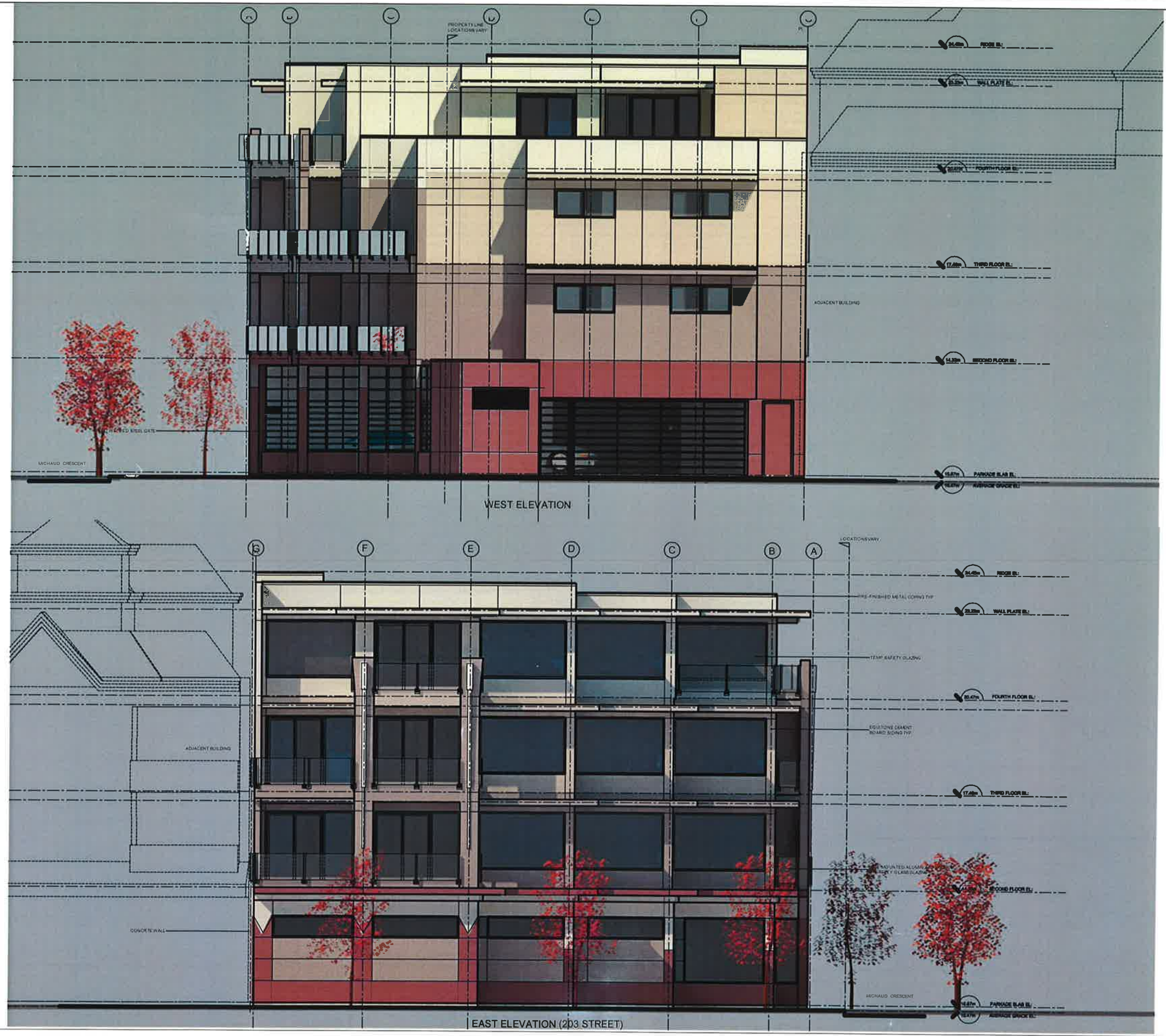
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Project:
Mixed Use Building
20786 Michaud Cr, Langley, B. C.

Sheet:
North & South Elevations

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions shown on the drawing and shall notify the Architect of discrepancies so that these may be corrected. Shop drawings shall be submitted for review. Name

Drawn Tamas	Checked
Date: 17 Oct 2016	Scale: 1/4" = 1'-0"
Sheet No	DP8



COLOR CHART OF CEMENT PANEL SIDING

	EQUITONE NATURAL N 162
	EQUITONE NATURAL NU 861
	EQUITONE TECTIVA TE 60
	EQUITONE NATURAL N 331
	WINDOW FRAMES, RAILINGS, BLACK TYP

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Sep 2016

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Project:
Mixed Use Building
20286 Michaud Cr., Langley, B.C.

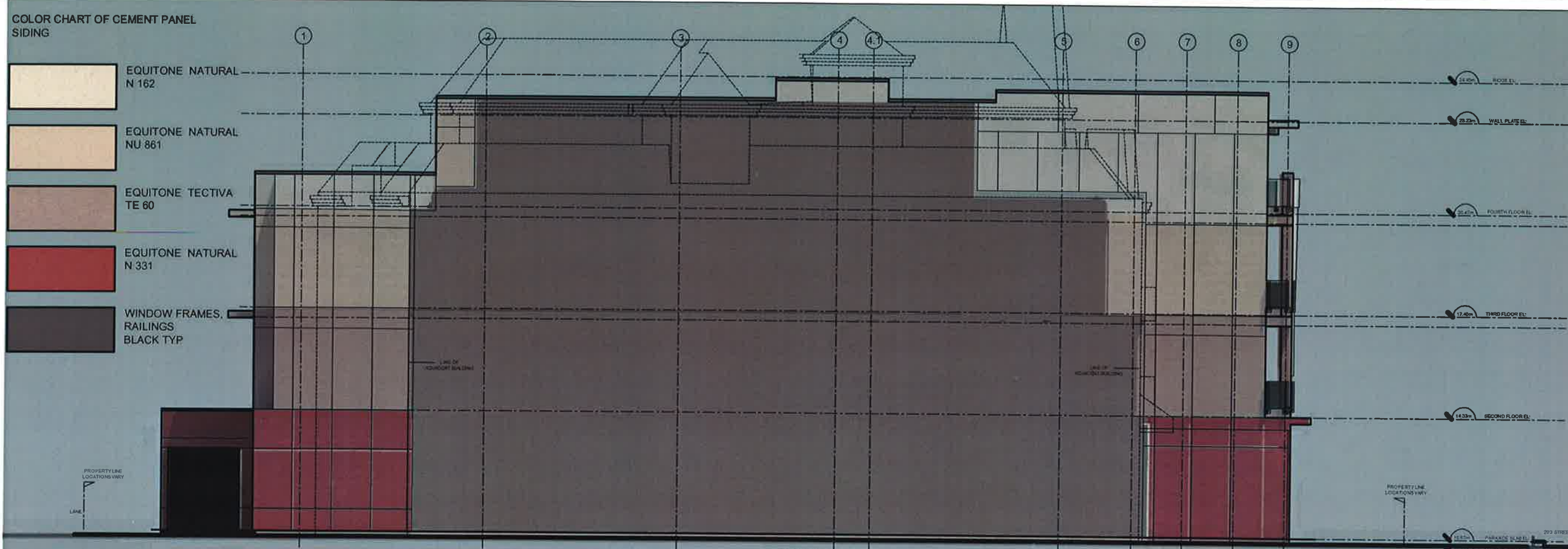
Sheet:
East & West Elevations

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions shown on the drawing and shall notify the Architect of discrepancies so that these may be corrected. Shop drawings shall be submitted for review.

Drawn: Tamas	Checked:
Date: 12 Oct 2016	Scale: 3/32"=1'-0"
Sheet No:	DP9

COLOR CHART OF CEMENT PANEL SIDING

-  EQUITONE NATURAL N 162
-  EQUITONE NATURAL NU 861
-  EQUITONE TECTIVA TE 60
-  EQUITONE NATURAL N 331
-  WINDOW FRAMES, RAILINGS BLACK TYP



SOUTH ELEVATION



NORTH ELEVATION (MICHAUD CRESCENT)

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Sep 2016

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Project

Mixed Use Building
20285 Michaud Cr, Langley, B C

Sheet
North & South Elevations

Written dimensions shall have precedence over scaled dimensions Contractors shall verify and be responsible for all dimensions and conditions shown on the drawing and shall notify the Architect of discrepancies so that these may be corrected Shop drawings shall be submitted for review

Drawn Tamas	Checked
Date 11 Oct 2016	Scale 3/32"=1'-0"
Sheet No	

DP10





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Sep 2016

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Project:
Mixed Use Building
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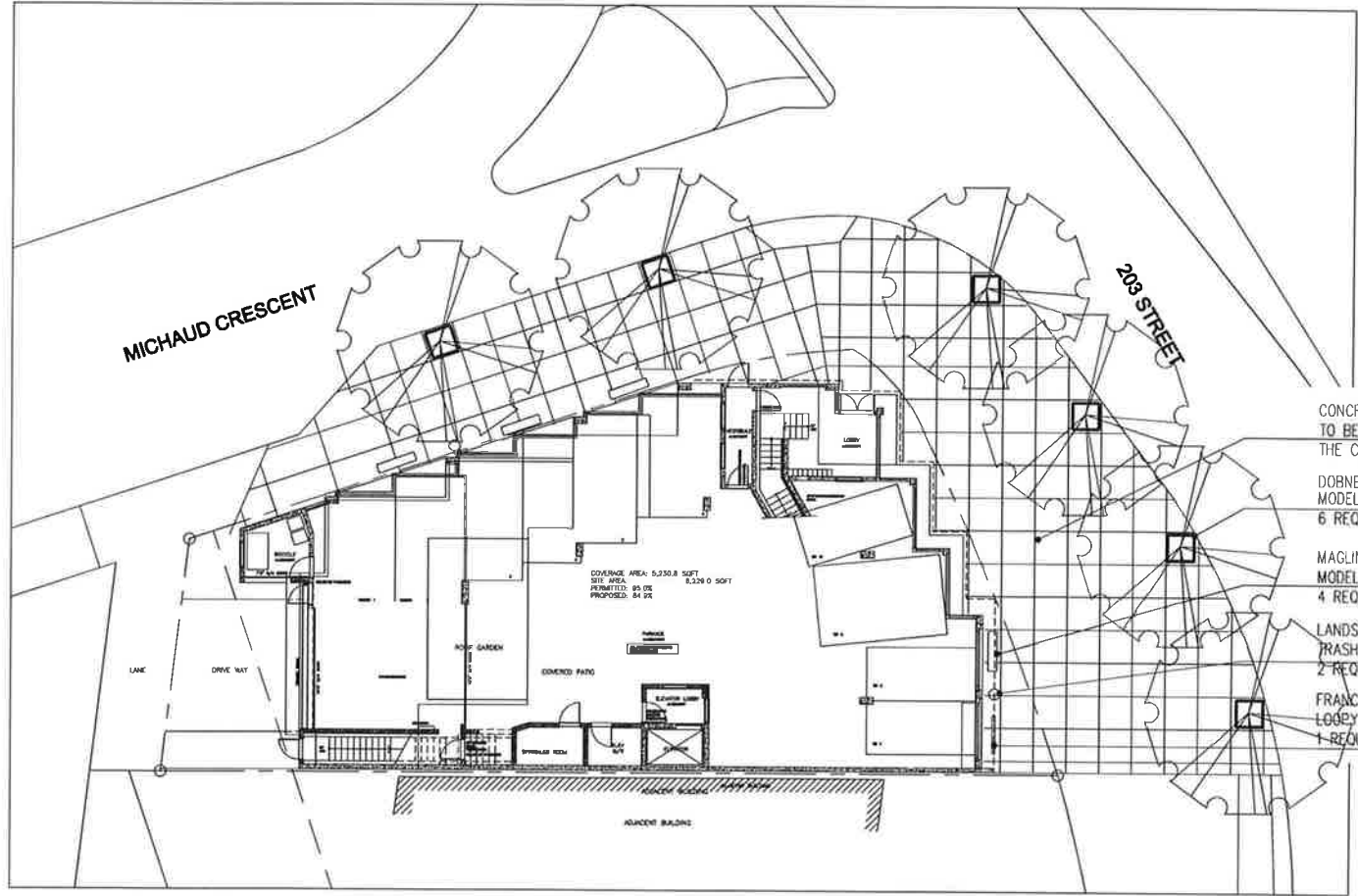
Sheet:
3D Rendering

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over scaled dimensions. Contractors shall
verify and be responsible for all dimensions
and conditions shown on the drawing and
shall notify the Architect of discrepancies
as they arise. Shop drawings shall be
submitted for review.

Drawn Tamas	Checked
Date: 17 Oct 2016	Scale: N.T.S.

Sheet No
DP11

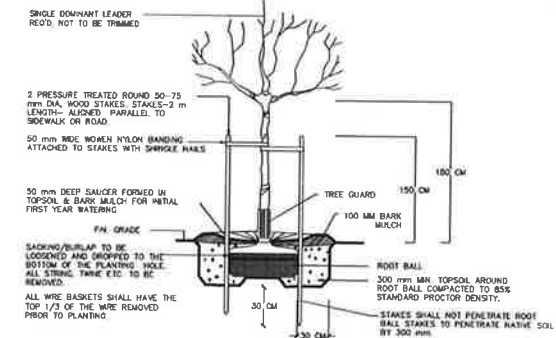




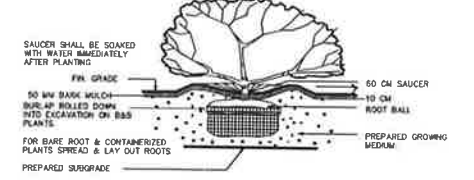
- CONCRETE UNIT PAVERS
TO BE SPECIFIED BY
THE CITY OF LANGLEY
- DOBNEY FOUNDRY TREE GRATE
MODEL NUMBER LPT48
6 REQUIRED
- MAGLIN BENCH
MODEL MLB300MH
4 REQUIRED
- LANDSCAPEFORMS
TRASH RECEPTACLE
2 REQUIRED
- FRANCIS ANDREW
LOBBY BIKE RACK
1 REQUIRED

NOTES / GENERAL

- 1) PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO BC LANDSCAPE STANDARD "LATEST EDITION". CONTAINER SIZES ARE SPECIFIED AS PER "ONTARIO STANDARDS" BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY "LANDSCAPE ARCHITECT" AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. "SUBSTITUTIONS" MUST OBTAIN WRITTEN APPROVAL FROM THE "LANDSCAPE ARCHITECT" PRIOR TO MAKING ANY SUBSTITUTIONS TO SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE WORKING DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO "B.C. LANDSCAPE STANDARD"
- ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED "DISEASE FREE" NURSERY. ALL PLANT MATERIAL MUST CONFORM TO THE LATEST EDITION OF THE "BC LANDSCAPE STANDARD". PROVIDE CERTIFICATION UPON REQUEST. ALL LANDSCAPING AND LANDSCAPE MATERIALS TO CONFORM TO THE LATEST EDITION OF THE BC/LA "LANDSCAPE STANDARDS"
- 2) MIN. GROWING MEDIUM DEPTHS OVER PREPARED SUBGRADE SHALL BE :
- | | |
|--------------------|-------------------------|
| LAWN AREAS | 450 mm |
| GROUND COVER AREAS | 450 mm |
| SHRUB AREAS | 450 mm |
| TREE PITS | 300 mm AROUND ROOT BALL |
- 3) GROWING MEDIUM SHALL HAVE PHYSICAL AND CHEMICAL PROPERTIES AS DESCRIBED IN THE STANDARDS FOR LEVEL 2 AND LEVEL 3 AREAS, EXCEPT FOR AREAS OVER STRUCTURES WHERE THE MEDIUM SHALL CONFORM TO THE REQUIREMENTS FOR LEVEL 1 APPLICATIONS. PROCESSING AND MIXING OF GROWING MEDIUM COMPONENTS SHALL BE DONE OFF-SITE USING A MECHANIZED SCREENING PROCESS. PROPOSED GROWING MEDIUM SHALL BE TESTED BY A RECOGNIZED LABORATORY. THE CONTRACTOR SHALL GUARANTEE THAT THE SOIL SUBMITTED FOR TESTING IS A REPRESENTATIVE SAMPLE TAKEN FROM THE SOIL THAT WILL BE USED AT THE SITE.
- 4) ON-SITE OR IMPORTED SOILS SHALL SATISFY THE REQUIREMENTS OF THE STANDARDS FOR GROWING MEDIUM. SOILS SHALL BE VIRTUALLY FREE FROM SUBSOIL, WOOD INCL, WOODY PLANT PARTS, NEED OR REPRODUCTIVE PARTS OF WEEDS, PLANT PATHOGENIC ORGANISMS, TOXIC MATERIALS, STONES OVER 30 MM AND FOREIGN OBJECTS.
- 5) ALL PLANTING BEDS SHALL RECEIVE MIN. 50 MM BARK MULCH.
- 6) PLANT SPECIES AND VARIETIES MAY NOT BE SUBSTITUTED WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- 7) THE CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) FULL YEAR FROM THE DATE OF FINAL ACCEPTANCE, UNLESS OTHERWISE SPECIFIED. ALL PLANT MATERIAL NOT SURVIVING OR IN POOR CONDITION DURING THE GUARANTEE PERIOD SHALL BE REPLACED BY THE CONTRACTOR AT NO EXTRA COST TO THE OWNER.
- 8) THE CONTRACTOR SHALL CLEAR AWAY FROM THE SITE ALL RUBBISH AS IT ACCUMULATES, AND SHALL, AT THE COMPLETION OF THE WORK, LEAVE THE WORK AND THE SITE THEREOF IN A CLEAN AND PRESENTABLE CONDITION, FREE FROM ALL OBSTRUCTIONS.



TREE PLANTING DETAIL
SECTION N.T.S.



PLANTING DETAIL - SHRUBS & GRD. COVER PLANTS
SECTION N.T.S.

KEY		PLANT LIST				
	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	SPACING	REMARKS
	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY MAPLE	6	5 CM. CAL.	AS SHOWN	B. & B.



DATE	REVISIONS	NO.
------	-----------	-----

C.KAVOLINAS & ASSOCIATES INC.
BCSLA CSIA
2462 JONQUIL COURT
ABBOTSFORD, B.C.
V3G 3E8
PHONE (604) 857-2376

CLIENT
MR. DAVID DANYLUK
DAVID DANYLUK ARCHITECT

TITLE
PLAN VIEW
LANDSCAPE PLAN
PROPOSED
MIXED USE DEVELOPMENT
MACHAUD CRESCENT @ 203 STREET
CITY OF LANGLEY, B.C.

SCALE 1:150	DATE SEP/16
DRAFT	CHK'D
ENG	CHK'D
APPRO'D	AS BUILT

PRINTED	JOB No.
	DRAWING No.
	L-1



**MINUTES OF THE
ADVISORY PLANNING COMMISSION MEETING**

**HELD IN LANGLEY CITY HALL
CKF COMMUNITY BOARDROOM**

**WEDNESDAY, NOVEMBER 9, 2016
7:00 PM**

Present: Councillor Paul Albrecht, Vice-Chairman

John Beimers
Shelley Coburn, School District No. 35
Brian Doyle
Dave Humphries
Hana Hutchinson
Esther Lindberg
Cpl. Steve McKeddie, Langley RCMP
George Roman

Staff: Roy Beddow, Deputy Director of Development Services & Economic Development

Absent: Councillor Jack Arnold, Chairman
Jamie Schreder

1) RECEIPT OF MINUTES

MOVED BY Commission Member Roman
SECONDED BY Commission Member Huchinson

THAT the minutes for the October 13, 2016 Advisory Planning Commission meeting be received as circulated.

CARRIED

2) **REZONING APPLICATION RZ 03-16/DEVELOPMENT PERMIT APPLICATION DP 08-16 (5501-5503 - 198 STREET, 5509 - 198 STREET AND 19771 - 55 AVENUE) – CONCOST MANAGEMENT INC.**

The Deputy Director of Development Services & Economic Development provided a brief overview of the planning context for the proposed application and introduced Brian Shigetomi, Project Architect, Atelier Pacific Architecture Inc. Mr. Shigetomi presented the proposed development plans. Following discussion regarding density, building form and character, parking, lane treatment, CPTED and engineering servicing requirements it was:

MOVED BY Commission Member Humphries
SECONDED BY Commission Member Roman

That Rezoning Application RZ 03-16 and Development Permit Application DP 08-16 to accommodate a 4-storey, 28-unit townhouse complex located at 5501-5503 – 198 Street, 5509 - 198 Street and 19771 - 55 Avenue be approved subject to increasing the parking space depth along the City lane, execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report be approved.

CARRIED

3) **DEVELOPMENT PERMIT APPLICATION DP 09-16 (20286 MICHAUD CRESCENT) - DAVID DANYLUCK ARCHITECT**

The Deputy Director Development Services & Economic Development provided a brief overview of the planning context for the proposed development and introduced David Danyluck, Architect. Mr. Danyluck presented the proposed development plans. Following extensive discussion regarding façade treatments, parking, CPTED and traffic circulation it was:

MOVED BY Commission Member Lindberg
SECONDED BY Commission Member Doyle

That Development Permit Application DP 09-16 to accommodate a 4-storey, 7-unit condominium apartment building located at 20286 Michaud Crescent with reduced front and exterior yard setbacks be approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report.

CARRIED

4) **NEXT MEETING**

Wednesday, December 14, 2016 (Tentative)

5) **ADJOURNMENT**

MOVED BY Commission Member Coburn
SECONDED BY Commission Member Humphrey

THAT the meeting adjourn at 8:55 P.M.

CARRIED



ADVISORY PLANNING COMMISSION CHAIRMAN



**DEPUTY DIRECTOR OF DEVELOPMENT SERVICES & ECONOMIC
DEVELOPMENT**

Certified Correct



MINUTES OF A REGULAR COUNCIL MEETING

Monday, November 7, 2016

7:00 p.m.

**Council Chambers, Langley City Hall
20399 Douglas Crescent**

Present:

Mayor Schaffer
Councillor Arnold
Councillor Albrecht
Councillor Martin
Councillor Pachal
Councillor Storteboom
Councillor van den Broek

Staff Present:

F. Cheung, Chief Administrative Officer
D. Leite, Director of Corporate Services
G. Minchuk, Director of Development Services and Economic Development
R. Bomhof, Director of Engineering, Parks and Environment
K. Hilton, Director of Recreation, Culture and Community Services
C. Mushata, Manager of Legislative Services
R. Thompson, Fire Chief

Others Present:

Public: 17

1. ADOPTION OF AGENDA

- a. Adoption of the November 7, 2016 Regular Agenda

Motion #16/188

MOVED BY Councillor Martin

SECONDED BY Councillor Albrecht

THAT the November 7, 2016 agenda be adopted as amended adding item a:
"Soroptimist's Annual Candle Light Vigil" under the Motion section.

CARRIED

2. ADOPTION OF THE MINUTES

- a. Regular Meeting Minutes from October 17, 2016

Motion #16/189

MOVED BY Councillor van den Broek

SECONDED BY Councillor Pachal

THAT the minutes of the regular meeting held on October 17, 2016 be adopted as circulated.

CARRIED

3. DELEGATIONS

- a. Langley Youth and Family Services
Mayor Schaffer introduced Ted Levitt as the new Program Manager of Langley Youth and Family Services and thanked Jim Smith who is retiring after almost 40 years of service but will remain on staff for one year.
- b. City of Langley Staff
Long Service Award Recognition

Mayor Schaffer and the Chief Administrative Officer presented long service awards to the following employees:

Kara Jefford - 5 years
Leah Miller - 5 years
Mica Rossnagel - 5 years
Kyle Simpson - 5 years
Rory Thompson - 5 years
Sonia Custock - 10 years
Francis Cheung - 10 years
Debra Joyal - 15 years
Paula Kusack - 15 years

4. COMMUNITY SPOTLIGHTS

- a. Teri James, Executive Director
Downtown Langley Business Association

Ms. Teri James, Executive Director of the Downtown Langley Business Association presented a summary of the series of events offered at McBurney Lane in 2016 and shared their ideas for events in 2017.

5. MAYOR'S REPORT

- a. Upcoming Meetings
Regular Council Meeting – November 21, 2016
Regular Council Meeting – December 5, 2016 - Televised
- b. Metro Vancouver - Councillor Storteboom
The recent Council of Councils meeting included the Metro Vancouver budget overview and 5 year forecast, a 10 year vision plan for TransLink, an update from UBCM and an invitation to the next Zero Waste conference.
- c. Tourism Langley - Councillor Martin
The Township of Langley recently notified Tourism Langley of their decision to commence exploring the opportunity to create a tourism entity with a focus on Township-centric tourism initiatives. The notification was surprising given Tourism Langley was in the final stages of completing its five (5) year renewal application to Destination BC and the Ministry of Finance. Tourism Langley has affirmed its dedication to the Langleys referencing the last nine years of its operation.
Tourism Langley has been a positive experience for both Langleys as it has helped to identify, evolve and promote the Township of Langley and the City of Langley tourism products as well as continue to build and maintain strong working relationships with all of our stakeholders at national, provincial, regional and local levels.
Having been a member of the board of directors for the past two years, I can attest to the fact that between 85-90% of tourism Langley is Township centric. All we can do at this point is wait and see!
- d. Engineering Update
Rick Bomhof, Director of Engineering, Parks & Environment

The Director of Engineering, Parks and Environment provided the following updates:

- Dream Rider Productions H2Whoa! program is travelling to all elementary schools in the City to teach them about water conservation;
- Fire and Hemlock tree removal has begun at Hunter Park due to laminated root rot; preliminary evidence suggests it has spread throughout the park. Cedars and other trees will remain on site;
- Paving of 51st Avenue east of 208th Street is complete;
- A water meter has been installed in the 20200 block of 62nd Avenue to provide a connection between the two Langley municipalities;
- Improvements have been undertaken at Sendall Gardens;
- Current construction projects include a traffic signal upgrade at 200th Street and Grade Crescent, 203 Street roadworks and roundabout project and trail and pedestrian walkway paving.

e. Recreation Update
Kim Hilton, Director of Recreation, Culture & Community Service

The Director of Recreation, Culture and Community Service advised:

- There will be a Remembrance Day ceremony at the cenotaph in Douglas Park on November 11;
- Extreme Air Park excursion for youth will take place on Saturday, November 19;
- Breakfast with Santa is December 3 from 9:00 to 11:00 am at Douglas Recreation Centre;
- Magic of Christmas will take place on December 3 in McBurney Plaza and the Christmas Parade on Fraser Highway;
- Bosu Bootcamp at Timms Community Centre on Fridays and Saturdays;
- Pickleball is offered at various times at Timms Community Centre and Douglas Recreation Centre;
- Tiny Tykes Soccer is Saturday mornings beginning November 12;
- Rise N' Spin at Timms, Monday - Friday from 6:15 to 7:00 am;
- Hip Hop class for various ages runs on Thursday afternoons beginning November 10;
- Mom and Baby yoga begins November 21 on Mondays at noon;
- Preschool Floor Hockey begins November 12 on Saturday mornings;
- Ballroom Dance is offered Wednesdays beginning November 9;
- A boiler upgrade has been undertaken at Al Anderson Memorial Pool;
- A new synthetic floor has been installed at Douglas Recreation Centre.

f. Langley City Fire Rescue Service Update
Rory Thompson, Fire Chief

The Fire Chief provided the quarterly report highlighting the following:

- There has been a decrease in calls from the second quarter in 2016;
- 78% of calls continue to be medical calls and motor vehicle accidents;
- Drug overdoses have been significant with 197 year to date with an anticipated increase of 290% over 2015;
- Loss from fire has dropped significantly only totalling \$42,000 in the third quarter;
- Recent training includes naloxone, Fire Apparatus Maneuvering, Emergency Scene Management, Recertification of all First Responder Instructors and developing the framework for the Rapid Intervention Team program.
- A reminder to citizens to avoid paved paths under water when on scooters.

g. Langley Christmas Bureau
Mayor Schaffer advised of the fundraising Caring for Christmas Tea to benefit the Langley Christmas Bureau on November 20. The organization serviced 800 families and 1600 children in 2015.

6. BYLAWS

- a. Bylaw 3004
First, second and third reading of a bylaw to request the imposition of an additional accommodation tax pursuant to the Provincial Sales Tax Act.

Motion #16/190

MOVED BY Councillor Martin

SECONDED BY Councillor Albrecht

THAT the bylaw cited as the "Accommodation Tax Bylaw, 2016, No. 3004" be read a first time.

THAT the bylaw cited as the "Accommodation Tax Bylaw, 2016, No. 3004" be read a second time.

THAT the bylaw cited as the "Accommodation Tax Bylaw, 2016, No. 3004" be read a third time.

CARRIED

7. COMMITTEE REPORTS

- a. Economic Development Committee - Business Walk Program Update
Councillor Martin provided an update on the City's Business Walk Program.

Motion #16/191

MOVED BY Councillor Martin

SECONDED BY Councillor Albrecht

THAT the report from the Economic Development Committee be received for information.

CARRIED

- b. Parks, Recreation & Environment Advisory Committee - Green Teams of Canada Partnership

Motion #16/192

MOVED BY Councillor Albrecht

SECONDED BY Councillor Martin

THAT Council directs staff to explore a fee for service partnership with Green Teams of Canada to run habitat restoration events in the City of Langley each year.

CARRIED

8. ADMINISTRATIVE REPORTS

- a. Clean Water and Wastewater Fund Application - Douglas Crescent from 204 Street to 208 Street

Motion #16/193

MOVED BY Councillor van den Broek

SECONDED BY Councillor Martin

1. THAT City Council authorize staff to submit an application for grant funding for the Douglas Crescent Utilities Project through the Clean Water and Wastewater Fund; and
2. THAT City Council supports the project and commits to its share (\$660,000) of the project and;
3. THAT this project could not proceed without program funding and;
4. THAT without the grant funding the full scope of this project would not have otherwise been undertaken in fiscal years 2016-17 or 2017-18.

CARRIED

9. NEW AND UNFINISHED BUSINESS

a. Motions/Notices of Motion

1. Deputy Mayor Appointments (2017/2018)

Motion #16/194

MOVED BY Councillor Martin

SECONDED BY Councillor van den Broek

THAT the Deputy Mayor be appointed as follows for the following terms:

Dec 1/16 – Jan 31, 2017: Councillor Val van den Broek

Feb 1 – Mar 31, 2017: Councillor Nathan Pachal

Apr 1 – May 31, 2017: Councillor Jack Arnold

Jun 1 – Jul 31, 2017: Councillor Paul Albrecht

Aug 1 – Sep 30, 2017: Councillor Rudy Storteboom

Oct 1 – Nov 30, 2017: Councillor Gayle Martin

Dec 1/17 – Jan 31, 2018: Councillor Nathan Pachal

Feb 1 – Mar 31, 2018: Councillor Val van den Broek

Apr 1 – May 31, 2018: Councillor Gayle Martin

Jun 1 – Jul 31, 2018: Councillor Rudy Storteboom

Aug 1 – Sep 30, 2018: Councillor Paul Albrecht

Oct 1 – Nov 4, 2018: Councillor Jack Arnold

CARRIED

2. Soroptomist's Candle Light Vigil

Motion #16/195

MOVED BY Councillor Martin

SECONDED BY Councillor van den Broek

THAT the City waive the fees for McBurney Plaza for the Langley Soroptomist's annual Candle Light Vigil on November 25, 2016 which is International Day of Elimination of Violence Against Women.

CARRIED

10. ADJOURNMENT

MOVED BY Councillor van den Broek
SECONDED BY Councillor Storteboom

THAT the meeting be adjourned at 8:46 pm.

CARRIED

MAYOR

CORPORATE OFFICER



CITY OF LANGLEY
"The Place to Be!"

MOTION

THAT Development Permit Application DP 09-16 to accommodate a four-storey, 7-unit condominium apartment building at 20286 Michaud Crescent with reduced front and exterior yard setbacks be approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report.



City of Langley

REPORT TO ADVISORY PLANNING COMMISSION

Subject: Development Permit Application DP 09-16
20286 Michaud Crescent
David Danyluck Architect

Report #: 16-038

From: Development Services & Economic
Development Department

File #: 6630.00
Doc #: 138327

Date: October 27, 2016

COMMITTEE RECOMMENDATION:

That Development Permit Application DP 09-16 to accommodate a four-storey, 7-unit condominium apartment building at 20286 Michaud Crescent with reduced front and exterior yard setbacks be approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report.

PURPOSE OF REPORT:

To consider a Development Permit Application to accommodate a four-storey, 7-unit condominium apartment building at 20286 Michaud Crescent

POLICY:

The subject property is zoned C1 Downtown Commercial Zone and designated Downtown Commercial in the Official Community Plan. As such, the application is subject to the Downtown Master Plan Development Permit Area Guidelines.



COMMENTS/ANAYLSIS:

Background Information:

Applicant:	David Danyluck Architect
Owner:	Cai Tran
Civic Address:	20286 Michaud Crescent
Legal Description:	Lot 376, District Lot 305, Group 2, New Westminster District, Plan 46221 Except: 1 st Part Dedicated Road on Reference Plan 66239, and Secondly Part Dedicated Road on Plan BCP35185
Site Area:	579 m ² (6,229 sq ft)
Dwelling Units:	7 (2-BR)
Density:	121 units/ha (49 units/acre)
Gross Floor Area:	930 m ²
Floor Area Ratio:	1.607
Lot Coverage:	40.2%
Parking Required:	10 spaces (incl. 2 visitor, 1 h/c)
Parking Provided:	10 spaces (incl. 2 visitor, 1 h/c)
Height:	4 storeys (13.8 m)
Exterior Finishes:	Painted cement board, aluminum railings
Current Zoning:	C1 Downtown Commercial Zone
OCP Designation:	Downtown Commercial (DC)
DCC's:	\$78,547.00 (City: \$66,843.00, GVS&DD: \$7,574.00, SD35: \$4,130.00)
Community Amenity Charge:	\$7,000.00
Variance Requested:	Front and Exterior Setback Variances (from 1.8m to 0.0m)

Engineering Requirements:

PRELIMINARY ONLY

Additional design changes may be required upon further investigation, site inspections and receipt of other supporting reports and documents. All work to be done to the City of Langley Specifications & MMCD Standards.

- A) The developer is responsible for the following work which shall be designed and approved by a Professional Engineer:



1. Implement erosion and sediment control measures designed and approved by a qualified professional in accordance with the City of Langley Watercourse Protection Bylaw #2518.
2. Conduct a water flow test and provide fire flow calculations by a Professional Engineer to determine if the existing water network is adequate for fire flows and achieve the necessary pressure and flows to conform to Fire Underwriters Survey (FUS) “Water Supply for a Public Fire Protection, a Guide to Recommended Practice, 1995”.
3. Additional C71P fire hydrants may be required to meet bylaw and firefighting requirements. Hydrant locations must be approved by the City of Langley Fire Department.
4. New water, sanitary and storm sewer service connections are required for the site. The developer’s engineer will determine the appropriate main tie in locations and size the connections for the necessary capacity. The capacity of the existing water and sewer mains shall be assessed and any upgrades required to service the site shall be designed and installed at the Developer’s expense. All existing services shall be capped at the main, at the Developer’s expense.
5. A stormwater management plan for the site is required. Rainwater management measures used on site shall limit the release rate to mitigate flooding and environmental impacts as detailed in the Subdivision and Development Bylaw.
6. The condition of the existing pavement on 203 Street, Michaud Crescent and the laneway shall be assessed by a geotechnical engineer. Pavements shall be adequate for an expected road life of 20 years under the expected traffic conditions for the class of road. Road construction and asphalt overlay designs shall be based on the analysis of the results of Benkelman Beam tests and test holes carried out on the existing road which is to be upgraded. If the pavement is inadequate it shall be remediated, at the developer’s cost. Additionally, any widening of the pavement structure, required to meet the design road width, will need to be designed by a geotechnical engineer.
7. A laneway dedication is required. The current width of the laneway shall be widened to City of Langley standard of 6.0m. The dedication of



laneway shall permit the release of the statutory right-of-way fronting the site.

8. Street lighting, fronting the site, along 203 Street shall be upgraded as per the Downtown Langley master Plan. The new lighting shall be designed by an approved lighting consultant, to ensure lighting levels meet current City of Langley standards.
9. Undergrounding of overhead hydro/tel, along Michaud Crescent is required. As the overhead wiring is minimal, a cash in lieu payment of \$1,500.00 per meter will be acceptable.
10. A Landscape plan prepared by a licensed professional is required and will address boulevard landscaping fronting the site.

B) The developer is required to deposit the following bonding and connection fees:

1. A Security Deposit of 110% of the estimated offsite works, as approved by the Director of Engineering, Parks and Environment, will be required.
2. Inspection and administration fees in accordance to the Subdivision Bylaw based on a percentage of the estimated construction costs. (See Schedule A – General Requirement - GR5.1 for details).
3. A deposit for storm, sanitary and water connections is required, which will be determined after detailed civil engineering drawings are submitted, sealed by a Professional Engineer.
4. A \$20,000 bond for the installation of a water meter to current standards is required.

C) The developer is required to adhere to the following conditions:

1. Underground hydro and telephone, and cable services to the development site are required.
2. All survey costs and registration of documents with the Land Titles Office are the responsibility of the developer/owner.
3. Water meters are required for each water connection and are to be installed outside in a vault away from any structure, in accordance with the City's water meter specifications, at the developer's cost.
4. An approved backflow prevention assembly must be installed on the domestic water connection immediately upon entering the building to provide premise isolation.



5. A "Stormceptor" or equivalent oil separator is required to treat site surface drainage.
6. A complete set of "as-built" drawings sealed by a Professional Engineer shall be submitted to the City after completion of the works. Digital drawing files in .pdf and .dwg format shall also be submitted.
7. The selection, location and spacing of street trees and landscaping shall be in accordance with the City of Langley's Official Community Plan Bylaw, 2005, No. 2600 and Street Tree Program, November, 1999 manual.
8. Stormwater run-off generated on the site shall not impact adjacent properties, or roadways.
9. Garbage and recycling enclosures shall be designed to meet Metro Vancouver's "Technical Specifications for Recycling and Garbage Amenities in Multi-family and Commercial Developments - June 2015 Update".

Development Services Comments:

The applicant is proposing to develop a 4-storey, 7-unit apartment building at the southwest corner of 203 Street and Michaud Crescent. The subject property is a small remnant parcel created from the realignment of 203 Street in 2008. The proposed development features an apartment building consisting of three floors on top of a ground floor lobby and parkade. The pedestrian entrance and lobby are located at the corner of Michaud Crescent and 203 Street while the parkade access is derived from a short north-south lane that also serves 5521 – 203 Street.

The flat-roofed building includes balconies for all of the units and steps back on the fourth floor level to provide a roof patio and garden area for the 2,492 sq ft penthouse unit. The building creates a strong architectural presence on a prominent corner and provides ample fenestration and glazing at the street level on 203 Street. The wide City boulevard areas on 203 Street and Michaud Crescent will be enhanced with generous Downtown Public Realm Plan elements including pavers, street trees and rain garden landscape features. The proposed development generally complies with the Downtown Master Plan Guidelines for the transitional areas along the multifamily residential edges of the downtown core.



The proposed development benefited from a comprehensive Crime Prevention Through Environmental Design (CPTED) review by a qualified consultant whose recommendations were incorporated into the plans.

In order to accommodate an economically viable development on this constrained site, the applicant is requesting variances to the minimum front and exterior yard setbacks (reduced from 1.8 metres to 0 metres). Staff support the proposed variances given the unusually small size of the lot and the wide City boulevards flanking the property.

Fire Department Comments:

Langley City Fire-Rescue Service has reviewed the attached plans and provided preliminary comments to the applicant. The department will review, and make further comment, as the project continues to the building permit design stage.

Advisory Planning Commission:

In accordance with Development Application Procedures Bylaw No. 2488, the subject applications will be reviewed by the Advisory Planning Commission at the November 9, 2016 meeting. A copy of the APC minutes will be presented to Langley City Council at the November 21, 2016 Regular Council meeting.

BUDGET IMPLICATIONS:

The proposed development would contribute \$66,843.00 to City Development Cost Charge accounts and \$7,000.00 in Community Amenity Charges.



ALTERNATIVES:

1. Require changes to the applicant's proposal relating to building form and character.

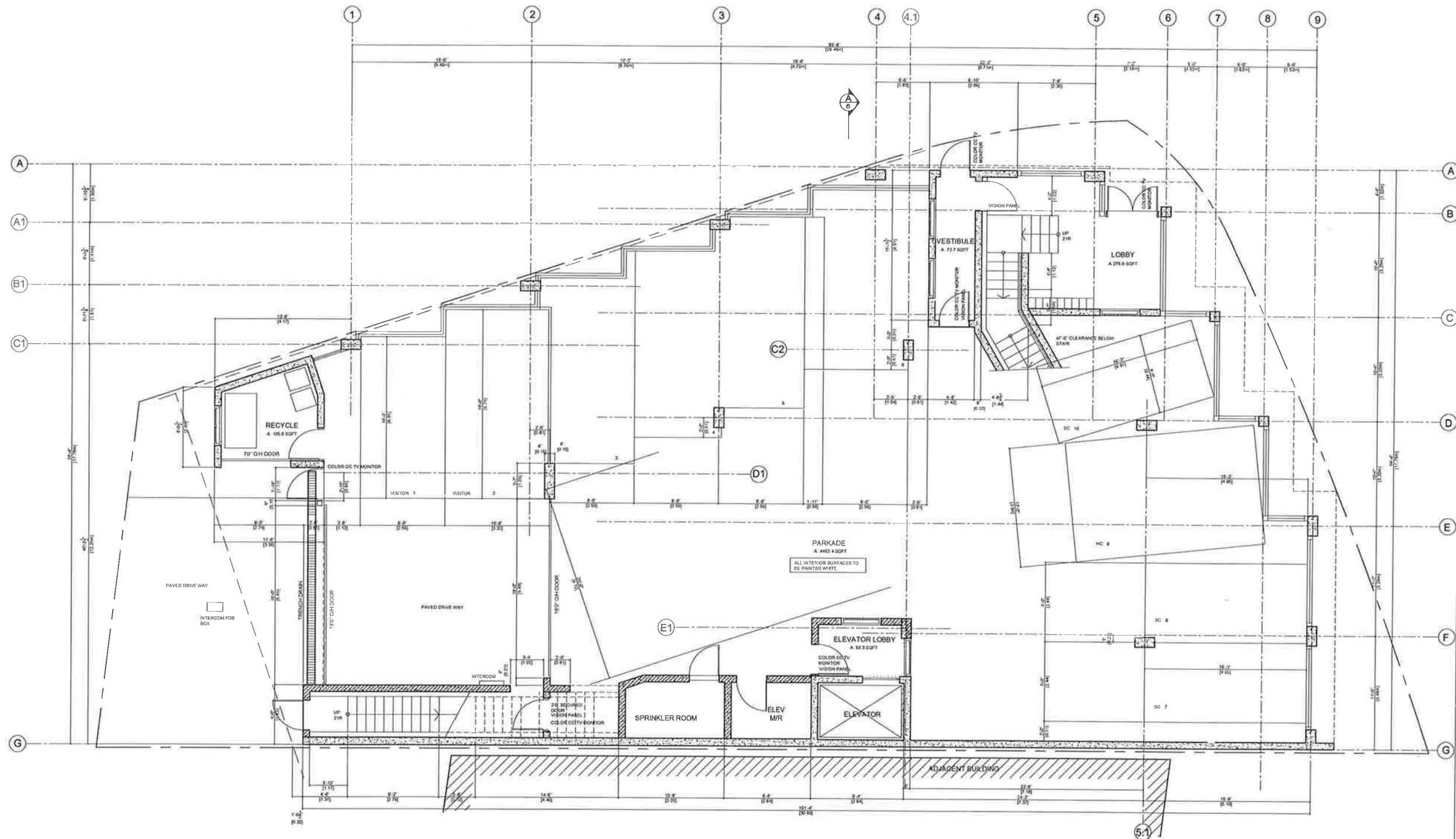
Prepared by,



Gerald Minchuk, MCIP, RPP
Director of Development Services & Economic Development

RMB/





**David
Danyluck
Architect**

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Langley, B.C.
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Issued for Development Permit
Sep 2016

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Project
Mixed Use Building
20286 Michaud Cr, Langley, B.C.

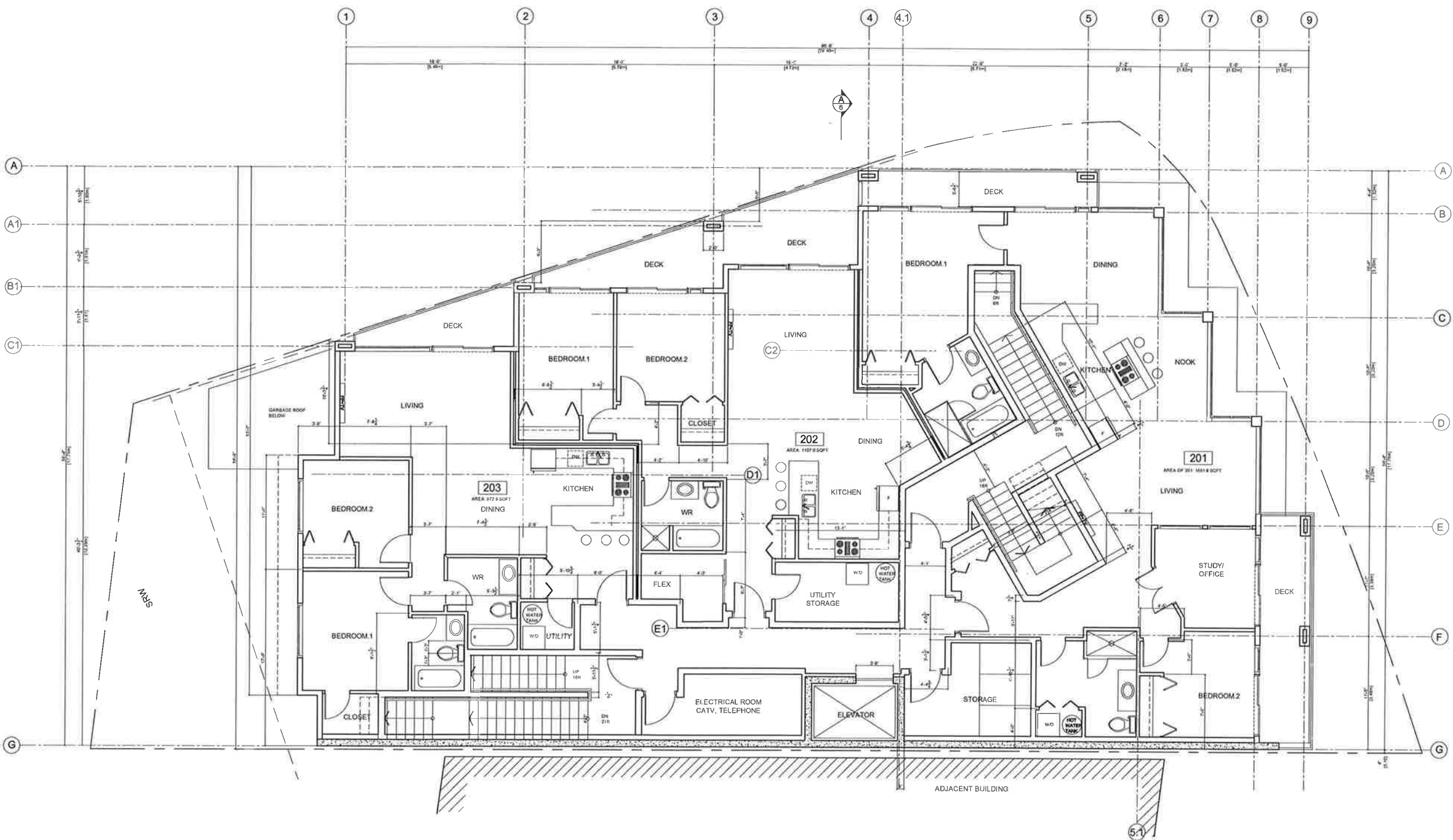
Sheet
Parkade Plan

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions shown on the drawing and shall notify the Architect of discrepancies so that these may be corrected. Shop drawings shall be submitted for review.

Drawn Tamas	Checked
Date 17 Oct 2016	Scale 1/4" = 1'-0"
Sheet No	

DP2





**David
Dangluck
Architect**

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Langley, B.C.
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e-mail: danarch@telus.net

Issued for Development Permit
Sep 2016

Revisions:

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Project:

Mixed Use Building
20786 Michaud Cr, Langley, B. C.

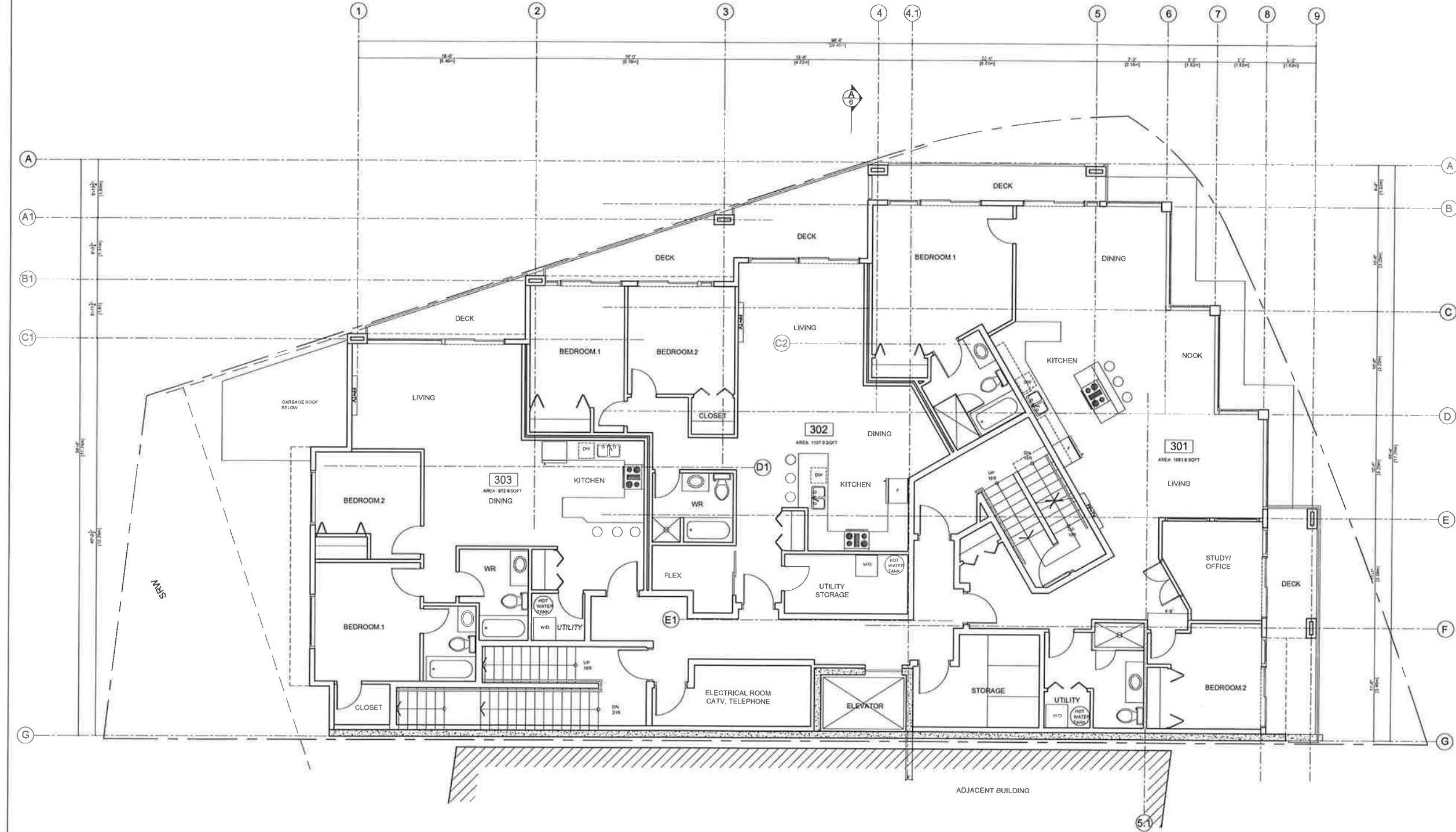
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Second Floor Plan

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions shown on the drawing and shall notify the Architect of discrepancies so that they may be corrected. Shop drawings shall be submitted for review.

Drawn Tamas	Checked Name
Date: 17 Oct 2016	Scale: 1/4"=1'-0"
Sheet No	

DP3





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Issued for Development Permit
Sep 2016

Revisions

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Project
Mixed Use Building
20286 Michaud Cr, Langley, B.C.

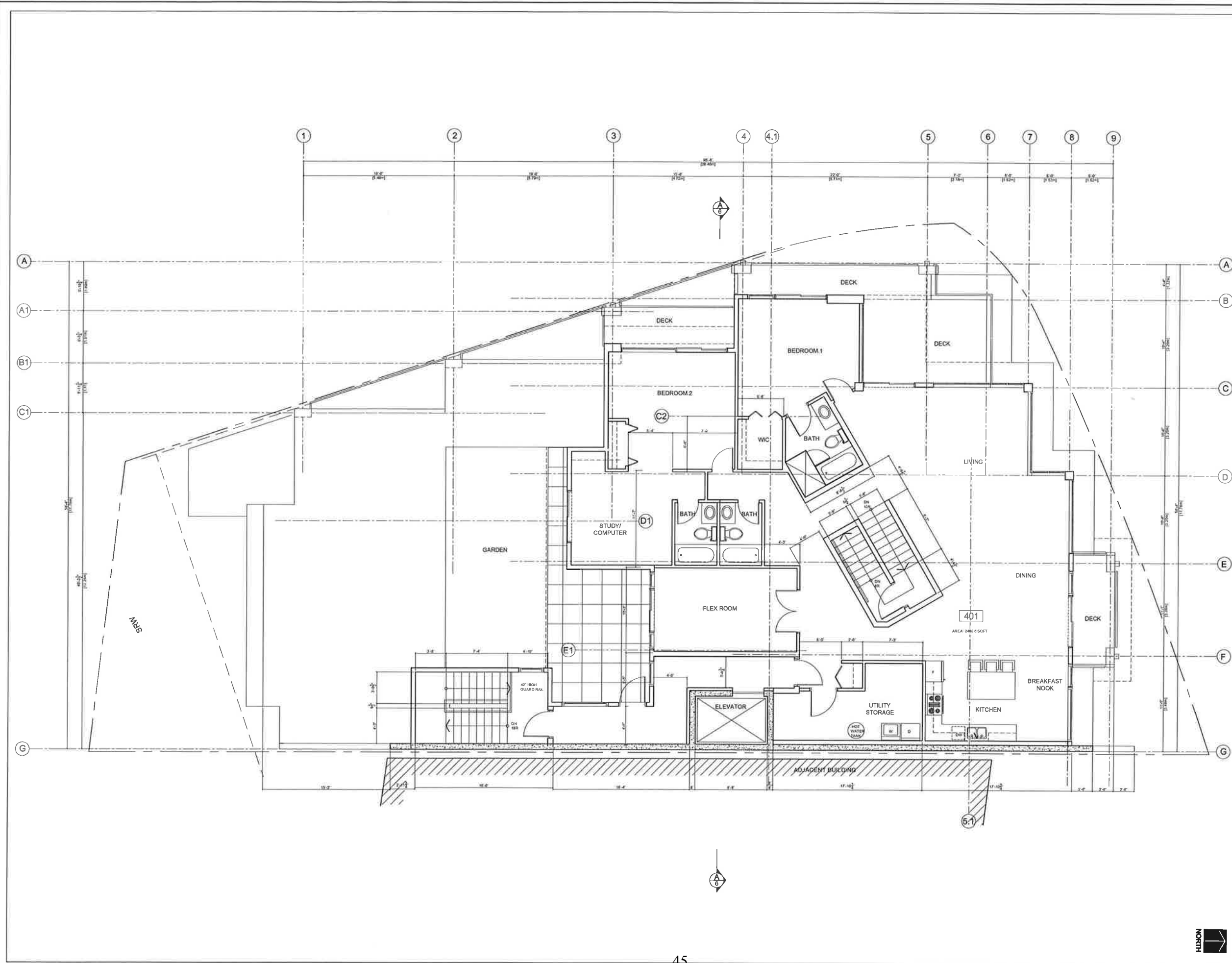
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Third Floor Plan

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions shown in the drawing and shall notify the Architect of discrepancies so that these may be corrected. Shop drawings shall be submitted for review.

Drawn	Checked
Tamps	
Date: 17 Oct 2016	Scale: 1/4"=1'-0"
Seal No	

DP4





David Danyluck Architect

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Issued for Development Permit
Sep 2016

Revisions

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Project:
Mixed Use Building

20286 Michaud Cr, Langley, B.C.

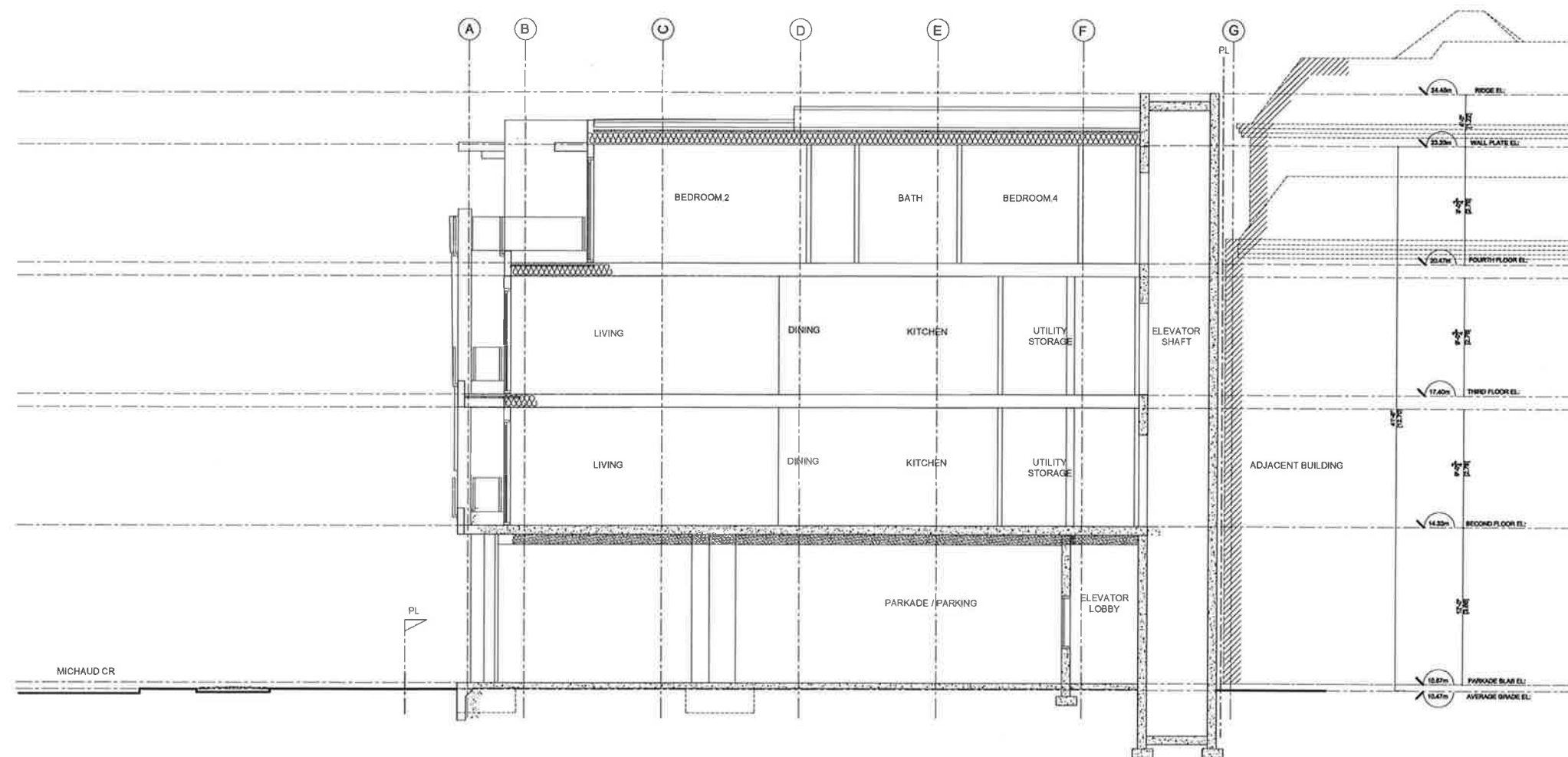
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Fourth Floor Plan

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions shown on the drawing and shall notify the Architect of discrepancies so that these may be corrected. Shop drawings shall be submitted for review.

Drawn T.M.B.	Checked Name
Date 17 Oct 2016	Scale 1/4"=1'-0"
Sheet No	

DP5





SECTION A-A

**David
Danyluck
Architect**

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Langley, B.C.
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604 530-0978

e-mail: danarch@telus.net

Issued for Development Permit
Sep 2016

Revisions
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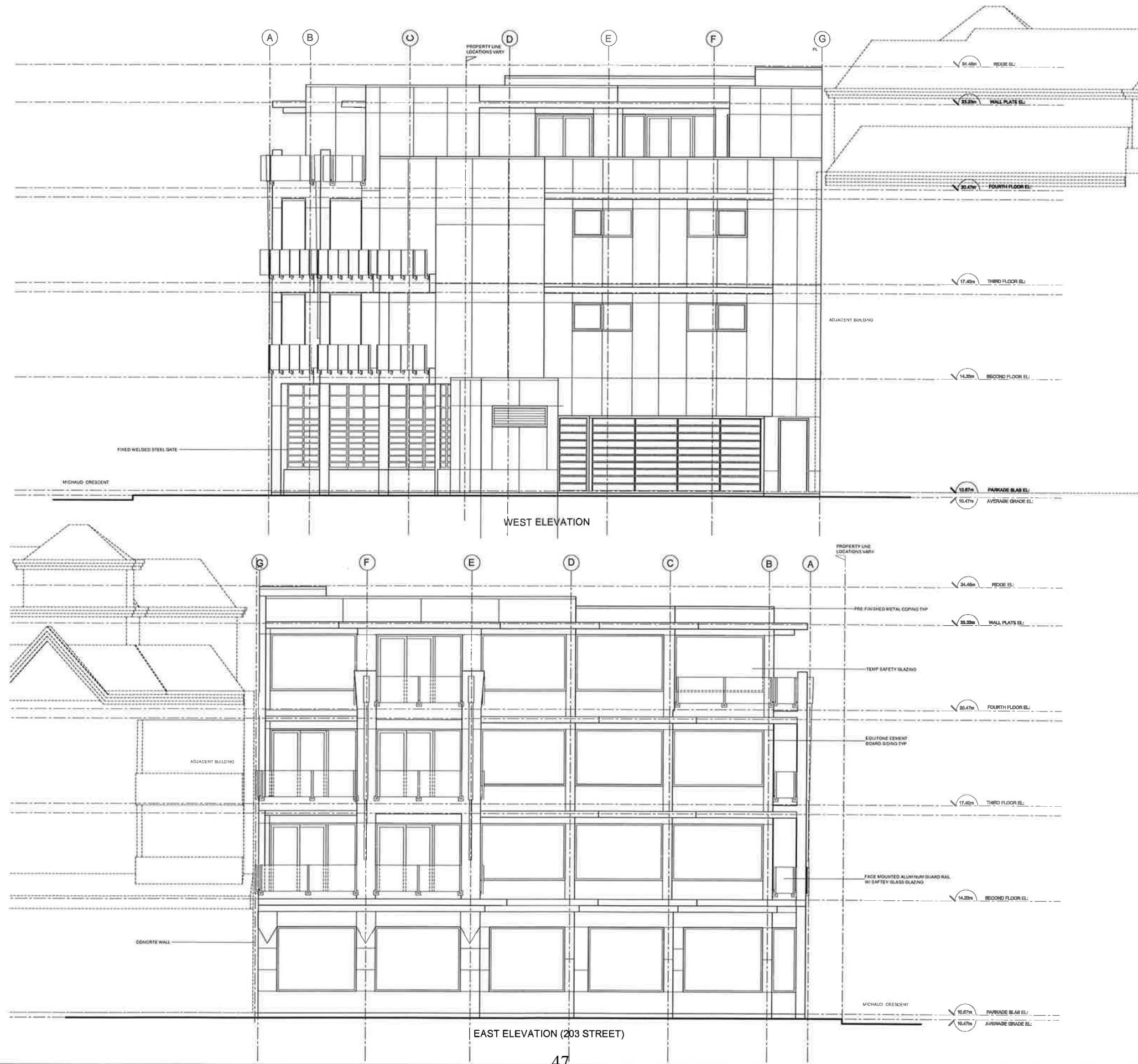
Project
Mixed Use Building
20286 Michaud Cr., Langley, B. C.

Sheet
Section A-A

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions shown on the drawing and shall notify the Architect of discrepancies so that these may be corrected. Shop drawings shall be submitted for review. Name

Drawn Tamas	Checked
Date: 17 Oct 2016	Scale: 1/4" = 1'-0"
Sheet No	

DP6



WEST ELEVATION

EAST ELEVATION (203 STREET)

David
Danyluck
Architect

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e-mail: danarch@telus.net

Issued for Development Permit
Sep 2016

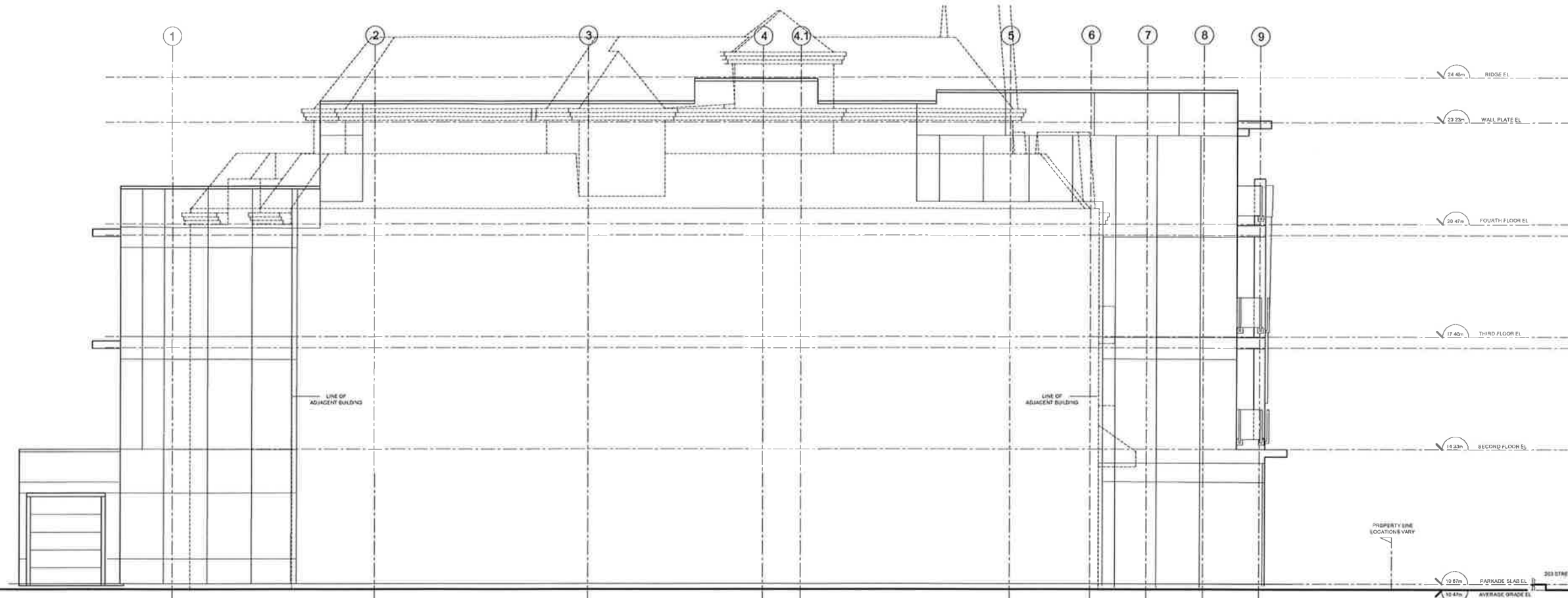
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Project:
Mixed Use Building
20266 Michaud Cr, Langley, B.C.

Sheet:
East & West Elevations

Written dimensions shall have precedence
over scaled dimensions. Contractors shall
verify and be responsible for all dimensions
and conditions shown on the drawing and
shall notify the Architect of discrepancies
so that these may be corrected. Shop drawings
shall be submitted for review.

Drawn Tamas	Checked Name
Date: 19 Oct 2016	Scale: 1/4"=1'-0"
Sheet No	DP7



SOUTH ELEVATION



NORTH ELEVATION (MICHAUD CRESCENT)

**David
Danyluck
Architect**

108-20460 Douglas Crescent
Langley, B.C.
V 3 A 0 C 6
604 530-0978

e-mail: danarch@telus.net

Issued for Development Permit
Sep 2016

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Project:
Mixed Use Building
20786 Michaud Cr, Langley, B. C.

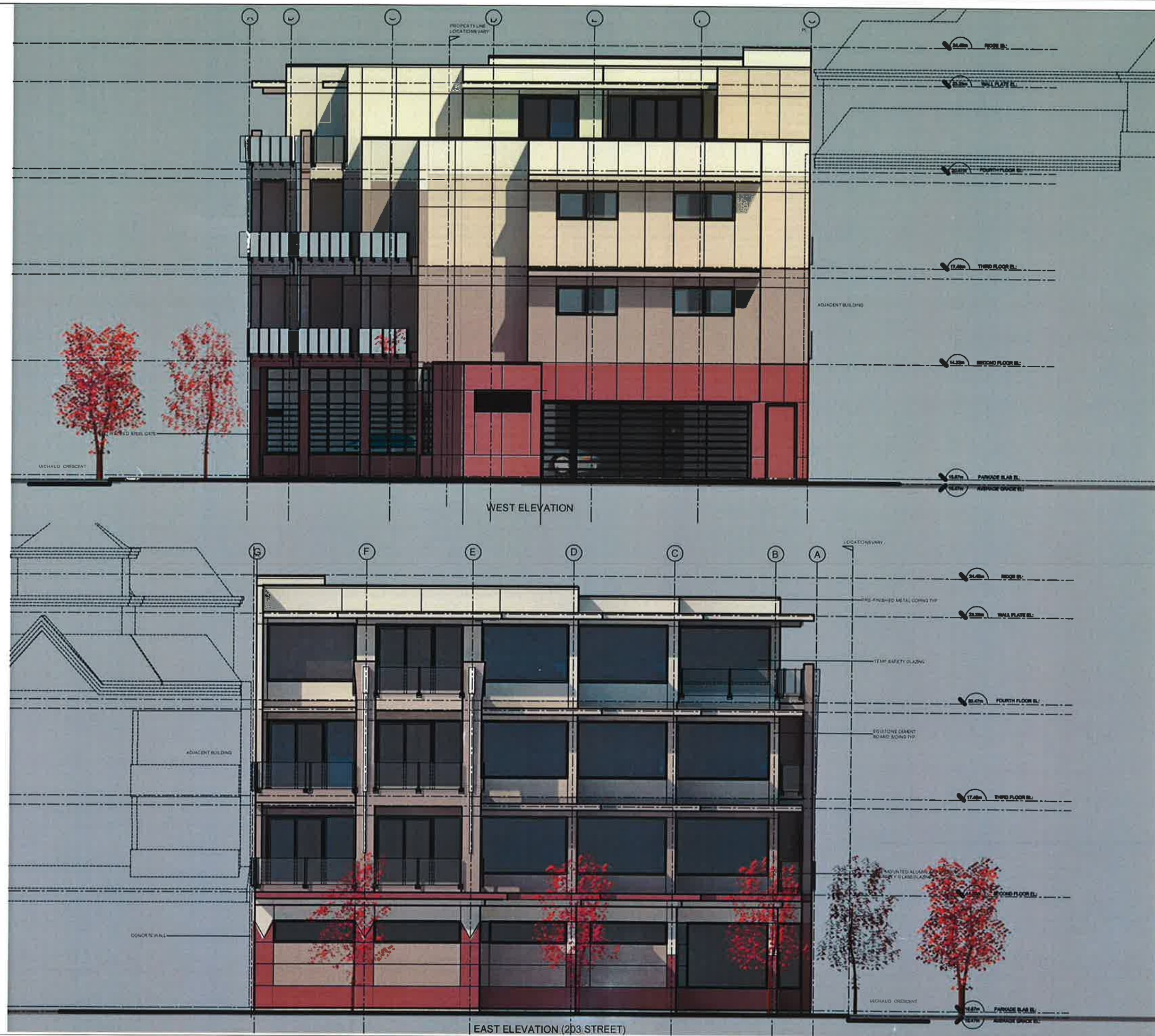
Sheet:
North & South Elevations

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions shown on the drawing and shall notify the Architect of discrepancies so that these may be corrected. Shop drawings shall be submitted for review. Name

Drawn Tamas	Checked
Date: 17 Oct 2016	Scale: 1/4"=1'-0"
Sheet No	

DP8





COLOR CHART OF CEMENT PANEL SIDING



**David
Danyluck
Architect**

AIBC

108-20460 Douglas Crescent
Langley, B.C.
V 3 A 0 C 6

604 530-0978

e-mail: danarch@telus.net

Issued for Development Permit
Sep 2016

Revisions

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Project

Mixed Use Building
20286 Michaud Cr., Langley, B.C.

Sheet

East & West Elevations

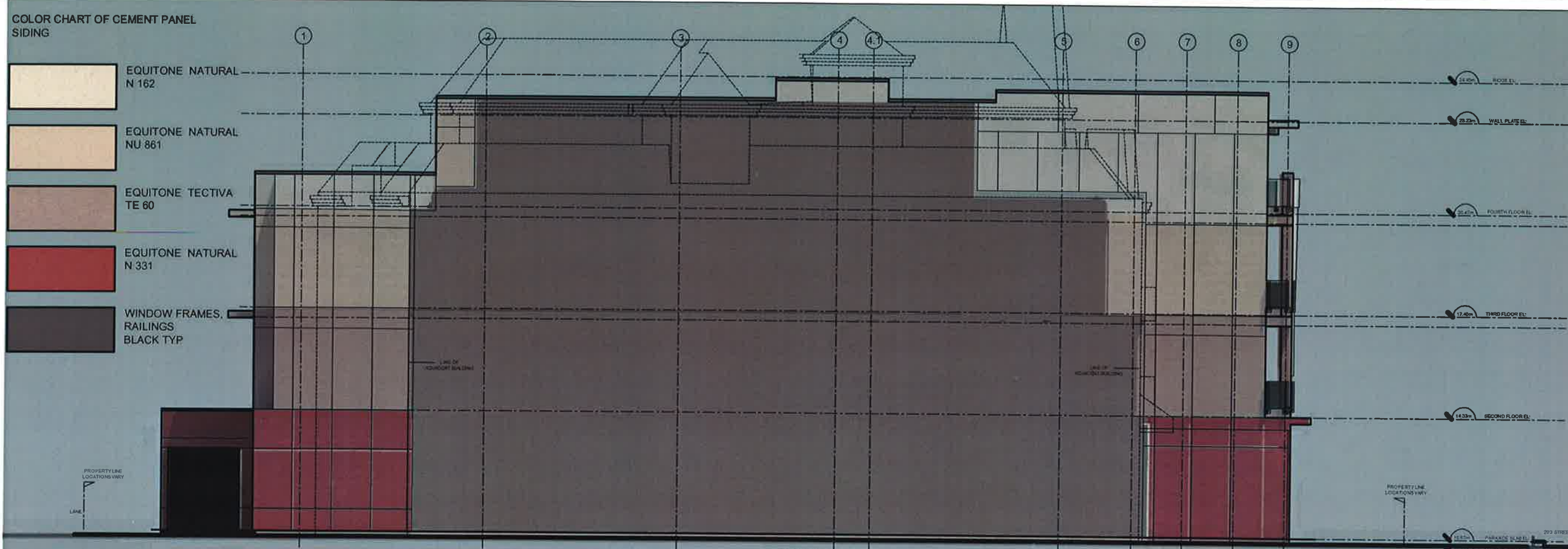
Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions shown on the drawing and shall notify the Architect of discrepancies so that these may be corrected. Shop drawings shall be submitted for review.

Drawn: Tamas	Checked:
Date: 12 Oct 2016	Scale: 3/32"=1'-0"

Sheet No. **DP9**

COLOR CHART OF CEMENT PANEL SIDING

-  EQUITONE NATURAL N 162
-  EQUITONE NATURAL NU 861
-  EQUITONE TECTIVA TE 60
-  EQUITONE NATURAL N 331
-  WINDOW FRAMES, RAILINGS BLACK TYP



David
Danyluck
Architect

108-20460 Douglas Crescent
Langley, B.C.
V 3 A 0 C 6
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Issued for Development Permit
Sep 2016

Revisions

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Project

Mixed Use Building
20285 Michaud Cr, Langley, B C

Sheet
North & South Elevations

Written dimensions shall have precedence over scaled dimensions Contractors shall verify and be responsible for all dimensions and conditions shown on the drawing and shall notify the Architect of discrepancies so that these may be corrected Shop drawings shall be submitted for review

Drawn Tamas	Checked
Date 11 Oct 2016	Scale 3/32"=1'-0"
Sheet No	

DP10





**David
Danyluck
Architect**

AIBC

108-20460 Douglas Crescent
Langley, B.C.
V 3 A 0 C 6

604 530-0978

e-mail: danarch@telus.net

Issued for Development Permit
Sep 2016

Revisions:
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design information shown in the drawing is for
use in the specified project only.

Project:
Mixed Use Building
20285 Michaud Cr., Langley, B. C.

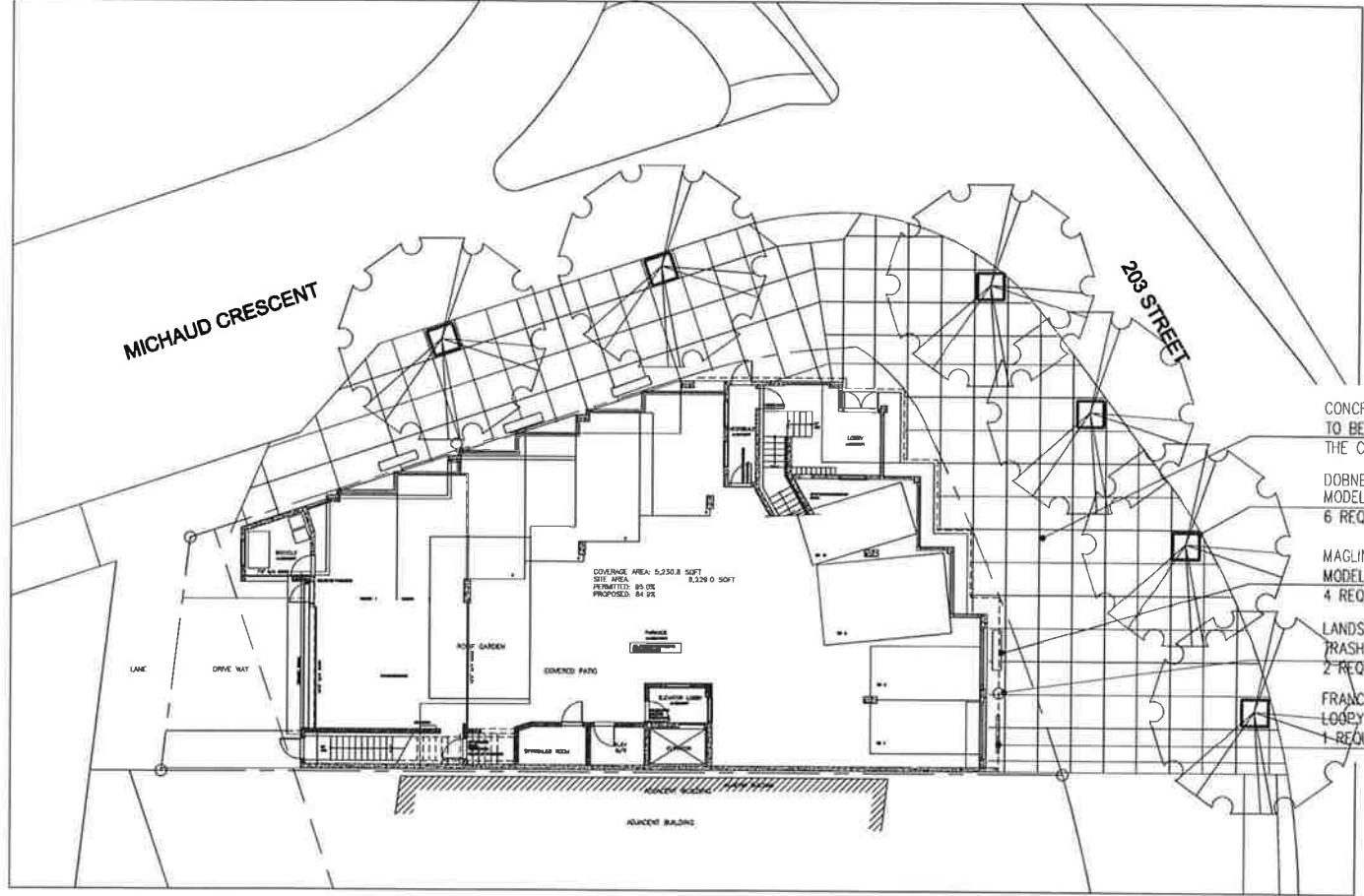
Sheet:
3D Rendering

Written dimensions shall have precedence
over scaled dimensions. Contractors shall
verify and be responsible for all dimensions
and conditions shown on the drawing and
shall notify the Architect of discrepancies
as they arise. Shop drawings shall be
submitted for review.

Drawn Tamas	Checked
Date: 17 Oct 2016	Scale: N.T.S.
Sheet No	

DP11



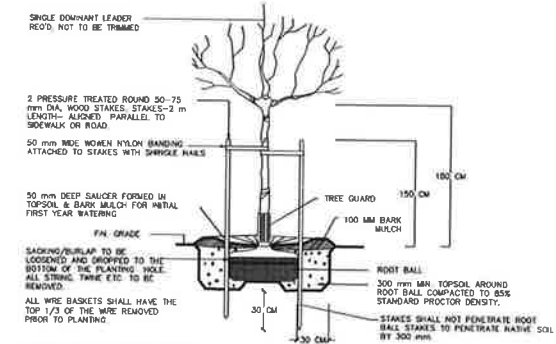


PLANT LIST						
KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	SPACING	REMARKS
	ACER RUBRUM 'OCYBER GLORY'	OCTOBER GLORY MAPLE	6	5 CM. CAL.	AS SHOWN	B. & B.

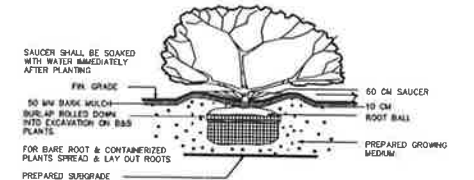
NOTES / GENERAL

- PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO BC LANDSCAPE STANDARD "LATEST EDITION". CONTAINER SIZES ARE SPECIFIED AS PER "ONTARIO STANDARDS" BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY "LANDSCAPE ARCHITECT" AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. "SUBSTITUTIONS" MUST OBTAIN WRITTEN APPROVAL FROM THE "LANDSCAPE ARCHITECT" PRIOR TO MAKING ANY SUBSTITUTIONS TO SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF THE WORKING DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO "B.C. LANDSCAPE STANDARD".
- ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED "DISEASE FREE" NURSERY. ALL PLANT MATERIAL MUST CONFORM TO THE LATEST EDITION OF THE "BC LANDSCAPE STANDARD". PROVIDE CERTIFICATION UPON REQUEST. ALL LANDSCAPING AND LANDSCAPE MATERIALS TO CONFORM TO THE LATEST EDITION OF THE BC/LA "LANDSCAPE STANDARDS".
- MIN. GROWING MEDIUM DEPTHS OVER PREPARED SUBGRADE SHALL BE :

LAWN AREAS	450 mm
GROUND COVER AREAS	450 mm
SHRUB AREAS	450 mm
TREE PITS	300 mm AROUND ROOT BALL
- GROWING MEDIUM SHALL HAVE PHYSICAL AND CHEMICAL PROPERTIES AS DESCRIBED IN THE STANDARDS FOR LEVEL 2 AND LEVEL 3 AREAS, EXCEPT FOR AREAS OVER STRUCTURES WHERE THE MEDIUM SHALL CONFORM TO THE REQUIREMENTS FOR LEVEL 1 APPLICATIONS. PROCESSING AND MIXING OF GROWING MEDIUM COMPONENTS SHALL BE DONE OFF-SITE USING A MECHANIZED SCREENING PROCESS. PROPOSED GROWING MEDIUM SHALL BE TESTED BY A RECOGNIZED LABORATORY. THE CONTRACTOR SHALL GUARANTEE THAT THE SOIL SUBMITTED FOR TESTING IS A REPRESENTATIVE SAMPLE TAKEN FROM THE SOIL THAT WILL BE USED AT THE SITE.
- ON-SITE OR IMPORTED SOILS SHALL SATISFY THE REQUIREMENTS OF THE STANDARDS FOR GROWING MEDIUM. SOILS SHALL BE VIRTUALLY FREE FROM SUBSOIL, WOOD INCL, WOODY PLANT PARTS, NEED OR REPRODUCTIVE PARTS OF WEEDS, PLANT PATHOGENIC ORGANISMS, TOXIC MATERIALS, STONES OVER 30 MM AND FOREIGN OBJECTS.
- ALL PLANTING BEDS SHALL RECEIVE MIN. 50 MM BARK MULCH.
- PLANT SPECIES AND VARIETIES MAY NOT BE SUBSTITUTED WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) FULL YEAR FROM THE DATE OF FINAL ACCEPTANCE, UNLESS OTHERWISE SPECIFIED. ALL PLANT MATERIAL NOT SURVIVING OR IN POOR CONDITION DURING THE GUARANTEE PERIOD SHALL BE REPLACED BY THE CONTRACTOR AT NO EXTRA COST TO THE OWNER.
- THE CONTRACTOR SHALL CLEAR AWAY FROM THE SITE ALL RUBBISH AS IT ACCUMULATES, AND SHALL, AT THE COMPLETION OF THE WORK, LEAVE THE WORK AND THE SITE THEREOF IN A CLEAN AND PRESENTABLE CONDITION, FREE FROM ALL OBSTRUCTIONS.



TREE PLANTING DETAIL
SECTION N.T.S.



PLANTING DETAIL - SHRUBS & GRD. COVER PLANTS
SECTION N.T.S.



DATE	REVISIONS	NO.

C.KAVOLINAS & ASSOCIATES INC.
BCSLA CSIA
2462 JONQUIL COURT
ABBOTSFORD, B.C.
V3G 3E8
PHONE (604) 857-2376

CLIENT
MR. DAVID DANYLUK
DAVID DANYLUK ARCHITECT

TITLE
PLAN VIEW
LANDSCAPE PLAN
PROPOSED
MIXED USE DEVELOPMENT
MACHAUD CRESCENT @ 203 STREET
CITY OF LANGLEY, B.C.

SCALE 1:150	DATE SEP/16
DRAFT	CHK'D
END	CHK'D
APPRO'D	AS BUILT

PRINTED	JOB No.
	DRAWING No.
	L-1



**MINUTES OF THE
ADVISORY PLANNING COMMISSION MEETING**

**HELD IN LANGLEY CITY HALL
CKF COMMUNITY BOARDROOM**

**WEDNESDAY, NOVEMBER 9, 2016
7:00 PM**

Present: Councillor Paul Albrecht, Vice-Chairman

John Beimers
Shelley Coburn, School District No. 35
Brian Doyle
Dave Humphries
Hana Hutchinson
Esther Lindberg
Cpl. Steve McKeddie, Langley RCMP
George Roman

Staff: Roy Beddow, Deputy Director of Development Services & Economic Development

Absent: Councillor Jack Arnold, Chairman
Jamie Schreder

1) RECEIPT OF MINUTES

MOVED BY Commission Member Roman
SECONDED BY Commission Member Huchinson

THAT the minutes for the October 13, 2016 Advisory Planning Commission meeting be received as circulated.

CARRIED

2) **REZONING APPLICATION RZ 03-16/DEVELOPMENT PERMIT APPLICATION DP 08-16 (5501-5503 - 198 STREET, 5509 - 198 STREET AND 19771 - 55 AVENUE) – CONCOST MANAGEMENT INC.**

The Deputy Director of Development Services & Economic Development provided a brief overview of the planning context for the proposed application and introduced Brian Shigetomi, Project Architect, Atelier Pacific Architecture Inc. Mr. Shigetomi presented the proposed development plans. Following discussion regarding density, building form and character, parking, lane treatment, CPTED and engineering servicing requirements it was:

MOVED BY Commission Member Humphries
SECONDED BY Commission Member Roman

That Rezoning Application RZ 03-16 and Development Permit Application DP 08-16 to accommodate a 4-storey, 28-unit townhouse complex located at 5501-5503 – 198 Street, 5509 - 198 Street and 19771 - 55 Avenue be approved subject to increasing the parking space depth along the City lane, execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report be approved.

CARRIED

3) **DEVELOPMENT PERMIT APPLICATION DP 09-16 (20286 MICHAUD CRESCENT) - DAVID DANYLUK ARCHITECT**

The Deputy Director Development Services & Economic Development provided a brief overview of the planning context for the proposed development and introduced David Danyluck, Architect. Mr. Danyluck presented the proposed development plans. Following extensive discussion regarding façade treatments, parking, CPTED and traffic circulation it was:

MOVED BY Commission Member Lindberg
SECONDED BY Commission Member Doyle

That Development Permit Application DP 09-16 to accommodate a 4-storey, 7-unit condominium apartment building located at 20286 Michaud Crescent with reduced front and exterior yard setbacks be approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report.

CARRIED

4) **NEXT MEETING**

Wednesday, December 14, 2016 (Tentative)

5) **ADJOURNMENT**

MOVED BY Commission Member Coburn
SECONDED BY Commission Member Humphrey

THAT the meeting adjourn at 8:55 P.M.

CARRIED



ADVISORY PLANNING COMMISSION CHAIRMAN



**DEPUTY DIRECTOR OF DEVELOPMENT SERVICES & ECONOMIC
DEVELOPMENT**

Certified Correct



CITY OF LANGLEY
"The Place to Be!"

REQUEST TO APPEAR AS A DELEGATION

In order to appear before Council as a delegation at a Council Meeting, you need to submit a written request to the Corporate Officer by 12:00 p.m. noon on the Monday one week before the scheduled Council Meeting. The request can be a copy of this completed form or a separate letter that you have written which contains the information requested on this form. You can submit your request by email to pkusack@langleycity.ca, in person, by mail or by fax at 604-514-2838. A staff member will contact you to confirm the meeting date at which you are scheduled to appear before Council.

Council meetings take place at 7:00 p.m. in the Council Chambers on the second floor of Langley City Hall (20399 Douglas Crescent). Delegations are usually scheduled at the start of the meeting. You are limited to a maximum of five (5) minutes to present your material. You may speak on more than one (1) topic but you must keep your presentation within the five (5) minute time limit.

Please attach to this form any material that you wish Council to review in advance of the meeting.

DATE: 2016-10-24 REQUESTED MEETING DATE: 2016-11-21

NAME: NIGEL THOM

ORGANIZATION NAME: FIBROMYALGIA WELL SPRING FOUNDATION
(if applicable)

ADDRESS: P.O. Box 1600 ALDERGROVE BC

CONTACT NUMBER: 778 278 3697

EMAIL ADDRESS: INFO@FIBROMYALGIAWELLSPRINGFOUNDATION.ORG

TOPIC: UPDATE AFTER WALK TO BANFF

AUDIO/VISUAL NEEDS (if yes, specify) WE HAVE A P.P. PRESENTATION

ACTION YOU WISH COUNCIL TO TAKE: _____

Just to enjoy + offering information



**ZONING BYLAW, 1996, No. 2100
AMENDMENT No. 132, 2016, BYLAW No. 3006
DEVELOPMENT PERMIT APPLICATION DP 08-16**

To consider a Rezoning Application and Development Permit Application by Concost Management Inc. to accommodate a 4-storey, 28-unit townhouse development.

The subject property is zoned RS1 Single Family Residential Zone in Zoning Bylaw No. 2100 and designated “Medium Density Residential” in the Official Community Plan. All lands designated Multiple Family Residential are subject to a Development Permit to address building form and character.

COMMENTS/ANALYSIS:

Background Information:

Applicant:	Concost Management Inc.
Owner:	W. Biro, G. Gill, J. Gill
Civic Address:	5501 & 5503 – 198 Street; 5509 – 198 Street; 19771 – 55 Avenue
Legal Description:	Lots A & B, Section 3, Township 8, New Westminster District, Plan 16536; Lot 3, Section 3, Township 8, New Westminster District, Plan 12439
Site Area:	3,232 m ² (34,789 sq ft)
Dwelling Units:	28 (2-BR)
Proposed Density:	86.6 units/ha (35 units/acre)
Permitted Density (OCP):	173 units/ha (70 units/acre)
Gross Floor Area:	3,683 m ²
Parking Required:	62 spaces (incl. 6 visitor)
Parking Provided:	69 spaces (incl. 6 visitor)
Height:	4 storeys (11.0 m - 13.0 m)
Exterior Finishes:	Painted cement board, brick, aluminum railings
Current Zoning:	RS1 Single Family Residential Zone
Proposed Zoning:	CD44 Comprehensive Development Zone
OCP Designation:	MF Residential – Medium Density (MD)
DCC's:	\$387,553.00 (City: \$332,448.00, GVS&DD: \$39,470.00, SD35: \$15,635.00)
Community Amenity Charge:	\$28,000.00
Variance Requested:	None



**ZONING BYLAW, 1996, No. 2100
AMENDMENT No. 132**

BYLAW No. 3006

A Bylaw to amend City of Langley Zoning Bylaw, 1996, No. 2100 to add a new Comprehensive Development Zone (CD44) and to rezone the property located at 5501 & 5503 – 198 Street, 5509 – 198 Street and 19771 – 55 Avenue to the new zone.

WHEREAS the *Local Government Act* authorizes a local government to zone areas of a municipality and to make regulations pursuant to zoning;

NOW THEREFORE the Council of the City of Langley, in open meeting assembled, enacts as follows:

1. Title

This bylaw shall be cited as the “Zoning Bylaw 1996, No. 2100 Amendment No. 132, 2016, No.3006”.

2. Amendment

- (1) Bylaw No. 2100, cited as the “Zoning Bylaw, 1996, No. 2100” is hereby amended by adding in Part VII Comprehensive Development Zones the following as the new Zone classification of Comprehensive Development – 44 (CD44) Zone: immediately after Comprehensive Development -43 (CD43) Zone:

“MM. CD44 COMPREHENSIVE DEVELOPMENT ZONE

1. Intent

This Zone is intended to accommodate and regulate a 4-storey, 28-unit townhouse development

2. Permitted Uses

The Land, buildings and structures shall only be used for the following uses only:

- (a) Multiple-Unit Residential; and

(b) Accessory uses limited to the following:

- (i) *Home Occupations* excluding bed and breakfast and *child care centre*.

3. Site Dimensions

The following lot shall form the site and shall be zoned CD 44 Comprehensive Development Zone on the Zoning Map, City of Langley Zoning Bylaw, 1996, No. 2100, Schedule “A”:

(a) PID: 001-681-338

Lot A, Section 3, Township 8, New Westminster District, Plan 16536

(b) PID: 010-203-966

Lot B, Section 3, Township 8, New Westminster District, Plan 16536

(c) PID: 003-367-096

Lot 3, Section 3, Township 8, New Westminster District, Plan 12439

4. Siting and Size of Buildings and Structures and Site Coverage

The location, size and site coverage of the buildings and structures of the Development shall generally conform to the plans and specifications comprising 27 pages and dated November 14, 2016 prepared for Concost Management Inc. by Atelier Pacific Architecture Inc. and Van der Zalm & Associates Inc. Landscape Architecture, 1 copy of which is attached to Development Permit 08-16.

5. Special Regulations

Special regulations shall comply with subsection 9 Special Regulations prescribed in the respective zones under different Parts of this bylaw.

6. Other Regulations

In addition, land use regulations including the following are applicable:

- (a) General provisions on use are set out in Section I.D. of this bylaw;

- (b) Building Permits shall be subject to the City of Langley Building and Plumbing Regulation Bylaw and the Development Cost Charge Bylaw; and
- (c) Subdivisions shall be subject to the City of Langley Subdivision and Development Servicing Bylaw, and the *Land Title Act*.”

READ A FIRST AND SECOND TIME this ----- day of -----, 2016.

A PUBLIC HEARING, pursuant to Section 464 of the “Local Government Act” was held this ----- day of -----, 2016.

READ A THIRD TIME this ----- day of -----, 2016.

FINALLY ADOPTED this ----- day of -----, -----.

MAYOR

CORPORATE OFFICER



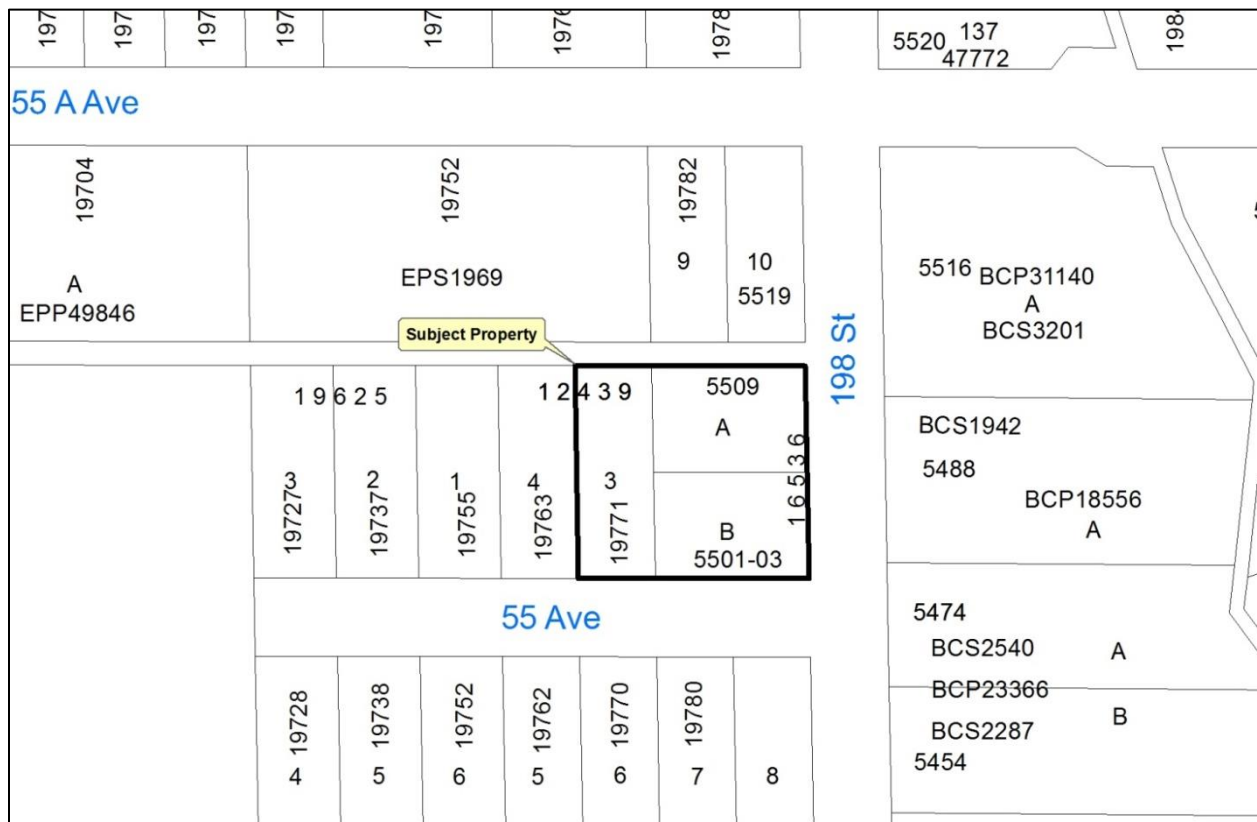
REZONING APPLICATION RZ 03-16 DEVELOPMENT PERMIT APPLICATION DP 08-16

Civic Address: 5501 & 5503 – 198 Street; 5509 - 198 Street; 19771 – 55 Avenue

Legal Description: Lots A & B, Section 3, Township 8, New Westminster District, Plan 16536; Lot 3, Section 3, Township 8, New Westminster District, Plan 12439

Applicant: Concost Management Inc.

Owner: W. Biro, G. Gill, J. Gill





UPTOWN VILLAGE

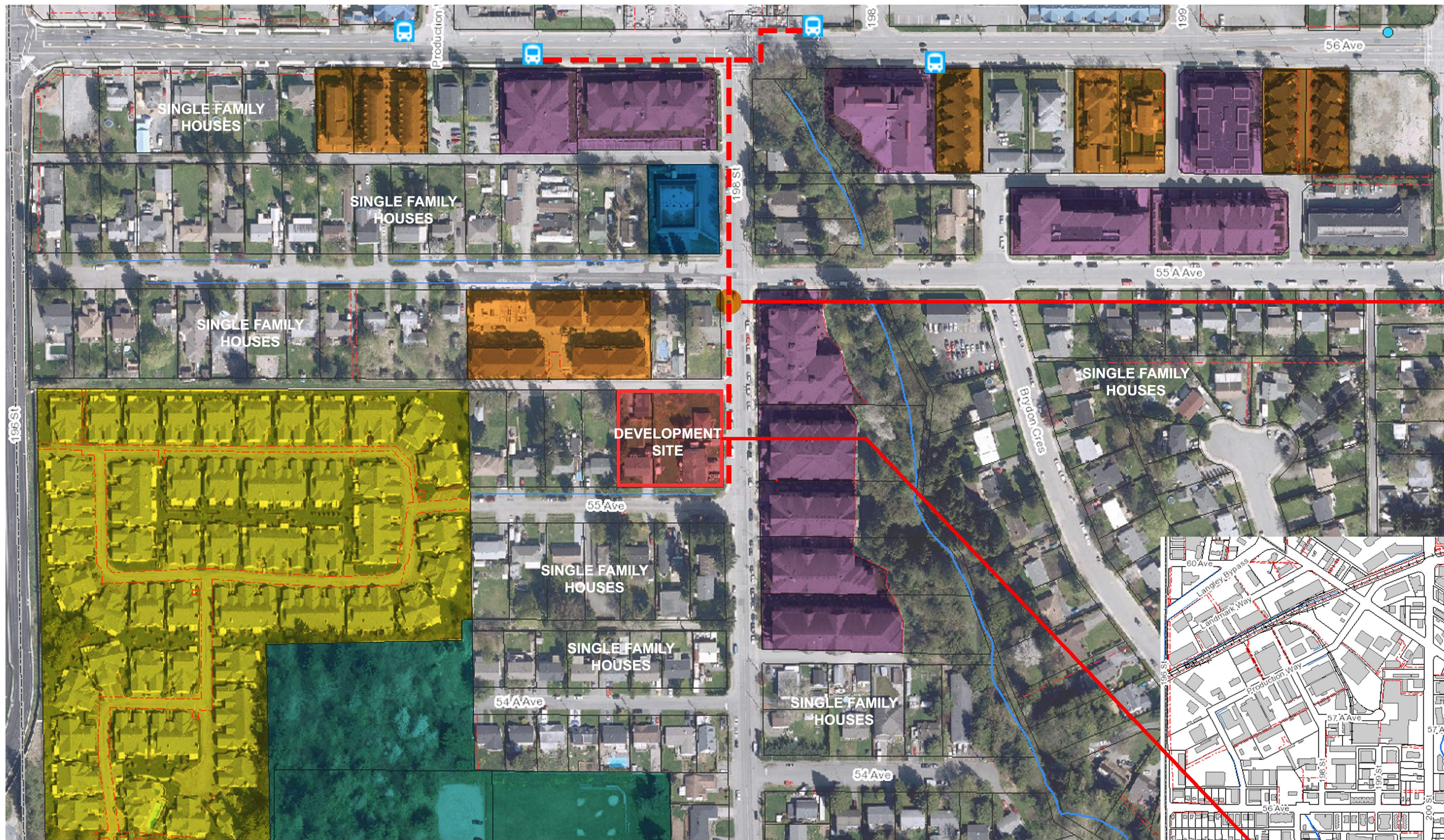
5501, 5503 and 5509 - 198th Street and 19771 - 55 Avenue, Langley, BC

ATELIER PACIFIC ARCHITECTURE INC.
NOVEMBER 14 2016

Proposed Townhouse Development

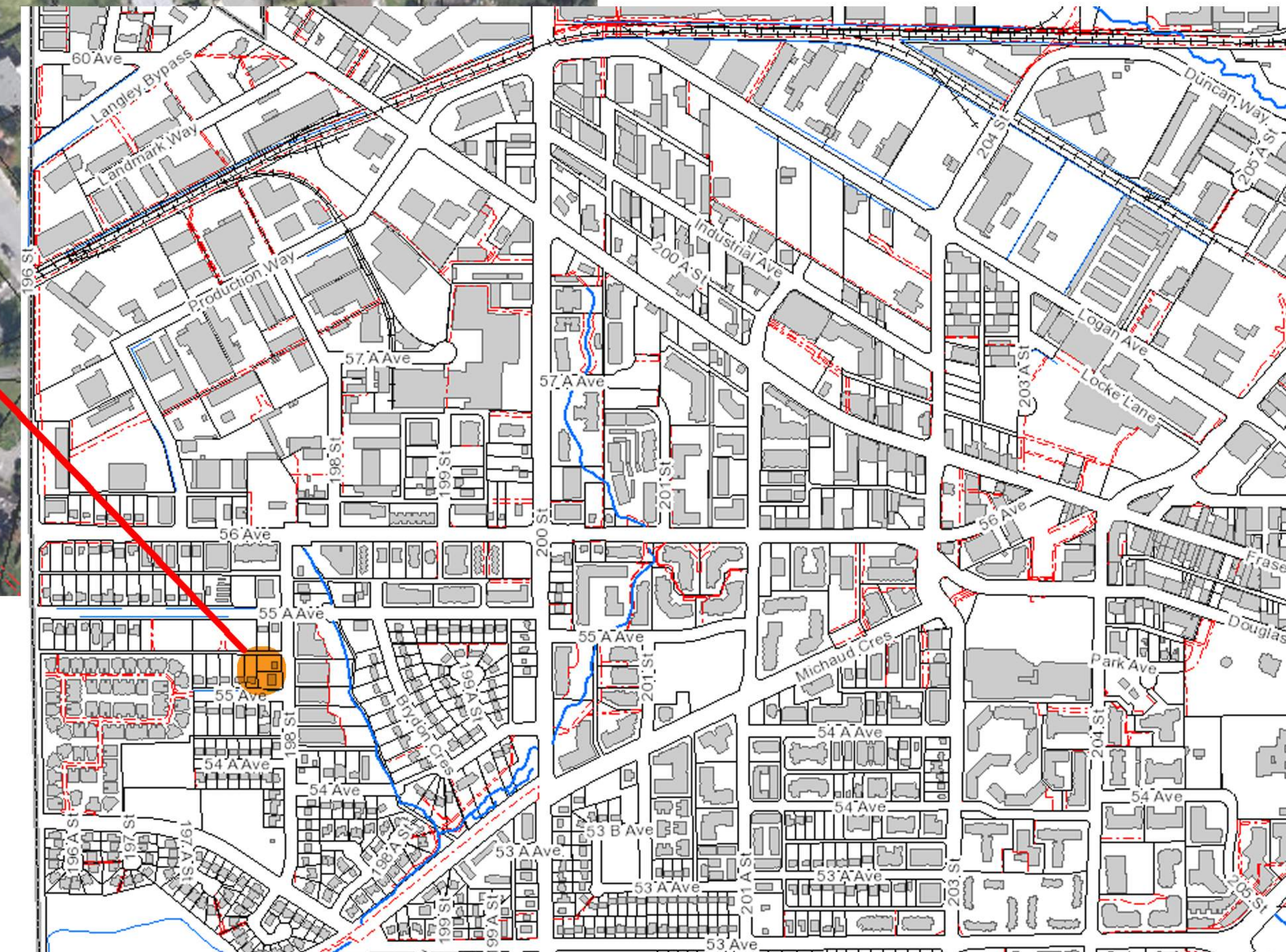


COVER PAGE



**DISTANCE FROM
DEVELOPMENT
SITE TO PUBLIC
BUS STOP IS
ABOUT 350m
(WITHIN 400m).**

- | | | | | | |
|---|--|---|---|---|---|
|  | DEVELOPMENT SITE |  | MEDIUM DENSITY
MULTI-FAMILY
TOWNHOUSES |  | PARK AND
RECREATION |
|  | LOW DENSITY
MULTI-FAMILY
TOWNHOUSES |  | HIGH DENSITY
MULTI-FAMILY
TOWNHOUSES |  | COMMUNITY SERVICES
(DAYCARE) |



UPTOWN VILLAGE

5501, 5503 and 5509 - 198th Street and 19771 - 55 Avenue, Langley, BC

ATELIER PACIFIC ARCHITECTURE INC.
NOVEMBER 14 2016

Proposed Townhouse Development

DP 0.0

CONTEXT PLAN
NEIGHBOURHOOD ANALYSIS
SCALE: N.T.S.

OFFICIAL COMMUNITY PLAN COMPLIANCE:

- MEDIUM DENSITY RESIDENTIAL=173 UNITS/HECTARE OR 56 UNITS ALLOWED, 28 UNITS PROPOSED;
- ENHANCE PUBLIC SIDEWALK STREETScape AND PROVIDE ATTRACTIVE ENVIRONMENT FOR PEDESTRIANS THROUGH ENTRY GATES, WALKWAYS, PORCH STATEMENTS AND LANDSCAPING;
- PEDESTRIAN SAFETY, ACCESSIBILITY AND VISIBILITY AT CROSSINGS THROUGH DEMARKED CROSSINGS AND MATERIAL CHANGES;
- SECURE BICYCLE PARKING FACILITIES PROVIDED IN EACH UNIT;
- ENHANCE NEIGHBORHOOD IMAGE AND PROTECT NEIGHBORHOOD STABILITY THROUGH STRATA AND PRIDE OF OWNERSHIP;
- GROUND ORIENTED UNITS FACING MUNICIPAL STREETS;

TRAFFIC/ CALMING & PARKING:

- ROAD WIDTH REDUCTION IN THE ULTIMATE CROSS-SECTION ALONG 55 AVENUE TO SLOW DOWN MOTORISTS, AS WELL AS A CORNER BULB AT 55TH AVE AND 198TH STREET;
- CREATE ON-STREET PARKING POCKETS ALONG 55 AVENUE AND 198 STREET;

CRIME PREVENTION TRHOUGH ENVIRONMENTAL DESIGN *:

- THE OVERALL DESIGN THEME IS POSITIVE AND WILL PROJECT A SENSE OF OBSERVATION/ NATURAL SURVEILLANCE AND TERRITORIALITY ONTO THE LANE, 198th STREET AND 55th AVENUE;
- THE DEVELOPMENT WILL REMOVE TWO (2) EXISTING UNSIGHTLY PROPERTIES AND A VACANT LOT THAT PROJECT A SENSE OF DISORDER TO THE TRANSITIONING NEIGHBOURHOOD;
- NATURAL SURVEILLANCE AND ACCESS CONTROL THROUGH EYES ON THE STREET WINDOWS FACING YARDS, STREETS/ INTERNAL ROADS;
- COVERED GARAGES HAVE DOORS FACING TOWNHOUSE WHERE POSSIBLE;
- GARAGE DOORS WILL BE OVERLOOKED FROM TOWNHOUSES AND THE PUBLIC REALM;
- WRAP THE UTILITY BOX IN A LAMINATE TO RESIST GRAFFITI AND MAKE CLEAN UP EASIER;
- WOOD FENCE ON THE WEST SIDE OF THE PROPERTY TO DELINEATE THE PROPERTY LINE AND DETER INTRUDERS;
- 1.2m HIGH ALUMINUM FENCE AND GATE TO DEFINE AND CONTROL ACCESS INTO YARDS;
- VISITOR SPACE IN BUILDING BLOCK-3 IS SECURED WITH OVERHEAD GATE;
- ALL OUTDOOR SPACES ARE ABOVE GRADE AND CONTROLLED BY EACH UNIT;
- PAVING STONE WALKWAY ALONG NORTHERN MOST DRIVEWAYS WILL INCREASE PEDESTRIAN TRAFFIC AND CREATE A SAFER SPACE ;

*SEE PROVIDED "CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN REPORT.

SUSTAINABILITY FEATURES:

- STORM WATER MANAGEMENT TO MITIGATE AGAINST FLOODING AND HABITAT DESTRUCTION;
- DESIGNED TO PREVENT GROUND WATER CONTAMINATION;
- NO ADDITIONAL EXTERIOR LIGHTING TO CONTROL LIGHT POLLUTION CREATED;
- LIGHT COLOR PAVING MATERIAL ON ROOF DECK TO REDUCE HEAT ISLAND AFFECT;
- DROUGHT TOLERATE PLANTS ARE PROPOSED TO MITIGATE IRRIGATION;
- IRRIGATION SYSTEM, IF REQUIRED;
- HOMES WILL UTILIZE HEAT RECOVERY VENTILATION TO REDUCE ENERGY CONSUMPTION;
- WATER CONSERVATION THROUGH DUAL FLUSH TOILETS.

AESTHETICS / BUILDING COMPLIANCE:

- BUILDING DESIGN AND SITE PLANNING SHOULD COMPLEMENT ADJACENT MULTIFAMILY RESIDENTIAL DEVELOPMENT;
- HIGH QUALITY EXTERIOR FINISHES (HARDIE AND BRICKS) WILL BE USED TO ENSURE THE INTEGRITY OF THE BUILDING ENVELOPE AND TO PRESENT AN ATTRACTIVE APPEARANCE;
- 60 MINUTE SHEATHING PAPER WILL BE APPLIED TO ALL BUILDINGS;
- RCABC CERTIFICATION WILL BE REQUIRED FOR FLAT ROOF;
- ALL ASPHALT SHINGLE ROOFING MATERIAL SHALL HAVE A MINIMUM 40 YEAR PRODUCT WARRANTY - ALTERNATIVE MATERIALS WILL BE ASSESSED ON A CASE BY CASE BASIS;
- DIFFERENTIATE BETWEEN PUBLIC AND PRIVATE SPACES THROUGH USE OF GATES, FENCE AND LANDSCAPING;
- ENCOURAGE PRIVATE OUTDOOR LIVING SPACE THROUGH SECURED YARDS;
- ALL WOOD APPLICATIONS WILL BE PRESSURE TREATED;
- FENCING WILL BE WROUGHT IRON, ALUMINUM, OR APPROVED ALTERNATE AND RETAINING WALLS KEPT TO A MINIMUM HEIGHT;
- REQUIRED LOCK BOXES WILL BE RECESSED INTO THE BUILDING FACE;
- EXTERIOR EXIT DOOR HARDWARE WILL BE OF COMMERCIAL/LIGHT INDUSTRIAL QUALITY AND SHALL INCLUDED ASTRAGALS;
- ALL UNITS ARE GROUND ORIENTED UNITS;
- VEHICULAR ACCESS IS PROVIDED FROM THE INTERNAL ROAD OR LANE;
- RESIDENT PARKING IS PROVIDED IN ENCLOSED AND SECURED GARAGES ATTACHED TO INDIVIDUAL UNITS
- VISITOR PARKING IS PROVIDED AT-GRADE AND INFORMALLY WITH DRIVEWAY APRON;
- PRIVATE PATIOS AND ROOF DECKS ARE PROVIDED FOR EACH UNIT;
- PROPOSED 3-4 STOREY BUILDING HEIGHT AND MASSING IS IN PROPORTION TO OPEN SPACE.

UPTOWN VILLAGE

5501, 5503 and 5509 - 198th Street and 19771 – 55 Avenue, Langley, BC

ATELIER PACIFIC ARCHITECTURE INC.
NOVEMBER 14 2016

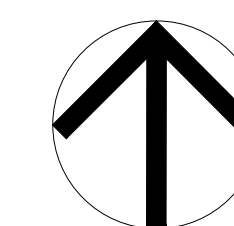
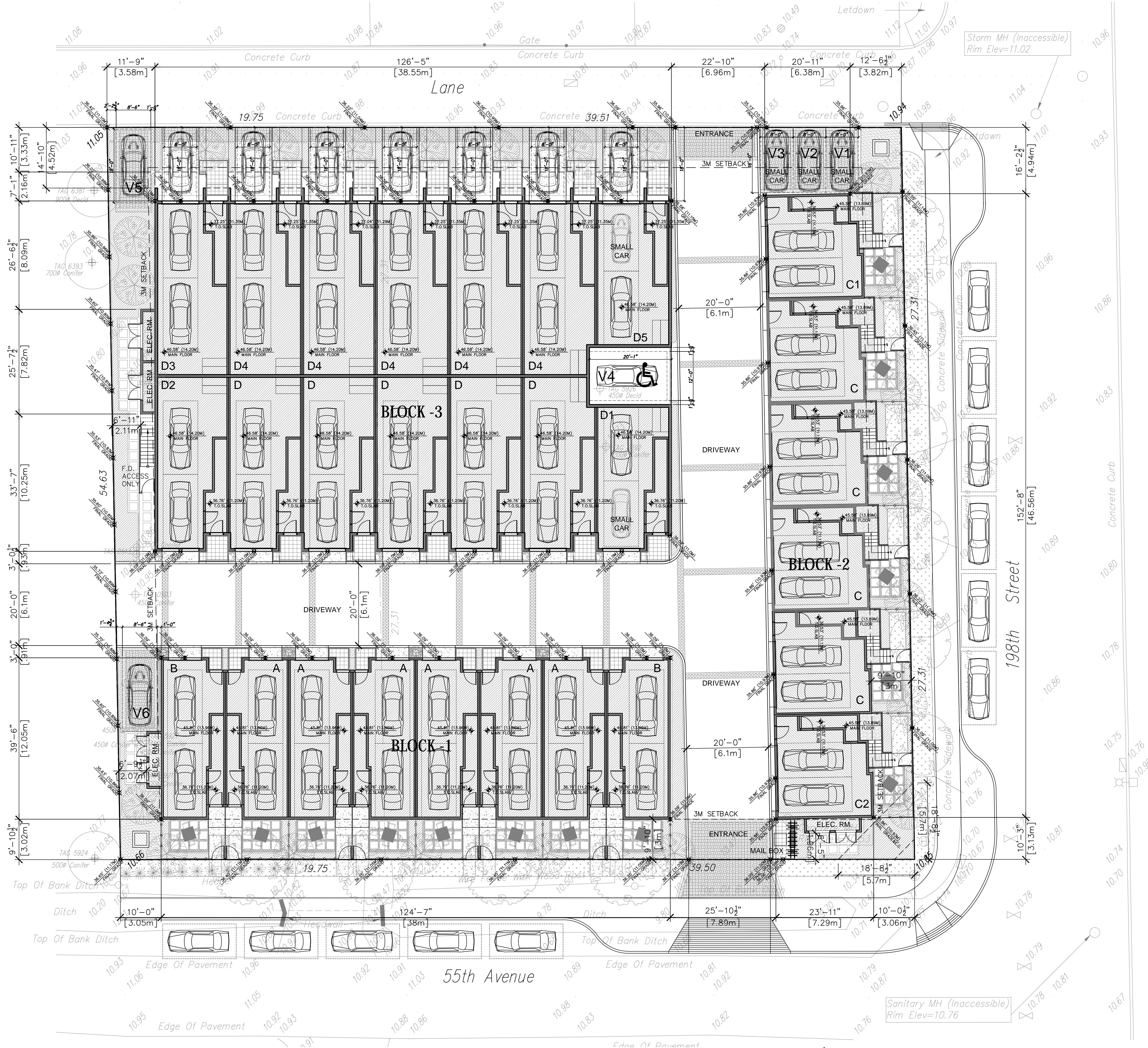
Proposed Townhouse Development



DP 0.0a

OFFICIAL COMMUNITY PLAN
COMPLIANCE

SCALE: N.T.S.



PROJECT
NORTH

UPTOWN VILLAGE

Proposed Townhouse Development

5501, 5503 and 5509 - 198th Street and 19771 - 55 Avenue, Langley, BC

ATELIER PACIFIC ARCHITECTURE INC.

NOVEMBER 14 2016

DP 0.1

SITE PLAN

SCALE: 1:150

PROJECT DATA

ARCHITECT'S INFO.:ATELIER PACIFIC ARCHITECTURE INC.

PHONE NUMBER:604 662 8689

FAX NUMBER: 604 662 8655

LEGAL DESCRIPTION:LOT A & LOT B, SECTION 3 TOWNSHIP 8, NWD PLAN 16536

LOT 3, SECTION 3 TOWNSHIP 8, NWD PLAN 12439

CIVIC ADDRESS:5501, 5503, 5509 198TH STREET AND 19771 55TH AVE., LANGLEY, B.C.

SITE LOCATION:LOTS AT NORTHWEST CORNER OF THE INTERSECTION OF 198TH STREET AND 55TH AVE.,
LANGLEY, B.C.

EXISTING ZONING:RS1

PROPOSED ZONING:CD

PROPOSED HOUSING TYPE:28 TOWNHOUSE UNITS

GROSS LOT AREA: 34792 SF=3232.28 SM

UNIT YIELD: 28 TOWNHOUSE UNITS (6-8 CLUSTERS)

GROSS FLOOR AREA:3683.27 SM

NUMBER OF DWELLING & RESIDENTIAL DENSITY PER HECTARE86.6 UNITS/HA (35.04 UNITS/ACRE)

SITE COVERAGE:	0.60 (1939.5 SM)
BUILDING HEIGHT:	4 STOREY (10.99M-13.08M)
SETBACKS:	
SOUTH SETBACK:	(55TH AVE.) 3.0M
WEST SETBACK:	(INTERIOR) 3.05M
NORTH SETBACK:	(LANE) 3.33M
EAST SETBACK:	(198TH STREET) 3.0M

	REQUIRED/ALLOWABLE	PROPOSED/PROVIDED
PARKING:		
RESIDENTIAL PARKING SPACE:	56 @ 2/UNIT	63 (INCLUDING 8 SMALL CAR)
VISITOR PARKING SPACE:	5.6 @ 0.2/UNIT	6 (INCLUDING 3 SMALL CAR & 1 H/C)
ACCESSIBLE PARKING SPACE:	(5%) 0.28	1
TOTAL PARKING SPACES:	61.88	69
INDOOR AMENITY SPACE:	64.4 SM	0
AVERAGE GRADE CALCULATION:		
EXISTING AVERAGE GRADE AT PROPERTY LINE:	(11.05+10.66+10.85+10.94)/4=10.88 M	
AVERAGE GRADING ADJACENT TO BUILDING TYPE-A,B	(11.0+11.0+11.0+11.0)/4=11.0 M	
AVERAGE GRADING ADJACENT TO BUILDING TYPE-C	(10.93+10.93+10.93+10.93)/4=10.93 M	
AVERAGE GRADING ADJACENT TO BUILDING TYPE-D	(11.0+11.0+11.15+11.15)/4=11.08 M	

UNIT DISTRIBUTION:			
UNIT TYPES	APPROX. UNIT AREA	# OF UNIT	TOTAL AREA
A	130.00 SM (1399.39 SF)	6	780.0 SM (8396.34 SF)
B	162.22 SM (1746.15 SF)	2	324.44 SM (3492.3 SF)
C	158.78 SM (1709.15 SF)	4	635.12 SM (6836.6 SF)
C1	159.75 SM (1719.52 SF)	1	159.75 SM (1719.52 SF)
C2	159.45 SM (1716.36 SF)	1	159.45 SM (1716.36 SF)
D	116.51 SM (1254.11 SF)	5	582.55 SM (6270.55 SF)
D1	116.33 SM (1252.18 SF)	1	116.33 SM (1252.18 SF)
D2	119.85 SM (1290.09 SF)	1	119.85 SM (1290.09 SF)
D3	114.52 SM (1232.66 SF)	1	114.52 SM (1232.66 SF)
D4	114.66 SM (1234.18 SF)	5	573.30 SM (6170.90 SF)
D5	117.88 SM (1268.85 SF)	1	117.88 SM (1268.85 SF)
TOTAL:		28	3683.27 SM (39646.35 SF)

UPTOWN VILLAGE

5501, 5503 and 5509 - 198th Street and 19771 – 55 Avenue, Langley, BC

ATELIER PACIFIC ARCHITECTURE INC.
NOVEMBER 14 2016

Proposed Townhouse Development



DP 0.2

PROJECT DATA

SCALE: N.T.S.

PROJECT DATA SHEET
(DWELLING UNIT BREAKDOWN BY UNIT TYPE):

TOWN HOUSE TYPE	TYPE "A" TENDANT (sf)	TYPE "B" TENDANT (sf)	TYPE "C" SIDE BY SIDE (sf)	TYPE "C1" SIDE BY SIDE (sf)	TYPE "C2" SIDE BY SIDE (sf)	TYPE "D" TENDANT (sf)	TYPE "D1" TENDANT (sf)	TYPE "D2" TENDANT (sf)	TYPE "D3" TENDANT (sf)	TYPE "D4" TENDANT (sf)	TYPE "D5" TENDANT (sf)	FLOOR AREA AMOUNT (sf)
GROUND FLOOR (EXCLUDED GARAGE):	97.32	97.32	75.83	77.73	75.83	121.19	119.8	134.47	100.28	101.26	113.23	
SECOND FLOOR:	620.99	625.99	580.46	583.07	583.07	566.46	566.17	577.81	566.17	566.46	577.81	
THIRD FLOOR:	621.05	626	580.46	583.07	583.07	566.46	566.21	577.81	566.21	566.46	577.81	
FOURTH FLOOR:	60.03	396.84	398.77	400.76	400.76	0	0	0	0	0	0	
ROOF:			73.63	74.89	73.63	0	0	0	0	0	0	
GARAGE EXCLUSION:	492.06	497	504.63	505.34	507.24	692.77	694.16	568.28	631.39	630.15	528.68	
UNIT SUBTOTAL (GARAGE EXCLUDED):	1399.39	1746.15	1709.15	1719.52	1716.36	1254.11	1252.18	1290.09	1232.66	1234.18	1268.85	
UNIT SUBTOTAL (GARAGE INCLUDED):	1891.45	2243.15	2213.78	2224.86	2223.6	1946.88	1946.34	1858.37	1864.05	1864.33	1797.53	
TOTAL: 28UNITS	6	2	4	1	1	5	1	1	1	5	1	
TOTAL GROSS FLOOR AREA (GARAGE EXCLUDED):	8396.34	3492.3	6836.6	1719.52	1716.36	6270.55	1252.18	1290.09	1232.66	6170.9	1268.85	39646.35
TOTAL GROSS FLOOR AREA: (GARAGE INCLUDED)	11348.7	4486.3	8855.12	2224.86	2223.6	9734.4	1946.34	1858.37	1864.05	9321.65	1797.53	55660.92

PROJECT DATA SHEET
(YARD AREA AND ROOF DECK AREA):

TOWN HOUSE TYPE	TYPE "A"	TYPE "B"	TYPE "C"	TYPE "C1"	TYPE "C2"	TYPE "D"	TYPE "D1"	TYPE "D2"	TYPE "D3"	TYPE "D4"	TYPE "D5"	AREA AMOUNT (sf)
FRONT YARD:	145.3	146.7	277.3	280.6	277.3							
REAR YARD:						299.5	227.8	230	227.8	299.5	230	
TOTAL: 28UNITS	6	2	4	1	1	5	1	1	1	5	1	28
TOTAL YARD AREA:	871.8	293.4	1109.2	280.6	277.3	1497.5	227.8	230	227.8	1497.5	230	6742.9
ROOF DECK:	560	97.8	512.9	515.1	516.5							
TOTAL: 28UNITS	6	2	4	1	1	5	1	1	1	5	1	28
TOTAL ROOF DECK AREA:	3360	195.6	2051.6	515.1	516.5							6638.8


UPTOWN VILLAGE

5501, 5503 and 5509 - 198th Street and 19771 – 55 Avenue, Langley, BC

ATELIER PACIFIC ARCHITECTURE INC.

NOVEMBER 14 2016

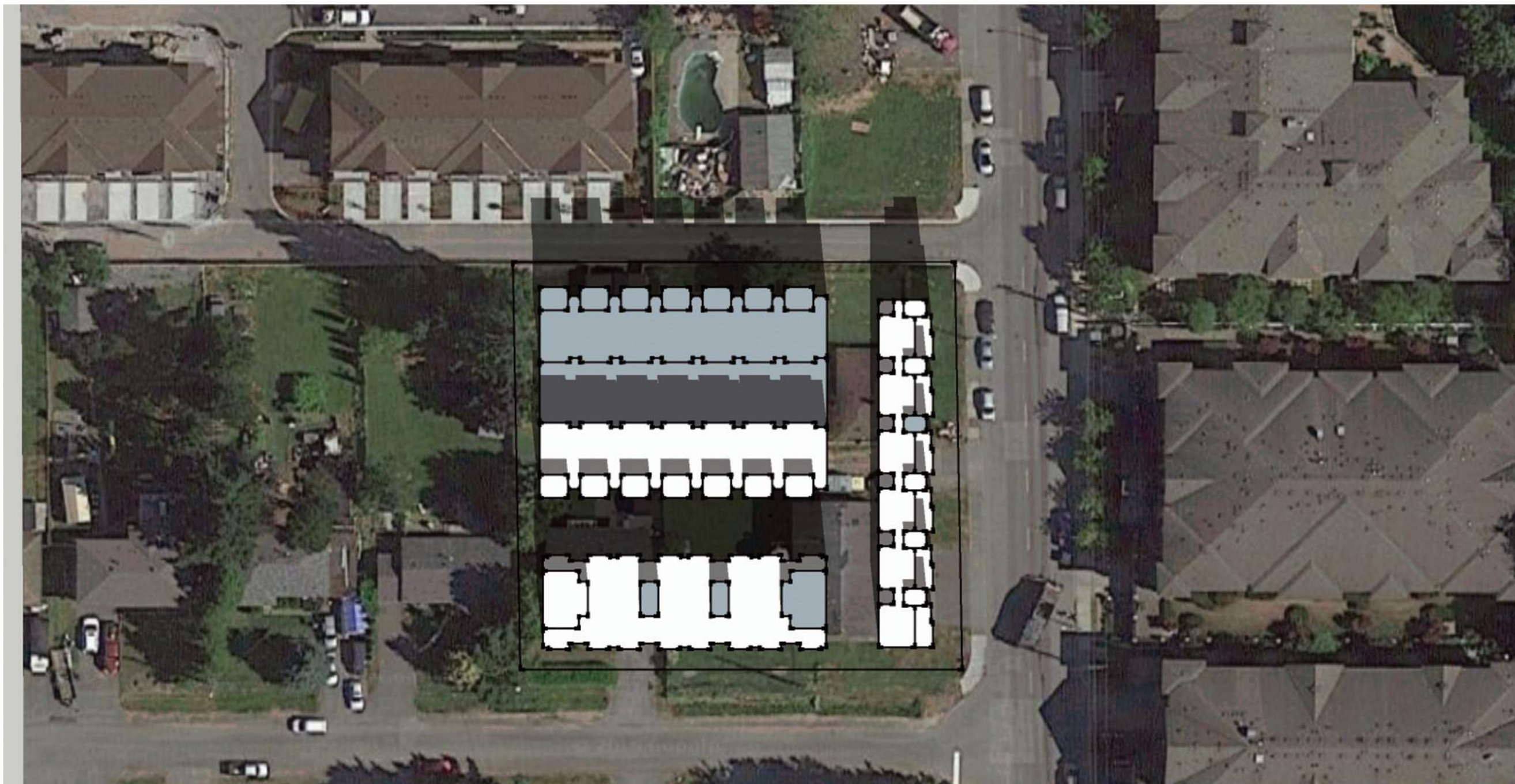
Proposed Townhouse Development



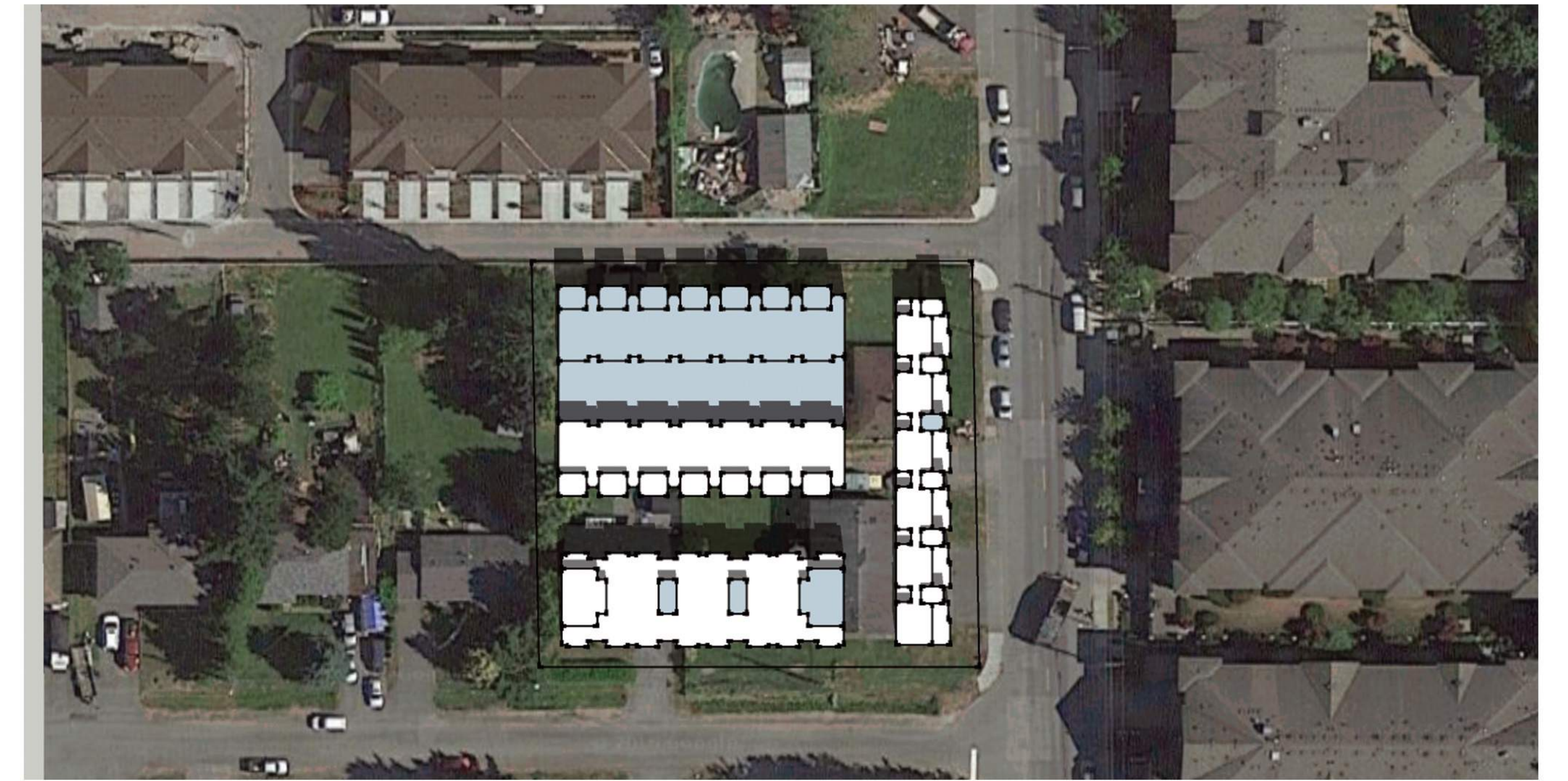
DP 0.2a

PROJECT DATA

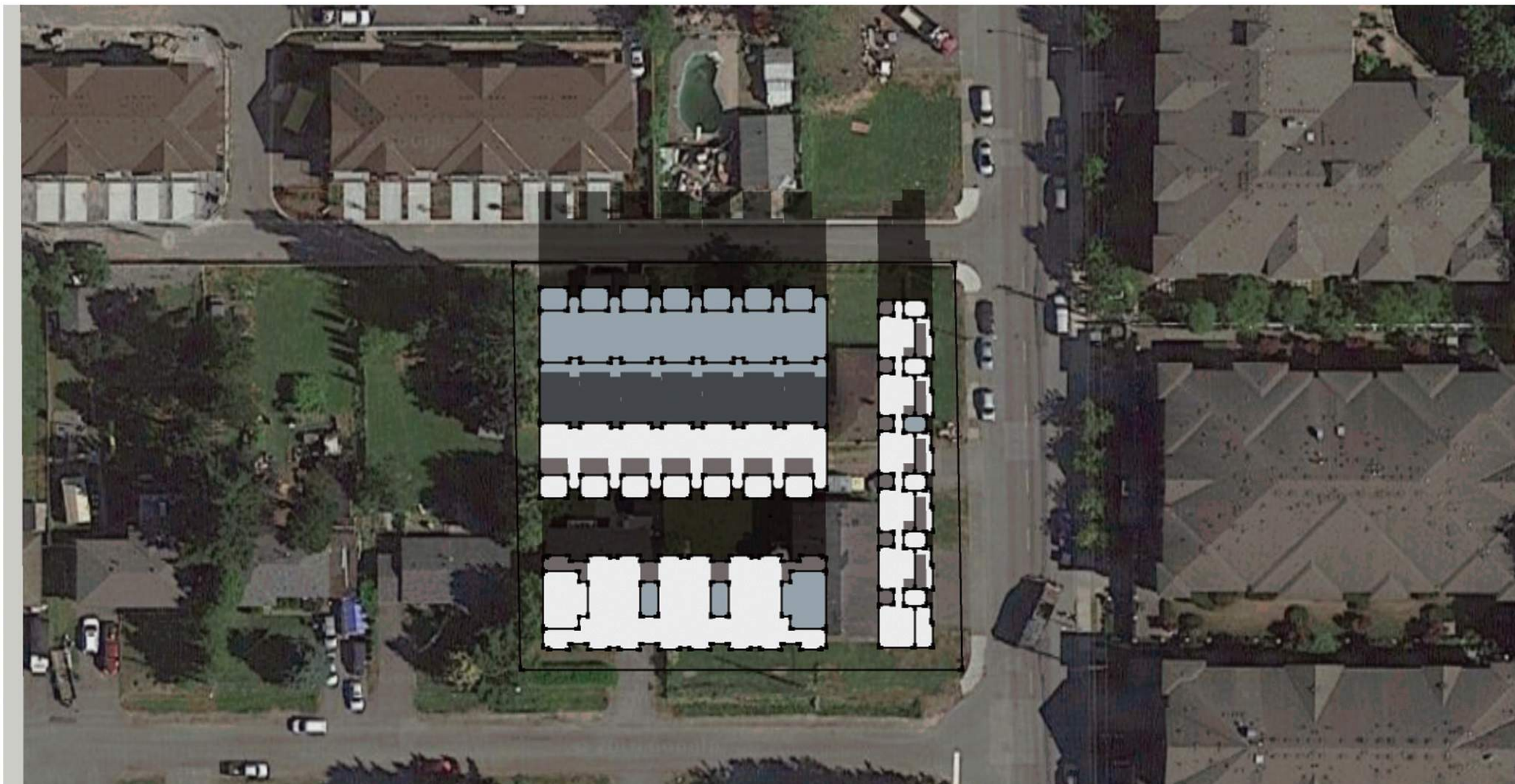
SCALE: N.T.S.



MARCH 21 (12:00PM)



JUNE 22 (12:00PM)



SEPTEMBER 23 (12:00PM)



DECEMBER 22 (12:00PM)

UPTOWN VILLAGE

5501, 5503 and 5509 - 198th Street and 19771 - 55 Avenue, Langley, BC

ATELIER PACIFIC ARCHITECTURE INC.
NOVEMBER 14 2016

Proposed Townhouse Development



DP 0.3

SHADOW ANALYSIS

SCALE: N.T.S.



SOUTH ELEVATION OF BLOCK-1 (FACING 55TH AVE)



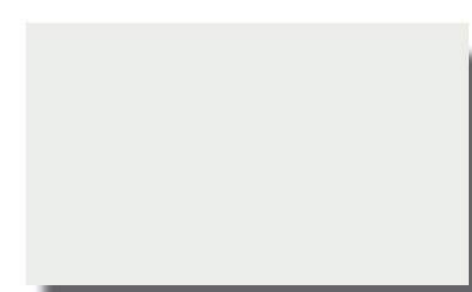
SOUTH ELEVATION OF BLOCK-2



FASCIA BOARD
METAL RAILING
CHARCOAL



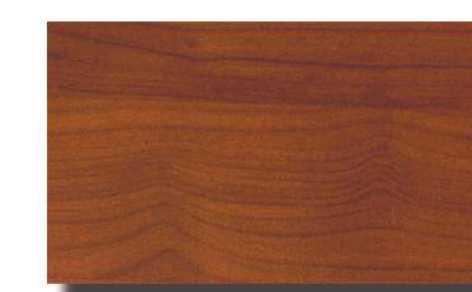
CULTURED BRICK
USED BRICK
HIGH DESERT



HARDIE PANEL-1
WHITE



HARDIE PANEL-1
GRAY



HARDIE SIDING
STAIN WOOD GRAIN
CEDAR COLOR



ENTRY DOOR,
GARAGE DOOR
STAIN WOOD GRAIN
DARK OAK

UPTOWN VILLAGE

5501, 5503 and 5509 - 198th Street and 19771 - 55 Avenue, Langley, BC

ATELIER PACIFIC ARCHITECTURE INC.

NOVEMBER 14 2016

Proposed Townhouse Development



DP 0.4

COLOR ELEVATIONS

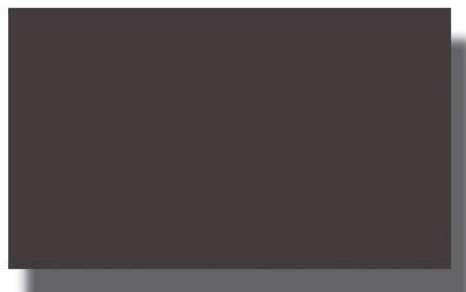
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EAST ELEVATION OF BLOCK-2 (FACING 198TH STREET)



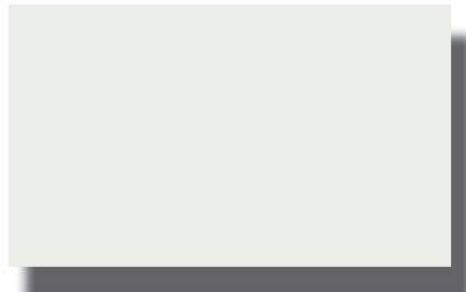
DRIVEWAY ELEVATION OF BLOCK-3



FASCIA BOARD
METAL RAILING
CHARCOAL



CULTURED BRICK
USED BRICK
HIGH DESERT



HARDIE PANEL-1
WHITE



HARDIE PANEL-1
GRAY



HARDIE SIDING
STAIN WOOD GRAIN
CEDAR COLOR



ENTRY DOOR,
GARAGE DOOR
STAIN WOOD GRAIN
DARK OAK

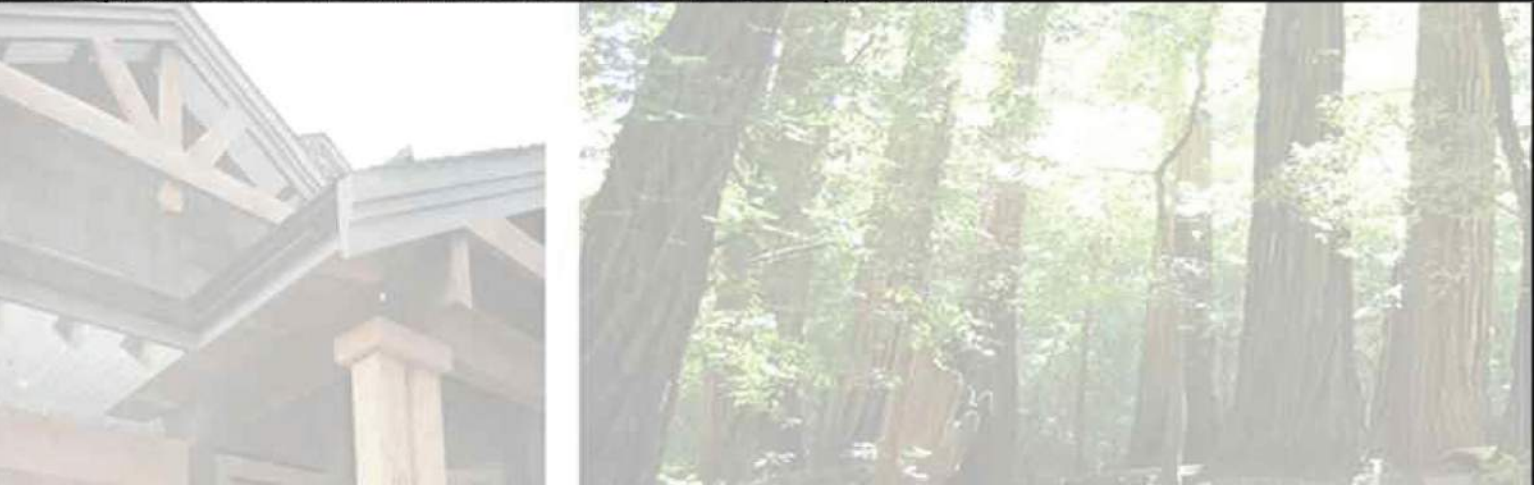
UPTOWN VILLAGE

5501, 5503 and 5509 - 198th Street and 19771 - 55 Avenue, Langley, BC

ATELIER PACIFIC ARCHITECTURE INC.

NOVEMBER 14 2016

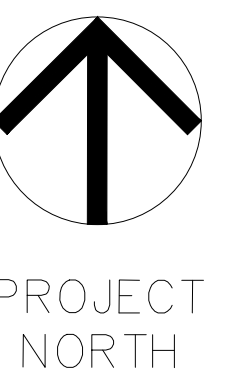
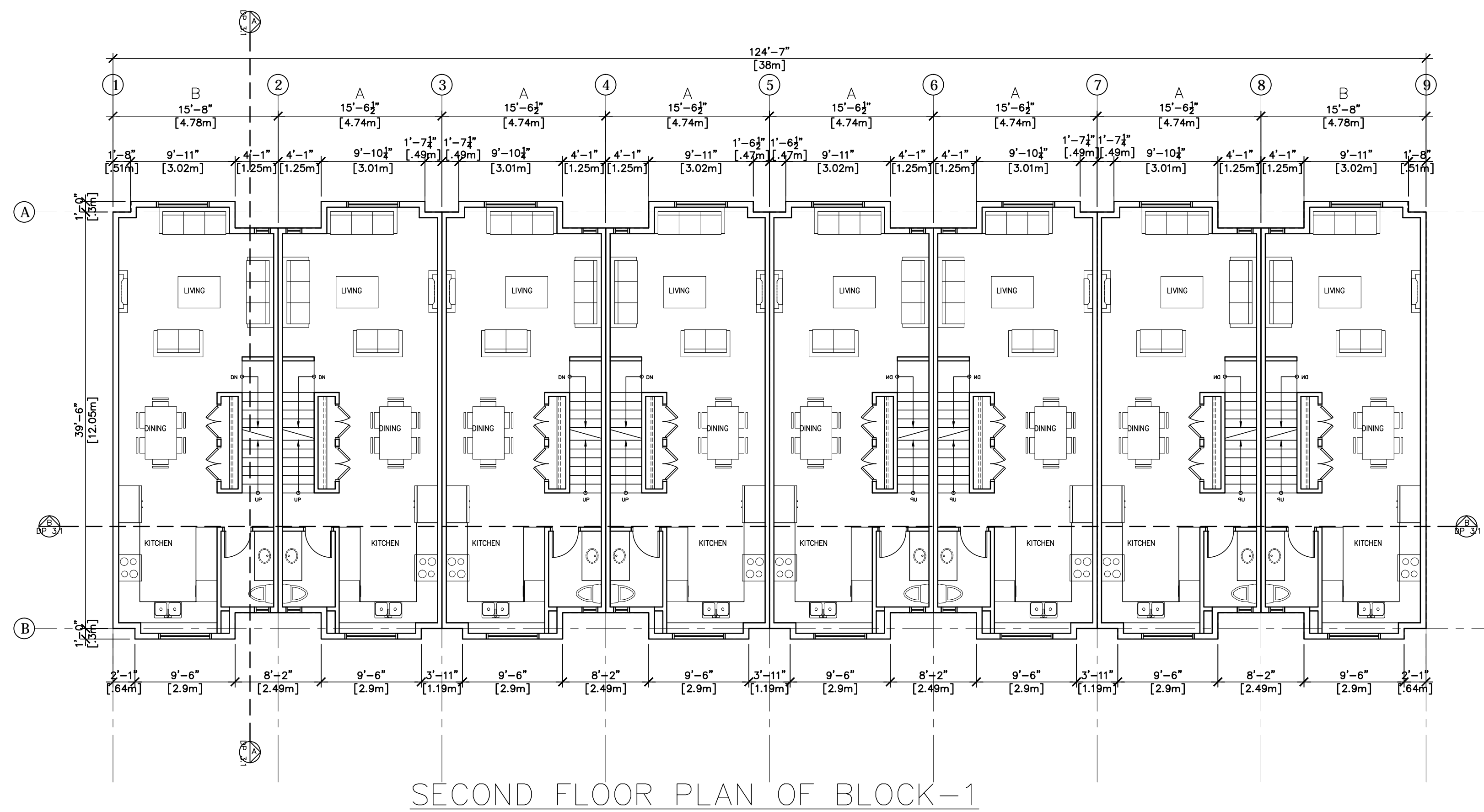
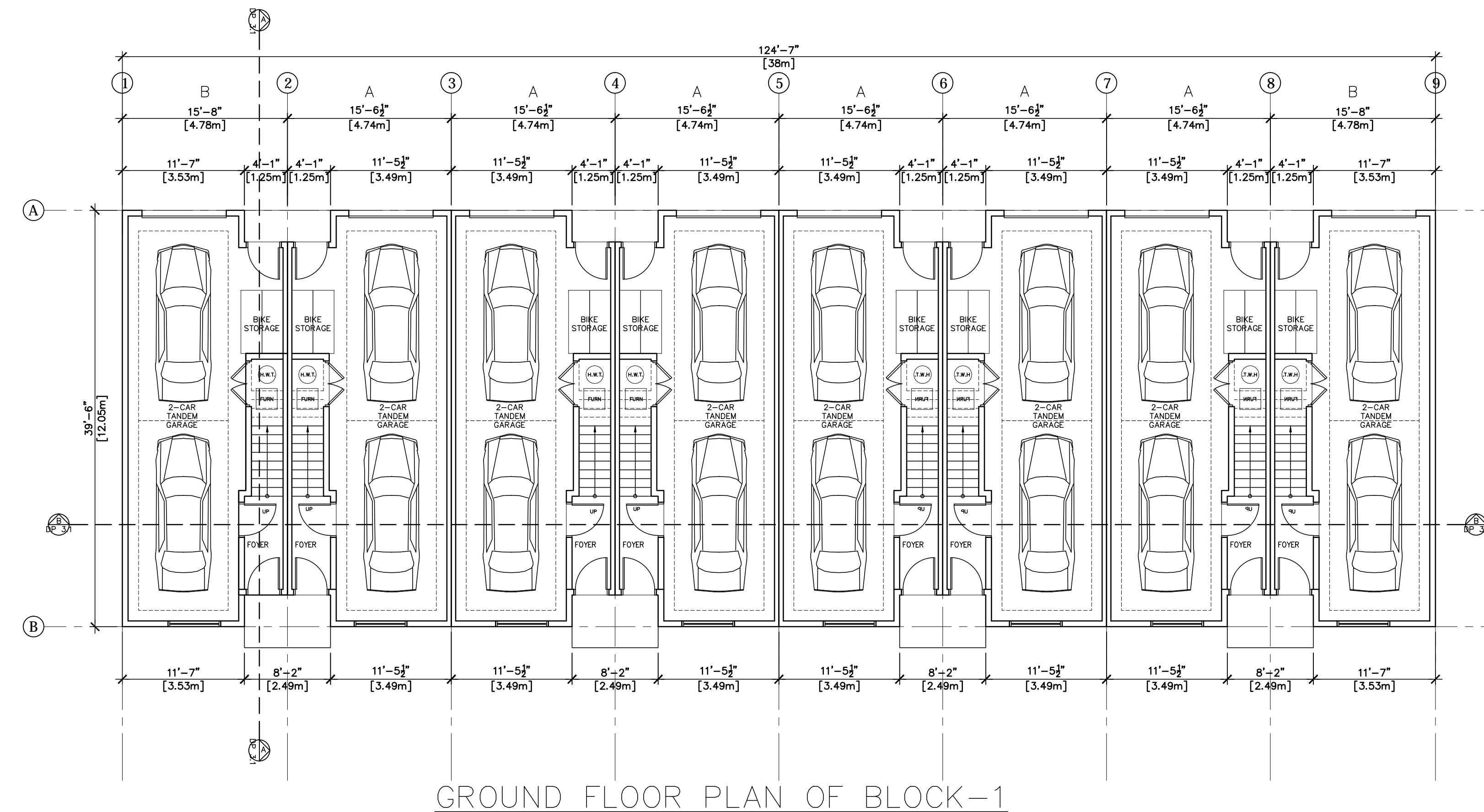
Proposed Townhouse Development



DP 0.5

COLOR ELEVATIONS

SCALE: 1:75



UPTOWN VILLAGE

Proposed Townhouse Development

5501, 5503 and 5509 - 198th Street and 19771 - 55 Avenue, Langley, BC

ATELIER PACIFIC ARCHITECTURE INC.

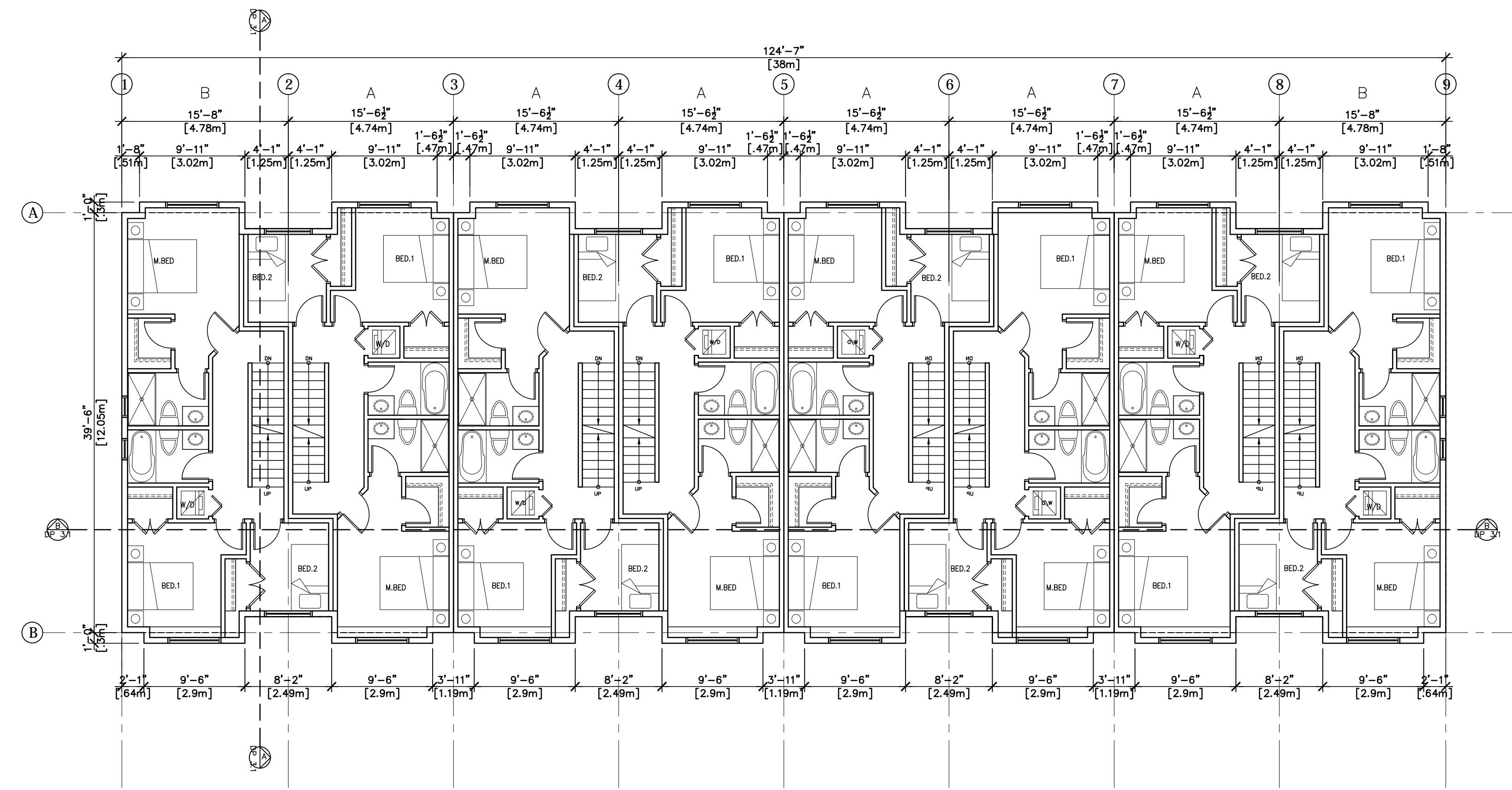
NOVEMBER 14 2016

DP 1.1

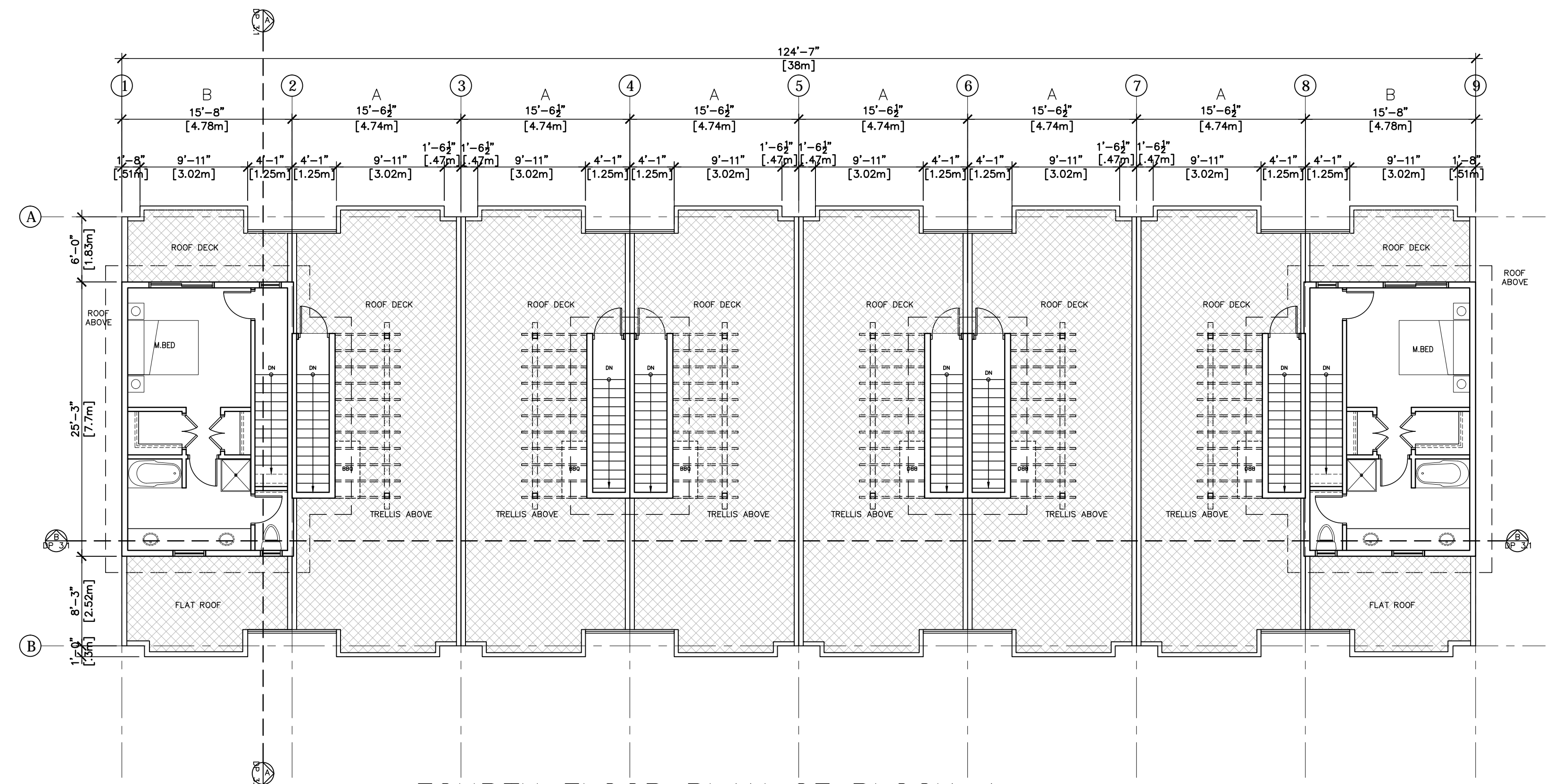
FLOOR PLANS

SCALE: 1:100

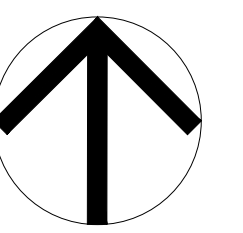




THRID FLOOR PLAN OF BLOCK-1



FOURTH FLOOR PLAN OF BLOCK-1



PROJECT
NORTH

UPTOWN VILLAGE

Proposed Townhouse Development

5501, 5503 and 5509 - 198th Street and 19771 - 55 Avenue, Langley, BC

ATELIER PACIFIC ARCHITECTURE INC.

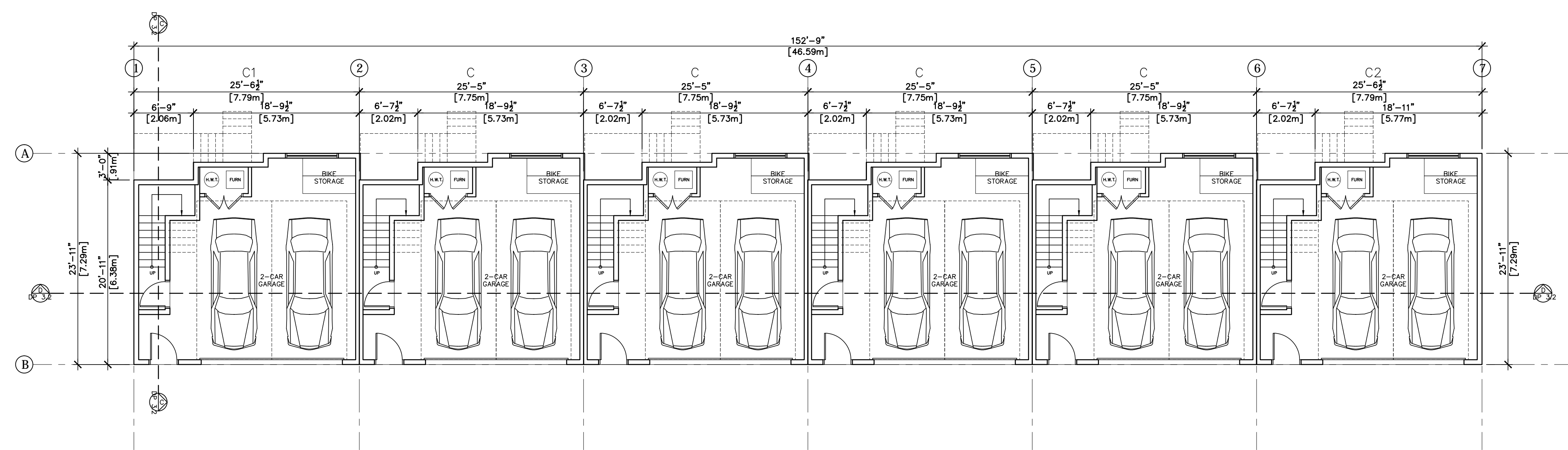
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DP 1.2

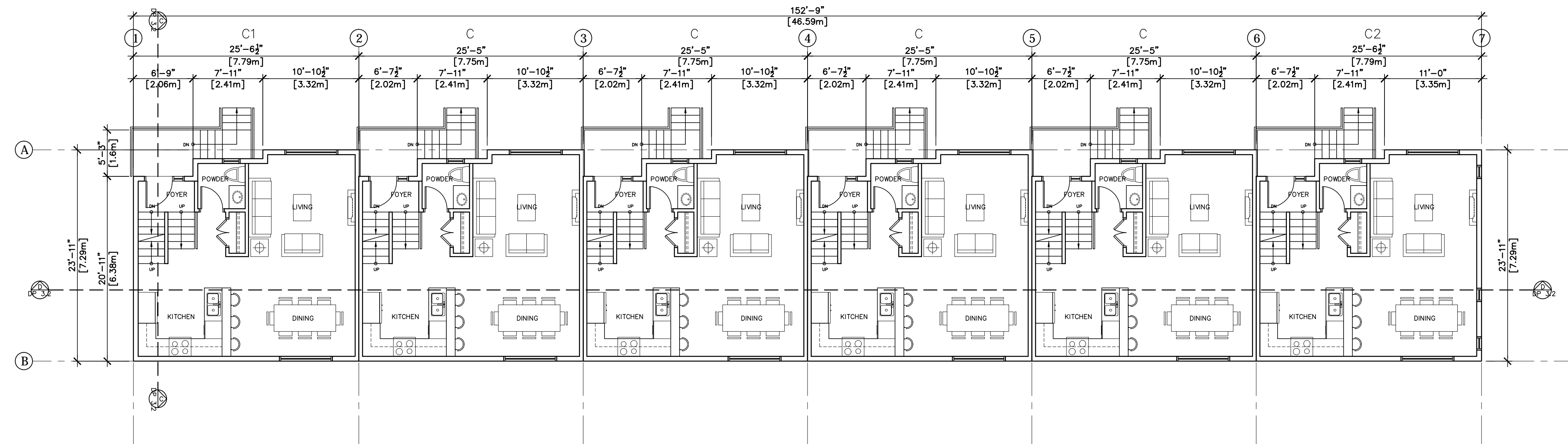
FLOOR PLANS

SCALE: 1:100

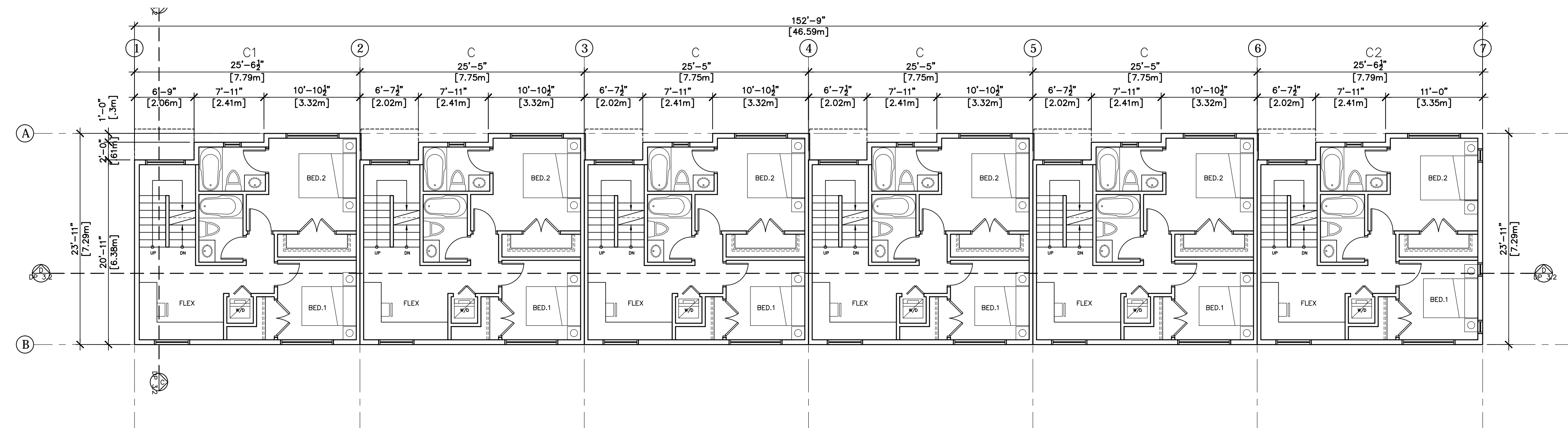




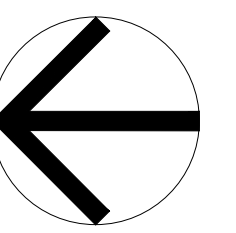
GROUND FLOOR PLAN OF BLOCK-2



SECOND FLOOR PLAN OF BLOCK-2



THIRD FLOOR PLAN OF BLOCK-2



PROJECT
NORTH

UPTOWN VILLAGE

Proposed Townhouse Development

5501, 5503 and 5509 - 198th Street and 19771 - 55 Avenue, Langley, BC

ATELIER PACIFIC ARCHITECTURE INC.

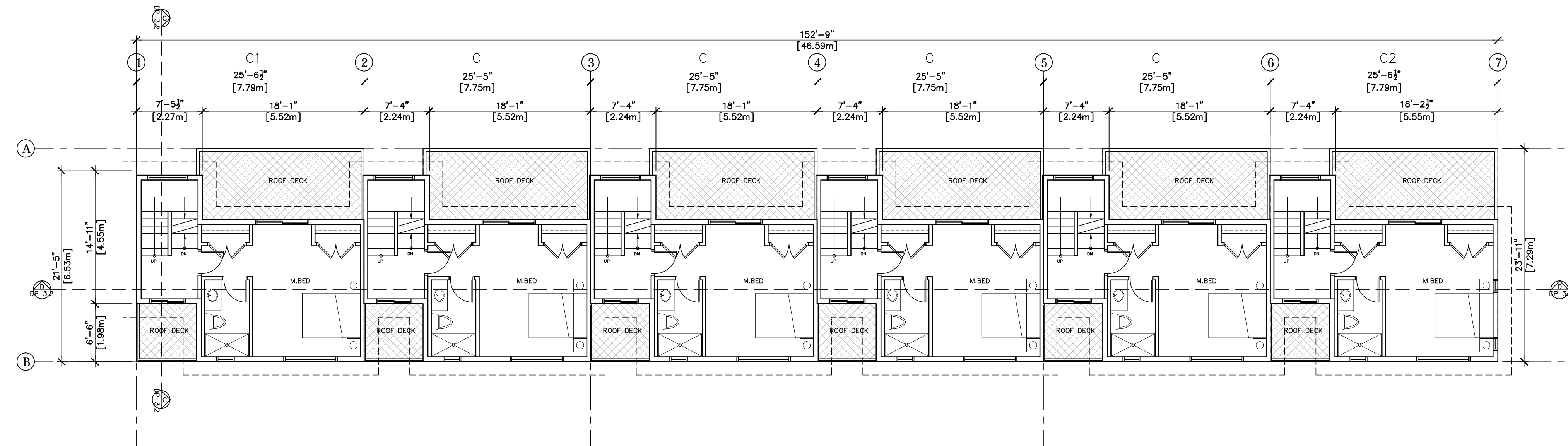
NOVEMBER 14 2016

DP 1.3

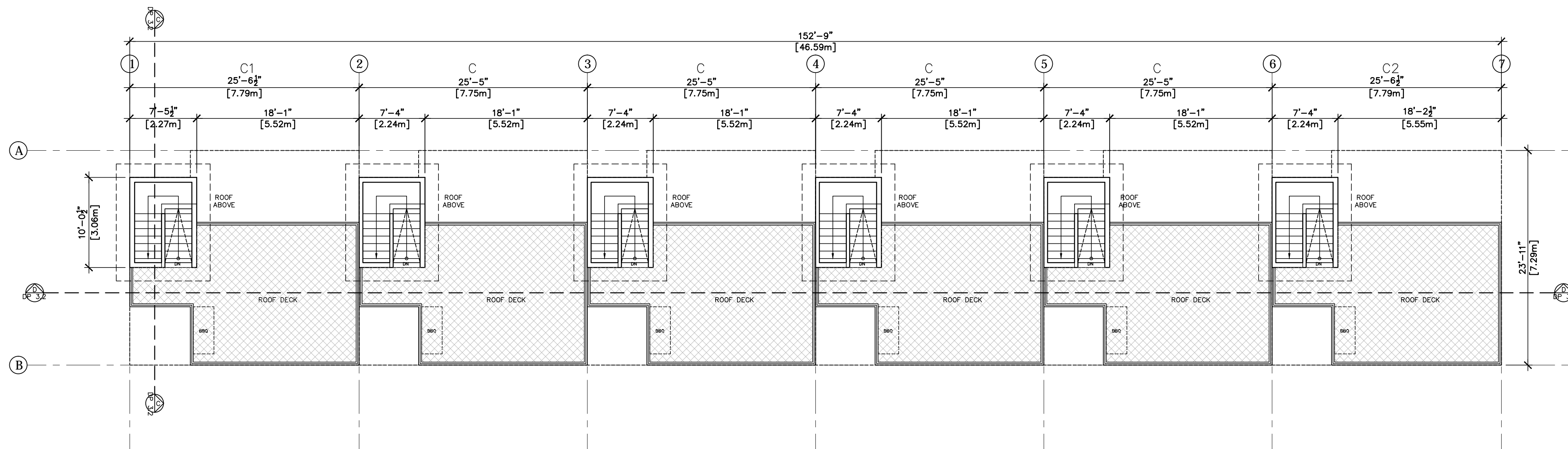
FLOOR PLANS

SCALE: 1:100

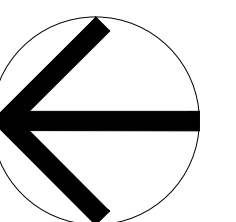




FOURTH FLOOR PLAN OF BLOCK-2



ROOF PLAN OF BLOCK-2



PROJECT
NORTH

UPTOWN VILLAGE

Proposed Townhouse Development

5501, 5503 and 5509 - 198th Street and 19771 - 55 Avenue, Langley, BC

ATELIER PACIFIC ARCHITECTURE INC.

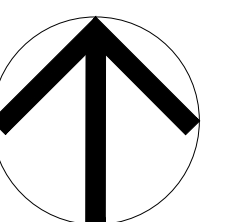
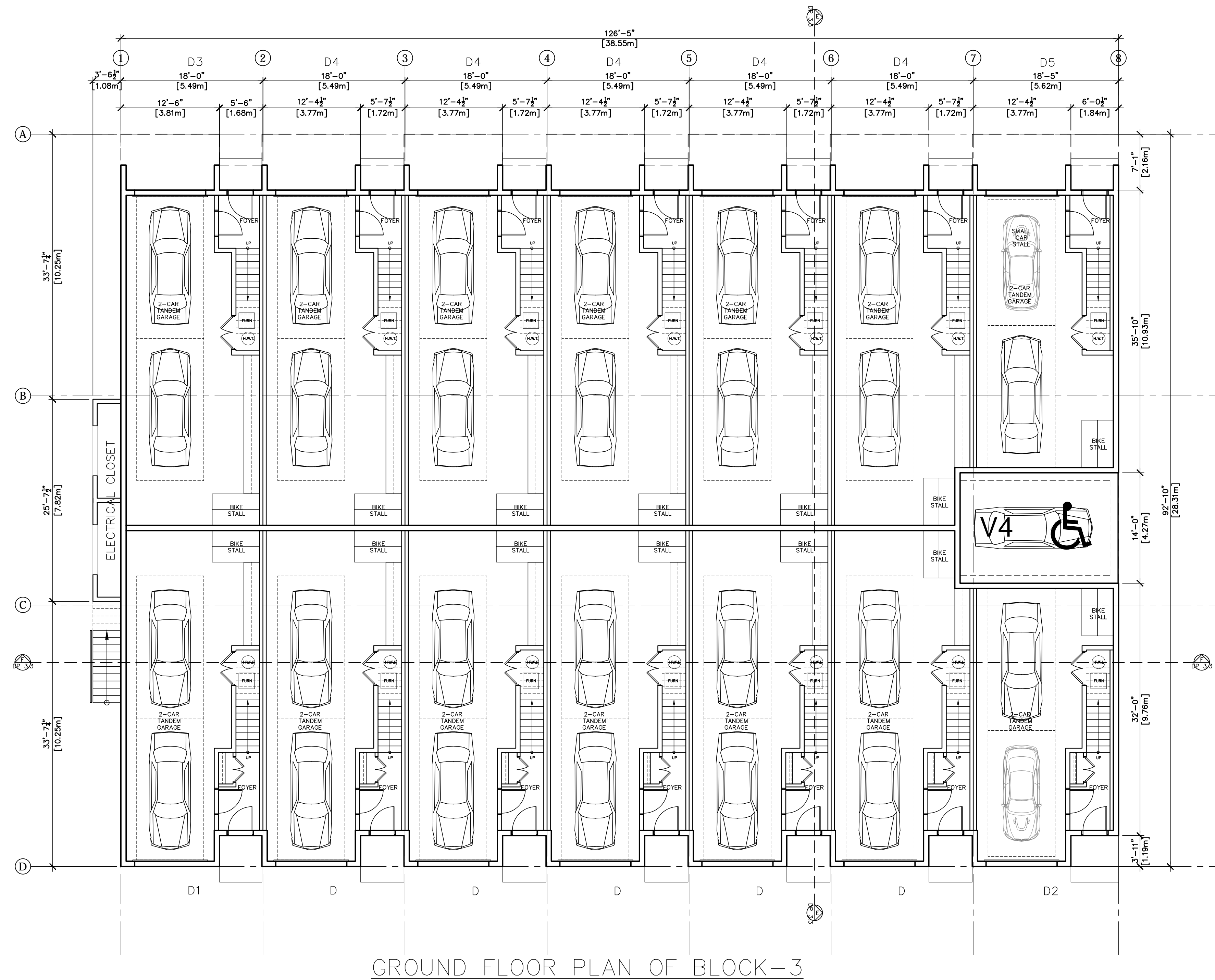
NOVEMBER 14 2016

DP 1.4

FLOOR PLANS

SCALE: 1:100





PROJECT
NORTH

UPTOWN VILLAGE

Proposed Townhouse Development

5501, 5503 and 5509 - 198th Street and 19771 - 55 Avenue, Langley, BC

ATELIER PACIFIC ARCHITECTURE INC.

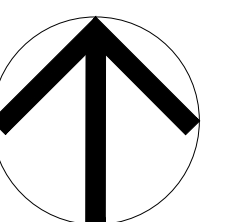
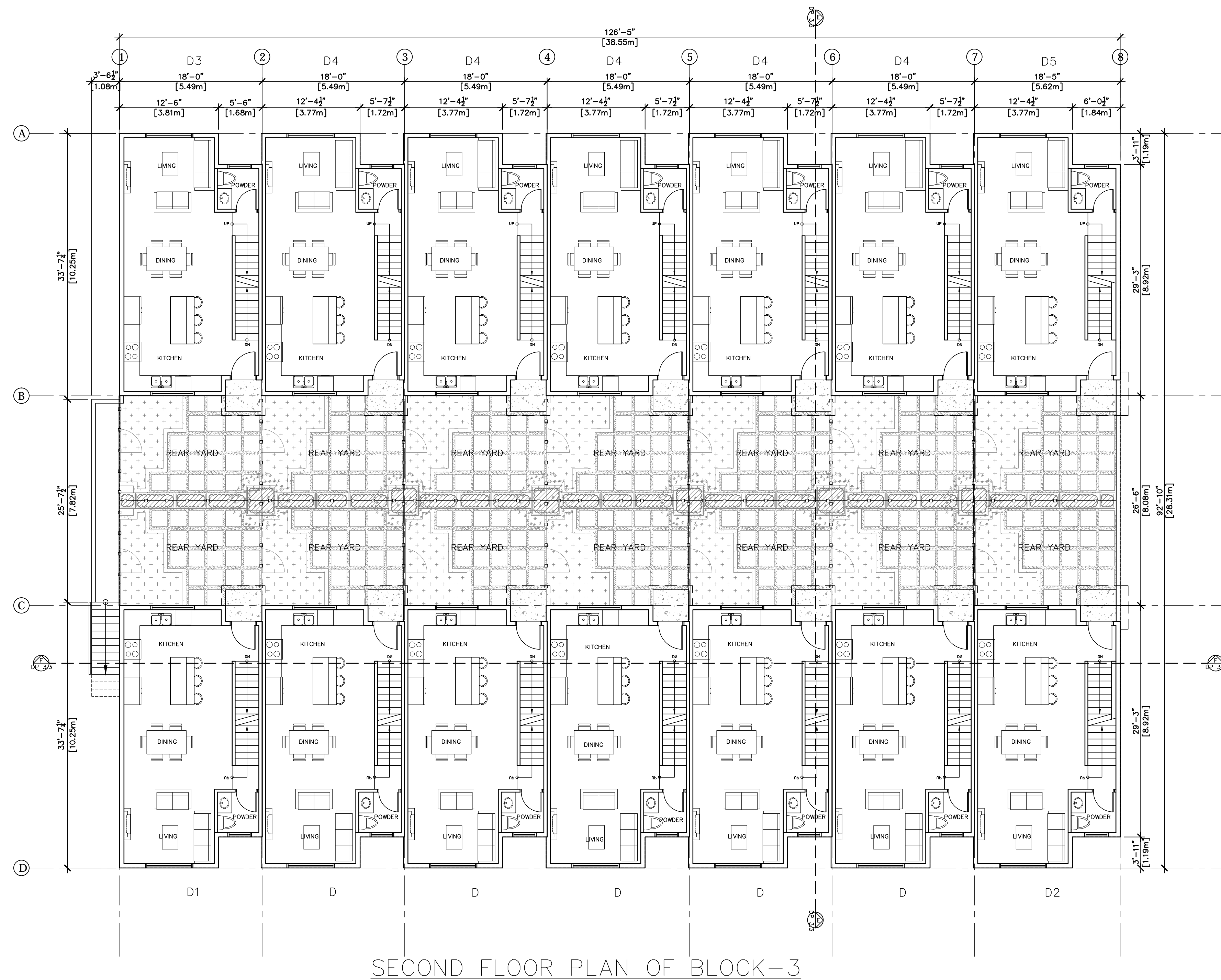
NOVEMBER 14 2016

DP 1.5

FLOOR PLANS

SCALE: 1:100





PROJECT
NORTH

UPTOWN VILLAGE

Proposed Townhouse Development

5501, 5503 and 5509 - 198th Street and 19771 - 55 Avenue, Langley, BC

ATELIER PACIFIC ARCHITECTURE INC.

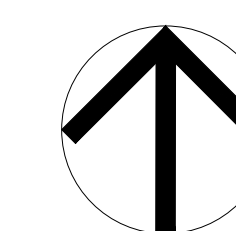
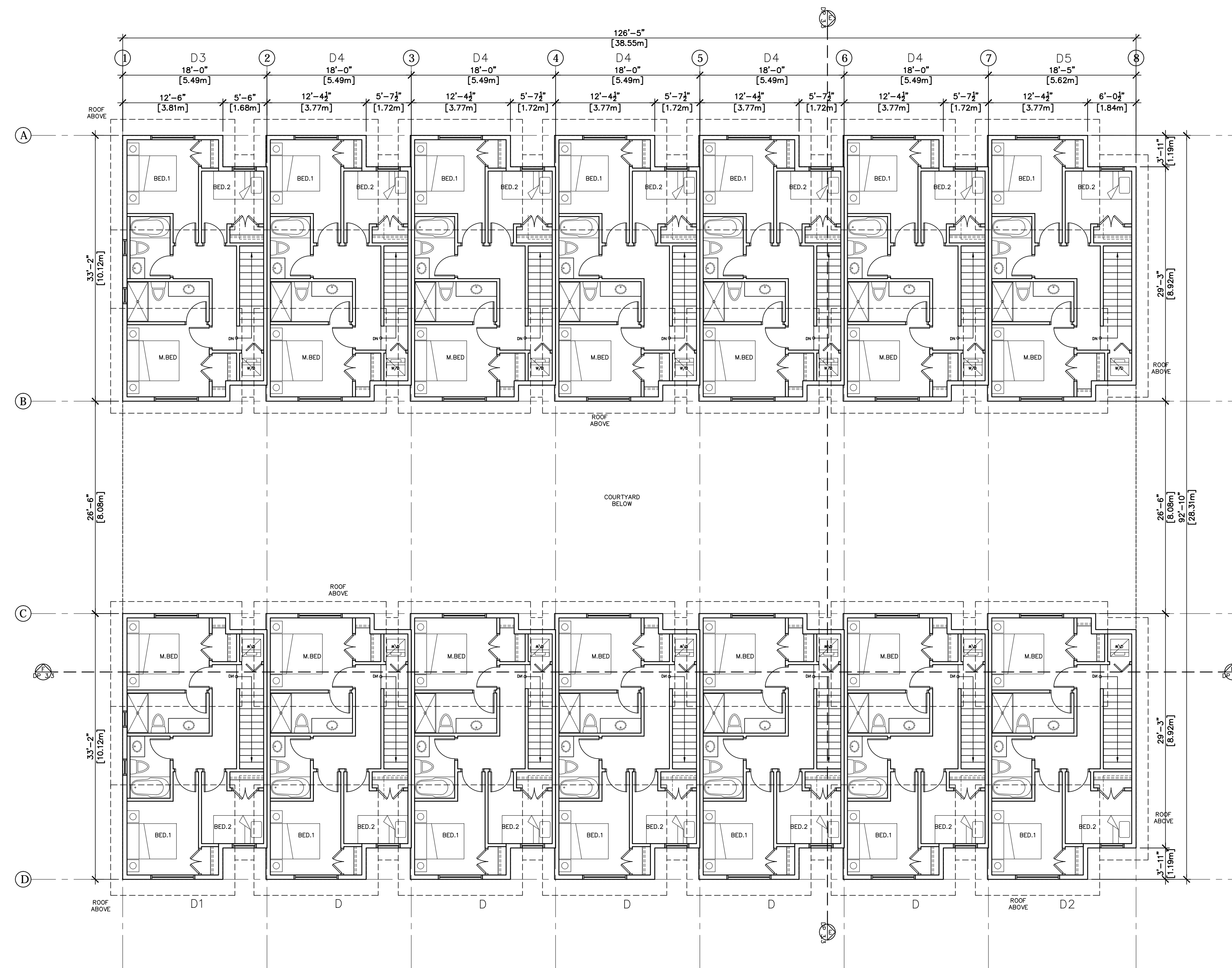
NOVEMBER 14 2016

DP 1.6

FLOOR PLANS

SCALE: 1:100





PROJECT
NORTH

UPTOWN VILLAGE

Proposed Townhouse Development

5501, 5503 and 5509 - 198th Street and 19771 - 55 Avenue, Langley, BC

ATELIER PACIFIC ARCHITECTURE INC.

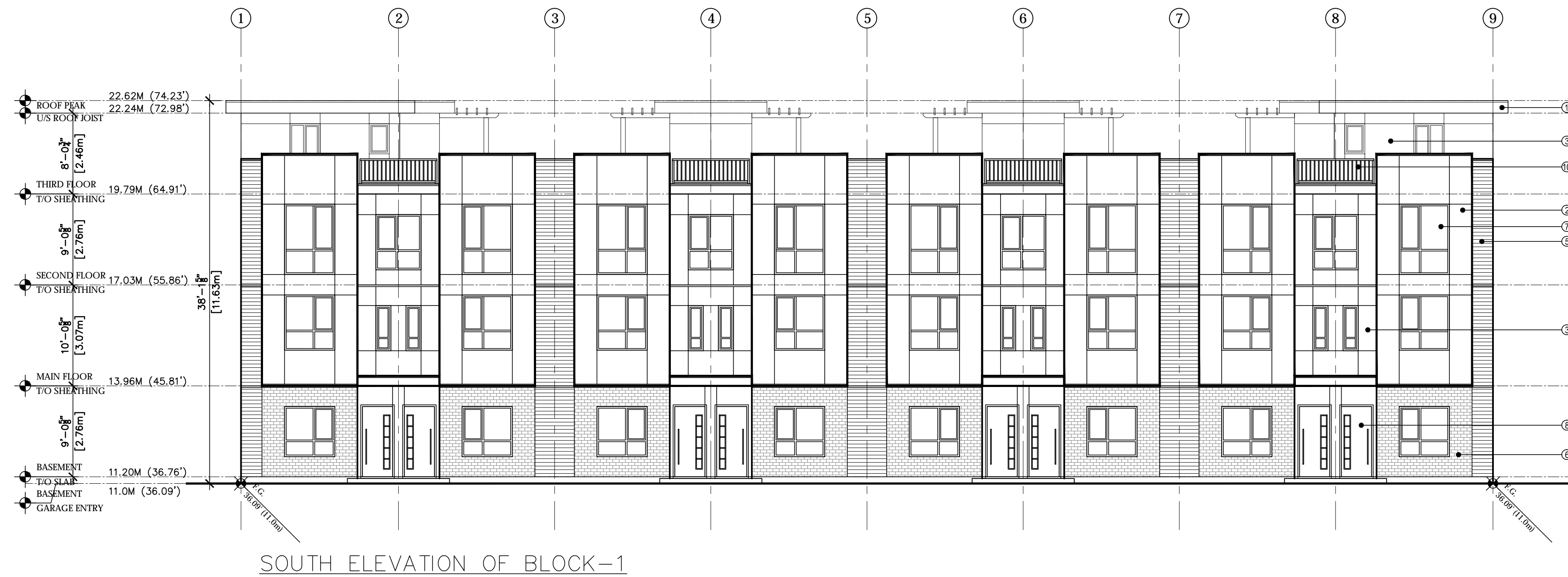
NOVEMBER 14 2016

DP 1.7

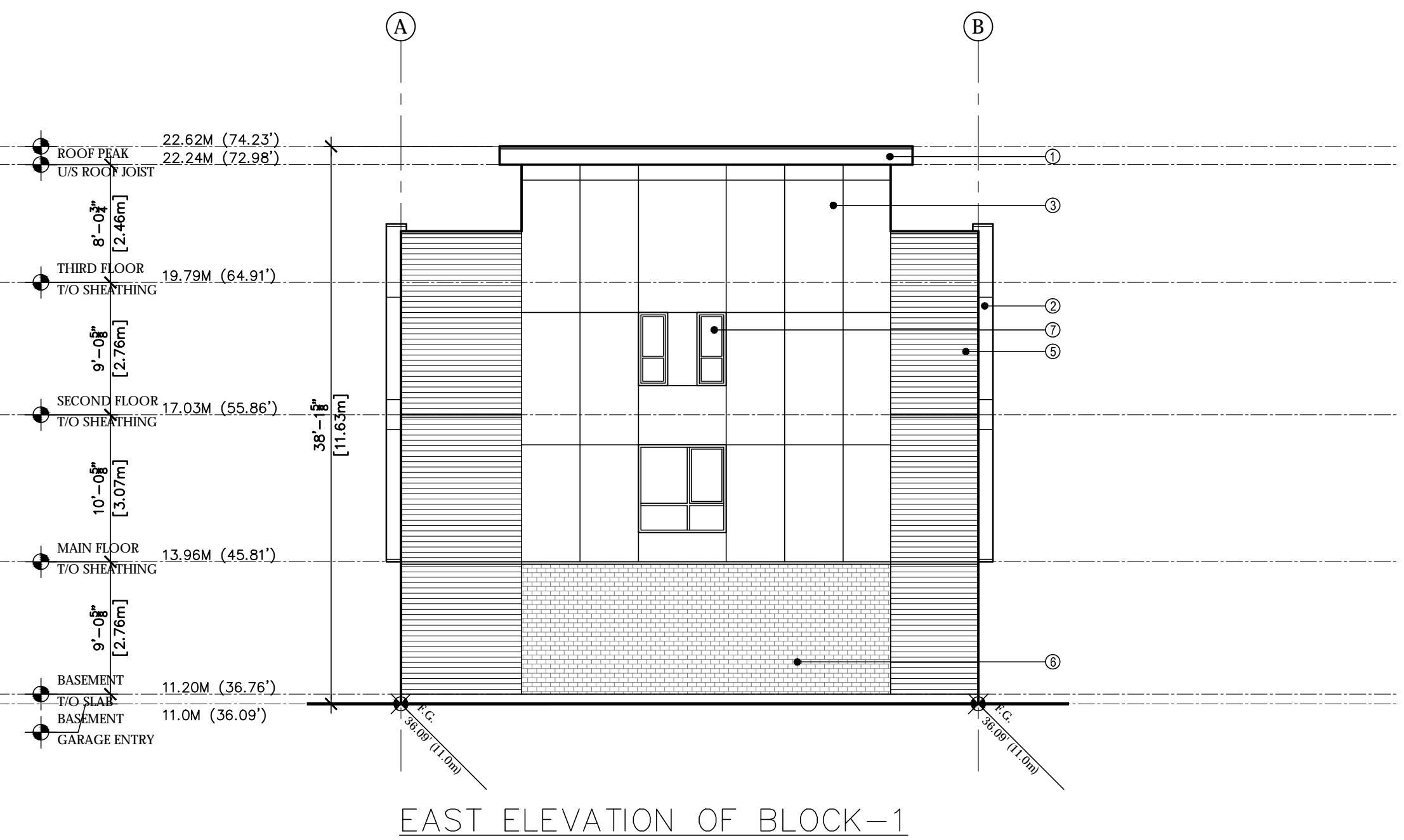
FLOOR PLANS

SCALE: 1:100





SOUTH ELEVATION OF BLOCK-1

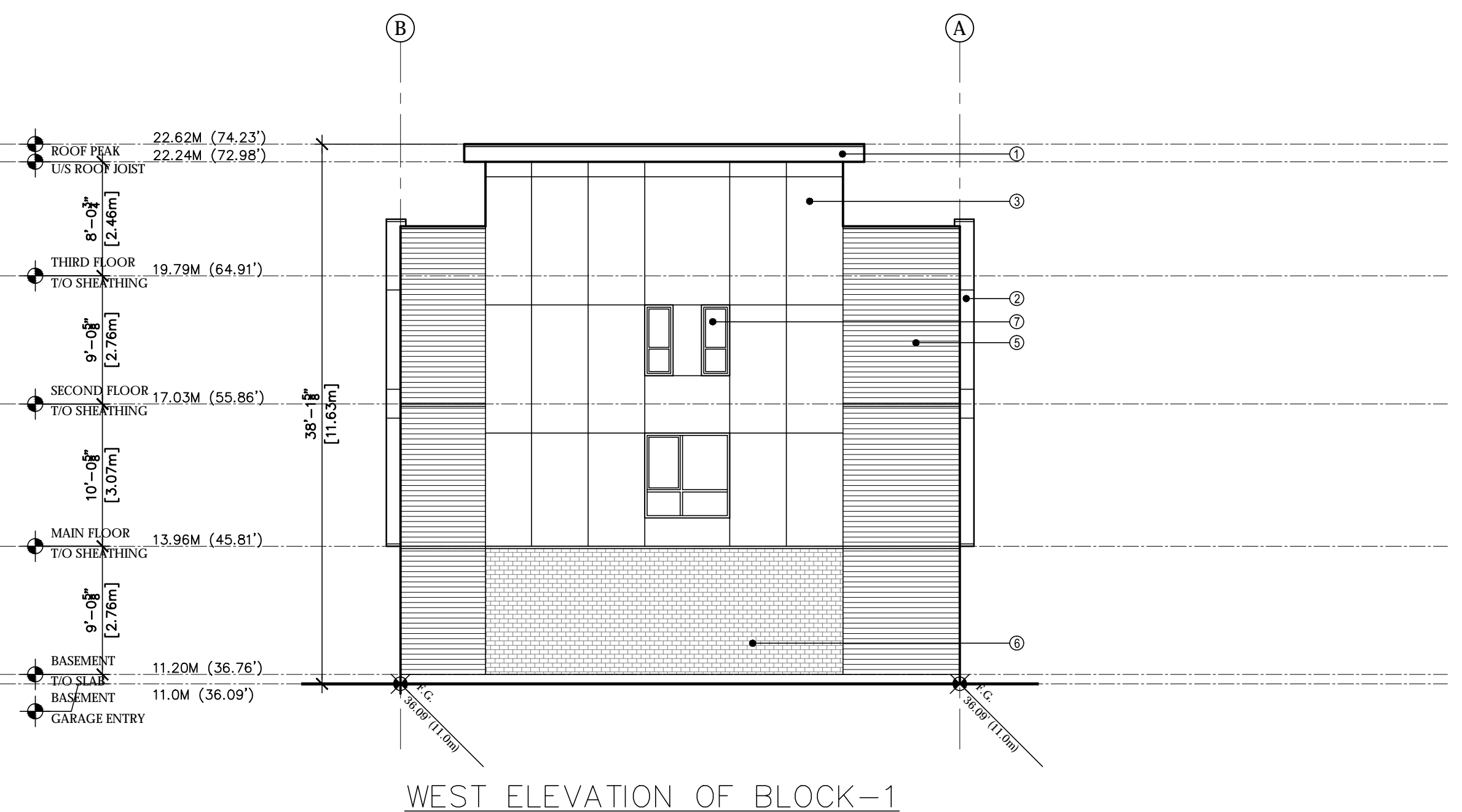


EAST ELEVATION OF BLOCK-1

MATERIALS LEGEND			
①	PAINTED WOOD FASCIA BOARD	⑥	RED BRICK VENEER
②	FIBER CEMENT PANELING (GRAY)	⑦	VINYL WINDOW
③	FIBER CEMENT PANELING (WHITE)	⑧	PAINTED / STAINED FIBER GLASS ENTRY DOOR
④	FIBER CEMENT PANELING (RED)	⑨	INSULATED GARAGE DOOR
⑤	FIBER CEMENT HORIZONTAL SIDING (WOOD STAINED)	⑩	ALUMINUM RAILING



NORTH ELEVATION OF BLOCK-1



WEST ELEVATION OF BLOCK-1

UPTOWN VILLAGE

5501, 5503 and 5509 - 198th Street and 19771 - 55 Avenue, Langley, BC

ATELIER PACIFIC ARCHITECTURE INC.
NOVEMBER 14 2016

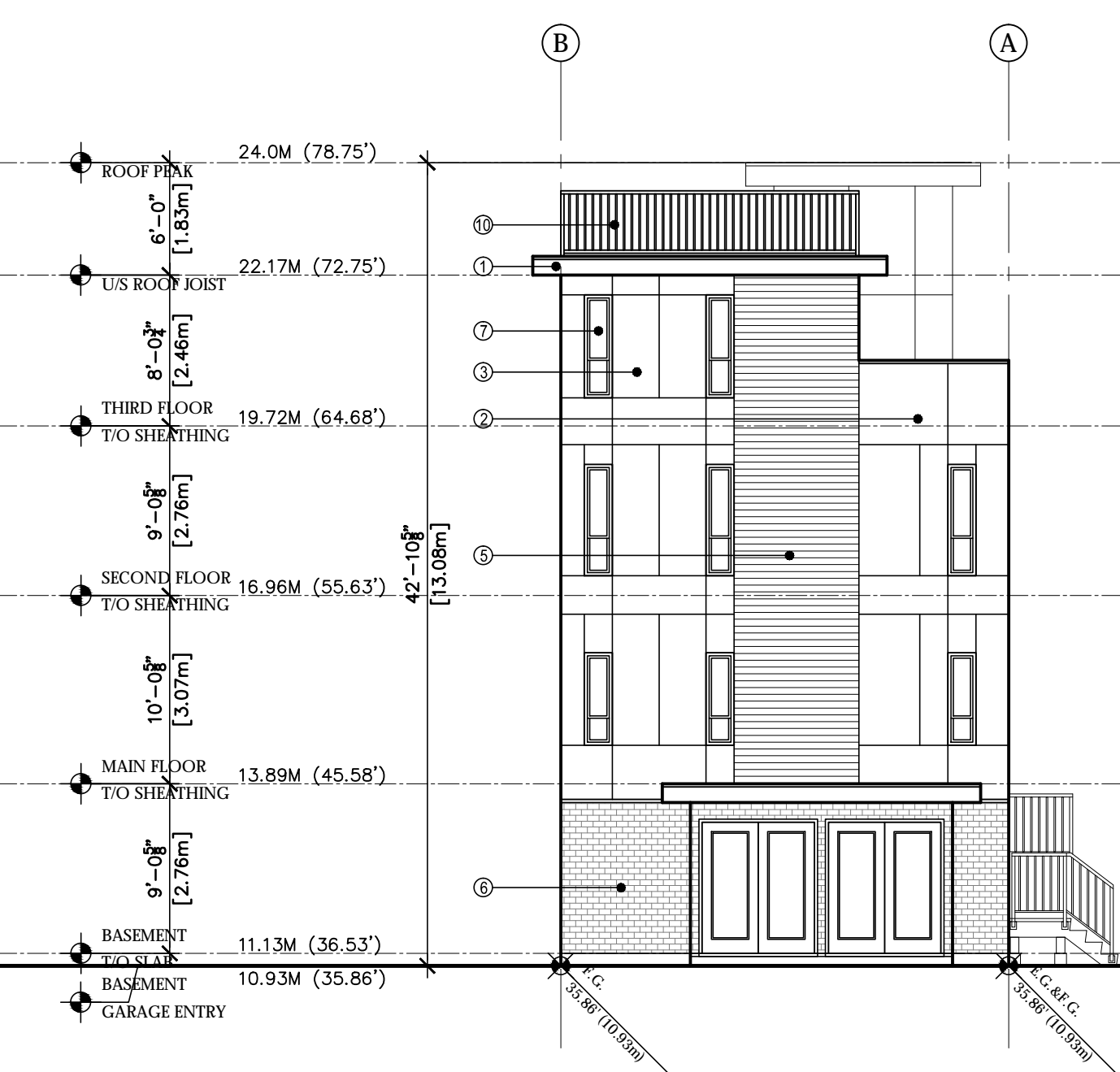
Proposed Townhouse Development



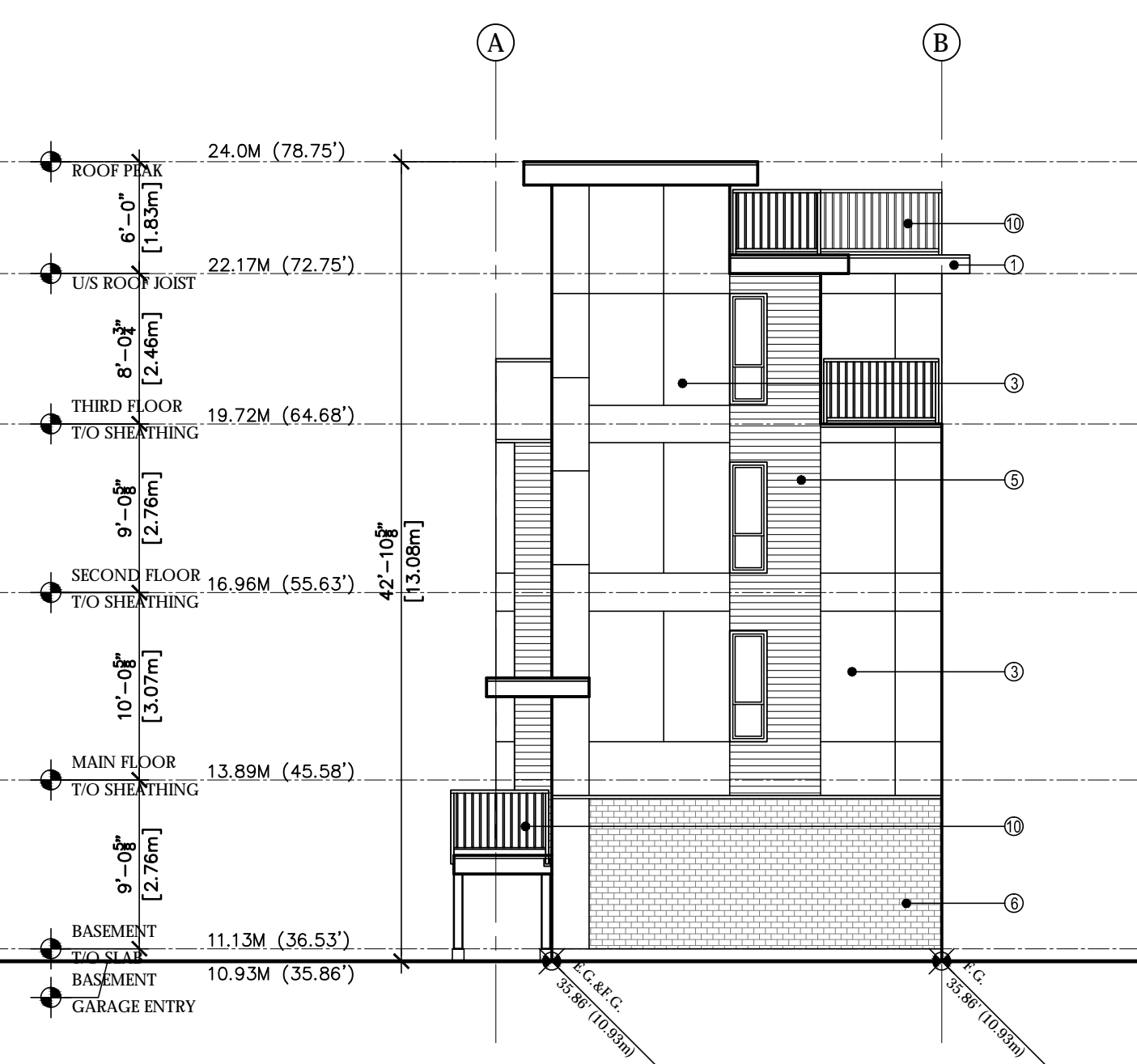
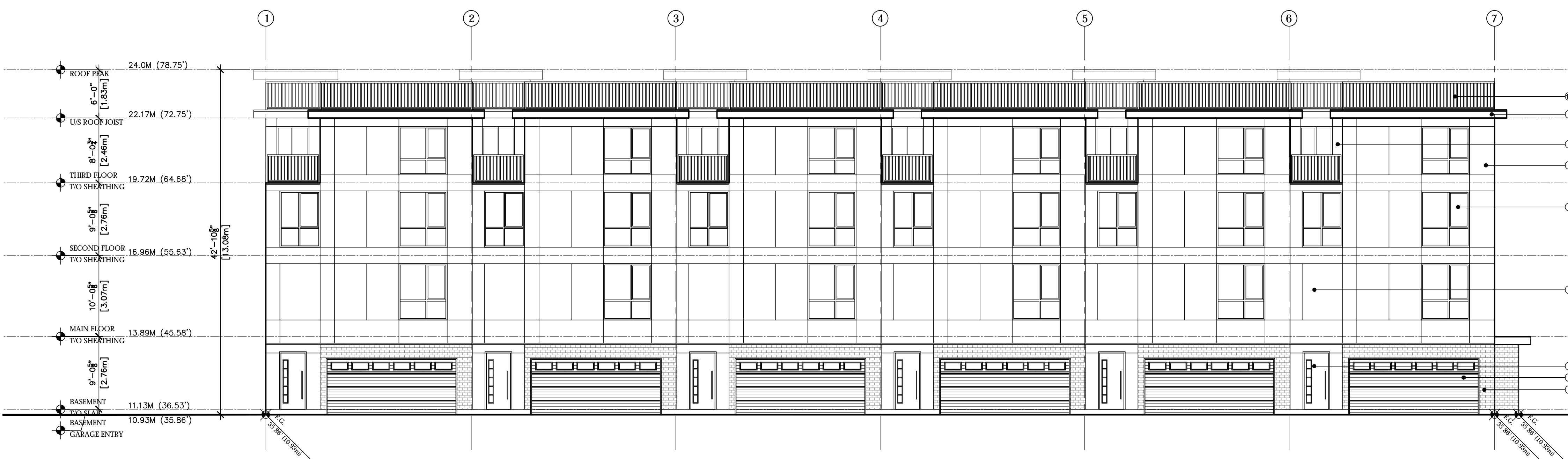
DP 2.1

ELEVATIONS

SCALE: 1:100



MATERIALS LEGEND	
① PAINTED WOOD FASCIA BOARD	⑥ RED BRICK VENEER
② FIBER CEMENT PANELING (GRAY)	⑦ VINYL WINDOW
③ FIBER CEMENT PANELING (WHITE)	⑧ PAINTED / STAINED FIBER GLASS ENTRY DOOR
④ FIBER CEMENT PANELING (RED)	⑨ INSULATED GARAGE DOOR
⑤ FIBER CEMENT HORIZONTAL SIDING (WOOD STAINED)	⑩ ALUMINUM RAILING



UPTOWN VILLAGE

Proposed Townhouse Development

5501, 5503 and 5509 - 198th Street and 19771 - 55 Avenue, Langley, BC

ATELIER PACIFIC ARCHITECTURE INC.

NOVEMBER 14 2016

DP 2.2

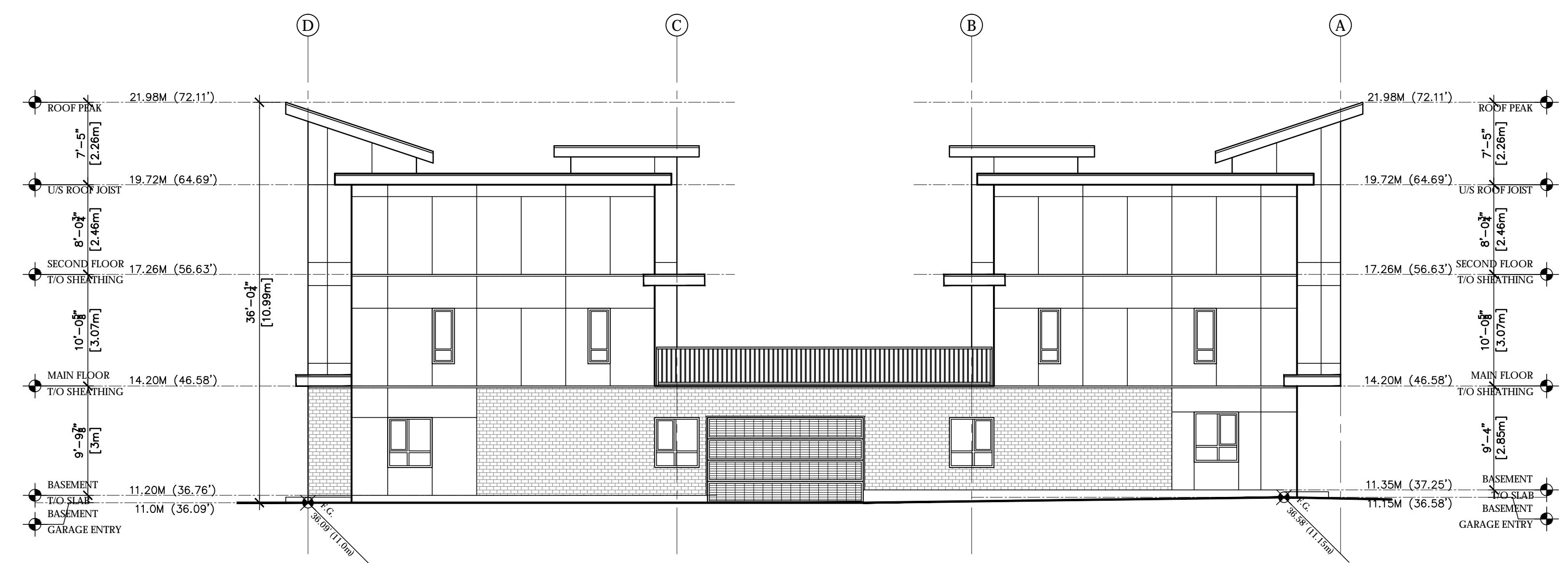
ELEVATIONS

SCALE: 1:100





DRIVEWAY ELEVATION OF BLOCK-3

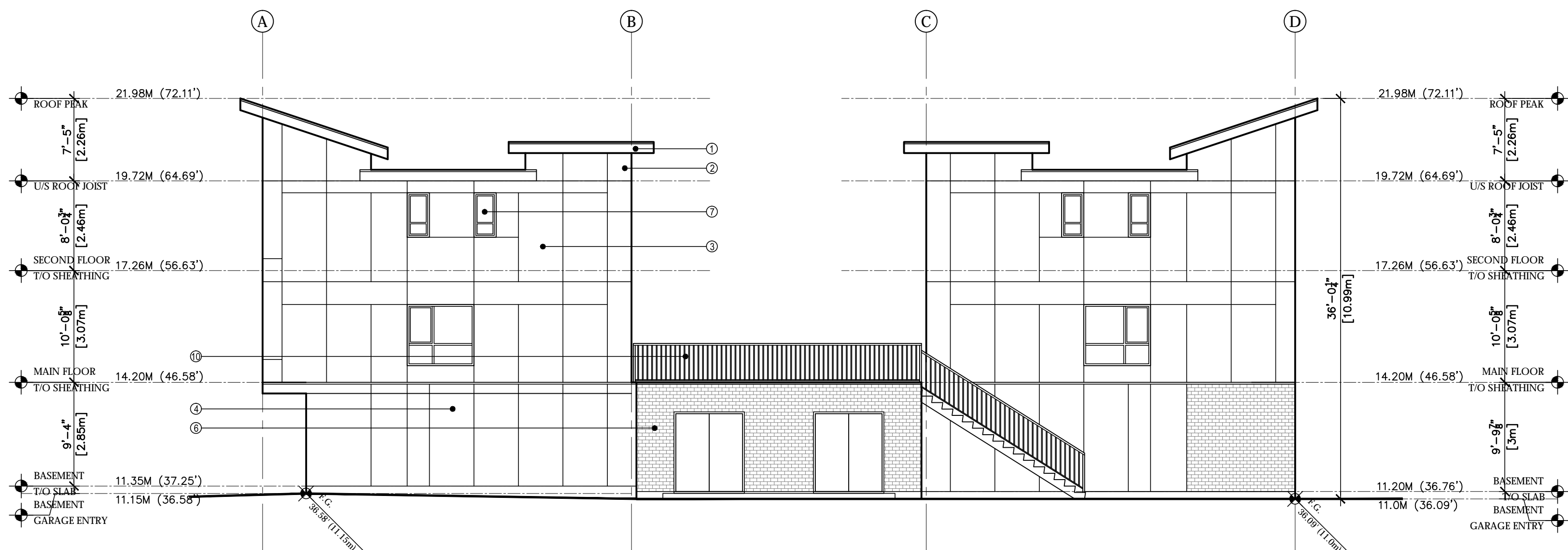


WEST ELEVATION OF BLOCK-3

MATERIALS LEGEND			
①	PAINTED WOOD FASCIA BOARD	⑥	RED BRICK VENEER
②	FIBER CEMENT PANELING (GRAY)	⑦	VINYL WINDOW
③	FIBER CEMENT PANELING (WHITE)	⑧	PAINTED / STAINED FIBER GLASS ENTRY DOOR
④	FIBER CEMENT PANELING (RED)	⑨	INSULATED GARAGE DOOR
⑤	FIBER CEMENT HORIZONTAL SIDING (WOOD STAINED)	⑩	ALUMINUM RAILING



COURTYARD ELEVATION OF BLOCK-3



EAST ELEVATION OF BLOCK-3

UPTOWN VILLAGE

5501, 5503 and 5509 - 198th Street and 19771 - 55 Avenue, Langley, BC

ATELIER PACIFIC ARCHITECTURE INC.

NOVEMBER 14 2016

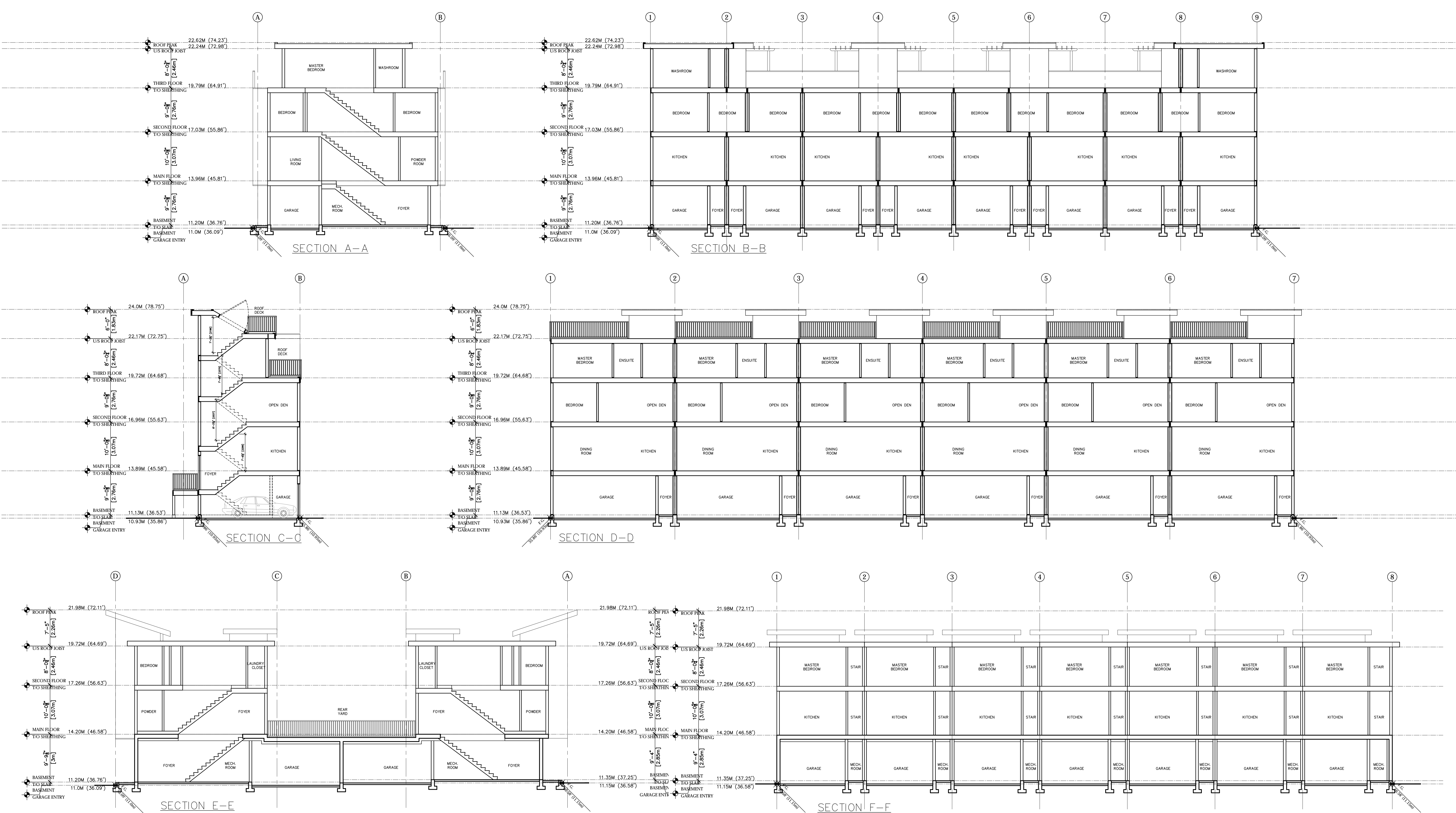
Proposed Townhouse Development



DP 2.3

ELEVATIONS

SCALE: 1:100



UPTOWN VILLAGE

Proposed Townhouse Development

5501, 5503 and 5509 - 198th Street and 19771 - 55 Avenue, Langley, BC

ATELIER PACIFIC ARCHITECTURE INC.

NOVEMBER 14 2016

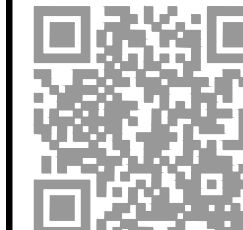
DP 3.1

SECTIONS

SCALE: 1:100

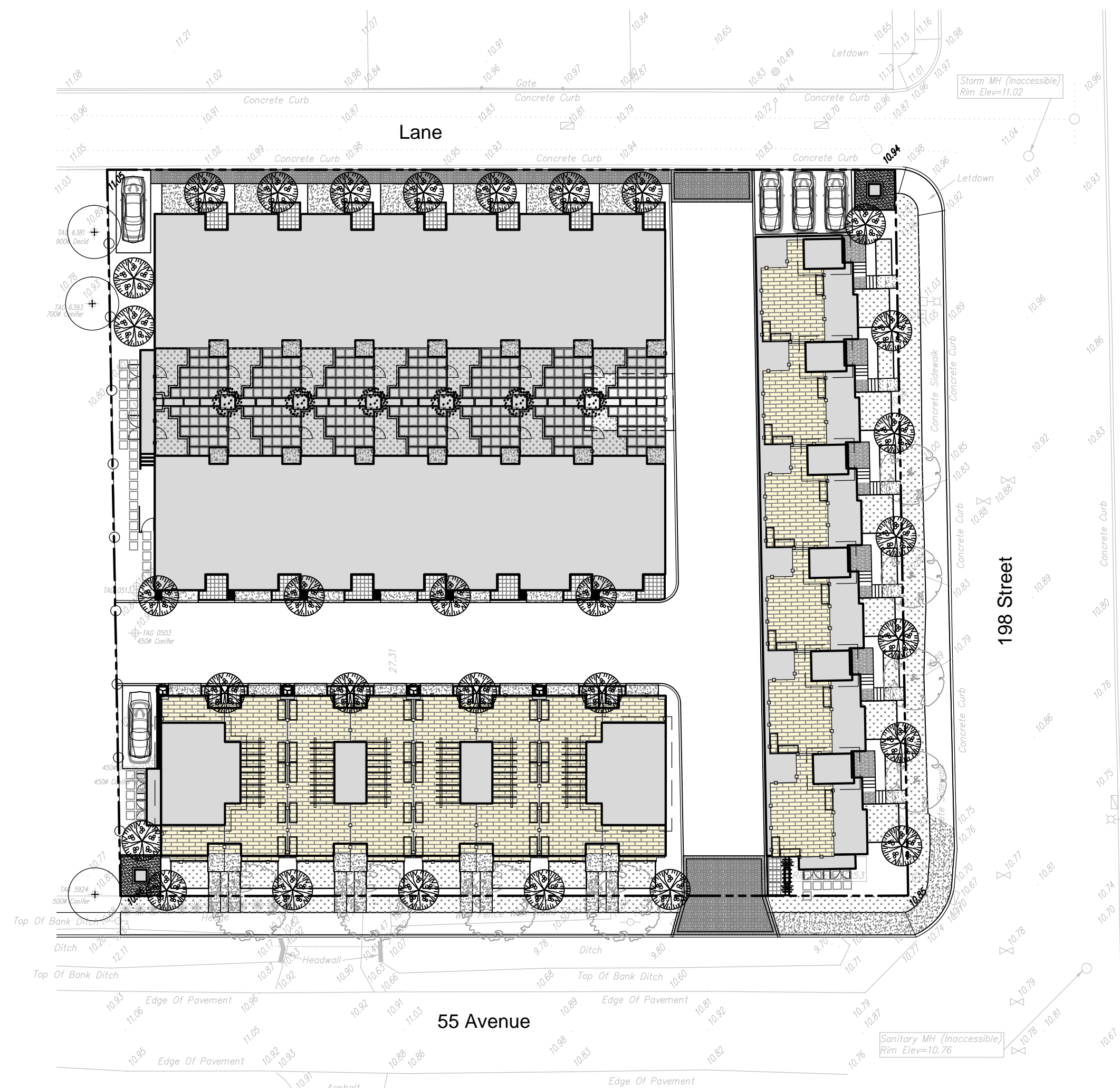


Re-issued for Development Permit

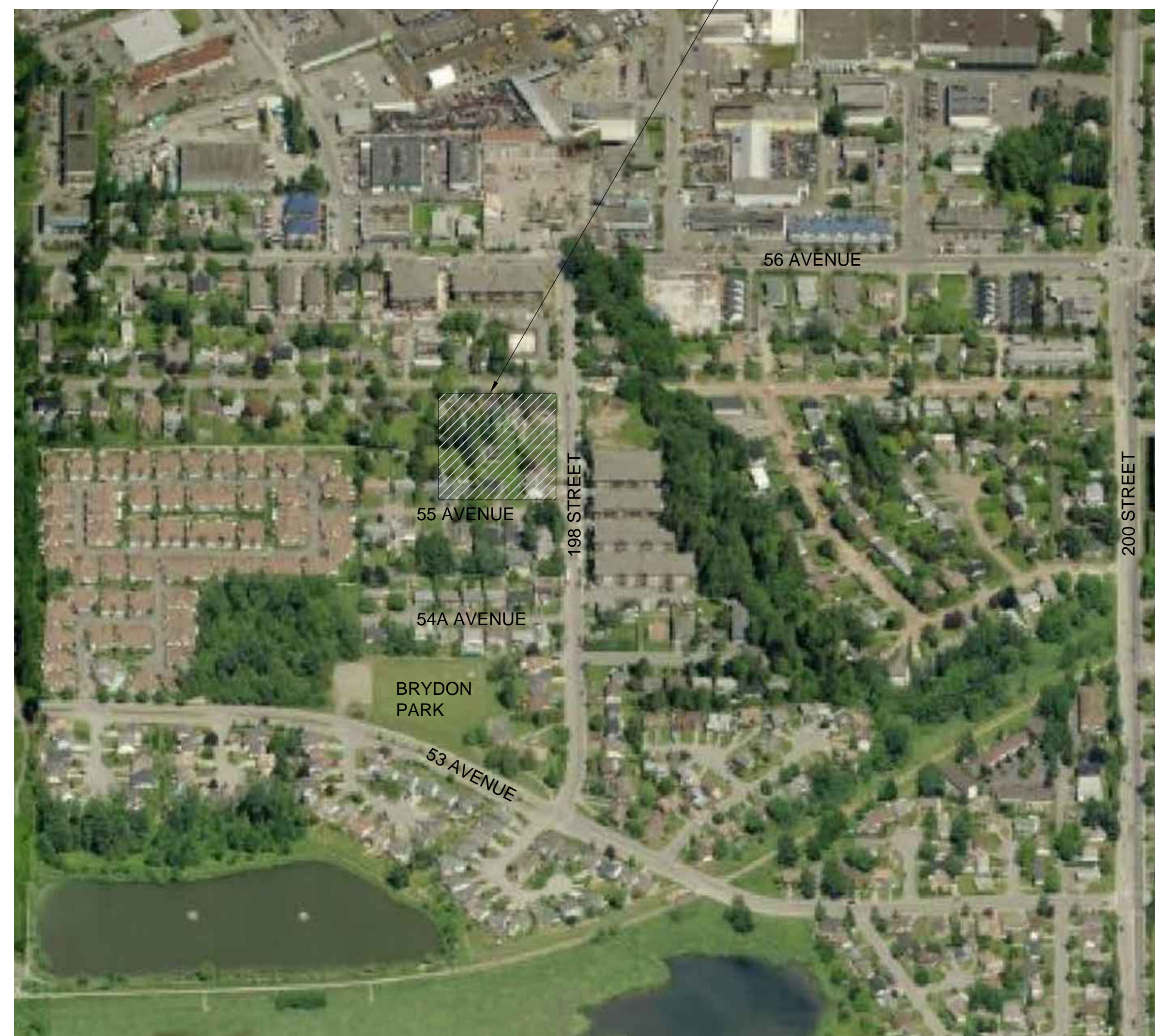


Contact Information		Other Key Contacts:	
<p>van der Zalm + associates Inc. Project Landscape Architecture</p> <p>Suite 1 - 20177 97th Avenue Langley, British Columbia, V1M 4B9 t. 604 882 0024 f. 604 882 0042</p> <p>Primary project contact: Dave Jerke davidj@vdz.ca 604 882 0024 x 38</p> <p>Alternate contacts (incase away): Mark van der Zalm Principal Landscape Architect mark@vdz.ca o. 604 882 0024 x22</p>	<p>Raghibir Gurm Project Owner</p> <p>raghibirgurm@gmail.com</p>	<p>Atelier Pacific Project Building Architecture</p> <p>#109 - 131 Water Street Vancouver, British Columbia, V6B 4M3 604 662 8689</p>	<p>Concost Management Inc. Project Management</p> <p>#202 - 5489 Byrne Road Burnaby, British Columbia, V5J 3J1 604 558 8622</p>
Legal Address and Description:			

Sheet Number	Sheet Title
L-01	Cover Sheet
L-02	Tree Retention Plan
L-03	Site Plan
L-04	Planting Plan
LD-01	Details
LD-02	Details
LD-03	Sections



1 SITE PLAN OVERVIEW



2 LOCATION MAP
Scale N.T.S.

[illegible]

2	JW	Issue for Revised DP	Nov. 2, 2016
1	JW	Issue for DP	Oct. 7, 2016
No.	By:	Description	Date

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No.	By:	Description	Date
REVISIONS TABLE FOR SHEET			

Project:Uptown Village

Location:

5501, 5503, 5509 - 198 Street
19771 - 55 Avenue
Langley, British Columbia

Drawn:	Stamp:
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JW

Checked:	
By:	

D3	
Approved:	Original Sheet Size:

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MVDZ	24"x36"

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Drawing Title:
COVER SHEET

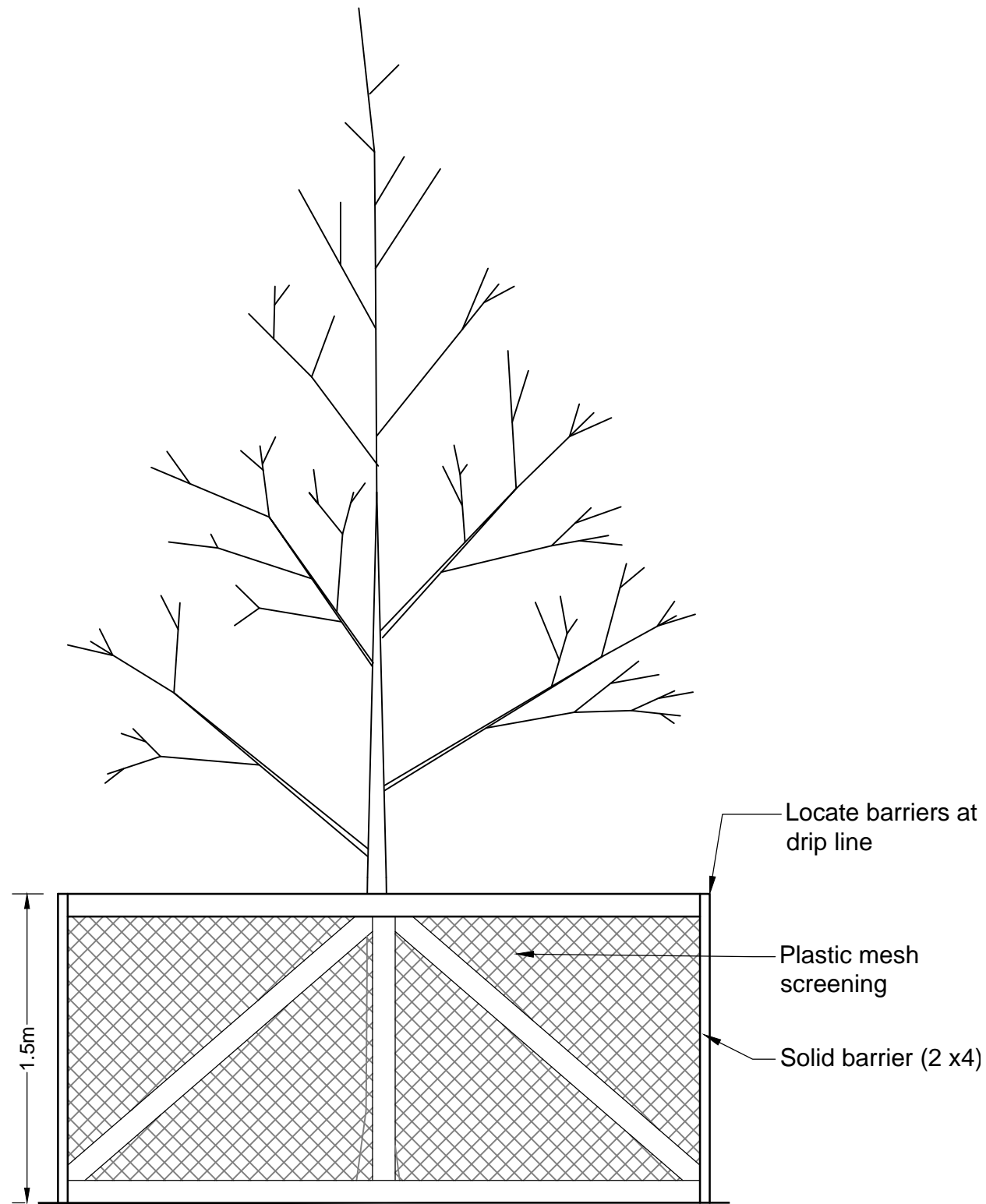
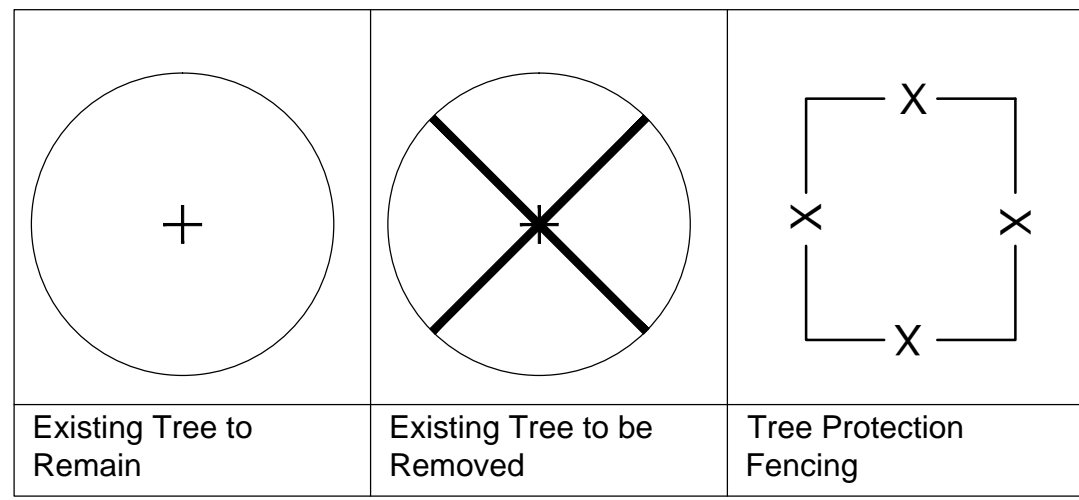


VDZ Project #:
DP2016-49

Drawing #: **L-01**

\\VDZ-SERVER\PROJECTS\DEVELOPMENT PERMITS\ACTIVE\DP2016-49 BRYDON MEADOWS\SHEETS\L-02 TREE RETENTION PLAN.DWG

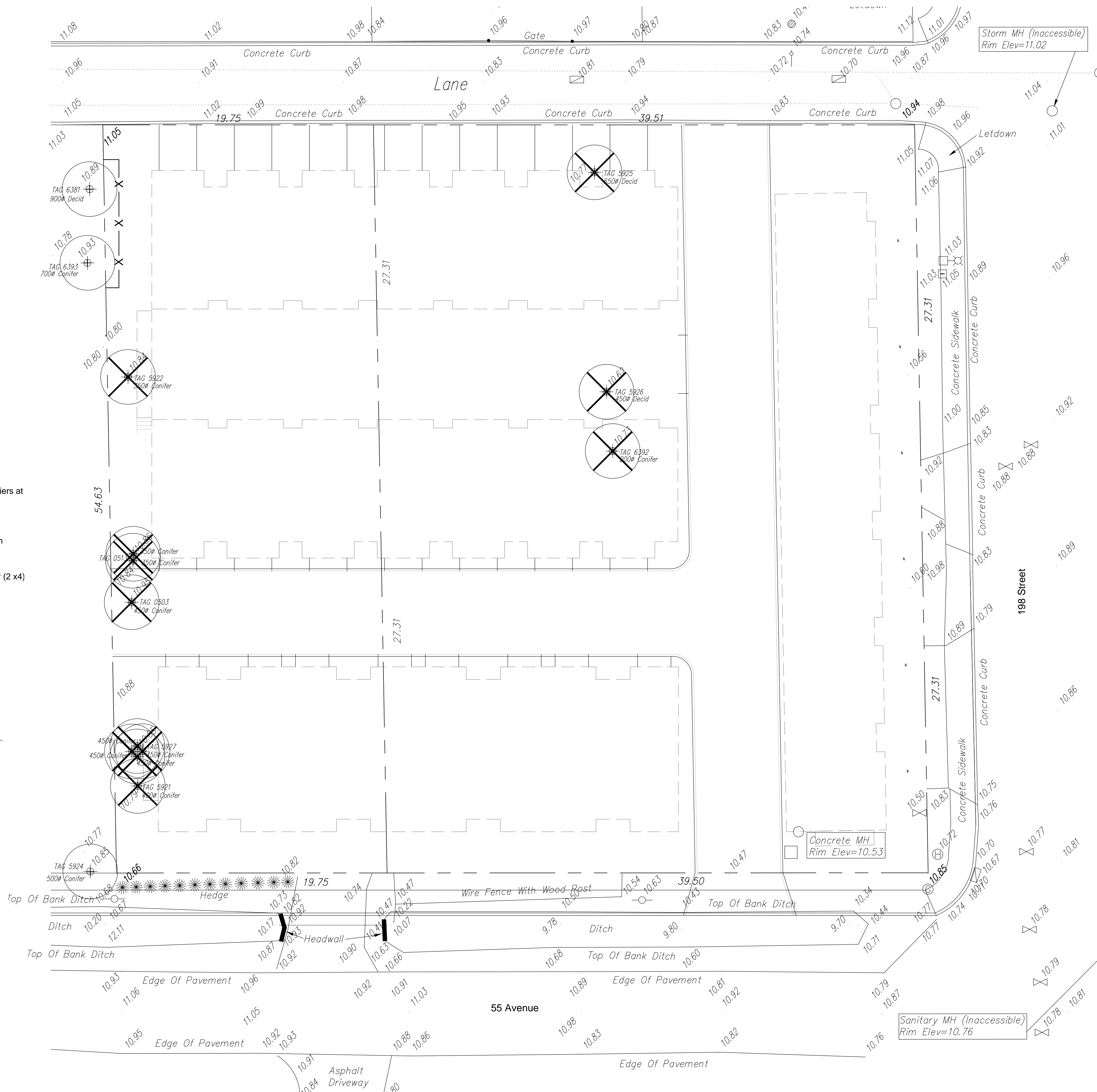
LEGEND



Note: no storage of building materials against protection barrier

1 TREE PROTECTION FENCING DETAIL

Scale 1:30



TREE LEGEND

AG	APS	APD	CB	HC	PG	EXISTING TREE

TREES

QUAN.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
4	AG	Acer ginnala 'Red November'	Red November Amur Maple	B&B; 6cm caliper; 1.8m std	As shown
4	APS	Acer palmatum 'Sango Kaku'	Coral Bark Japanese Maple	No. 10 Pot	As shown
30	APD	Amelanchier x grandiflora 'Princess Diana'	Princess Diana Serviceberry	B&B; 6cm caliper; 1.8m std	As shown
6	CB	Catalpa bignonioides 'Aurea'	Golden Catalpa	No. 10 Pot	As shown
4	HC	Halesia carolina	Carolina Silverbell	B&B; 6cm caliper; 1.8m std	As shown
3	PG	Picea glauca 'Pendula'	Weeping White Spruce	B+B; 3.0m Height; Single Leader	As shown

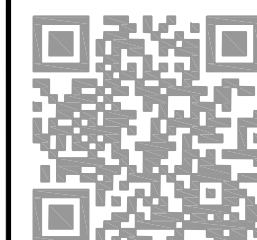
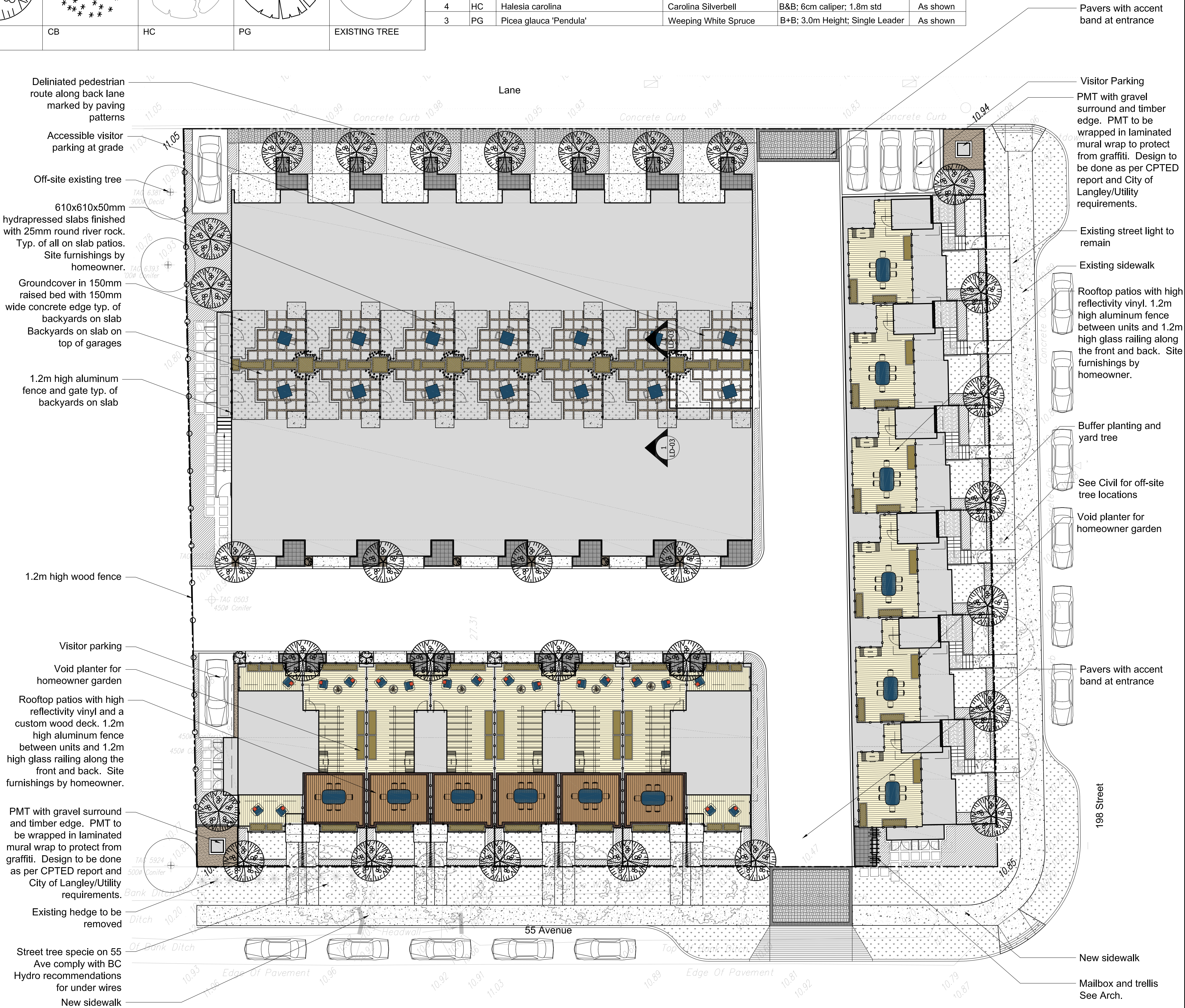
LEGEND

KEY	REF.	DESCRIPTION
	1 LD-02	CONCRETE SLAB
	5 LD-02	PAVER WALKWAYS Inset Pavers: Model: Classic Standard Series Size: Nevada 301mmx301mmx60mm Colour: Charcoal Border Pavers: Model: Classic Standard Series Size: 3:1 Standard 225mmx75mmx60mm Colour: Indian Summer Blend Manufacturer: Abbotsford Concrete Products
	6 LD-02	VEHICULAR PAVERS Model: Classic Standard Series Size: Standard 225mm x 112.5mm x 80mm Manufacturer: Abbotsford Concrete Products Inset Pavers: Pattern: Parquet Colour: Indian Summer Border Pavers: Pattern: Solid Colour: Charcoal
		25mm ROUND RIVER ROCK Depth: 50mm
	2-4 LD-02	HYDRAPRESSED SLABS Model: Cortex Series Size: 610mmx610mmx50mm Colour: Sandalwood Manufacturer: Abbotsford Concrete Products Finish joint material to be 50mm depth 25mm round river rock
		ROOFTOP VINYL MEMBRANE Colour: Beechwood Plank Supplier: All Seasons Waterproofing 1-800-400-6155 or approved equal
		WOOD DECK Stain: DEFY Water Repellent Heritage Walnut by Sikkens or approved equal

KEY	REF.	DESCRIPTION
	6 LD-01	1.2m HIGH ALUMINUM FENCE AND GATE
	7 LD-02	1.2m HIGH WOOD FENCE

KEY	REF.	DESCRIPTION
		GROUNDCOVER PLANTING See Planting Plan
		SOD See Critical Landscape Notes for Specifications
	3-5 LD-01	SHRUB PLANTING

KEY	REF.	DESCRIPTION
	8 LD-01	PLANTER Model: Rutherford Planter Box PLTR-26 Size: 610mm x 1829mm x 584mm 610mm x 1219mm x 584mm 610mm x 915mm x 584mm 1219mm x 1219mm x 584mm Custom: 546mm x 2607mm x 584mm Recycled Plastic Colour: Sand Frame Colour: Cold Textured Brown Manufacturer: Washbone



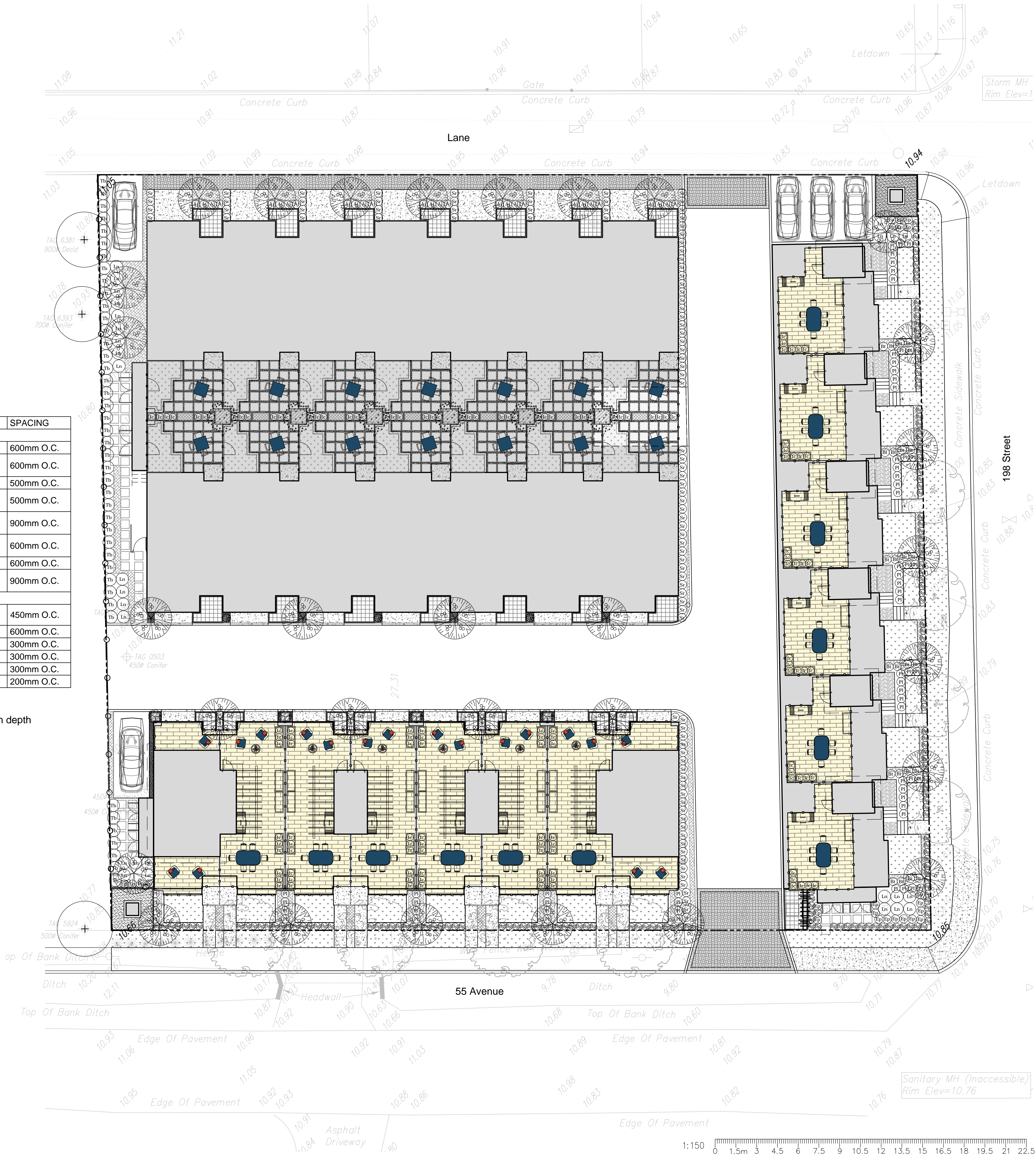
3	JW	Revised Site Plan	Nov. 17, 2016
2	JW	Issue for Revised DP	Nov. 2, 2016
1	JW	Issue for DP	Oct. 7, 2016
No.	By:	Description	Date
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Uptown Village			
Location:			
5501, 5503, 5509 - 198 Street 19771 - 55 Avenue Langley, British Columbia			
Drawn:	JW	Stamp:	
Checked:	DJ		
Approved:	MVDZ	Original Sheet Size:	24"x36"
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\\02-SERVER\PROJECTS\DEVELOPMENT\PERMITS\ACTIVE\DP2016-49-BRYDON MEADOWS\SHEETS\L-04 PLANTING PLAN.DWG

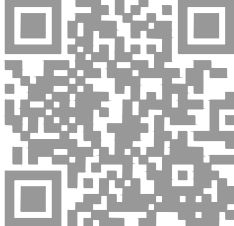
PLANT LIST SCHEDULE

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
SHRUBS					
Aj	28	Azalea japonica 'Girard's Hot Shot'	Girard's Hot Shot Azalea	No 3 Pot	600mm O.C.
Bt	24	Berberis thunbergii 'Royal Cloak'	Royal Cloak Japanese Barberry	No 3 Pot	600mm O.C.
Bg	167	Buxus x 'Green Velvet'	Green Velvet Boxwood	No 3 Pot	500mm O.C.
Ic	134	Ilex crenata fastigiata 'Sky Sentry'	Sky Sentry Japanese Holly	1200mm high	500mm O.C.
Ln	28	Lonicera nitida 'Lemon Beauty'	Boxleaf Honeysuckle	No 3 Pot	900mm O.C.
Pl	66	Prunus laurocerasus 'Genolia'	Genolia English Laurel	1200mm high	600mm O.C.
Sr	111	Skimmia reevesiana	Reeves Skimmia	No 3 Pot	600mm O.C.
Tb	43	Taxus baccata 'Fastigiata'	Columnar Irish Yew	1200mm high	900mm O.C.
PERENNIALS/GROUNDCOVERS					
	37	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	No 2 Pot	450mm O.C.
Ep	24	Echinacea purpurea 'Guava Ice'	Cone-Fections Coneflower	No 1 Pot	600mm O.C.
	607	Hakonechloa macra 'Aureola'	Japanese Forest Grass	No 1 Pot	300mm O.C.
	12	Heuchera 'Lime Marmalade'	Lime Coral Bells	No 1 Pot	300mm O.C.
	72	Imperata cylindrica 'Red Baron'	Japanese Blood Grass	No 1 Pot	300mm O.C.
	2068	Veronica repens 'Sunshine'	Yellow Creeping Speedwell	10cm Pot	200mm O.C.

- Notes:
1. Assume 150mm growing medium depth (import) for sod areas, and 450mm growing medium depth (import) for new planting beds (typ)
 2. Plant schedule lists plant quantity totals.



van der Zalm + associates inc.
Parks & Recreation + Civil Engineering
Urban Design + Landscape Architecture
Suite 1, 20177 97th Avenue
Langley, British Columbia
V1M 4B9
P 604.882.0024
F 604.882.0042
info@www.vdz.ca



No.	By:	Description	Date
2	JW	Issue for Revised DP	Nov. 2, 2016
1	JW	Issue for DP	Oct. 7, 2016

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Project:
Uptown Village

Location:
5501, 5503, 5509 - 198 Street
19771 - 55 Avenue
Langley, British Columbia

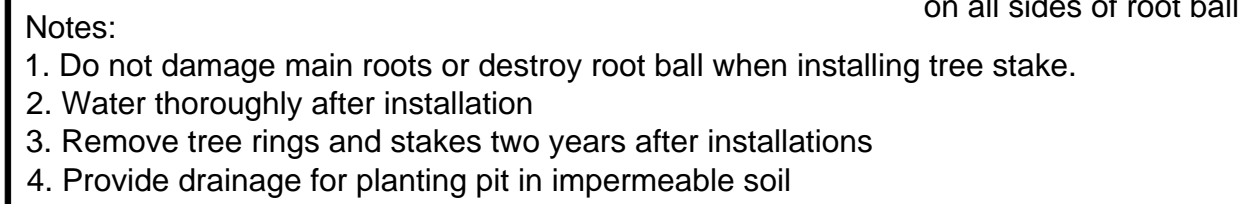
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Drawing Title:
PLANTING PLAN

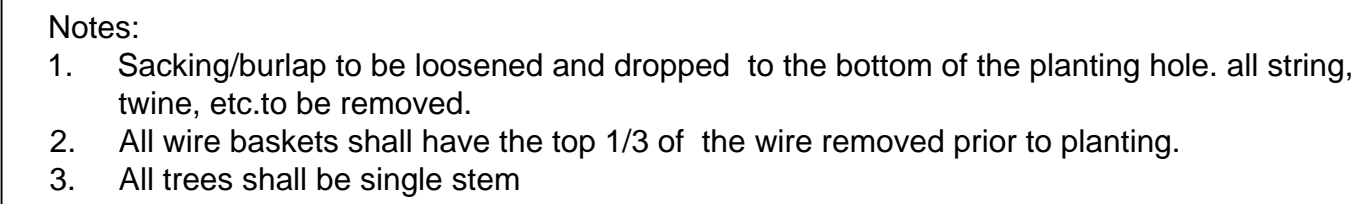


VDZ Project #:
DP2016-49

Drawing #:
L-04



1 CONIFEROUS TREE PLANTING DETAIL




2 DECIDUOUS TREE PLANTING DETAIL

Scale 1:25

3 BED PREPARATION EDGE DETAIL

Scale 1:10

4 GROUNDCOVER PLANTING DETAIL

[illegible]

2	JW	Issue for Revised DP	Nov. 2, 2016
1	JW	Issue for DP	Oct. 7, 2016
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Location:

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DETAILED

DETAILS

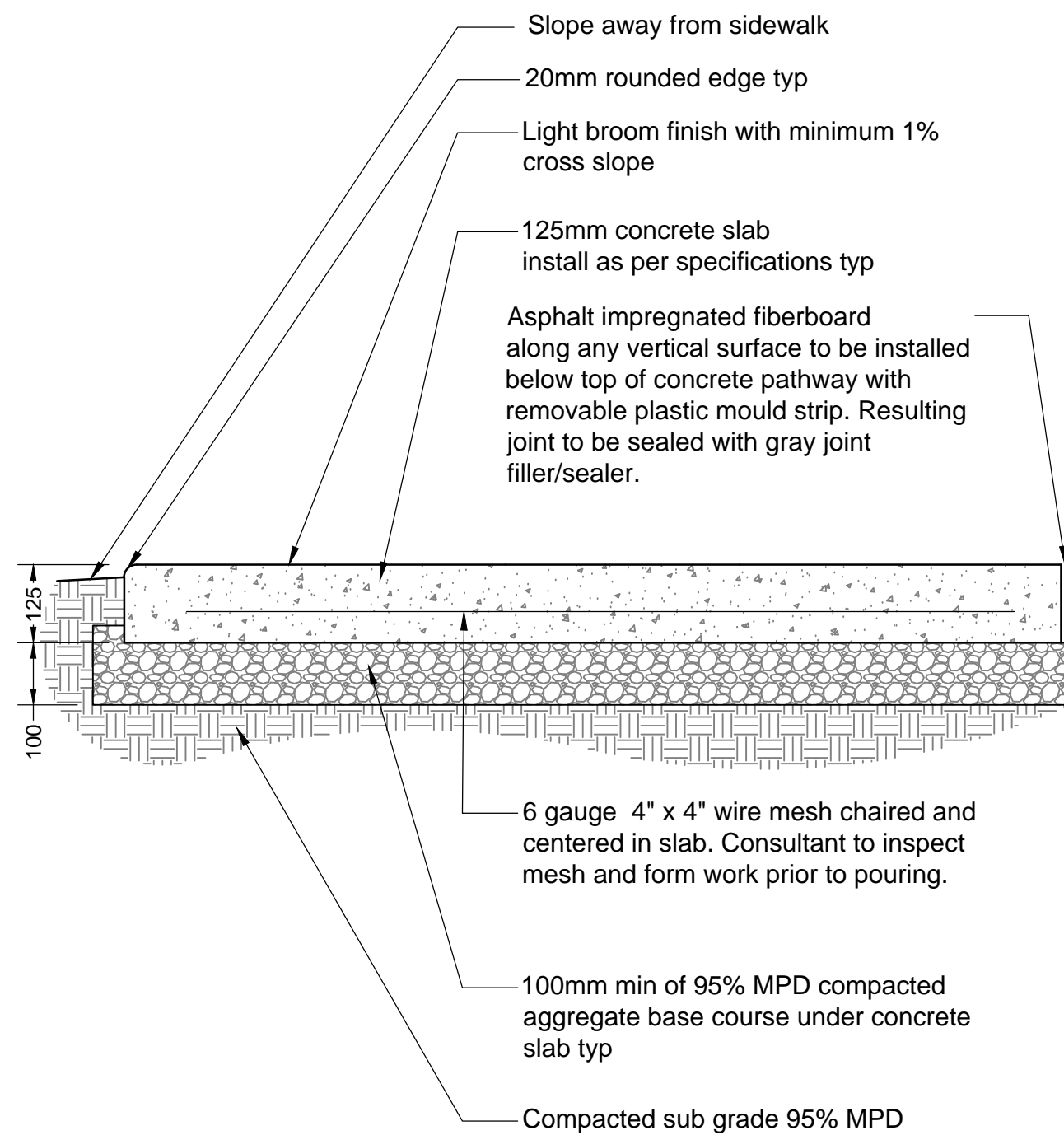
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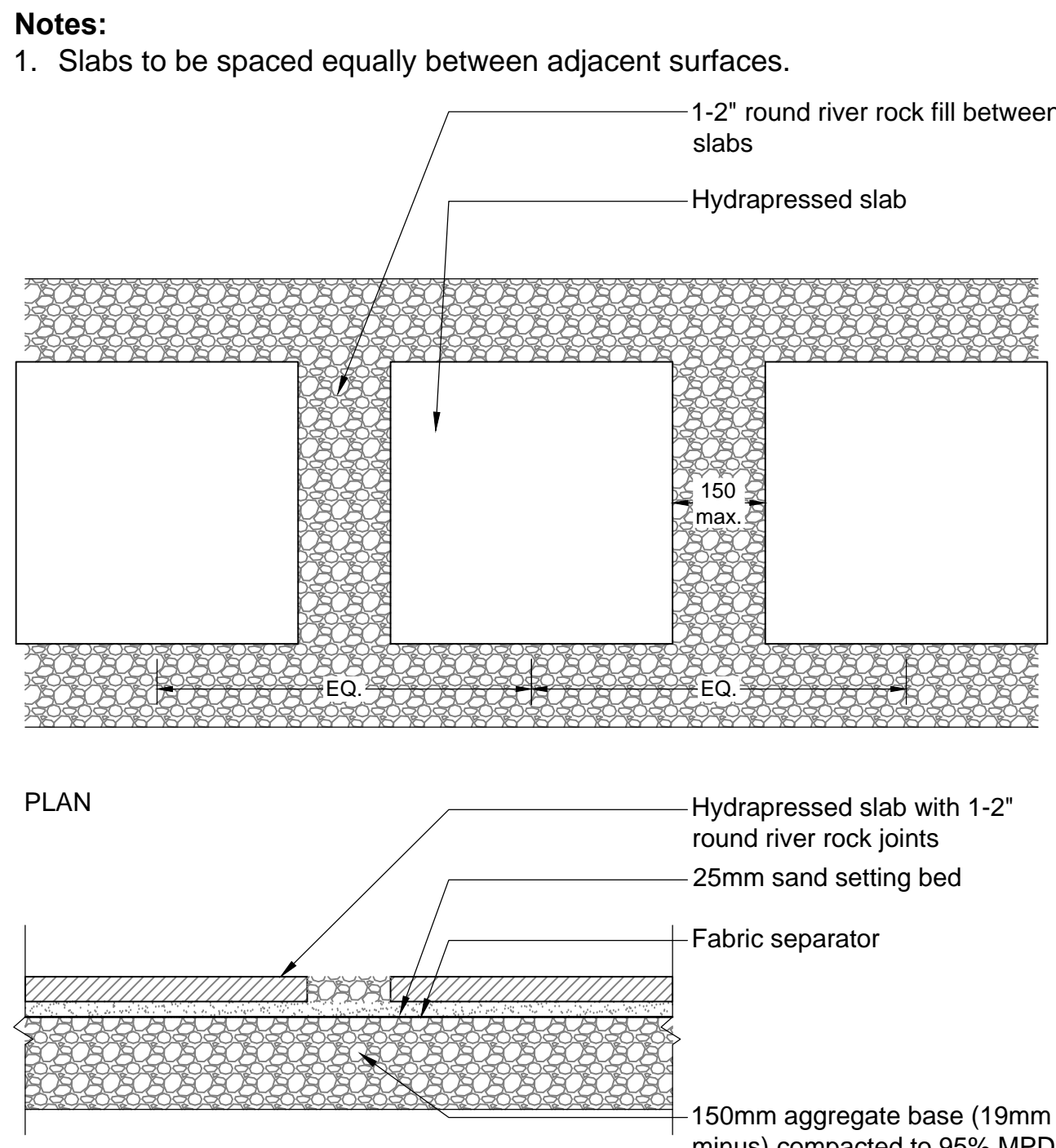
LD-01

\\VDZ-SERVER\PROJECTS\DEVELOPMENT PERMITS\ACTIVE\DP2016-49 BRYDON NEWS\DWG\SHEETS\LD-02 DETAILS.DWG



Notes:
1. Contractor to provide expansion joints where concrete meets all vertical structures
2. Horizontal scoreline 1500mm o.c. center scoreline on 150mm smooth finish or to match existing concrete pathway

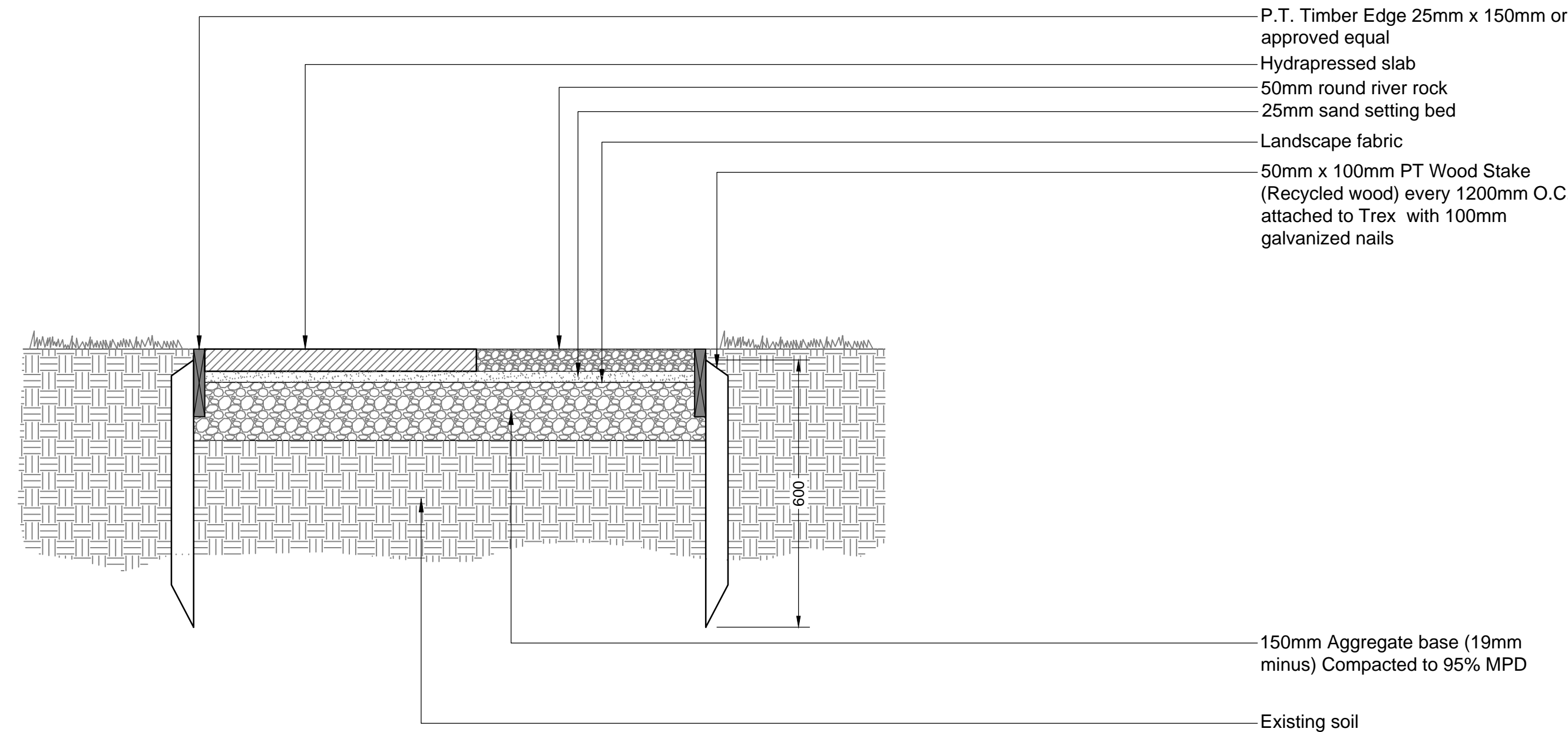
1 CONCRETE SIDEWALK DETAIL
Scale 1:10



Hydrapressed Slab Details:

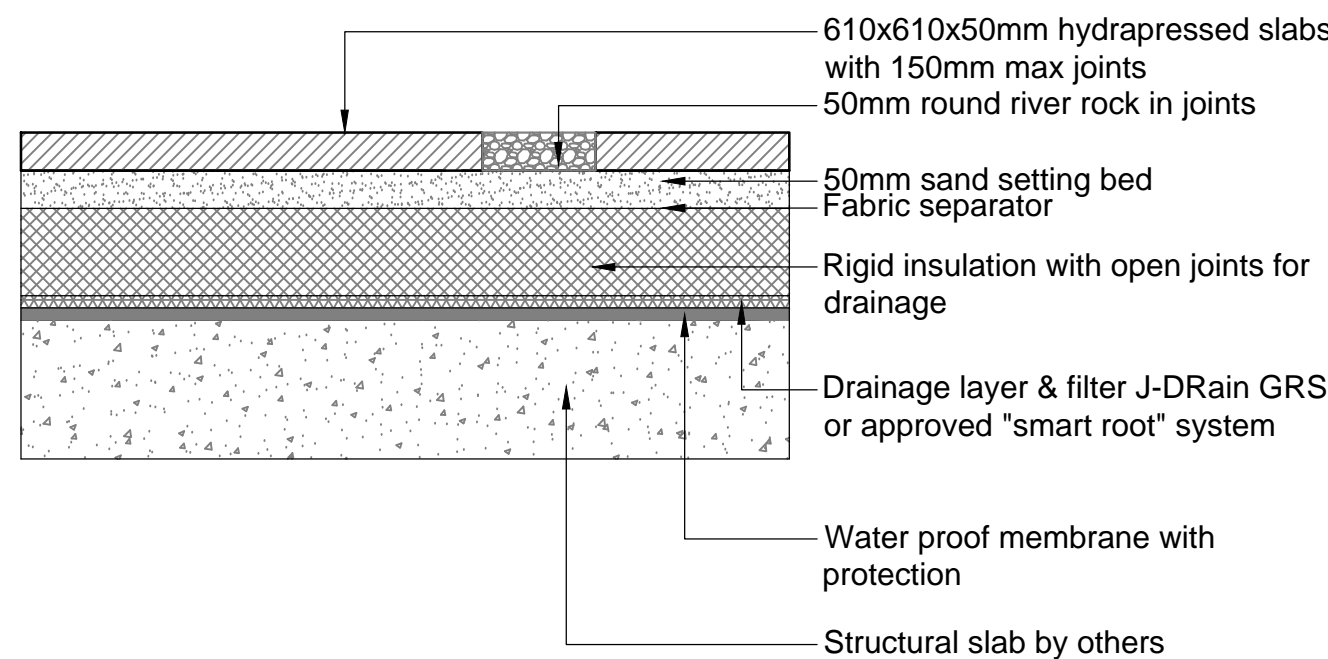
Model:	Cortez Series
Colour:	Colour: Sandalwood
Size:	610mm x 610mm x 50mm
Manufacturer	Abbotsford Concrete Products
TEL:	1-800-663-4091

2 HYDRAPRESSED SLABS IN GRAVEL DETAIL
Scale 1:10



NOTES:
1. Contractor to provide 1L sample of river rock material for approval by landscape architect prior to installation.
2. Ensure top of edging meets flush with river rock.

3 TREX EDGER DETAIL
Scale 1:10

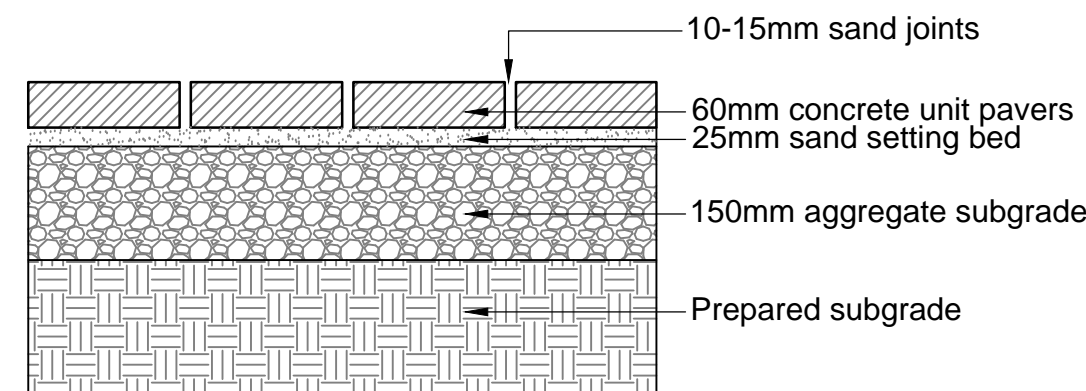


Hydrapressed Slab Details:

Model:	Cortez Series
Colour:	Colour: Sandalwood
Size:	610mm x 610mm x 50mm
Manufacturer	Abbotsford Concrete Products
TEL:	1-800-663-4091

Notes:
1. Contractor to provide shop drawings and material samples
2. Install all components as per manufacturer's specifications

4 HYDRAPRESSED SLABS ON SLAB
Scale 1:10



Unit Paver Details: (Inset pavers)

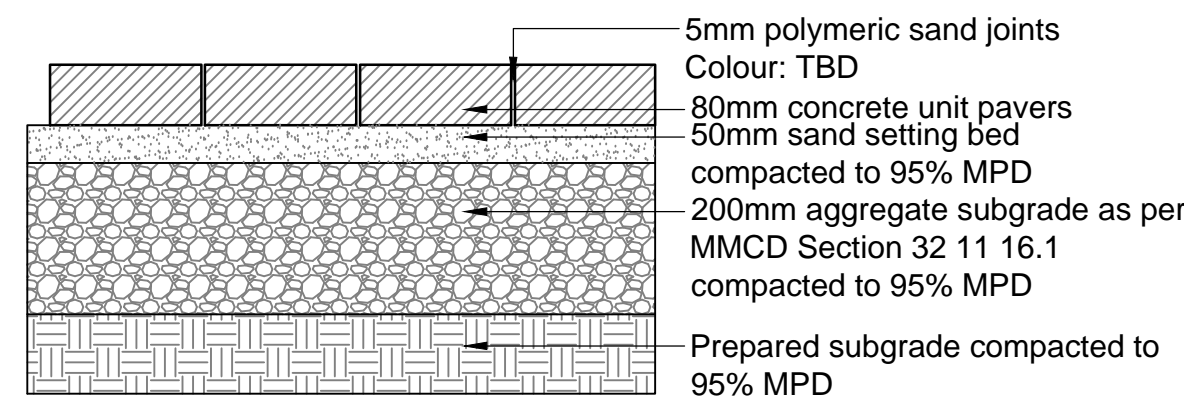
Model:	Classic Standard Series
Colour:	Colour: Charcoal
Size:	Nevada 301mm x 301mm x 60mm
Manufacturer	Abbotsford Concrete Products
TEL:	1-800-663-4091

Unit Paver Details: (border pavers)

Model:	Classic Standard Series
Colour:	Colour: Indian Summer Blend
Size:	225mm x 75mm x 60mm
Manufacturer	Abbotsford Concrete Products
TEL:	1-800-663-4091

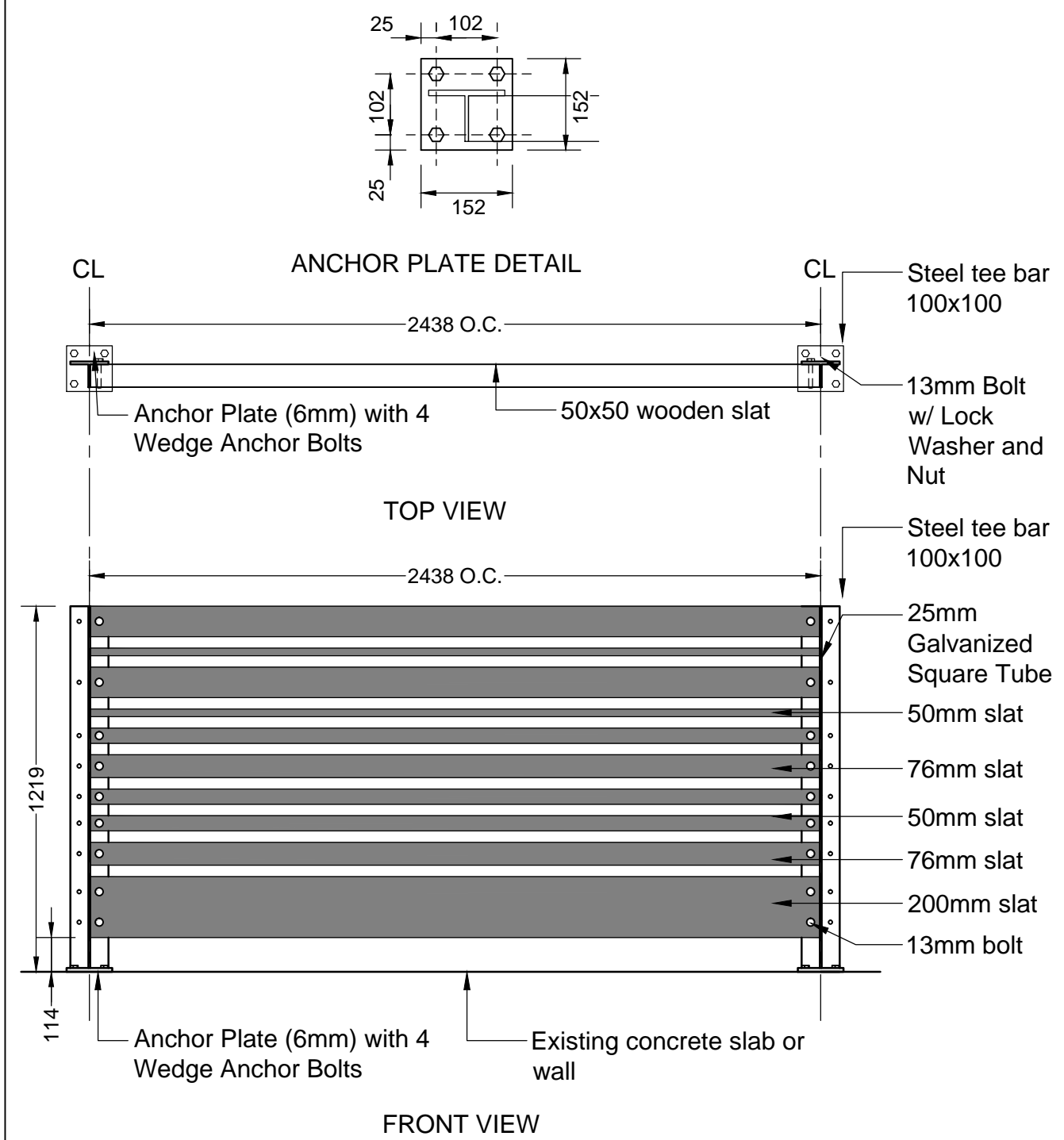
Notes:
1. Contractor to provide shop drawings and material samples
2. Install all components as per manufacturer's specifications

5 UNIT PAVER DETAIL
Scale 1:10



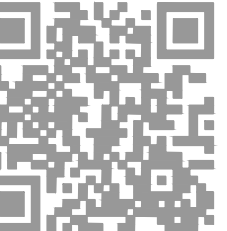
Notes:
1. Contractor to provide shop drawings and material samples
2. Install all components as per manufacturer's specifications

6 DRIVEWAY ENTRANCE UNIT PAVER DETAIL
Scale 1:10



Notes:
1. All lumber to be clear cedar (s4s) or ipe.
2. Spacing between wooden slats to be 38.1mm (1-1/2").
3. Galvanized bar to be welded to steel tee bar.
4. Wedge anchor bolts to be hot dipped galvanized.

7 1.2m HIGH WOOD FENCE DETAIL
Scale 1:20



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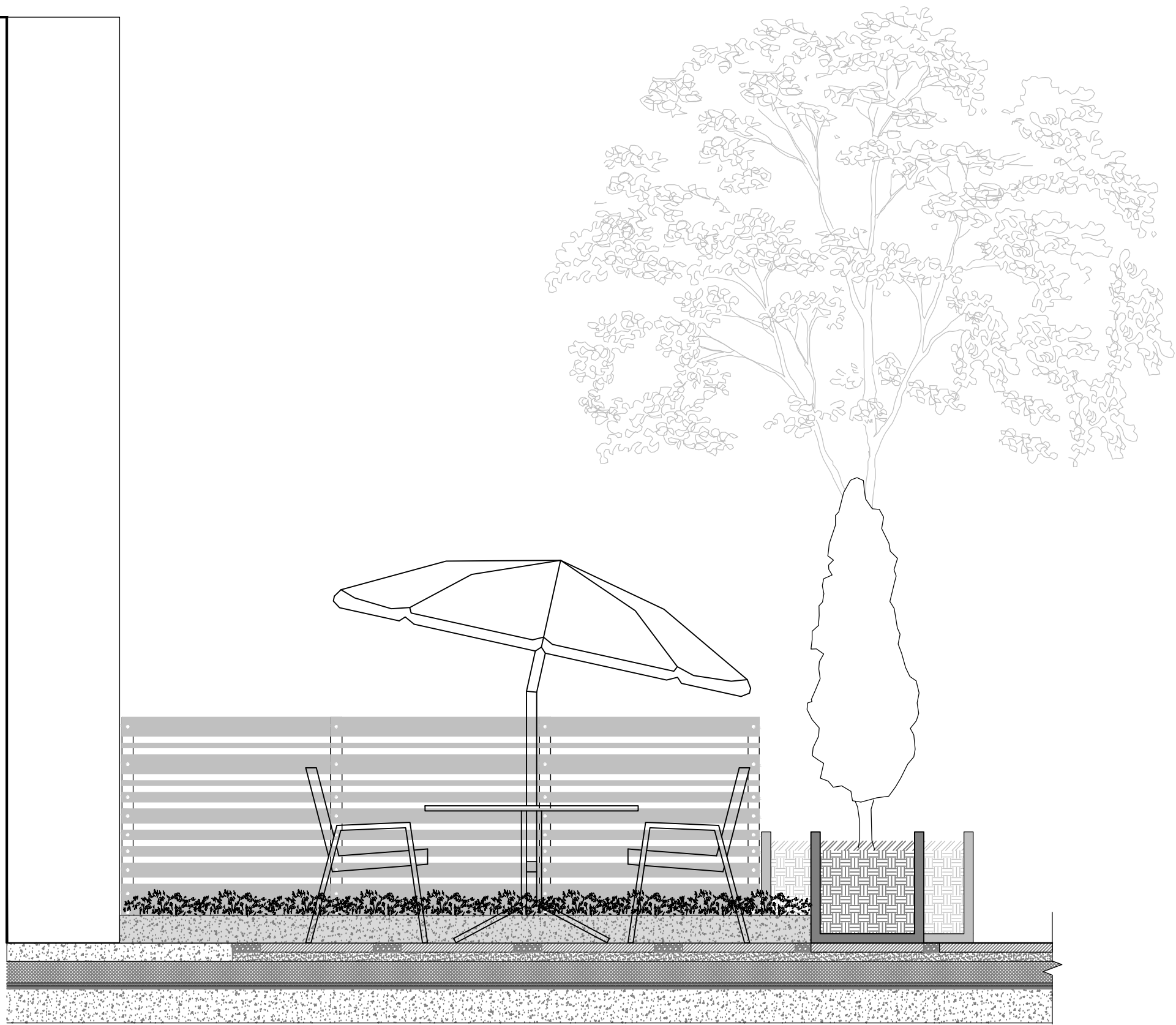
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Project:
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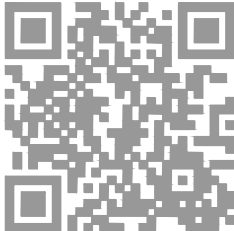
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\\VDZ-SERVER\PROJECTS\DEVELOPMENT PERMITS\ACTIVE\DP2016-49 BRYDON MEWS\DWGS\SHEETS\LD-03 SECTIONS.DWG



1 PODIUM SECTION
Scale 1:25



2	JW	Issue for Revised DP	Nov. 2, 2016
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AS SHOWN			

Drawing Title:
SECTIONS

VDZ Project #:
DP2016-49

Drawing #:
LD-03



**MINUTES OF THE
ADVISORY PLANNING COMMISSION MEETING**

**HELD IN LANGLEY CITY HALL
CKF COMMUNITY BOARDROOM**

**WEDNESDAY, NOVEMBER 9, 2016
7:00 PM**

Present: Councillor Paul Albrecht, Vice-Chairman

John Beimers
Shelley Coburn, School District No. 35
Brian Doyle
Dave Humphries
Hana Hutchinson
Esther Lindberg
Cpl. Steve McKeddie, Langley RCMP
George Roman

Staff: Roy Beddow, Deputy Director of Development Services & Economic Development

Absent: Councillor Jack Arnold, Chairman
Jamie Schreder

1) RECEIPT OF MINUTES

MOVED BY Commission Member Roman
SECONDED BY Commission Member Huchinson

THAT the minutes for the October 13, 2016 Advisory Planning Commission meeting be received as circulated.

CARRIED

2) **REZONING APPLICATION RZ 03-16/DEVELOPMENT PERMIT APPLICATION DP 08-16 (5501-5503 - 198 STREET, 5509 - 198 STREET AND 19771 - 55 AVENUE) – CONCOST MANAGEMENT INC.**

The Deputy Director of Development Services & Economic Development provided a brief overview of the planning context for the proposed application and introduced Brian Shigetomi, Project Architect, Atelier Pacific Architecture Inc. Mr. Shigetomi presented the proposed development plans. Following discussion regarding density, building form and character, parking, lane treatment, CPTED and engineering servicing requirements it was:

MOVED BY Commission Member Humphries
SECONDED BY Commission Member Roman

That Rezoning Application RZ 03-16 and Development Permit Application DP 08-16 to accommodate a 4-storey, 28-unit townhouse complex located at 5501-5503 – 198 Street, 5509 - 198 Street and 19771 - 55 Avenue be approved subject to increasing the parking space depth along the City lane, execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report be approved.

CARRIED

3) **DEVELOPMENT PERMIT APPLICATION DP 09-16 (20286 MICHAUD CRESCENT) - DAVID DANYLUK ARCHITECT**

The Deputy Director Development Services & Economic Development provided a brief overview of the planning context for the proposed development and introduced David Danyluck, Architect. Mr. Danyluck presented the proposed development plans. Following extensive discussion regarding façade treatments, parking, CPTED and traffic circulation it was:

MOVED BY Commission Member Lindberg
SECONDED BY Commission Member Doyle

That Development Permit Application DP 09-16 to accommodate a 4-storey, 7-unit condominium apartment building located at 20286 Michaud Crescent with reduced front and exterior yard setbacks be approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report.

CARRIED

4) **NEXT MEETING**

Wednesday, December 14, 2016 (Tentative)

5) **ADJOURNMENT**

MOVED BY Commission Member Coburn
SECONDED BY Commission Member Humphrey

THAT the meeting adjourn at 8:55 P.M.

CARRIED



ADVISORY PLANNING COMMISSION CHAIRMAN



**DEPUTY DIRECTOR OF DEVELOPMENT SERVICES & ECONOMIC
DEVELOPMENT**

Certified Correct



REPORT TO COUNCIL

To: **Mayor Schaffer and Councillors**

Subject 2015 Corporate Energy & GHG Emissions
Inventory

Report #: 16-043

From: Roy M. Beddow, MCIP, RPP
Deputy Director of Development Services
& Economic Development

File #: 6410.00

Doc #:

Date: October 24, 2016

RECOMMENDATION:

THAT the 2015 Corporate Energy & Greenhouse Gas Emissions Inventory and 2015 Climate Action Revenue Incentive Program (CARIP) Report be received for information.

PURPOSE:

To present the 2015 Corporate Energy & GHG Emissions Inventory and 2015 CARIP Report.

POLICY:

Corporate Strategic Plan- Identifies Sustainability as a key focus area: *To create a sustainable community through responsible financial, social, and environmental planning and policies.*

Sustainability Framework- Identifies “Energy, Climate Change & Air Quality” as a focus area.

Corporate Energy and GHG Emissions Plan- Establishes target for the reduction of corporate energy consumption and GHG emissions (target is to reduce 2018



corporate GHG emissions by 134 tonnes from forecast level) and identifies initiatives to reduce energy consumption and GHG emissions.

Official Community Plan- Contains GHG reduction target from Corporate Energy and GHG Emissions Plan and expresses commitment to pursue carbon neutral operations in accordance with the B.C. Climate Action Charter.

COMMENTS/ANALYSIS:

1. Background

The City of Langley monitors its corporate energy consumption and greenhouse gas (GHG) emissions in accordance with the City's Corporate Energy & GHG Emissions Plan and its commitments under the B.C. Climate Action Plan and FCM's Partners for Climate Protection program. The City also submits a report each year as part of the province's Climate Action Revenue Incentive Program (CARIP).

2. 2015 Corporate Energy & GHG Emissions Inventory

The Corporate Energy & GHG Emissions Inventory accounts for all of the City's energy consumption and CO₂e (carbon dioxide equivalent) emissions from its corporate operations.

2015 Corporate Energy & GHG Emissions Inventory

Energy Type	Consumption	Energy	Costs	CO ₂ e Emissions
Electricity	3,317,056 kWh	11,941 GJ	\$377,737	33.2 tonnes
Natural Gas	7,359 GJ	7,359 GJ	\$63,888	276.0 tonnes
Biodiesel 5	94,663 litres	3,662 GJ	\$112,136 ¹	245.9 tonnes
Gasoline	61,159 litres	2,120 GJ	\$69,757 ¹	148.7 tonnes
Total		25,081 GJ	\$623,517	703.8 tonnes

¹Estimated cost

In accordance with CARIP requirements, energy consumption and GHG emissions resulting from contracted services are also included in the inventory. The contracted services components of the above totals are broken out in the table below.



*2015 Energy Consumption & GHG Emissions
 Contracted Services*

Energy Type	Consumption	Energy	Costs ²	CO ₂ e Emissions
Biodiesel 5	23,130 litres	895 GJ	\$27,409	60 tonnes
Gasoline	4,964 litres	172 GJ	\$5,975	12 tonnes
Total		1,067 GJ	\$33,384	72 tonnes

²Estimated Cost

A detailed breakdown of accounts by sector is attached to this report for information.

3. GHG Emissions Progress 2008-2015

The table below shows the City's carbon emissions from corporate operations since 2008. In order to enable year to year comparisons, emissions from contracted services are not included in the figures since data from contractors are only available for 2012-2015. While the report shows progress towards meeting the City's corporate target, the results should be received with some caution since annual variations can be significant. Weather, staffing levels, capital projects, community development and economic activity can all influence corporate energy consumption and GHG emissions, making year to year comparisons difficult.

Direct GHG Emissions³ 2008 – 2015 (Tonnes CO₂e)

Energy Type	2008	2009	2010	2011	2012	2013	2014	2015
Electricity	89	92	50	50	52	50	35	33
Natural Gas	395	414	367	347	372	335	300	276
Diesel/Biodiesel 5	244	201	209	171	195	151	189	186
Gasoline	115	112	125	114	127	139	139	137
Total	847	824	752	683	747	677	664	632

³Excludes emissions from contracted services (2012 – 138 t, 2013 – 150 t, 2014 -192 t , 2015 - 72t 2008-2011 – not calculated).



4. 2015 Corporate Emissions Analysis

Direct corporate emissions fell slightly from 2014 to 2015 as energy consumption declined across all sectors. Emissions from contracted services, meanwhile, fell from 192 tonnes CO₂e to 72 tonnes. The significant drop was attributable to two factors:

- Emissions reported by the City's solid waste contractor fell by 86 tonnes from the previous transitional year under the MMBC program
- Two fewer contractors met the minimum Provincial threshold (contract value >\$25,000) for inclusion in CARIP reporting

5. 2015 CARIP - Carbon Neutral Accounting

The City reported its 2015 GHG emissions to the province under the Climate Action Revenue Incentive Program (CARIP) on June 1, 2015. Although its corporate "carbon footprint" was 704 tonnes CO₂e, the City was able to offset all of its emissions by deploying carbon credits from green waste diversion and the Vancouver Landfill Gas Capture Optimization Project (see table below). As a result, the City of Langley was able to report being "Carbon Neutral" in 2015.

2015 CARIP - Carbon Neutral Accounting

Emissions		CO₂e (Tonnes)
	Local Government Services (Direct)	632.0
+	<u>Contracted Services (Indirect)</u>	<u>72.0</u>
	Total	704.0 ⁴
Credits		
	2015 Organic Waste Diversion ⁵	362.0
+	<u>2015 VLF GCOP Allocation⁶</u>	<u>353.0</u>
	Total	715.0
Balance		
	Total Emissions	704.0
-	<u>Total Credits</u>	<u>715.0</u>
=	<i>Carbon Footprint</i>	0

⁴Revised from original total (708 t) reported to Province 08/06/2016

⁵Allocation per May 16, 2016 Metro Vancouver report

⁶Vancouver Landfill Gas Capture Optimization Project allocation of credits per May 20, 2016 Metro Vancouver report



6. 2016 GHG Reduction Initiatives

Consistent with previous years, Council has budgeted funds in 2016 (\$20,000 – Sustainability Initiatives) to offset the City's carbon emissions. This provides the option to purchase carbon credits from the Pacific Carbon Trust in order to achieve carbon neutrality. In practice, however, the City has used this funding for GHG reduction projects that also lower the City's energy costs. In recent years, the City has funded lighting replacement projects (substituting high efficiency fixtures and LED lighting) in this manner. In 2015 staff identified the replacement of the boiler at Al Anderson Memorial Pool as the highest priority project for reducing the City's carbon footprint. Accordingly, a boiler replacement project was conceived in late 2015 and completed in October 2016. It is expected that the new boiler system (for pool heating and domestic water) will significantly reduce energy costs and GHG emissions in the coming years.

BUDGET IMPLICATIONS:

The cost to prepare the 2015 Corporate Energy & Greenhouse Gas Emissions Inventory and CARIP report was \$1,470. The project was funded under the Development Services & Economic Development Department's 2016 operating budget (Sustainability Initiatives). Following completion of the 2015 Corporate Energy & Greenhouse Gas Emissions Inventory \$18,530 remains in the budget for Sustainability Initiatives and will be applied to the Al Anderson Memorial Pool boiler replacement project.

ALTERNATIVES:

N.A.

Respectfully Submitted,



Roy M. Beddow, MCIP, RPP
Deputy Director of Development Services
& Economic Development



RMB/

Attachment(s):

CHIEF ADMINISTRATIVE OFFICER'S COMMENTS:

I support the recommendation.



Francis Cheung, P. Eng.
Chief Administrative Officer





Langley City

Corporate Energy & GHG Emissions Inventory: 2015

GRAND TOTAL

Type	Consumption	Energy	Costs	CO ₂ e
Electricity	3,317,056.4 kWh	11,941.4 GJ	\$377,737	33.2 t
Natural Gas	7,358.7 GJ	7,358.7 GJ	\$63,888	276.0 t
Biodiesel 5	94,662.8 litres	3,661.6 GJ	\$112,136	245.9 t
Gasoline	61,159.0 litres	2,119.8 GJ	\$69,757	148.7 t
Total		25,081 GJ	\$623,517	704 t



Langley City

Corporate Energy & Greenhouse Gas Emissions Inventory : 2015

2015

Buildings	Type	Consumption	Energy	Costs	CO ₂ e
	Electricity	1,235,644 kWh	4,448 GJ	\$125,832	12
	Natural Gas	7,359 GJ	7,359 GJ	\$63,888	276
Contracted Services	Type	Consumption	Energy	Costs	CO ₂ e
	Biodiesel 5	23,130 litres	895 GJ	\$27,409	60
	Gasoline	4,964 litres	172 GJ	\$5,975	12
Lighting	Type	Consumption	Energy	Costs	CO ₂ e
	Electricity	1,528,183 kWh	5,501 GJ	\$197,136	15
Water & Wastewater	Type	Consumption	Energy	Costs	CO ₂ e
	Electricity	516,792 kWh	1,860 GJ	\$51,162	5
Vehicle Fleet	Type	Consumption	Energy	Costs	CO ₂ e
	Biodiesel 5	71,533 litres	2,767 GJ	\$84,727	186
	Gasoline	56,195 litres	1,948 GJ	\$63,781	137
Unidentified	Type	Consumption	Energy	Costs	CO ₂ e
	Electricity	36,437 kWh	131 GJ	\$3,607	0