



REGULAR COUNCIL MEETING AGENDA

Monday, April 24, 2017
7:00 P.M.
Council Chambers, Langley City Hall
20399 Douglas Crescent

Pages

1. COMMITTEE OF THE WHOLE

Council will move into a Committee of the Whole meeting. A Committee of the Whole meeting provides Council the opportunity to hear input from the public and allows Council a greater opportunity to speak to and debate specific agenda items.

- a. Development Permit No. 07-16 20551 46A Avenue & 20566 Grade Crescent 1
The Mayor invites Mike Helle, Coastland Engineering to present the proposed development.

2. ADOPTION OF AGENDA

- a. Adoption of the April 24, 2017 Regular Agenda

3. ADOPTION OF THE MINUTES

- a. Regular Meeting Minutes from April 3, 2017 12

4. BUSINESS ARISING FROM PUBLIC HEARING

- a. Bylaw 3017 - Zoning Amendment 18
Third reading of a bylaw to amend the Zoning Bylaw to accommodate a 4-storey, 62 unit condominium apartment development at 5406, 5418-5420 198 Street and 19829-19831 54 Avenue.
- b. Bylaw 3018 - Zoning Amendment 49
Third reading of a bylaw to amend the Zoning Bylaw to accommodate a 5-storey, 88 unit condominium apartment development at 5630 and 5640 201A Street.

5. BUSINESS ARISING FROM COMMITTEE OF THE WHOLE

- a. Development Permit No. 07-16 92
20551 46A Avenue & 20566 Grade Crescent

6. **DELEGATIONS**

- a. Kristine Simpson, CPA, CA - BDO Canada 104
City of Langley Audit Report
- 1. Admin Report - Consolidated Financial Statements 105

7. **MAYOR'S REPORT**

- a. Upcoming Meetings
Regular Council Meeting – May 8, 2017 - Televised
Regular Council Meeting – May 29, 2017
- b. Metro Vancouver Update - Councillor Storteboom
- c. Library Happenings - Councillor Martin
- d. Youth Week May 1 - 7, 2017 - Mayor Schaffer

8. **BYLAWS**

- a. Bylaw 3014 - Zoning Amendment 134
Final reading of a bylaw to amend the Zoning Bylaw to accommodate a 4-storey, 98 unit condominium apartment development at 5393, 5455-5457 201 Street.
- b. Bylaw 3019 - Zoning Amendment 160
First and second reading of a bylaw to amend the Zoning Bylaw to accommodate a 4-storey, 54 unit condominium development at 19942 Brydon Crescent.
- c. Bylaw 3021 - Zoning Amendment 197
First and second reading of a bylaw to amend the Zoning Bylaw to zone an unzoned portion of the land adjacent to 20416 Park Avenue to C1 - Downtown Commercial Zone.
- d. Bylaw 3020 - Tax Rate Bylaw 200
First, second and third reading of a bylaw to levy property value taxes for municipal purposes for the year 2017.
- e. Bylaw 3022 203
First, second and third reading of a bylaw to amend the 2016-2020 Financial Plan Bylaw.

9. ADMINISTRATIVE REPORTS

- a. Hunter Park Task Group Recommendations Report 206
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10. NEW AND UNFINISHED BUSINESS

- a. Motions/Notices of Motion
- b. Correspondence
- c. New Business

11. ADJOURNMENT



ADVISORY PLANNING COMMISSION REPORT

To: **Advisory Planning Commission**

Subject **Development Permit Application 07-16**

File #: 6410.00

From: Development Services & Economic Development
Department

Date: March 31, 2017

COMMITTEE RECOMMENDATION:

That Development Permit Application DP 07-16 to accommodate a 5-lot subdivision of 20566 Grade Crescent and 20551-46A Avenue be approved subject to execution of a Development Servicing Agreement in compliance with the conditions outlined by the Director of Development Services & Economic Development report.

PURPOSE OF REPORT:

To consider a Development Permit application by Coastland Engineering Ltd. for a 5-lot subdivision of the subject properties.

POLICY:

The subject property is located within “Estate Residential-Development Permit Area” of the Official Community Plan. As such, development permits are required for subdivisions. The “Estate Residential “designation is intended to protect the unique character of the area located between Grade Crescent and 46A Avenue. In accordance with Section 920(1)(a) of the *Local Government Act*, a Development Permit is required prior to an Approving Officer granting Final Approval of a subdivision. The City’s Development Application Procedures Bylaw requires that all Development Permit applications be referred to the Advisory Planning Commission.



COMMENTS/ANAYLSIS:

Background Information:

Applicant:	Coastland Engineering Ltd.
Owners:	1088788 B.C. Ltd.
Civic Address:	20551 -46A Avenue & 20566 Grade Crescent Avenue
Legal Description:	Parcel "A" (Explanatory Plan 29502) Lot 5 Except: Part Subdivided by Plan 45080, Section 35, Township 7, New Westminster District Plan 11492; and Lot 102, Section 35, Township 7, New Westminster District Plan 33504
Existing Zoning:	RS2 Estate Residential Zone
Existing Official Community Plan (OCP) Designation:	Estate Residential

Development Services Comments:

The subject property is zoned RS2 Estate Residential Zone and designated "Estate Residential" in the Official Community Plan. The proposed 5-lot subdivision complies with the existing RS2 Estate Residential Zone minimum lot size requirement of 930 square metre (10,010.76 square feet). The Estate Residential Zone is intended to accommodate and regulate the development of single family housing on large suburban lots. Also attached is the subdivision servicing requirements as part of the normal subdivision review process.

The proposed 5-lot subdivision complies with the RS2 Estate Residential Zone is consistent with the overall development concept plan for the site and should be supported.



Engineering Comments:

A) The Developer is responsible for the following work which shall be designed and approved by a Professional Engineer:

- a. Submit an erosion and sediment control plan in accordance with the City of Langley Watercourse Protection Bylaw #2518.
- b. Provide detailed design drawings for frontage improvements along Grade Crescent. Improvements shall include road widening to a collector road standard including street lighting, ditch infill, curb and gutter, road drainage, sidewalk, new driveway crossing and under grounding of hydro/telephone. All works are to be designed and constructed in accordance with the Subdivision and Development Servicing Bylaw.
- c. The frontage of 46A Avenue is required to be upgraded to a local road standard including road widening, road drainage, curb, gutter, sidewalk, street lighting, street trees, and underground hydro/tel.
- d. Provide detailed design drawings for the dedication and construction of 46B Avenue to the City of Langley local road standard (SDR-003), including hammerhead turnaround, sidewalk, curb and gutter, underground hydro/telephone, street lighting, storm, sanitary and water main extensions. It shall be constructed to meet fire code requirements and provide adequate access for municipal waste collection trucks, which shall be supported with turning movements for review/approval by the City.
- e. Analyze the condition of the existing pavement on Grade Crescent and 46A Avenue. Pavements shall be adequate for an expected road life of 20 years under the expected traffic conditions for the class of road. Road construction and asphalt overlay designs shall be based on the analysis of the results of Benkelman Beam tests and test holes carried out on the existing road which is to be upgraded. If the pavement is inadequate it shall be remediated to centerline for the length of the developments frontage.
- f. Provide new water and sanitary sewer service connections for each lot. The Developer's engineer will size the connections for the required capacity of the development. The capacity of the existing water and sanitary sewer mains shall be assessed and any upgrades required to service the site shall be designed and



- installed at the Developer's expense. All existing service connections shall be capped at the main, at the Developer's expense, upon application for a demolition permit. Demolition of the existing residence must be performed prior to subdivision.
- g. A C91P fire hydrant will be required at the corner of 46B Avenue and 206 St. Locations to be approved by the Fire Department.
 - h. Conduct a water flow test and provide fire flow calculations by a Professional Engineer to determine if the existing water network is adequate for fire flows. Replacement of the existing watermain may be necessary to achieve the necessary pressure and flows to conform to Fire Underwriters Survey (FUS) "Water Supply for Public Fire Protection, a Guide to Recommended Practice, 1995".
 - i. Submit a site grading plan. The site grading plan must ensure drainage will not flow onto the neighbouring lots. Drainage swales may have to be installed to keep the flow within each lot. Retaining structures may be required.
 - j. Design a storm water management plan for the new lots. Rainwater management measures used on site shall limit the release rate to mitigate flooding and environmental impacts as detailed in the Subdivision and Development Servicing Bylaw.

B) The Developer is required to provide the following deposits and connection fees:

- a. The City requires a cash deposit, or an irrevocable letter of credit from a financial institution, acceptable to the City, in the amount of 110% of the estimated civil construction costs, as estimated by the Developer's engineer from approved engineering drawings.
- b. The City requires inspection and administration fees in accordance with the Subdivision and Development Servicing Bylaw. These fees will be based on a percentage of the estimated construction costs. (See Schedule A – General Requirement - GR5.1 for details).
- c. A deposit for the storm and sanitary connections is required, which will be determined after detailed civil engineering drawings are submitted, sealed by a Professional Engineer.



- d. The City requires water meters to be installed for each water service connection. A \$1500 security deposit is required for each of the new water meters. The deposit will be refunded after an inspection to ensure that the correct water meters are properly installed to City standards.

NOTE: Deposits for utility services or connections are estimates only. The actual cost incurred for the work will be charged. The City will provide the Developer with an estimate of connection costs, and the Developer will declare in writing that the estimate is acceptable.

C) The Developer is required to adhere to the following conditions:

- a. Underground hydro and telephone, and cable services to the development site are required.
- b. All survey costs and registration of documents with the Land Titles Office are the responsibility of the Developer.
- c. A complete set of “as-built” drawings sealed by a Professional Engineer shall be submitted to the City after completion of the works. Digital drawing files in .pdf and .dwg format shall also be submitted.
- d. Provide a tree survey and assessment report prepared by a Professional Arborist. The report should identify the trees that are to be retained and where replanting is required to replace trees that are removed. The selection, location and spacing of street trees, on the boulevard, shall be in accordance with the City of Langley’s Official Community Plan Bylaw, 2005, No. 2600 and Street Tree Program, November, 1999 manual.
- e. A copy of all geotechnical reports, signed and sealed by a geotechnical engineer licensed in BC, shall be submitted to the City prior to the initiation of any works.



BUDGET IMPLICATIONS:

The following development cost charges (for the creation of three new lots) shall be paid to the City of Langley prior to final approval of the subdivision:

City of Langley Development Cost Charges (3 new lots)	\$55,227.00
Greater Vancouver Sewerage & Drainage District Charges	\$5,193.00
<u>School District No. 35 School Site Acquisition Charge</u>	<u>\$2,211.00</u>
Total	\$62,631.00

ALTERNATIVES:

1. Require changes to the applicant's proposal.

Prepared by:



Gerald Minchuk, MCIP
Director of Development Services
& Economic Development/Approving Officer

Attachments:





**MINUTES OF THE
ADVISORY PLANNING COMMISSION MEETING**

**HELD IN LANGLEY CITY HALL
CKF COMMUNITY BOARDROOM**

**WEDNESDAY, APRIL 12, 2017
7:00 PM**

Present: Councillor Jack Arnold, Chairman
Councillor Paul Albrecht, Vice-Chairman
John Beimers
Trish Buhler
Shelley Coburn, School District No. 35
Esther Lindberg
Dan Millsip
George Roman
Jamie Schreder

Staff: Gerald Minchuk, Director of Development Services & Economic
Development

Absent: Hana Hutchinson
Corp. Steve McKeddie, Langley RCMP

1) RECEIPT OF MINUTES

MOVED BY Commission Member Buhler
SECONDED BY Commission Member Millsip

THAT the minutes for the March 8, 2017 Advisory Planning Commission
meeting be received as circulated.

CARRIED

2) **REZONING APPLICATION RZ 04-17/DEVELOPMENT PERMIT APPLICATION DP 05-17 -19942 BRYDON CRESCENT**

The Director Development Services & Economic Development provided a brief overview of the planning context for the proposed application and introduced Wes Friesen, Project Architect, Points West Architecture. Mr. Friesen presented the proposed rezoning and development permit applications. Following discussion regarding density, building form and character, landscaping, CPTED, engineering servicing requirements it was:

MOVED BY Commission Member Lindberg
SECONDED BY Commission Member Schreder

That Rezoning Application RZ 04-17/Development Permit Application DP 05-17 to accommodate a 4-storey, 54-unit condominium development located at 19942 Brydon Crescent be approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report be approved.

CARRIED

3) **DEVELOPMENT PERMIT APPLICATION DP 07-16 – 20566 GRADE CRESCENT and 20551 -46A AVENUE-COASTLAND ENGINEERING & SURVEYING LTD.**

The Director Development Services & Economic Development provided a brief overview of the planning context for the proposed 5-lot subdivision located within the Estate Residential Development Permit Area and introduced Mike Helle, Coastland Engineering & Surveying Ltd. Mr. Helle presented the proposed 5-lot subdivision. Following extensive discussion regarding the site plan, tree removal and replacement, and proposed house plans, it was:

MOVED BY Commission Member Biemers
SECONDED BY Commission Member Millsip

That Development Permit Application DP 07-16 to accommodate a 5-lot subdivision located at 20566 Grade Crescent and 20551-46A Avenue be approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report.

CARRIED

4) **NEXT MEETING**

Wednesday, June 14, 2017 (Tentative)

5) **ADJOURNMENT**

MOVED BY Commission Member Coburn
SECONDED BY Commission Member Roman

THAT the meeting adjourn at 8:30 P.M.

CARRIED



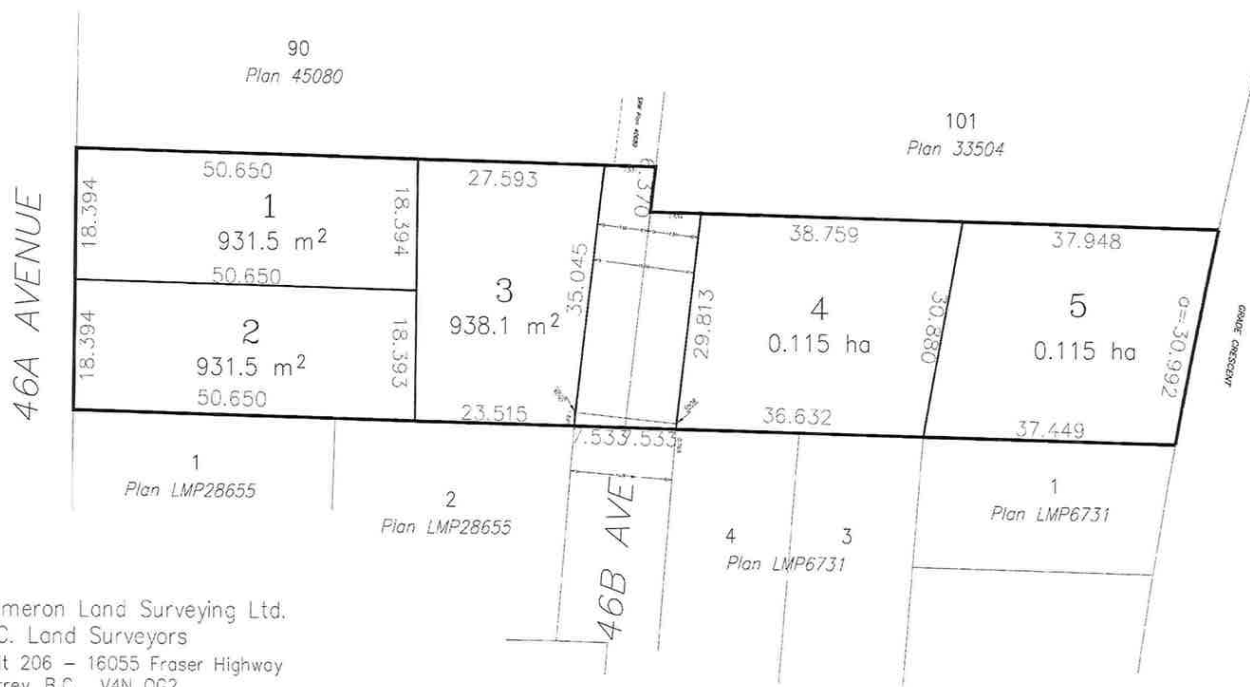
ADVISORY PLANNING COMMISSION CHAIRMAN



DIRECTOR OF DEVELOPMENT SERVICES & ECONOMIC DEVELOPMENT

Certified Correct

SUBDIVISION PLAN OF PARCEL "A" (EXPLANATORY PLAN 29502) LOT 5
 EXCEPT: PART SUBDIVIDED BY PLAN 45080 AND LOT 102 PLAN 33504
 BOTH OF SECTION 35 TOWNSHIP 7 NEW WESTMINSTER DISTRICT



Cameron Land Surveying Ltd.
 B.C. Land Surveyors
 Unit 206 - 16055 Fraser Highway
 Surrey, B.C. V4N 0G2
 Phone: 604-597-3777
 Fax: 604-597-3783
 File: 5968-SUB

This plan lies within the Greater Vancouver Regional District



MINUTES OF A REGULAR COUNCIL MEETING

Monday, April 3, 2017

7:00 p.m.

Council Chambers, Langley City Hall

20399 Douglas Crescent

Present:

- Mayor Schaffer
- Councillor Arnold
- Councillor Albrecht
- Councillor Martin
- Councillor Pachal
- Councillor Storteboom
- Councillor van den Broek

Staff Present:

- F. Cheung, Chief Administrative Officer
- D. Leite, Director of Corporate Services
- G. Minchuk, Director of Development Services and Economic Development
- R. Bomhof, Director of Engineering, Parks and Environment
- K. Hilton, Director of Recreation, Culture and Community Services
- P. Kusack, Deputy Corporate Officer

1. COMMITTEE OF THE WHOLE

The Mayor noted that Council will move into a Committee of the Whole meeting. A Committee of the Whole meeting provides Council the opportunity to hear input from the public and allows Council a greater opportunity to speak to and debate specific agenda items.

Motion # 17/050

MOVED BY Councillor van den Broek
SECONDED BY Councillor Storteboom

THAT Council commence Committee of the Whole.

CARRIED

- a. Bylaw 3016 - Road Closure Bylaw
Closure of a portion of highway adjacent to 20416 Park Avenue.

The Director of Development Services & Economic Development explained the purpose of the bylaw noting that the road closure is for an area that is 55.3m² and is no longer required. The City intends to sell the property. Mayor Schaffer invited members of the public to comment on the proposed bylaw.

No members of the public offered any comment.

Motion # 17/051

MOVED BY Councillor Storteboom

SECONDED BY Councillor Arnold

THAT Committee of the Whole rise and report.

CARRIED

2. ADOPTION OF AGENDA

- a. Adoption of the April 3, 2017 Regular Agenda

Motion # 17/052

MOVED BY Councillor Martin

SECONDED BY Councillor Arnold

THAT the April 3, 2017 agenda be adopted as circulated.

CARRIED

3. ADOPTION OF THE MINUTES

- a. Regular Meeting Minutes from March 20, 2017

Motion # 17/053

MOVED BY Councillor van den Broek

SECONDED BY Councillor Pachal

THAT the minutes of the regular meeting held on March 20, 2017 be adopted as circulated.

CARRIED

4. BUSINESS ARISING FROM COMMITTEE OF THE WHOLE

- a. Bylaw 3016
Final reading of a bylaw to close and remove the dedication of a portion of highway adjacent to 20416 Park Avenue dedicated by Plan 80124.

Motion # 17/054

MOVED BY Councillor Albrecht

SECONDED BY Councillor Storteboom

THAT the bylaw cited as "Road Closure Bylaw No. 3016, 2017" be read a final time.

CARRIED

5. COMMUNITY SPOTLIGHT

- a. Zosia Ettenberg
Langley Volunteers

Ms. Ettenberg introduced the members of the Langley Volunteers board. She provided some history on the creation of the Langley Volunteers organization and how the need arose for the volunteer bureau. They receive funding from sponsorships, partnerships, memberships and program fees. She explained their mission and about the services they provide. She thanked Council for their ongoing support and invited them to attend their Inaugural Meet and Greet event which they are hosting on April 22 from 1pm-4pm at Douglas Recreation Centre in honour of Volunteer Week.

Ms. Ettenberg invited the City to host a table at the Inaugural Meet and Greet if they are looking to recruit volunteers for any future events.

6. MAYOR'S REPORT

Upcoming Meetings

Regular Council Meeting – April 24, 2017

Regular Council Meeting – May 8, 2017 - Televised

Metro Vancouver Update - Councillor Storteboom

The Census numbers recently released identify that Metro Vancouver added 150,000 new residents over the past five years. Certainly, this is no surprise but these numbers do bring challenges in providing services like water, sewage treatment and affordable housing.

But we're doing our part. This month, we opened the Port Mann Water Supply Tunnel and received provincial funding for a new Lions Gate Wastewater Treatment Plant. At the same time, volunteers hit the streets to assess the homelessness crisis and we launched Local Government Matters to find out how candidates in the B.C. election will step up for Metro Vancouver.

He also reported that "Immersion", the 27-minute suite performed in the Break Head Tank at the Capilano Works Yard, has been nominated for a Juno award this year. This video can be viewed online at the Metro Vancouver website.

With spring finally here, Metro has "kicked off" the celebration of the 50th anniversary of our Regional Parks. In conjunction with the Canada 150 celebration and the waiving fees for federal parks, this will be a great summer to get out in our beautiful nature.

Engineering Update - Rick Bomhof, Director of Engineering, Parks and Environment

Mr. Bomhof highlighted upcoming and ongoing projects including: 56 Avenue improvements from Glover Rd to Langley Bypass; traffic calming at 50 Ave and Conder Park, 198th Street at Brydon Park, Michaud Cres and 201A at Linwood Park; Watermain flushing from March 20 – May 15; Baldi Creek bank restoration; Newlands Drive storm sewer replacement and upgrade; pothole repairs and walkway maintenance.

Recreation Update - Kim Hilton, Director of Recreation, Culture and Community Services

Ms. Hilton provided an update about upcoming special events and recreation programs including National Canadian Film Day; Extreme Airpark; and Tri-It Triathlon. Youth

Week is taking place the week of May 1 and the City is hosting many events including: Build a Community Garden; 3 on 3 basketball tournament; Art Show & Art Battle; Amazing Race; Carnival. All events are free to youth. Al Anderson Memorial Pool will open May 12th. The new Spring/Summer Recreation Guide is out and provides an opportunity to learn about all upcoming programs and events.

7. BYLAWS

- a. Bylaw 3006
Final reading of a bylaw to amend the Zoning Bylaw to accommodate a 4-storey, 28 unit townhouse development at 5501 & 5503 - 198th Street, 5509 198th Street, 19771 55 Avenue.

Motion # 17/055

MOVED BY Councillor Albrecht

SECONDED BY Councillor Storteboom

THAT the bylaw cited as “Zoning Bylaw 1996, No. 2100 Amendment No. 132, 2016, No. 3006” be read a final time.

CARRIED

1. Development Permit No. 08-16
5501 & 5503 - 198th Street, 5509 198th Street, 19771 55 Avenue

Motion # 17/056

MOVED BY Councillor Martin

SECONDED BY Councillor Pachal

THAT Development Permit Application DP 08-16 to accommodate a 4-storey, 28-unit townhouse complex located at 5501 & 5503 – 198 Street, 5509 – 198 Street and 19771 – 55 Avenue be approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development’s report.

CARRIED

- b. Bylaw 3017
First and second reading of a bylaw to amend the Zoning Bylaw to accommodate a 4-storey, 62 unit condominium apartment development at 5406, 5418-5420 198 Street and 19829-19831 54 Avenue.

Motion # 17/057

MOVED BY Councillor Storteboom

SECONDED BY Councillor Albrecht

THAT the bylaw cited as "Zoning Bylaw 1996, No. 2100 Amendment No. 134, 2017, No. 3017" be read a first time.

THAT that bylaw cited as "Zoning Bylaw 1996, No. 2100 Amendment No. 134, 2017, No. 3017" be read a second time.

CARRIED

c. Bylaw 3018

First and second reading of a bylaw to amend the Zoning Bylaw to accommodate a 5-storey, 88 unit condominium apartment development at 5630 and 5640 201A Street.

Motion # 17/058

MOVED BY Councillor Martin

SECONDED BY Councillor Storteboom

THAT the bylaw cited as "Zoning Bylaw 1996, No. 2100 Amendment No. 135, 2017, No. 3018" be read a first time.

THAT the bylaw cited as "Zoning Bylaw 1996, No. 2100 Amendment No. 135, 2017, No. 3018" be read a second time.

CARRIED

8. ADMINISTRATIVE REPORTS

a. 56 Avenue Road and Utility Project – Tender Award

Motion # 17/059

MOVED BY Councillor Martin

SECONDED BY Councillor Albrecht

THAT Council award the tender T2017-01, 56 Ave: Roadworks and Utility Project, to Richco Contracting Ltd. based on their bid of \$4,157,864.00 (excluding GST).

THAT Council authorize the Director of Engineering, Parks and Environment and the Chief Administrative Officer to execute documents related to this award.

CARRIED

9. NEW AND UNFINISHED BUSINESS

a. Motions/Notices of Motion

1. Task Group Appointments

Motion # 17/060

MOVED BY Councillor Storteboom

SECONDED BY Councillor Arnold

THAT Councillor Gayle Martin be appointed to the Homelessness Action Table Task Group.

CARRIED

Motion # 17/061

MOVED BY Councillor Martin

SECONDED BY Councillor Albrecht

THAT Councillor Nathan Pachal be appointed to the “Develop a Sustainable Program to “Deter Crime and Target Crime Hot Spots” Task Group.

THAT the following members of the public be appointed to the “Develop a Sustainable Program to Deter Crime and Target Crime Hot Spots” Task Group: Vivian Thompson; Lynn Whitehouse; Sandy Dunkley; Davis Krell; Valerie Frolander

CARRIED

b. Correspondence

c. New Business

10. ADJOURNMENT

Motion # 17/062

MOVED BY Councillor Albrecht

SECONDED BY Councillor Arnold

THAT the meeting adjourn at 7:44pm

CARRIED

MAYOR

CORPORATE OFFICER



ZONING BYLAW, 1996, No. 2100
AMENDMENT No. 134, 2017, BYLAW No. 3017
DEVELOPMENT PERMIT APPLICATION DP 02-17

To consider a Rezoning Application and Development Permit Application by Keystone Architecture & Planning Ltd. to accommodate a 4-storey, 62-unit condominium apartment development.

The subject property is currently zoned RM1 Multiple Residential Low Density Zone and RS1 Single Family Residential Zone in Zoning Bylaw No. 2100 and designated “High Density Residential” in the Official Community Plan. All lands designated Multiple Family Residential are subject to a Development Permit to address building form and character.

COMMENTS/ANALYSIS:

Background Information:

Applicant:	Keystone Architecture & Planning Ltd.
Owners:	Randy Cotton, Khalid Musa, 1100626 B.C. Ltd., K& G Claire Holdings Ltd.
Civic Addresses:	5406, 5418-5420 -198 th Street and 19829-19831-54 th Avenue
Legal Description:	Strata Lot 1, Section 3, Township 8, New Westminster District Strata Plan NW788 Together With An Interest In The Common Property In Proportion To The Unit Entitlement Of The Strata Lot As Shown On Form 1, Strata Lot 2, Section 3, Township 8, New Westminster District Strata Plan NW788 Together With An Interest In The Common Property In Proportion To The Unit Entitlement Of The Strata Lot As Shown On Form 1, Lot 1, Section 3, Township 8, New Westminster District Plan 21252, Lot 3, Section 3, Township 8, New Westminster District Plan 21252
Site Area:	.77acre (33,866.55 ft ²)
Total Parking Required:	90 spaces (including 12 visitor)
Total Parking Provided:	90 spaces (including 12 visitor)
Existing Zoning:	RM1 –Multiple Residential Low Density Zone and RS1 –Single Family Residential Zone
Proposed Zoning:	CD 46 –Comprehensive Development Zone
OCP Designation:	High Density Residential (80 units/acre)
Variances Requested:	None
Development Cost Charges:	\$586,742 (includes \$104,387.50 DCC Credit)



**ZONING BYLAW, 1996, No. 2100
AMENDMENT No. 134**

BYLAW No. 3017

A Bylaw to amend City of Langley Zoning Bylaw, 1996, No. 2100 to add a new Comprehensive Development Zone (CD46) and to rezone the property located at 5406, 5418-5420-198th Street and 19831-54th Avenue to the new zone.

WHEREAS the *Local Government Act* authorizes a local government to zone areas of a municipality and to make regulations pursuant to zoning;

NOW THEREFORE the Council of the City of Langley, in open meeting assembled, enacts as follows:

1. Title

This bylaw shall be cited as the “Zoning Bylaw 1996, No. 2100 Amendment No. 134, 2017, No. 3017”.

2. Amendment

- (1) Bylaw No. 2100, cited as the “Zoning Bylaw, 1996, No. 2100” is hereby amended by adding in Part VII Comprehensive Development Zones the following as the new Zone classification of Comprehensive Development – 46 (CD46) Zone: immediately after Comprehensive Development -45 (CD45) Zone:

“00. CD46 COMPREHENSIVE DEVELOPMENT ZONE

1. Intent

This Zone is intended to accommodate and regulate a 4-storey, 62-unit condominium apartment development.

2. Permitted Uses

The Land, buildings and structures shall only be used for the following uses only:

- (a) Multiple-Unit Residential; and

- (b) Accessory uses limited to the following:
 - (i) *Home Occupations* excluding bed and breakfast and *child care centre*.

3. **Site Dimensions**

The following lot shall form the site and shall be zoned CD 46 Comprehensive Development Zone on the Zoning Map, City of Langley Zoning Bylaw, 1996, No. 2100, Schedule “A”:

- (a) PID: 001-522-841
Strata Lot 1, Section 3, Township 8, New Westminster District Strata Plan NW788 Together With An Interest In The Common Property In Proportion To The Unit Entitlement Of The Strata Lot As Shown On Form 1
- (b) PID: 001-522-884
Strata Lot 2, Section 3, Township 8, New Westminster District Strata Plan NW788 Together With An Interest In The Common Property In Proportion To The Unit Entitlement Of The Strata Lot As Shown On Form 1
- (c) PID: 010-344-616
Lot 1, Section 3, Township 8, New Westminster District Plan 21252

4. **Siting and Size of Buildings and Structures and Site Coverage**

The location, size and site coverage of the buildings and structures of the Development shall generally conform to the plans and specifications comprising 19 pages and dated February 2, 2017 prepared by Keystone Architecture & Planning and KD Planning and Design, 1 copy of which is attached to Development Permit 02-17.

5. **Special Regulations**

Special regulations shall comply with subsection 9 Special Regulations prescribed in the respective zones under different Parts of this bylaw.

6. **Other Regulations**

In addition, land use regulations including the following are applicable:

- (a) General provisions on use are set out in Section I.D. of this bylaw;

- (b) Building Permits shall be subject to the City of Langley Building and Plumbing Regulation Bylaw and the Development Cost Charge Bylaw; and
- (c) Subdivisions shall be subject to the City of Langley Subdivision and Development Servicing Bylaw, and the *Land Title Act*.”

READ A FIRST AND SECOND TIME this third day of April, 2017.

A PUBLIC HEARING, pursuant to Section 464 of the “Local Government Act” was held this ----- day of -----, 2017.

READ A THIRD TIME this ----- day of -----, 2017.

FINALLY ADOPTED this ----- day of -----, -----.

MAYOR

CORPORATE OFFICER

Civic Address:	5406 – 198 Street, 5418-5420 – 198 Street, 19829-19831 – 54 Avenue
Legal Description:	Lots 1 & 3, Section 3, Township 8, New Westminster District, Plan 21252; Strata Lots 1 & 2, Section 3, Township 8, New Westminster District, Strata Plan NW788
Owner:	1100626 BC Ltd., R. Cotton, K. Musa
Applicant:	North Meridian Enterprises Ltd.





ADVISORY PLANNING COMMISSION REPORT

To: **Advisory Planning Commission**

Subject **Rezoning Application 02-17/Development
Permit Application 02-17, Keystone
Architecture & Planning, 5406, 5418-5420 -
198th Street and 19829-19831-54 Avenue**

File #: 6620.00

From: Development Services & Economic Development
Department

Doc #:

Date: February 21, 2017

COMMITTEE RECOMMENDATION:

That Rezoning Application RZ 02-17 and Development Permit Application 02-17 to accommodate a 62 unit condominium apartment located at 5406, 5418-5420-198th Street and 19829-19831- 54 Avenue be approved subject to execution of a Development Servicing Agreement in compliance with the conditions outlined in the Director of Development Services & Economic Development report

PURPOSE OF REPORT:

To consider a Rezoning Application and Development Permit Application by Keystone Architecture & Planning Ltd. to accommodate a 62 unit condominium development.

POLICY:

The subject properties are zoned RM1 Multiple Residential Low Density Zone and RS1 Single Family Residential Zone in Zoning Bylaw No. 2100 and designated “High Density Residential” in the Official Community Plan. All lands designated



Multiple Family Residential are subject to a Development Permit to address building form and character.

COMMENTS/ANALYSIS:

Background Information:

Applicant:	Keystone Architecture & Planning Ltd.
Owners:	Randy Cotton, Khalid Musa, 1100626 B.C. Ltd., K& G Claire Holdings Ltd.
Civic Addresses:	5406, 5418-5420 -198 th Street and 19829-19831-54 th Avenue
Legal Description:	Strata Lot 1, Section 3, Township 8, New Westminster District Strata Plan NW788 Together With An Interest In The Common Property In Proportion To The Unit Entitlement Of The Strata Lot As Shown On Form 1, Strata Lot 2, Section 3, Township 8, New Westminster District Strata Plan NW788 Together With An Interest In The Common Property In Proportion To The Unit Entitlement Of The Strata Lot As Shown On Form 1, Lot 1, Section 3, Township 8, New Westminster District Plan 21252, Lot 3, Section 3, Township 8, New Westminster District Plan 21252
Site Area:	.77acre (33,866.55 ft ²)
Lot Coverage:	39%
Gross Floor Area:	13,219 ft ²
Floor Area Ratio:	1.57 FSR
Total Parking Required:	90 spaces (including 12 visitor)
Total Parking Provided:	90 spaces (including 12 visitor)
Existing Zoning:	RM1 –Multiple Residential Low Density Zone and RS1 –Single Family Residential Zone
Proposed Zoning:	CD 46 –Comprehensive Development Zone
OCP Designation:	High Density Residential (80 units/acre)
Variances Requested:	None
Development Cost Charges:	\$586,742 (includes \$104,387.50 DCC Credit)
Community Amenity Charge:	\$62,000 (@\$1,000/unit)



Engineering Requirements:

Additional design changes may be required upon further investigation, site inspections and receipt of supporting reports and documents. All work to be done to the City of Langley Specifications & MMCD Standards.

These requirements have been issued for a rezoning and development permit for a proposed **Multi-Family Development**. These requirements may be subject to change upon receipt of a development application.

The City's Zoning Bylaw, 1996, #2100 has requirements concerning landscaping for buffer zones, parking, loading areas, and garbage / recycling areas, all of which apply to this Development.

A) The developer is responsible for the following work which shall be designed and approved by a Professional Engineer:

1. Implement erosion and sediment control measures designed and approved by a qualified professional in accordance with the City of Langley Watercourse Protection Bylaw #2518.
2. Conduct a water flow test and provide fire flow calculations by a Professional Engineer to determine if the existing water network is adequate for fire flows and achieve the necessary pressure and flows to conform to Fire Underwriters Survey (FUS) "Water Supply for a Public Fire Protection, a Guide to Recommended Practice, 1995".
3. Additional C71P fire hydrants may be required to meet bylaw and firefighting requirements. Hydrant locations must be approved by the City of Langley Fire Department.
4. New water, sanitary and storm sewer service connections are required for the site. The developer's engineer will determine the appropriate main tie in locations and size the connections for the necessary capacity. The capacity of the existing water and sewer mains shall be assessed and any upgrades required to service the site shall be designed and installed at the Developer's expense. All existing services shall be capped at the main, at the Developer's expense.



5. A stormwater management plan for the site is required. Rainwater management measures used on site shall limit the release rate to mitigate flooding and environmental impacts as detailed in the Subdivision and Development Bylaw.
6. The site layout shall be designed by a civil engineer to ensure that the parking and access layout meets minimum design standards, including setbacks from property lines. Appropriate turning templates should be used to prove parking stalls and drive-aisles are accessible by the design vehicle.
7. The condition of the existing pavement surrounding the site shall be assessed by a geotechnical engineer. Pavements shall be adequate for an expected road life of 20 years under the expected traffic conditions for the class of road. Road construction and asphalt overlay designs shall be based on the analysis of the results of Benkelman Beam tests and test holes carried out on the existing road which is to be upgraded. If the pavement is inadequate it shall be remediated, at developer's cost. Additionally, any widening of the pavement structure, required to meet the design road width, will need to be designed by a geotechnical engineer.
8. Vehicular access to the site will be from the laneway north of the site and/or 54 Avenue.
9. Removal of driveway crossings, new street trees, street lighting, curb and gutter and 1.8m wide sidewalk is required along 198 Street.
10. Removal of driveway crossings, new street trees, curb and gutter and 1.5m wide sidewalk is required along 54 Avenue. 54 Avenue shall be designed to a modified local road standard (curb to curb width 11.0m)
11. Existing street lighting along 54 Avenue Street shall be reviewed, by an approved lighting consultant, to ensure existing street lighting and lighting levels meet current City of Langley standards.
12. Undergrounding of overhead hydro/telephone is required along the 198 Street and 54 Avenue frontages.

B) The developer is required to deposit the following bonding and connection fees:

1. A Security Deposit of 110% of the estimated offsite works, as approved by the Director of Engineering, Parks and Environment, will be required.



2. Inspection and administration fees in accordance to the Subdivision Bylaw based on a percentage of the estimated construction costs. (See Schedule A – General Requirement - GR5.1 for details).
3. A deposit for storm, sanitary and water connections is required, which will be determined after detailed civil engineering drawings are submitted, sealed by a Professional Engineer.
4. A \$20,000 bond for the installation of a water meters to current standards.

C) The developer is required to adhere to the following conditions:

1. Underground hydro and telephone, and cable services to the development site are required.
2. Consolidate the subject properties. All survey costs and registration of documents with the Land Titles Office are the responsibility of the developer/owner.
3. Water meters are required for each water connection and are to be installed outside in a vault away from any structure, in accordance with the City's water meter specifications, at the developer's cost.
4. An approved backflow prevention assembly must be installed on the domestic water connection immediately upon entering the building to provide premise isolation.
5. A "Stormceptor" or equivalent oil separator is required to treat site surface drainage.
6. A complete set of "as-built" drawings sealed by a Professional Engineer shall be submitted to the City after completion of the works. Digital drawing files in *.pdf* and *.dwg* format shall also be submitted.
7. The selection, location and spacing of street trees and landscaping shall be in accordance with the City of Langley's Official Community Plan Bylaw, 2005, No. 2600 and Street Tree Program, November, 1999 manual.
8. Stormwater run-off generated on the site shall not impact adjacent properties, or roadways.
9. Garbage and recycling enclosures shall be designed to meet Metro Vancouver's "Technical Specifications for Recycling and Garbage Amenities in Multi-family and Commercial Developments - June 2015 Update". The current layout does not seem to provide a location for this.



Discussion:

The proposed four-story condominium apartment proposes unit sizes ranging from approximately 400 ft² to 1,100 ft² and offer a variety of studio, one-bedroom, two-bedroom and two-bedroom plus den suites. The siting and massing of the building is designed to allow natural daylight into the units through large windows and balcony projections and into the courtyard from the east where morning daylighting will encourage activity within the generous outdoor amenity space provided. Indoor and outdoor amenity space is conveniently connected at the ground floor level through an inviting covered entrance with walkways that connect the spaces as well as to and from the street and visitors parking area.

The building façade is rhythmically divided up and massed vertically and horizontally in such a way to create a sense of individuality and to appear as separate buildings, with a ground floor level scaled to allow a street-friendly and inviting connection with the two street faces. The exposed parkade portions are surface treated and line with a vegetative buffer and are permeable from the street by means of wide stairs and ramps.

The exterior treatment reflect that of an urban contemporary vernacular theme with the use of grey, white and steel tones and wood accents to bring a sense of warmth and welcoming as a livable space within the City of Langley.

Materials consist of a blend of stone, metal panel, cementitious cladding and stucco with glass and steel panel along the balcony projections that both articulate a lower scale at the street courtyard entries, and also sense of interest, openness and livability at the upper exterior interfaces with the public realm with enhanced views allow tenants to experience the outdoor while yet maintaining privacy within the suites.

Convenient dedicated visitor and including handicap parking stalls is located on the surface, with a separate secured parking area with a security gate for tenants. Planting and landscape features incorporated CPTED principles, featuring decorative fencing along the street level softening the hard streetscape and pedestrian walkways throughout the entire development.

The proposed development generally complies with the Multifamily Residential Development Permit Area Guidelines for apartment developments.



Fire Department Comments:

Langley City Fire-Rescue Service has reviewed the attached plans and provided preliminary comments to the applicant. The department will review, and make further comment, as the project continues to the building permit design stage.

Advisory Planning Commission:

In accordance with Development Application Procedures Bylaw No. 2488, the subject applications will be reviewed by the Advisory Planning Commission at the March 8, 2017 meeting. A copy of the APC minutes will be presented to Langley City Council at the March 20, 2017 Regular Council meeting.

BUDGET IMPLICATIONS:

In accordance with Bylaw No. 2482, the proposed development would contribute \$586,742 to Development Cost Charge accounts and \$62,000 in Community Amenity Charges.

ALTERNATIVES:

1. Require changes to the applicant's proposal.
2. Deny application.

Prepared by:



Gerald Minchuk, MCIP
Director of Development Services & Economic Development

attachments





**MINUTES OF THE
ADVISORY PLANNING COMMISSION MEETING**

**HELD IN LANGLEY CITY HALL
CKF COMMUNITY BOARDROOM**

**WEDNESDAY, MARCH 8, 2017
7:00 PM**

Present: Councillor Paul Albrecht, Vice-Chairman
John Beimers
Trish Buhler
Shelley Coburn, School District No. 35
Hana Hutchinson
Esther Lindberg
Corp. Steve McKeddie, Langley RCMP
Dan Millsip
George Roman
Jamie Schreder

Staff: Gerald Minchuk, Director of Development Services & Economic
Development

Absent: Councillor Jack Arnold, Chairman (with regrets)

1) **RECEIPT OF MINUTES**

MOVED BY Commission Member Lindberg
SECONDED BY Commission Member Schreder

THAT the minutes for the February 8, 2017 Advisory Planning
Commission meeting be received as circulated.

CARRIED

2) **REZONING APPLICATION RZ 02-17/DEVELOPMENT PERMIT**
APPLICATION DP 02-17 -5406, 5418, 5420-198TH STREET AND 19829-19831-54TH AVENUE

The Director Development Services & Economic Development provided a brief overview of the planning context for the proposed application and introduced Eric Poxleitner, Principal Architect, Keystone Architecture & Planning Inc. Mr. Poxleitner presented the proposed rezoning and development permit applications. Following discussion regarding density, building form and character, landscaping, CPTED, sprinkling provisions, amenity rooms, sustainability features, adaptable units, and engineering servicing requirements it was:

MOVED BY Commission Member Millsip
SECONDED BY Commission Member Buhler

That Rezoning Application RZ 02-17/Development Permit Application DP 02-17 to accommodate a 4-storey, 62-unit condominium apartment complex located at 5406, 5418, 5420-198th Street, and 19829-19831-54th Avenue be approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report be approved.

CARRIED

3) **REZONING APPLICATION RZ 03-17/DEVELOPMENT PERMIT**
APPLICATION DP 04-17 -5630 AND 5640-201A STREET

The Director Development Services & Economic Development provided a brief overview of the planning context for the proposed application and introduced Colin Hogan, Principal Architect, Focus Architecture Mr. Hogan presented the proposed rezoning and development permit applications. Following discussion regarding density, building form and character, landscaping, CPTED, sustainability features, amenity rooms, adaptable units, and engineering servicing requirements it was:

MOVED BY Commission Member Schreder
SECONDED BY Commission Member Buhler

That Rezoning Application RZ 03-17/Development Permit Application DP 04-17 to accommodate a 5-storey, 88-unit condominium apartment complex located at 5630 and 5640 -201A Street be approved subject to execution of a Development Servicing Agreement and compliance with

the conditions outlined in the Director of Development Services & Economic Development's report be approved.

CARRIED

4) **DEVELOPMENT PERMIT APPLICATION DP 03-17 -20670 LANGLEY BYPASS**

The Director Development Services & Economic Development provided a brief overview of the planning context for the proposed application and introduced Andrea Scott, Principal Lovick Scott Architects Ltd. Ms. Scott presented the proposed development permit application. Following discussion regarding building form and character, landscaping, CPTED, and engineering servicing requirements it was:

MOVED BY Commission Member Hutchinson
SECONDED BY Commission Member Lindberg

That Development Permit Application DP 03-17 to accommodate a 7,500 ft² retail warehouse located at 20670 Langley Bypass be approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report be approved.

CARRIED

5) **NEXT MEETING**

Wednesday, April 12, 2017

6) **ADJOURNMENT**

MOVED BY Commission Member Schreder
SECONDED BY Commission Member Roman

THAT the meeting adjourn at 9:00 P.M.

CARRIED



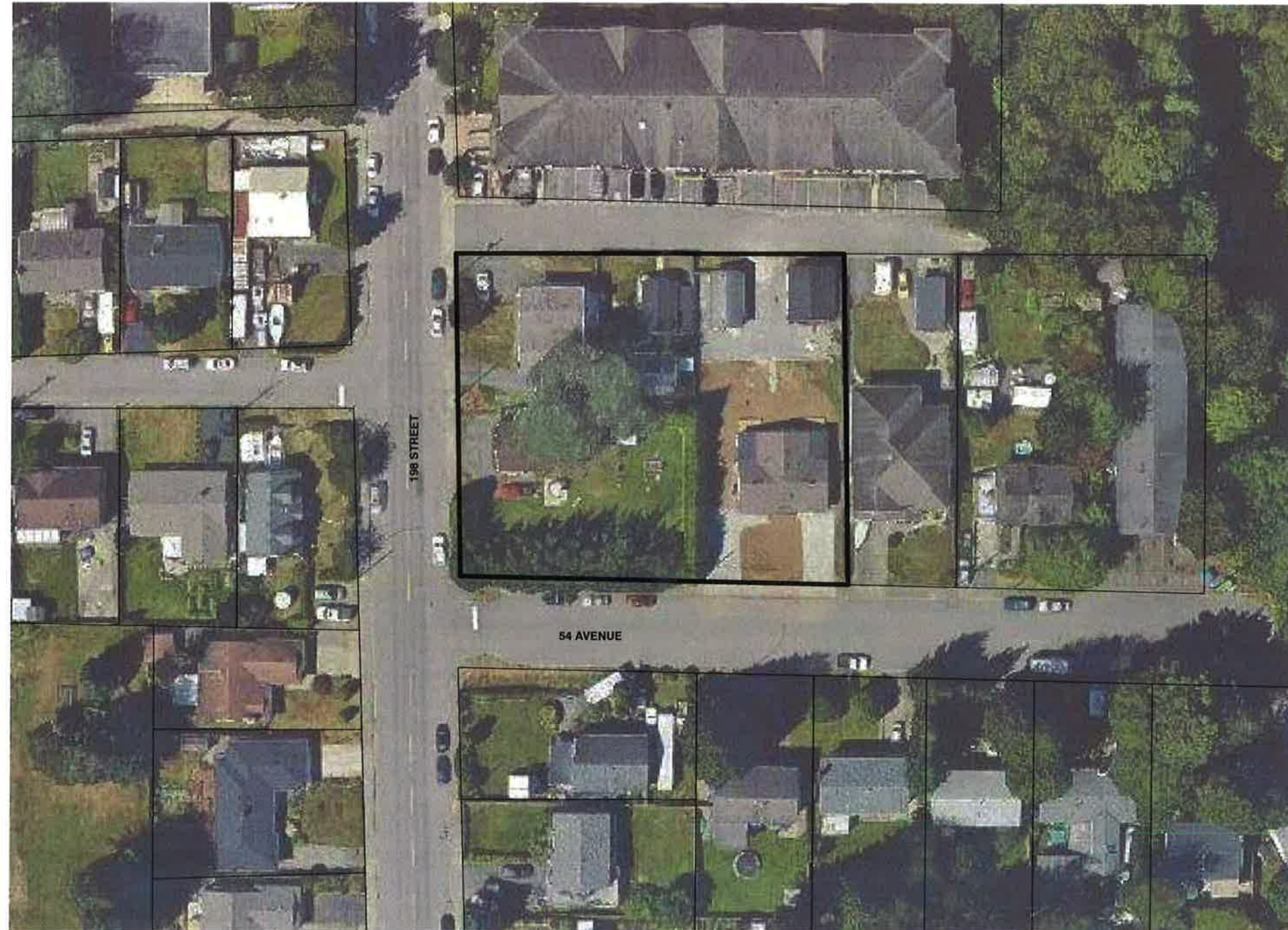
ADVISORY PLANNING COMMISSION VICE-CHAIRMAN



DIRECTOR OF DEVELOPMENT SERVICES & ECONOMIC DEVELOPMENT

Certified Correct







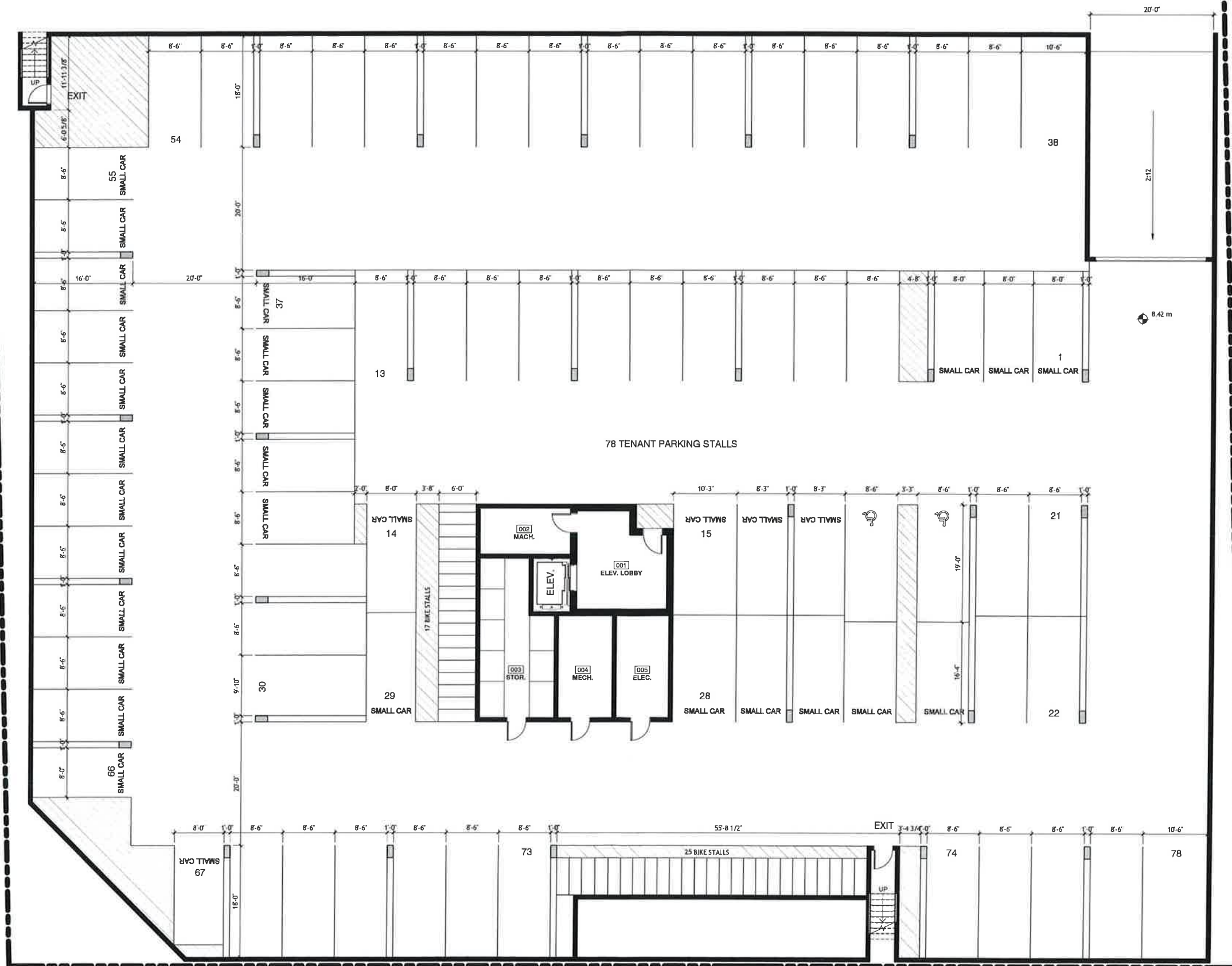
A. PROJECT DATA	
PROJECT:	NORTH MERIDIAN APARTMENTS
CURRENT ZONING:	RS - SINGLE FAMILY RESIDENTIAL
PROPOSED ZONING:	CD (COMPREHENSIVE DEVELOPMENT ZONE)
CIVIC ADDRESS:	54 AVENUE & 198 STREET, LANGLEY B.C.
LEGAL DESCRIPTION:	STRATA LOT 1 SECTION 3 TOWNSHIP 8 NEW WESTMINSTER DISTRICT STRATA PLAN HW788, PARCEL IDENTIFIER: 001-522-841 STRATA LOT 2 SECTION 3 TOWNSHIP 8 NEW WESTMINSTER DISTRICT STRATA PLAN HW788, PARCEL IDENTIFIER: 001-522-884 LOT 1 SECTION 3 TOWNSHIP 8 NEW WESTMINSTER DISTRICT PLAN 21252, PARCEL IDENTIFIER: 010-344-616 LOT 3 SECTION 3 TOWNSHIP 8 NEW WESTMINSTER DISTRICT PLAN 21252, PARCEL IDENTIFIER: 005-590-264
SITE AREA:	33,866.55 S.F. +/- (3146.31 S.M.)
BUILDING AREA:	13,219.02 S.F. +/- (1228.09 S.M.)
LOT COVERAGE:	39 %
FAR:	53,135.67 S.F. / 33,866.55 S.F. = 1.57

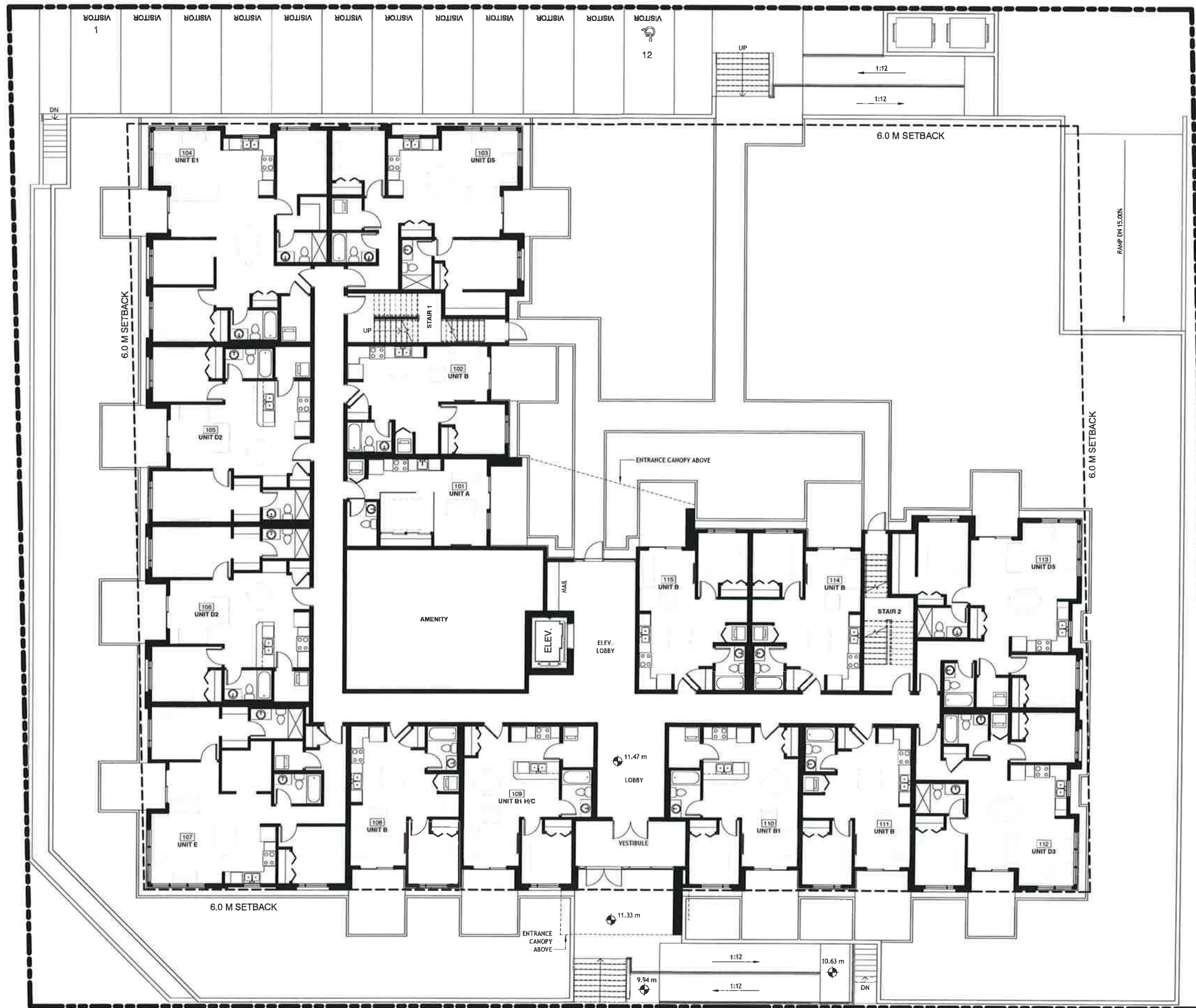
B. FLOOR AREA			
RESIDENTIAL		TOTAL	
1ST FLOOR	10393	965.54	
2ND FLOOR	11033.65	1025.06	
3RD FLOOR	11121.44	1033.22	
4TH FLOOR	11150.12	1035.88	
TOTAL	43698.21 S.F.	4059.70 S.M.	
STORAGE		TOTAL	
1ST FLOOR	0	0	
2ND FLOOR	0	0	
3RD FLOOR	760.22	70.63	
4TH FLOOR	760.22	70.63	
TOTAL	1520.44 S.F.	141.26 S.M.	
CIRCULATION / SERVICE		TOTAL	
1ST FLOOR	2026.13	188.23	
2ND FLOOR	1502.12	139.55	
3RD FLOOR	1414.33	131.40	
4TH FLOOR	1414.33	131.40	
TOTAL	6356.91 S.F.	590.58 S.M.	
AMENITY		TOTAL	
1ST FLOOR	799.89	74.31	
2ND FLOOR	760.22	71.23	
3RD FLOOR	0	0	
4TH FLOOR	0	0	
TOTAL	1560.11 S.F.	144.94 S.M.	
REQUIRED	25 S.F. / UNIT = 25 S.F. * 62 UNITS	1550.00 S.F.	144 S.M.
PARKADE		TOTAL	
P1	27497.56	2554.61	
TOTAL	27497.56 S.F.	2554.61 S.M.	
FLOOR AREA SUMMARY			
GROSS BLDG AREA	53135.67 S.F.	4936.47 S.M.	
NET RENTABLE SUITE AREA	43698.21 S.F.	4059.70 S.M.	
EFFICIENCY		82.2%	

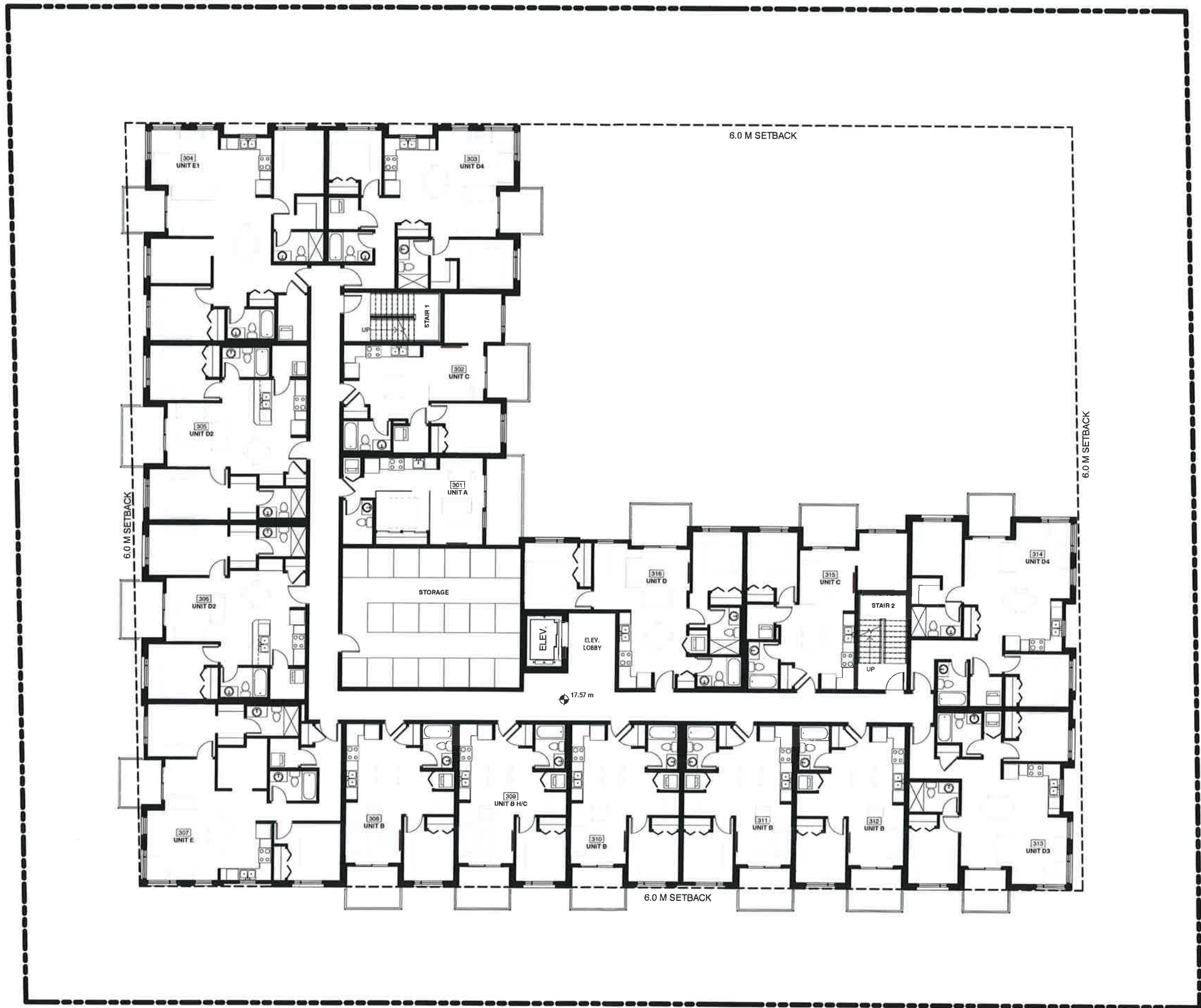
C. UNIT COUNT		
REFER TO AREA PLANS		
UNIT TYPE	QUANTITY	PERCENTAGE
STUDIO	4	6.5
1 BED	25	40.3
2 BED	33	53.2
TOTAL UNITS	62	100%
(INCLUDES 4 H/C SUITES)	(4)	(6.5%)

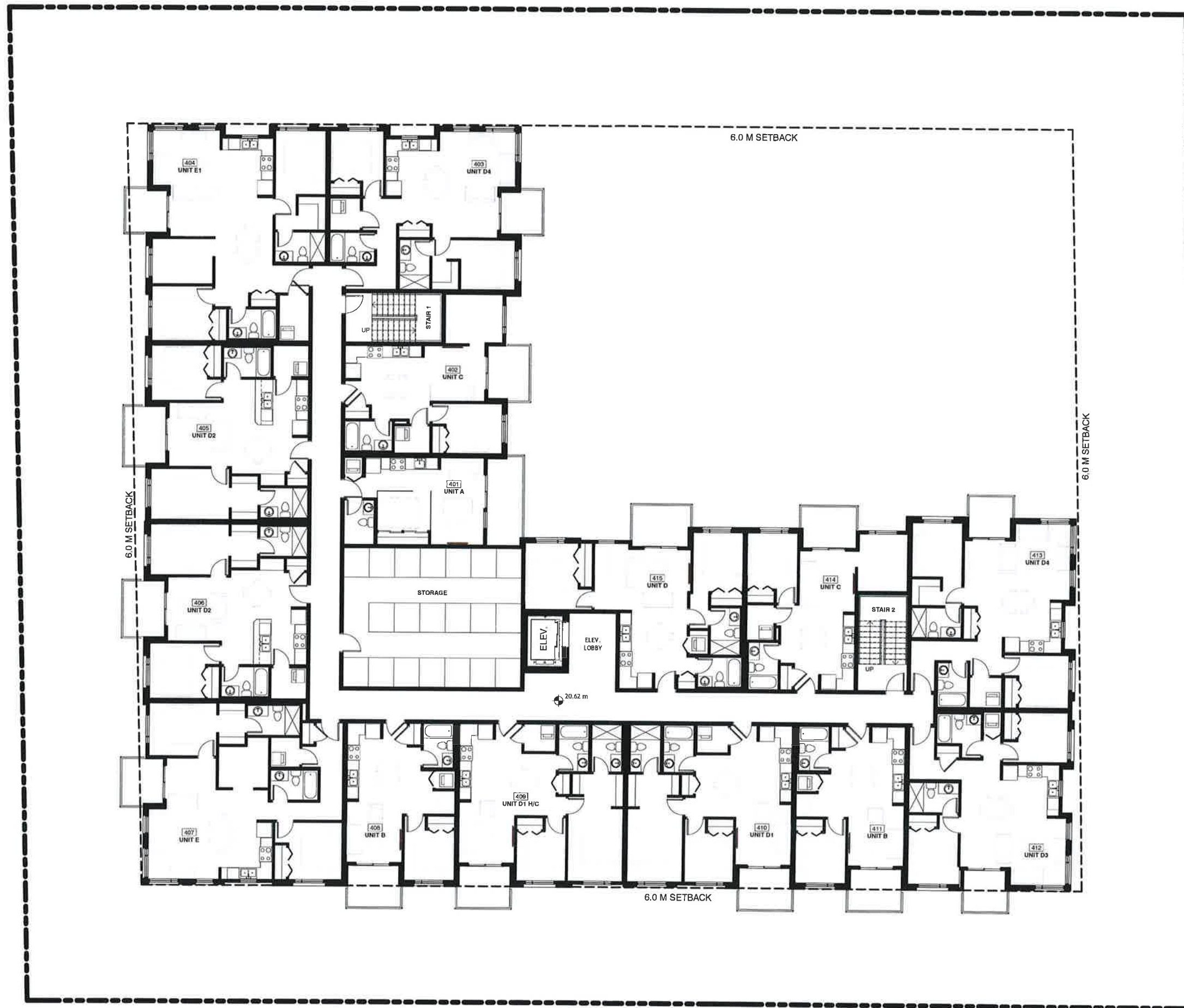
D. PARKING			
BASED ON RML ZONE			
REQUIRED (BYLAW REQUIREMENT)	NO. OF UNITS	FACTOR	TOTAL
RESIDENT - STUDIO	4	*1.2 STALLS/UNIT	5
RESIDENT - 1 BED	25	*1.2 STALLS/UNIT	30
RESIDENT - 2 BED	33	*1.3 STALLS/UNIT	43
VISITOR	62	*0.2	12
TOTAL PARKING STALLS REQUIRED			90
PROVIDED			
	SMALL CAR MAX 25 %	NO. H/C OF TOTAL	TOTAL
RESIDENT	29	2	78
VISITOR	0	1	12
TOTAL STALLS	32 %	3	90
BICYCLE PARKING REQUIRED (BYLAW REQUIREMENT)			
BICYCLE STALLS	NO. OF UNITS	FACTOR	TOTAL
	62	*0.5	31
BICYCLE PARKING PROVIDED			
BICYCLE STALLS	VERTICAL	HORIZONTAL	TOTAL
		42	42















SOUTH ELEVATION

1/8" = 1'-0"



WEST ELEVATION

1/8" = 1'-0"

MATERIAL LEGEND

- 1 EXTERIOR INSULATION FINISHING SYSTEM - STUCCO FINISH
COLOUR: ARCTIC WHITE
- 2 CEMENT BOARD SMOOTH PANEL SIDING (W/EASY TRIM ALUM.
REVEALS):
"JAMES HARDIE, COLOUR: 'NIGHT GRAY'
- 3 CEMENT BOARD SMOOTH PANEL SIDING (W/EASY TRIM ALUM.
REVEALS):
"JAMES HARDIE, COLOUR: 'IRON GRAY'
- 4 CEMENT BOARD CEDARSHILL HORIZONTAL LAP SIDING (6" EXPOSURE):
"JAMES HARDIE, COLOUR: 'EVENING BLUE'
- 5 MANUFACTURED STONE VENEER:
"CULTURED STONE, PRO-FIT MODERA LEDGESTONE
"COLOUR: 'CARBON'
- 6 LONGBOARD WOODGRAIN HORIZONTAL ALUMINUM SIDING, V-GROOVE
"COLOUR: 'LIGHT BAMBOO'
- 7 ALUMINUM METAL PANEL SIDING
"COLOUR: 'SILVER'
- 8 WINDOW VINYL:
"COLOUR: 'BLACK'
- 9 SLIDING PATIO DOOR VINYL:
"COLOUR: 'BLACK'
- 10 ALUMINUM BALCONY RAILING:
"COLOUR: 'BLACK'
- 11 HARDIE TRIM (RUSTIC GRAIN):
"JAMES HARDIE, COLOUR: 'IRON GRAY'
- 12 WOOD FASCIA BOARD (PAINTED):
"COLOUR: 'CHARCOAL'
- 13 WOOD FASCIA BOARD (PAINTED):
"COLOUR: 'PEARL GRAY'
- 14 METAL FLASHING:
"GENTEK, COLOUR: 'CHARCOAL'
- 15 EXTERIOR METAL GUARD
"COLOUR: 'BLACK'
- 16 EXTERIOR ALUMINUM RAILING:
"COLOUR: 'BLACK'
- 17 CONCRETE WALL:
"COLOUR: 'CLEAR SEALER'
- 18 PLANTERS (LANDSCAPE TIES)
"COLOUR: 'NATURAL WOOD'
- 19 ALUMINUM STOREFRONT SECTIONS:
"COLOUR: 'DARK BRONZE' (ANODIZED)
- 20 REVEAL:
"EASYTRIM, COLOUR: 'CLEAR ANODIZED'
- 21 EXTERIOR METAL DOOR:
"COLOUR: 'CHARCOAL'
- 22 METAL GUTTER:
"COLOUR: 'PREFINISHED CHARCOAL'
- 23 LONGBOARD WOODGRAIN ALUMINUM SOFFITS
"COLOUR: 'LIGHT BAMBOO'
- 24 BALCONY GLASS INFILL PANEL
- 25 BALCONY ALUMINUM METAL INFILL PANEL
"COLOUR: 'SILVER'



EAST ELEVATION
1/8" = 1'-0"



NORTH ELEVATION
1/8" = 1'-0"

MATERIAL LEGEND	
1	EXTERIOR INSULATION FINISHING SYSTEM - STUCCO FINISH COLOUR: ARCTIC WHITE
2	CEMENT BOARD SMOOTH PANEL SIDING (W/EASY TRIM ALUM. REVEALS): - JAMES HARDIE, COLOUR: NIGHT GRAY
3	CEMENT BOARD SMOOTH PANEL SIDING (W/EASY TRIM ALUM. REVEALS): - JAMES HARDIE, COLOUR: IRON GRAY
4	CEMENT BOARD CEDARMILL HORIZONTAL LAP SIDING (6" EXPOSURE): - JAMES HARDIE, COLOUR: EVENING BLUE
5	MANUFACTURED STONE VENEER: - CULTURED STONE, PRO-FIT MODERA LEDGESTONE - COLOUR: 'CARBON'
6	LONGBOARD WOODGRAIN HORIZONTAL ALUMINUM SIDING, V-GROOVE - COLOUR: 'LIGHT BAMBOO'
7	ALUMINUM METAL PANEL SIDING - COLOUR: 'SILVER'
8	WINDOW VINYL: - COLOUR: 'BLACK'
9	SLIDING PATIO DOOR VINYL: - COLOUR: 'BLACK'
10	ALUMINUM BALCONY RAILING: - COLOUR: 'BLACK'
11	HARDIE TRIM (RUSTIC GRAIN): - JAMES HARDIE, COLOUR: IRON GRAY
12	WOOD FASCIA BOARD (PAINTED): - COLOUR: 'CHARCOAL'
13	WOOD FASCIA BOARD (PAINTED): - COLOUR: 'PEARL GRAY'
14	METAL FLASHING: - GENTEX, COLOUR: 'CHARCOAL'
15	EXTERIOR METAL GUARD - COLOUR: 'BLACK'
16	EXTERIOR ALUMINUM RAILING: - COLOUR: 'BLACK'
17	CONCRETE WALL: - COLOUR: 'CLEAR SEALER'
18	PLANTERS (LANDSCAPE TIES) - COLOUR: 'NATURAL WOOD'
19	ALUMINUM STOREFRONT SECTIONS: - COLOUR: 'DARK BRONZE (ANODIZED)'
20	REVEAL: - 'EASYTRIM', COLOUR: 'CLEAR ANODIZED'
21	EXTERIOR METAL DOOR: - COLOUR: 'CHARCOAL'
22	METAL GUTTER: - COLOUR: 'PREFINISHED CHARCOAL'
23	LONGBOARD WOODGRAIN ALUMINUM SOFFITS: - COLOUR: 'LIGHT BAMBOO'
24	BALCONY GLASS INFILL PANEL
25	BALCONY ALUMINUM METAL INFILL PANEL - COLOUR: 'SILVER'



EAST ELEVATION - COURTYARD (Inside)

1/8" = 1'-0"



NORTH ELEVATION - COURTYARD (Inside)

1/8" = 1'-0"

MATERIAL LEGEND	
1	EXTERIOR INSULATION FINISHING SYSTEM - STUCCO FINISH COLOUR: ARCTIC WHITE
2	CEMENT BOARD SMOOTH PANEL SIDING (W/EASY TRIM ALUM. REVEALS): - JAMES HARDIE, COLOUR: 'NIGHT GRAY'
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4	CEMENT BOARD CEDARMILL HORIZONTAL LAP SIDING (6" EXPOSURE): - JAMES HARDIE, COLOUR: 'EVENING BLUE'
5	MANUFACTURED STONE VENEER: - CULTURED STONE, PRO-FIT MODERA LEDGESTONE - COLOUR: 'CARBON'
6	LONGBOARD WOODGRAIN HORIZONTAL ALUMINUM SIDING, V-GROOVE - COLOUR: 'LIGHT BAMBOO'
7	ALUMINUM METAL PANEL SIDING - COLOUR: 'SILVER'
8	WINDOW VINYL: - COLOUR: 'BLACK'
9	SLIDING PATIO DOOR VINYL: - COLOUR: 'BLACK'
10	ALUMINUM BALCONY RAILING: - COLOUR: 'BLACK'
11	HARDIE TRIM (RUSTIC GRAIN): - JAMES HARDIE, COLOUR: 'IRON GRAY'
12	WOOD FASCIA BOARD (PAINTED): - COLOUR: 'CHARCOAL'
13	WOOD FASCIA BOARD (PAINTED): - COLOUR: 'PEARL GRAY'
14	METAL FLASHING: - GENTEK, COLOUR: 'CHARCOAL'
15	EXTERIOR METAL GUARD - COLOUR: 'BLACK'
16	EXTERIOR ALUMINUM RAILING: - COLOUR: 'BLACK'
17	CONCRETE WALL: - COLOUR: 'CLEAR SEALER'
18	PLANTERS (LANDSCAPE TIES) - COLOUR: 'NATURAL WOOD'
19	ALUMINUM STOREFRONT SECTIONS: - COLOUR: 'DARK BRONZE' (ANODIZED)
20	REVEAL: - 'EASYTRIM', COLOUR: 'CLEAR ANODIZED'
21	EXTERIOR METAL DOOR: - COLOUR: 'CHARCOAL'
22	METAL GUTTER: - COLOUR: 'PREFINISHED 'CHARCOAL'
23	LONGBOARD WOODGRAIN ALUMINUM SOFFITS - COLOUR: 'LIGHT BAMBOO'
24	BALCONY GLASS INFILL PANEL
25	BALCONY ALUMINUM METAL INFILL PANEL - COLOUR: 'SILVER'



198 STREET & 54 AVENUE



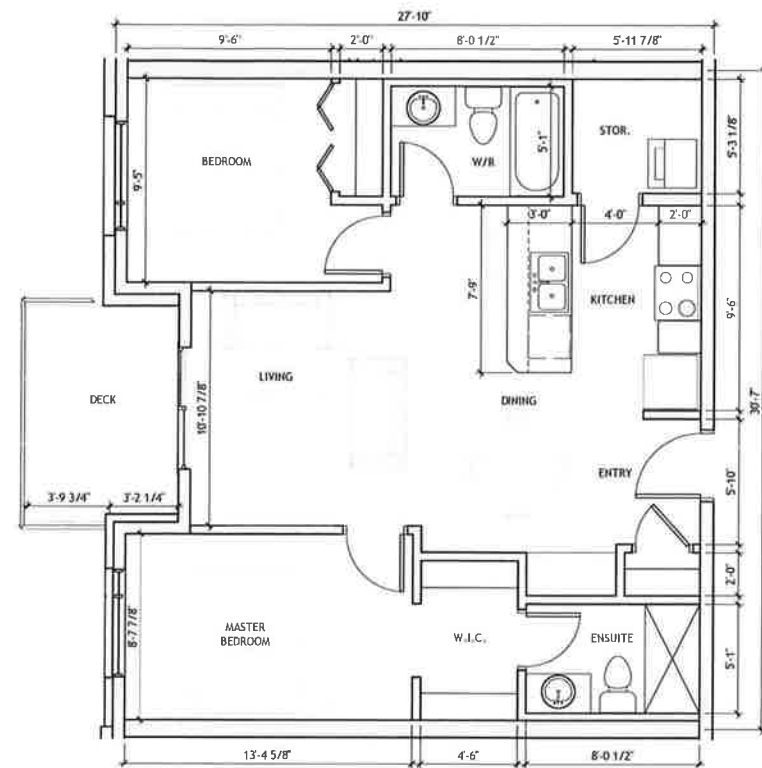
198 STREET



COURTYARD AT LANE

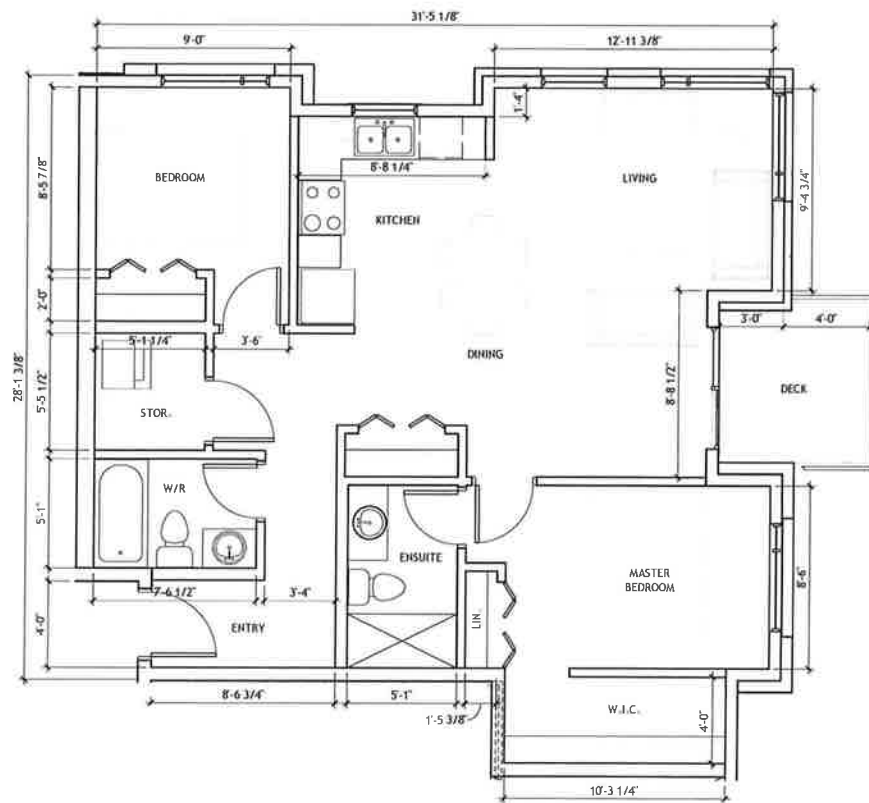


ADJACENT PROPERTY

**UNIT TYPE D2 - 2 Bed**
$$1/4^u = 1'-0''$$

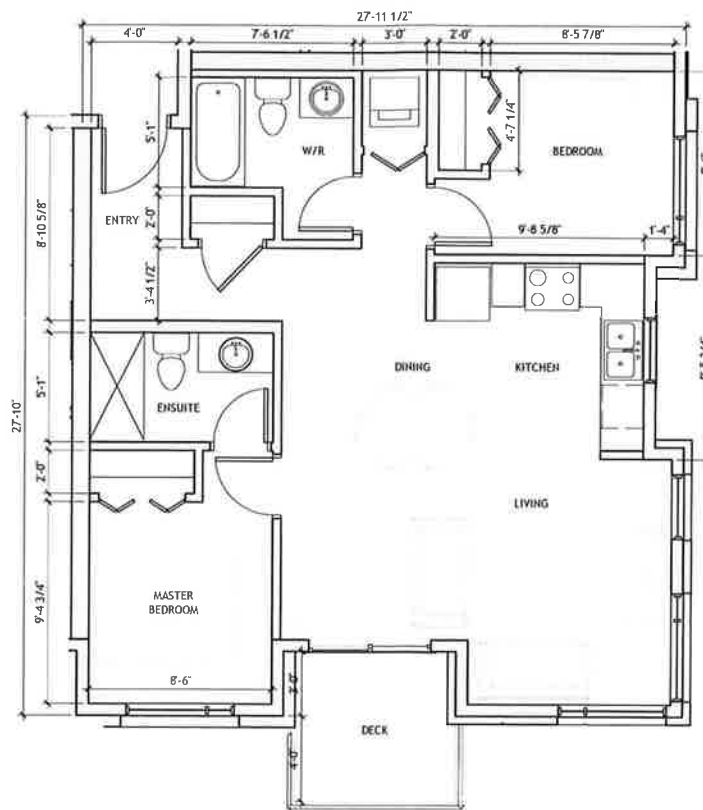
AREA: 820 SF +/-

NO. OF THIS UNIT: 8

**UNIT TYPE D5 - 2 Bed Corner**
$$1/4'' = 1'-0''$$

AREA: 914 SF +/-

NO. OF THIS UNIT: 4

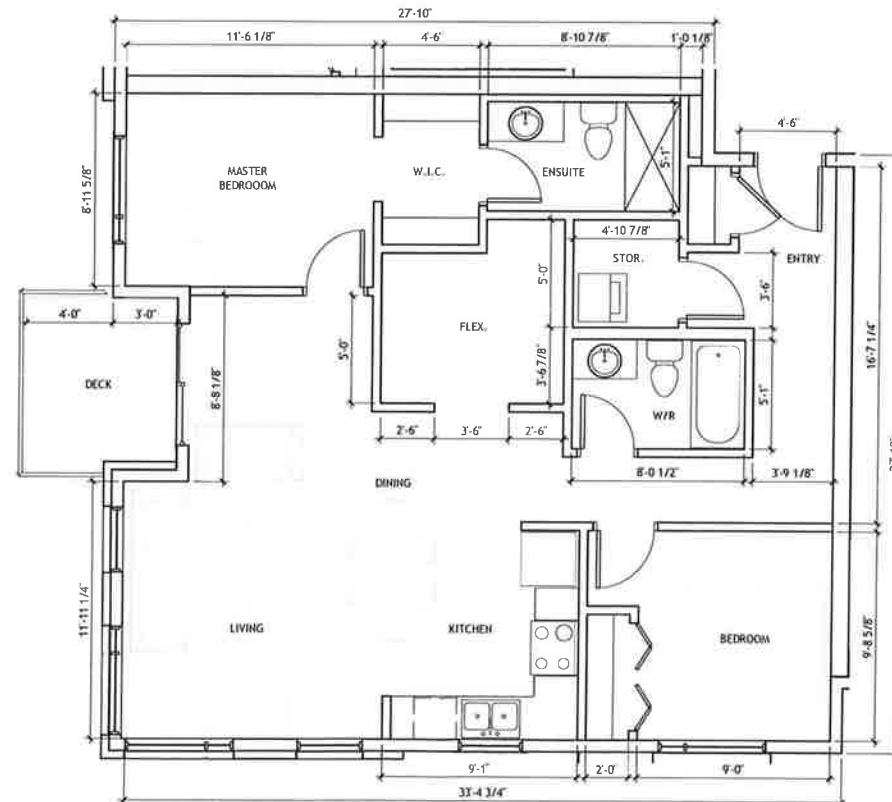


UNIT TYPE D3 - 2 Bed Corner

$$1/4'' = 1'-0''$$

AREA: 803 SF +/-

AREA: 803 SF +/-
NO. OF THIS UNIT: 4

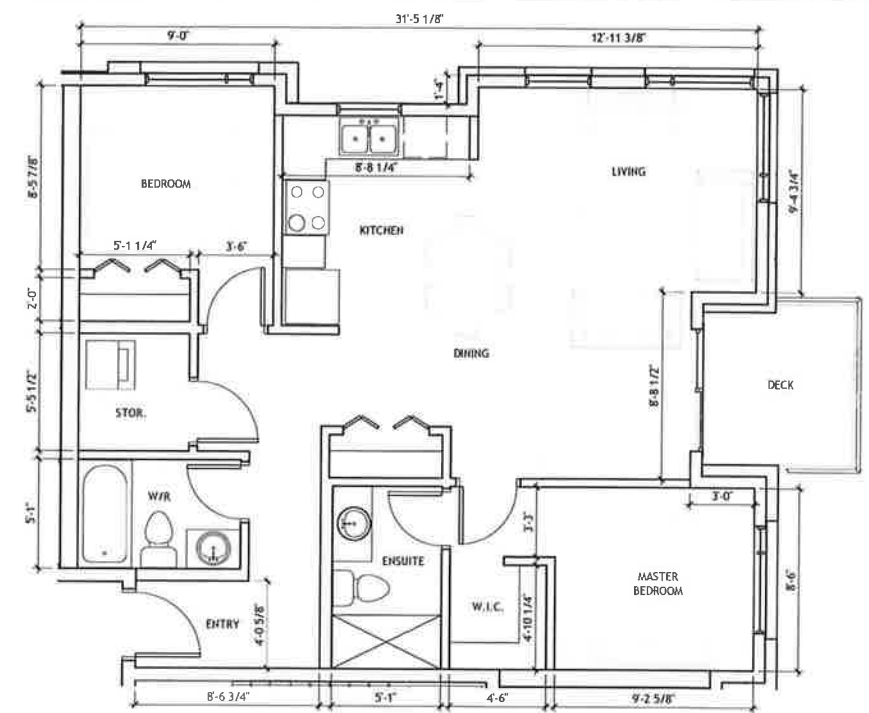


UNIT TYPE E - 2 Bed + Flex

$1/4'' = 1'-0''$

AREA: 1009 SF +/-

AREA: 1009 SF +/-
NO. OF THIS UNIT: 4

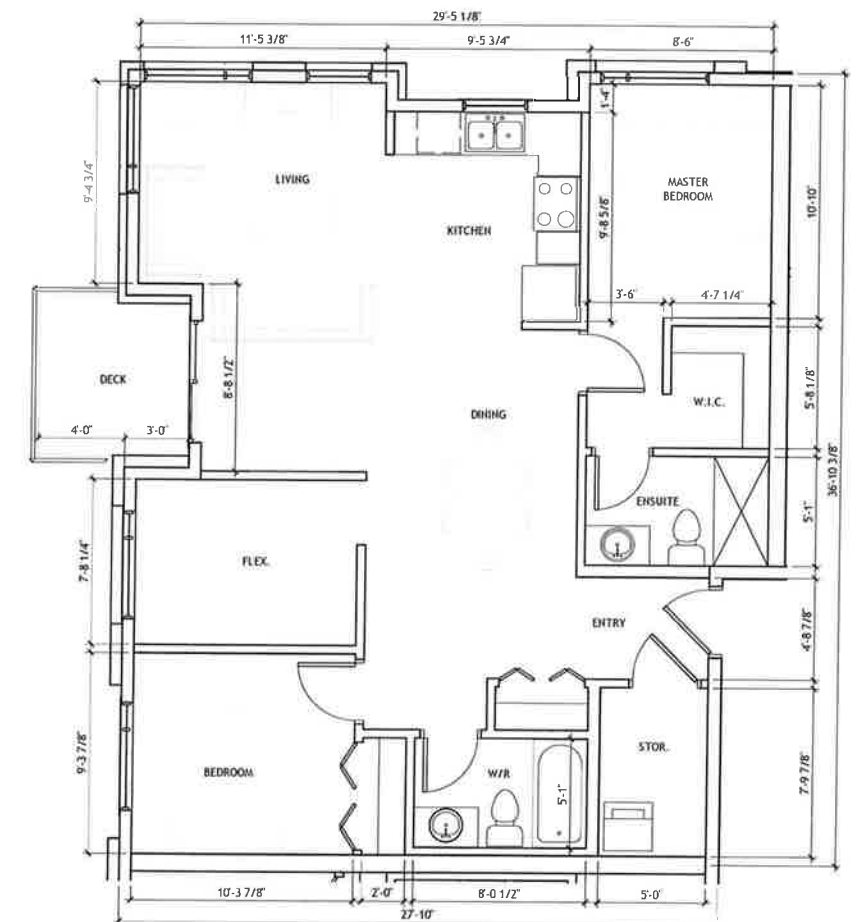


UNIT TYPE D4 - 2 Bed Corner

$$1/4'' = 1'-0''$$

AREA: 864 SF +/-

NO. OF THIS UNIT: 4



UNIT TYPE E1 - 2 Bed + Flex

$$1/4'' = 1'-0''$$

AREA: 1051 SF +/-

NO. OF THIS UNIT: 4



**ZONING BYLAW, 1996, No. 2100
AMENDMENT No. 135, 2017, BYLAW No. 3018
DEVELOPMENT PERMIT APPLICATION DP 04-17**

To consider a Rezoning Application and Development Permit Application by Focus Architecture to accommodate a 5-storey, 88-unit condominium apartment development.

The subject property is currently zoned RM2 Multiple Residential Medium Density Zone in Zoning Bylaw No. 2100 and designated “Downtown Commercial” in the Official Community Plan. All lands designated Downtown Commercial are subject to a Development Permit to address building form and character.

Background Information:

Applicant:	Focus Architecture Inc.
Owner:	Creada Holding Inc.
Civic Addresses:	5630 and 5640 -201A st Street
Legal Description:	Lot 36 and Lot 37, District Lot 309, Group 2, New Westminster District Plan 26341
Site Area:	3,725m ² (40,100 ft ²)
Lot Coverage:	53%
Total Parking Required:	124 spaces (including 18 visitor)
Total Parking Provided:	125 spaces (including 18 visitor)
Existing Zoning:	RM2 Multiple Residential Medium Density Zone
Proposed Zoning:	CD47-Comprehensive Development Zone
OCP Designation:	Downtown Commercial
Variances Requested:	None
Development Cost Charges:	\$498,455 (includes \$482,503 MF DCC Credit)



**ZONING BYLAW, 1996, No. 2100
AMENDMENT No. 135**

BYLAW No. 3018

A Bylaw to amend City of Langley Zoning Bylaw, 1996, No. 2100 to add a new Comprehensive Development Zone (CD47) and to rezone the property located at 5630 and 5640 -201A Street to the new zone.

WHEREAS the *Local Government Act* authorizes a local government to zone areas of a municipality and to make regulations pursuant to zoning;

NOW THEREFORE the Council of the City of Langley, in open meeting assembled, enacts as follows:

1. Title

This bylaw shall be cited as the “Zoning Bylaw 1996, No. 2100 Amendment No. 135, 2017, No. ”.

2. Amendment

- (1) Bylaw No. 2100, cited as the “Zoning Bylaw, 1996, No. 2100” is hereby amended by adding in Part VII Comprehensive Development Zones the following as the new Zone classification of Comprehensive Development – 47 (CD47) Zone: immediately after Comprehensive Development -46 (CD46) Zone:

“PP. CD47 COMPREHENSIVE DEVELOPMENT ZONE

1. Intent

This Zone is intended to accommodate and regulate a 5-storey, 88-unit condominium apartment development.

2. Permitted Uses

The Land, buildings and structures shall only be used for the following uses only:

- (a) Multiple-Unit Residential; and

- (b) Accessory uses limited to the following:
 - (i) *Home Occupations* excluding bed and breakfast and *child care centre*.

3. Site Dimensions

The following lot shall form the site and shall be zoned CD 47 Comprehensive Development Zone on the Zoning Map, City of Langley Zoning Bylaw, 1996, No. 2100, Schedule “A”:

- (a) PID: 002-692-104
Lot 36, District Lot 309, Group 2, New Westminster District Plan 26341
- (b) PID: 004-622-430
Lot 37, District Lot 309, Group 2, New Westminster District Plan 26341

4. Siting and Size of Buildings and Structures and Site Coverage

The location, size and site coverage of the buildings and structures of the Development shall generally conform to the plans and specifications comprising 30 pages and dated February 7, 2017 prepared by Focus Architecture and Van der Zalm & Associates Inc. 1 copy of which is attached to Development Permit 04-17.

5. Special Regulations

Special regulations shall comply with subsection 9 Special Regulations prescribed in the respective zones under different Parts of this bylaw.

6. Other Regulations

In addition, land use regulations including the following are applicable:

- (a) General provisions on use are set out in Section I.D. of this bylaw;
- (b) Building Permits shall be subject to the City of Langley Building and Plumbing Regulation Bylaw and the Development Cost Charge Bylaw; and
- (c) Subdivisions shall be subject to the City of Langley Subdivision and Development Servicing Bylaw, and the *Land Title Act*.”

READ A FIRST AND SECOND TIME this third day of April, 2017.

A PUBLIC HEARING, pursuant to Section 464 of the “Local Government Act” was held
this ----- day of -----, 2017.

READ A THIRD TIME this ----- day of -----, 2017.

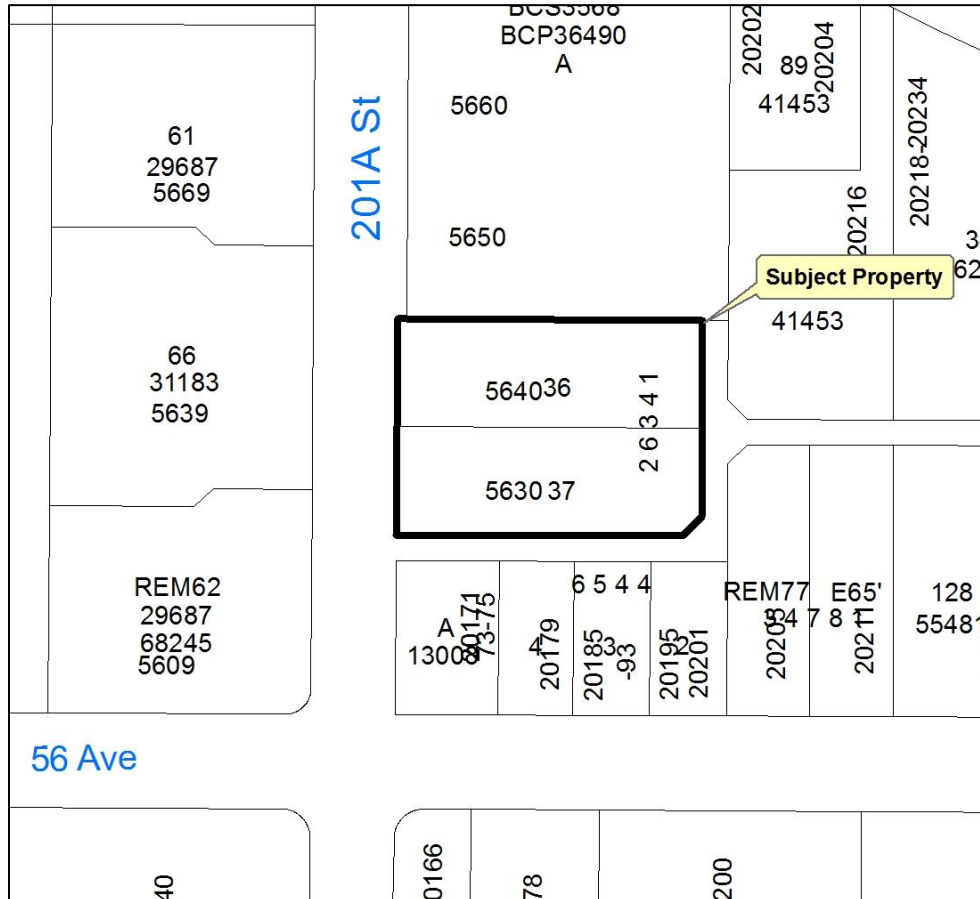
FINALLY ADOPTED this ----- day of -----, -----.

MAYOR

CORPORATE OFFICER

REZONING APPLICATION RZ 03-17 **DEVELOPMENT PERMIT APPLICATION DP 04-17**

Civic Address: 5630 & 5640 – 201A Street
Legal Description: Lots 36 & 37, District Lot 309, Group 2, New Westminster District, Plan 26341
Owner: Creada Holdings Inc.
Applicant: Focus Architecture Ltd.





ADVISORY PLANNING COMMISSION REPORT

To: **Advisory Planning Commission**

Subject **Rezoning Application 03-17/Development
Permit Application 04-17, Focus Architecture
Inc., 5630 and 5640 -201A Street**

From: Development Services & Economic Development
Department

File #: 6620.00

Doc #:

Date: February 21, 2017

COMMITTEE RECOMMENDATION:

That Rezoning Application RZ 03-17 and Development Permit Application DP 04-17 to accommodate a 88 unit 5-Storey condominium apartment located at 5630 and 5640 -201A Street be approved subject to execution of a Development Servicing Agreement in compliance with the conditions outlined in the Director of Development Services & Economic Development report.

PURPOSE OF REPORT:

To consider a Rezoning Application and Development Permit Application by Focus Architecture Inc. to accommodate a 88 unit, 5-Storey condominium apartment.

POLICY:

The subject property is zoned RM2 Multiple Residential Medium Density Zone in Zoning Bylaw No. 2100 and designated “Downtown Commercial” in the Official Community Plan. All lands designated Downtown Commercial are subject to a Development Permit to address building form and character.



COMMENTS/ANALYSIS:

Background Information:

Applicant:	Focus Architecture Inc.
Owner:	Creada Holding Inc.
Civic Addresses:	5630 and 5640 -201A st Street
Legal Description:	Lot 36 and Lot 37, District Lot 309, Group 2, New Westminster District Plan 26341
Site Area:	3,725m ² (40,100 ft ²)
Lot Coverage:	53%
Total Parking Required:	124 spaces (including 18 visitor)
Total Parking Provided:	125 spaces (including 18 visitor)
Existing Zoning:	RM2 Multiple Residential Medium Density Zone
Proposed Zoning:	CD47-Comprehensive Development Zone
OCP Designation:	Downtown Commercial
Variances Requested:	None
Development Cost Charges:	\$498,455 (includes \$482,503 MF DCC Credit)
Community Amenity Charge:	\$88,000 (@\$1,000/unit)

Engineering Requirements:

These requirements have been issued for a rezoning and development permit for a proposed **Multi-Family Development at 5630 and 5640 201A Street**. These requirements may be subject to change upon receipt of a development application.

The City's Zoning Bylaw, 1996, #2100 has requirements concerning landscaping for buffer zones, parking, loading areas, and garbage / recycling areas, all of which apply to this Development.

A) The developer is responsible for the following work which shall be designed and approved by a Professional Engineer:



1. Implement erosion and sediment control measures designed and approved by a qualified professional in accordance with the City of Langley Watercourse Protection Bylaw #2518.
2. Conduct a water flow test and provide fire flow calculations by a Professional Engineer to determine if the existing water network is adequate for fire flows and achieve the necessary pressure and flows to conform to Fire Underwriters Survey (FUS) “Water Supply for a Public Fire Protection, a Guide to Recommended Practice, 1995”.
3. Additional C71P fire hydrants may be required to meet bylaw and firefighting requirements. Hydrant locations must be approved by the City of Langley Fire Department.
4. New water, sanitary and storm sewer service connections are required for the site. The developer’s engineer will determine the appropriate main tie in locations and size the connections for the necessary capacity. The capacity of the existing water and sewer mains shall be assessed and any upgrades required to service the site shall be designed and installed at the Developer’s expense. All existing services shall be capped at the main, at the Developer’s expense.
5. A stormwater management plan for the site is required. Rainwater management measures used on site shall limit the release rate to mitigate flooding and environmental impacts as detailed in the Subdivision and Development Bylaw.
6. The condition of the existing pavement on 201A Street shall be assessed by a geotechnical engineer. Pavements shall be adequate for an expected road life of 20 years under the expected traffic conditions for the class of road. Road construction and asphalt overlay designs shall be based on the analysis of the results of Benkelman Beam tests and test holes carried out on the existing road which is to be upgraded. If the pavement is inadequate it shall be remediated, at developer’s cost. Additionally, any widening of the pavement structure, required to meet the design road width, will need to be designed by a geotechnical engineer. The laneways to the south and east of the site shall be reconstructed to the City of Langley standard as shown on standard drawing SDR 008
7. A 2.1m road dedication is required along 201A Street. 201A Street shall be designed to a collector road standard. The streetscape shall include new street trees, curb and gutter, utility strip, sidewalks and ornamental lighting as per the



City of Langley Downtown Master Plan see Downtown Realm of Influence standard.

8. Street lighting along 201A Street shall be designed by an approved lighting consultant, to ensure lighting levels meet current City of Langley standards..
9. Undergrounding of overhead hydro/tel, along 201A Street is required.

B) The developer is required to deposit the following bonding and connection fees:

1. A Security Deposit of 110% of the estimated offsite works, as approved by the Director of Engineering, Parks and Environment, will be required.
2. Inspection and administration fees in accordance to the Subdivision Bylaw based on a percentage of the estimated construction costs. (See Schedule A – General Requirement - GR5.1 for details).
3. A deposit for storm, sanitary and water connections is required, which will be determined after detailed civil engineering drawings are submitted, sealed by a Professional Engineer.
4. A \$20,000 bond for the installation of a water meter to current standards is required.

C) The developer is required to adhere to the following conditions:

1. Underground hydro and telephone, and cable services to the development site are required.
2. Consolidate the subject properties. All survey costs and registration of documents with the Land Titles Office are the responsibility of the developer/owner.
3. Water meters are required for each water connection and are to be installed outside in a vault away from any structure, in accordance with the City's water meter specifications, at the developer's cost.
4. An approved backflow prevention assembly must be installed on the domestic water connection immediately upon entering the building to provide premise isolation.
5. A "Stormceptor" or equivalent oil separator is required to treat site surface drainage.
6. A complete set of "as-built" drawings sealed by a Professional Engineer shall be submitted to the City after completion of the works. Digital drawing files in .pdf and .dwg format shall also be submitted.



7. The selection, location and spacing of street trees and landscaping shall be in accordance with the City of Langley's Official Community Plan Bylaw, 2005, No. 2600 and Street Tree Program, November, 1999 manual.
8. Stormwater run-off generated on the site shall not impact adjacent properties, or roadways.
9. Garbage and recycling enclosures shall be designed to meet Metro Vancouver's "Technical Specifications for Recycling and Garbage Amenities in Multi-family and Commercial Developments - June 2015 Update".

Discussion:

The applicant is proposing to develop an attractive 88-unit, 5-storey condominium apartment on a site currently occupied with a two 3 Storey apartment buildings. Unit sizes range from 448 ft² to 1,525 ft² and offer a variety of studio, one-bedroom, two-bedroom, two-bedroom two-level, and handicap –friendly *adaptable units*.

Vehicular access is via the existing south lane to minimize the traffic impact to the existing 201A Street. Architecturally, the design concept is a modern style building with a flat roof, generous glazed openings, and protruding balconies with glass railings. Exterior finishes are of a high quality and include brick veneer, fiber-cementitious siding in horizontal and panel applications, and wood-grained aluminium accent siding to punctuate pedestrian entry points on 201A Street. The massing, colours, and materials of the project is compatible with the adjacent four-storey condominium complex.

Entry to the tenant only underground parkade is controlled by overhead security gates, with surface parking for visitors conveniently located beside the building on the south side of the site.

Planting and landscape features incorporated CPTED principles, featuring low decorative fencing along the street level softening the hard streetscape and pedestrian walkways throughout the entire development.

The proposed development generally complies with the Downtown Commercial Multifamily Residential Development Permit Area Guidelines for apartment condominium developments.



Fire Department Comments:

Langley City Fire-Rescue Service has reviewed the attached plans and provided preliminary comments to the applicant. The department will review, and make further comment, as the project continues to the building permit design stage.

Advisory Planning Commission:

In accordance with Development Application Procedures Bylaw No. 2488, the subject applications will be reviewed by the Advisory Planning Commission at the March 8, 2017 meeting. A copy of the APC minutes will be presented to Langley City Council at the March 20, 2017 Regular Council meeting.

BUDGET IMPLICATIONS:

In accordance with Bylaw No. 2482, the proposed development would contribute \$498,455 to Development Cost Charge accounts and \$88,000 in Community Amenity Charges.

ALTERNATIVES:

1. Require changes to the applicant's proposal.
2. Deny application.

Prepared by:



Gerald Minchuk, MCIP
Director of Development Services & Economic Development

attachments



2) REZONING APPLICATION RZ 02-17/DEVELOPMENT PERMIT
APPLICATION DP 02-17 -5406, 5418, 5420-198TH STREET AND 19829-19831-54TH AVENUE

The Director Development Services & Economic Development provided a brief overview of the planning context for the proposed application and introduced Eric Poxleitner, Principal Architect, Keystone Architecture & Planning Inc. Mr. Poxleitner presented the proposed rezoning and development permit applications. Following discussion regarding density, building form and character, landscaping, CPTED, sprinkling provisions, amenity rooms, sustainability features, adaptable units, and engineering servicing requirements it was:

MOVED BY Commission Member Millsip
SECONDED BY Commission Member Buhler

That Rezoning Application RZ 02-17/Development Permit Application DP 02-17 to accommodate a 4-storey, 62-unit condominium apartment complex located at 5406, 5418, 5420-198th Street, and 19829-19831-54th Avenue be approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report be approved.

CARRIED

3) REZONING APPLICATION RZ 03-17/DEVELOPMENT PERMIT
APPLICATION DP 04-17 -5630 AND 5640-201A STREET

The Director Development Services & Economic Development provided a brief overview of the planning context for the proposed application and introduced Colin Hogan, Principal Architect, Focus Architecture Mr. Hogan presented the proposed rezoning and development permit applications. Following discussion regarding density, building form and character, landscaping, CPTED, sustainability features, amenity rooms, adaptable units, and engineering servicing requirements it was:

MOVED BY Commission Member Schreder
SECONDED BY Commission Member Buhler

That Rezoning Application RZ 03-17/Development Permit Application DP 04-17 to accommodate a 5-storey, 88-unit condominium apartment complex located at 5630 and 5640 -201A Street be approved subject to execution of a Development Servicing Agreement and compliance with

the conditions outlined in the Director of Development Services & Economic Development's report be approved.

CARRIED

4) **DEVELOPMENT PERMIT APPLICATION DP 03-17 -20670 LANGLEY BYPASS**

The Director Development Services & Economic Development provided a brief overview of the planning context for the proposed application and introduced Andrea Scott, Principal Lovick Scott Architects Ltd. Ms. Scott presented the proposed development permit application. Following discussion regarding building form and character, landscaping, CPTED, and engineering servicing requirements it was:

MOVED BY Commission Member Hutchinson
SECONDED BY Commission Member Lindberg

That Development Permit Application DP 03-17 to accommodate a 7,500 ft² retail warehouse located at 20670 Langley Bypass be approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report be approved.

CARRIED

5) **NEXT MEETING**

Wednesday, April 12, 2017

6) **ADJOURNMENT**

MOVED BY Commission Member Schreder
SECONDED BY Commission Member Roman

THAT the meeting adjourn at 9:00 P.M.

CARRIED



ADVISORY PLANNING COMMISSION VICE-CHAIRMAN



DIRECTOR OF DEVELOPMENT SERVICES & ECONOMIC DEVELOPMENT

Certified Correct





1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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SCALE: N.T.S.

REVISIONS

CONSULTANT

PROJECT
"CIVIC"
Proposed Multi-Family
Project

5630 & 5640 201A STREET,
LANGLEY BC, V3A 1T1

DRAWING TITLE

STREETSCAPE

DATE	2016.08.15	FILE NO.
DOWN.	lc	1624
CHK.	ch	

SEAL _____
SHEET NO. _____

DP-0.02

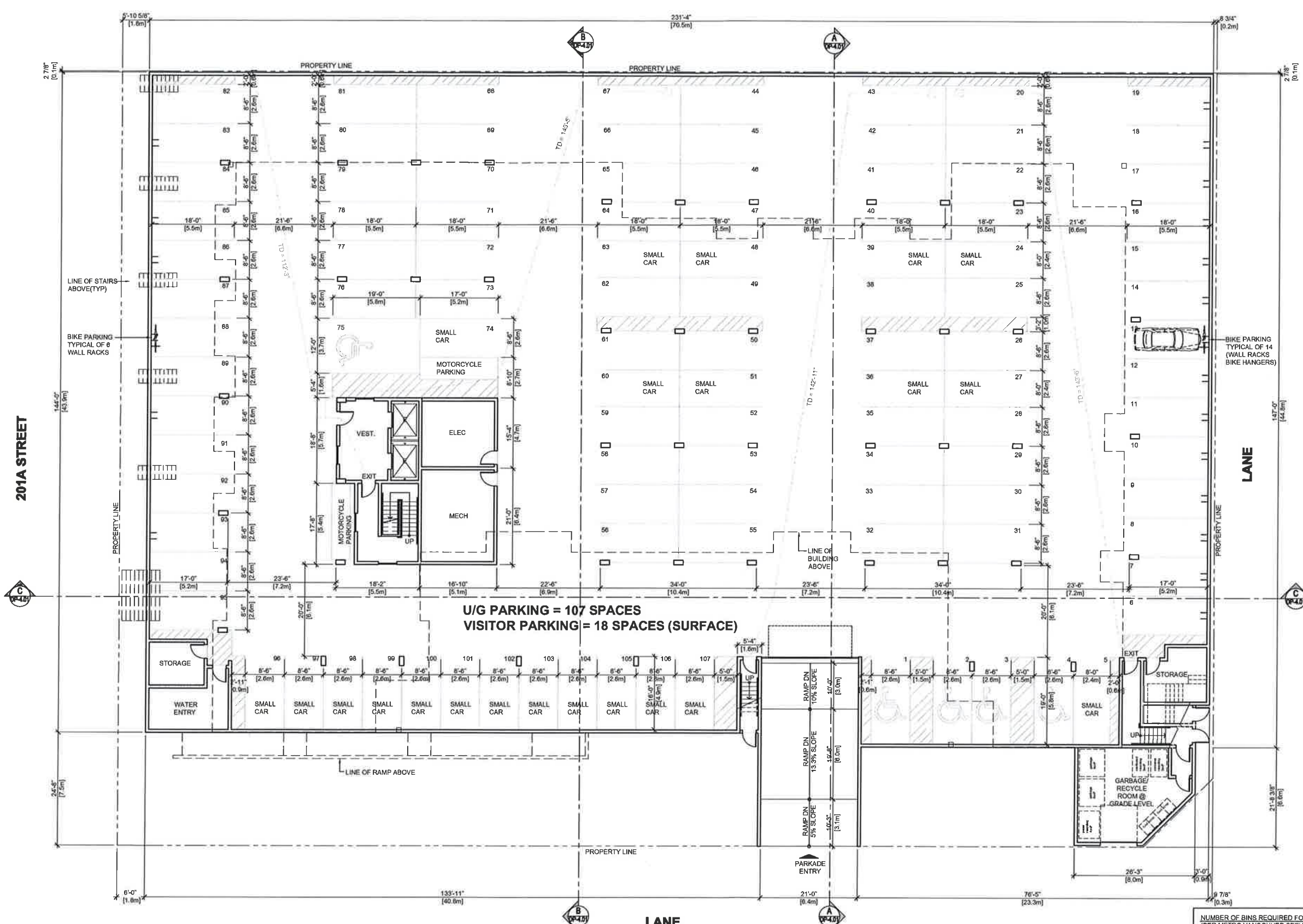


UNIT SUMMARY		
UNIT TYPE	NUMBER OF UNITS	RATIO
STUDIO	4	4.5%
1 BED	33	37.5%
2 BED	47	53.4%
TWO LEVEL UNIT - 2 BED	4	4.5%
TOTAL	88	

Ca	2 BED	977 sq.ft.	4
CaS	2 BED	977 sq.ft.	10
C1	2 BED	1,134 sq.ft.	5
C2	2 BED	915 sq.ft.	5
C3	2 BED	1,066 sq.ft.	5
C4	2 BED	999 sq.ft.	2
C4a	2 BED	1,017 sq.ft.	3
C5	2 BED	874 sq.ft.	3
C5a	2 BED	829 sq.ft.	1
C5b	2 BED	829 sq.ft.	1
D	2 BED	1,220 sq.ft.	3
D1	2 BED	1,525 sq.ft.	1
TOTAL			88

D

Project File: 2016-08-15 1624 - U/G PARKADE PLAN - 1624.dwg
Date: 2016-08-15 16:24:00
Author: J. Chen
Title: U/G PARKADE PLAN
Scale: 3/32" = 1'-0"
Sheet: 1624



U/G PARKADE PLAN
SCALE: 3/32" = 1'-0"
FLOOR AREA: 33,513sf / 3,113m²

NUMBER OF BINS REQUIRED FOR RESIDENTIAL: (PER METRO VANCOUVER SERVICE AND SOLUTIONS FOR LIVABLE REGION TOOLKIT)	
REQUIRED: (88units)	
FOOD SCRAP	- 4 X 240L BINS
COMBINED PAPER	- 9 X 360L BINS (4yd ³)
CARDBOARD	- 3yd ³ (72"x42"x48" BIN)
CONTAINERS RECYCLING	- 4 X 360L BINS (2yd ³)
GARBAGE	- 16yd ³ (2 - 72"x66"x80" BINS)
PROVIDED:	
GARBAGE & RECYCLE COMBINED	- 4 X 240L BINS
FOOD SCRAP	- 4 X 360L BINS (4yd ³)
COMBINED PAPER	- 3yd ³ (72"x42"x48" BIN)
CARDBOARD	- 3yd ³ (72"x42"x48" BIN)
CONTAINERS RECYCLING	- 4 X 360L BINS (2yd ³)
GARBAGE	- 16yd ³ (2 - 72"x66"x80" BINS)

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FOCUS
ARCHITECTURE
INCORPORATED

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info@focus.ca

2017-02-27
DESIGN REVISIONS

2017-02-06
ISSUED FOR REZONING/OP

2017-01-04
CLIENT REVISION

2016-10-17
CLIENT REVIEW

2016-09-30
CLIENT REVIEW

2016-09-07
CLIENT REVIEW

2016-08-02
CLIENT REVIEW

REVISIONS

CONSULTANT

CLIENT
CREADA HOLDINGS INC.

PROJECT
"CIVIC"
Proposed Multi-Family
Project

5630 & 5640 201A STREET,
LANGLEY BC, V3A 1T1

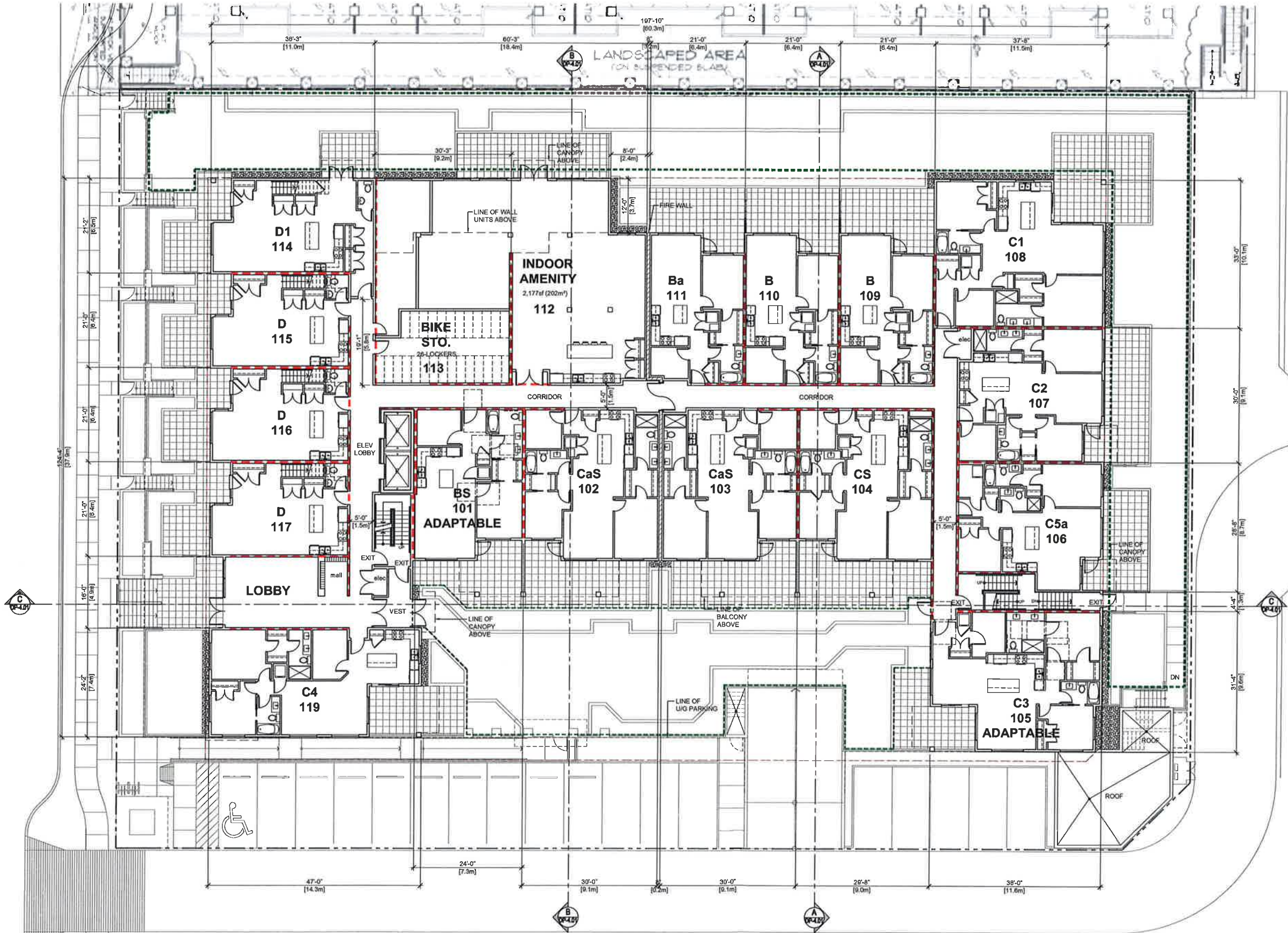
DRAWING TITLE
**U/G PARKADE
PLAN**

DATE	2016.08.15	FILE NO.	
DWN	lc		1624
CHK	ch		

SEAL

SHEET NO.

DP-2.00



MAIN FLOOR PLAN
SCALE: 3/32" = 1'-0"

FLOOR AREA: 18,479sf / 1,716m²
UNITS: 16 + AMENITY & LOCKERS

FOCUS
ARCHITECTURE
INCORPORATED

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Abbotsford, British Columbia V2S 8A3
t 604.853.5422 e info@focus.ca

2017-02-27
DESIGN REVISIONS
2017-02-06
ISSUED FOR REZONING DP
2017-01-04
CLIENT REVISION
2016-10-17
CLIENT REVIEW
2016-08-30
CLIENT REVIEW
2016-09-07
CLIENT REVIEW
2016-09-02
CLIENT REVIEW

REVISIONS

CONSULTANT

CLIENT

CREADA HOLDINGS INC.

PROJECT

"CIVIC"
Proposed Multi-Family
Project

5630 & 5640 201A STREET,
LANGLEY BC, V3A 1T1

DRAWING TITLE

**MAIN
FLOOR PLAN**

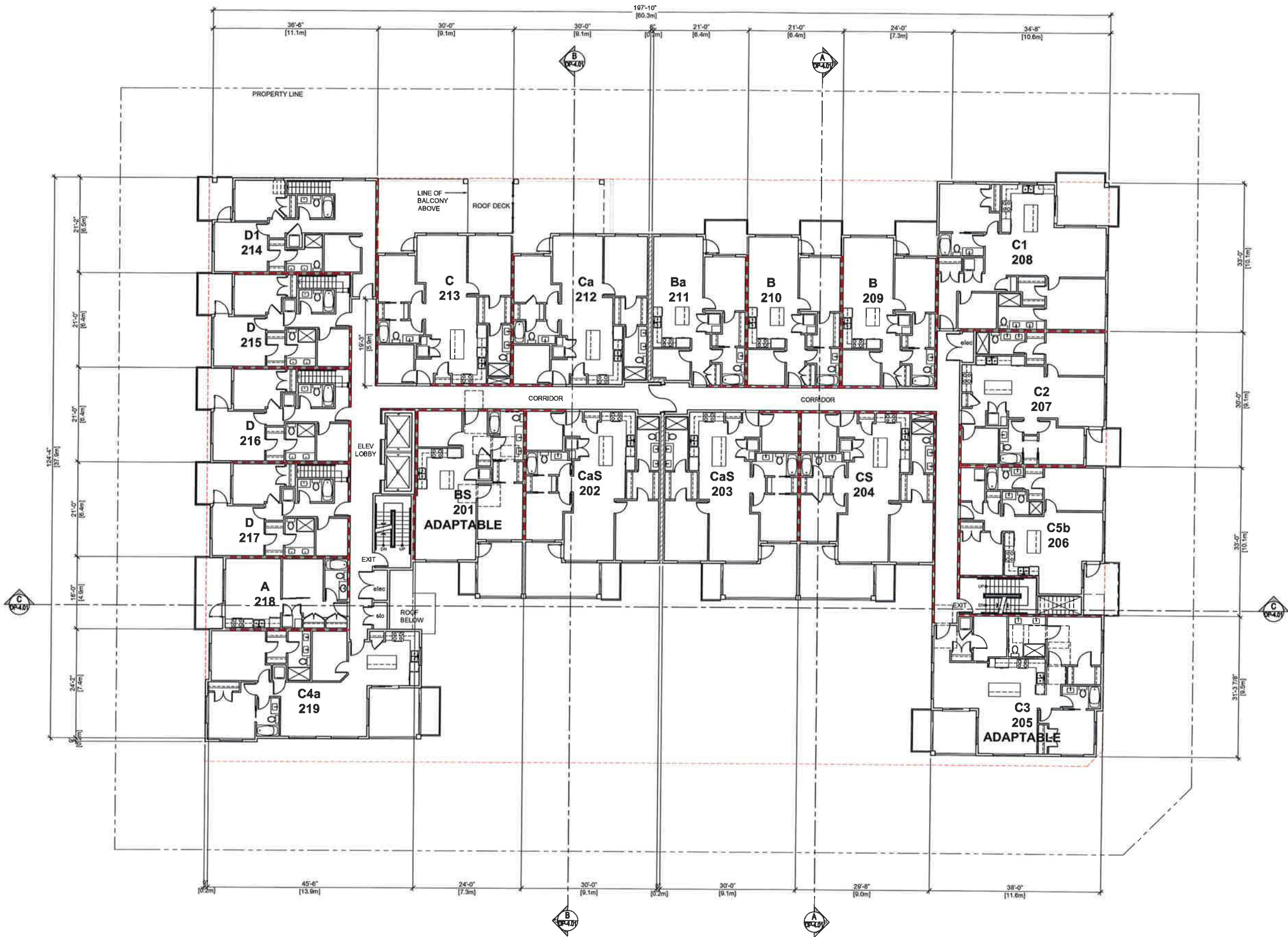
DATE 2016.08.15 FILE NO.

DWN: lc
CHK: ch
1624

SEAL
SHEET NO.

DP-2.01

Project February 27, 2017 at 10:42 AM by Lina Chen
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Printed: February 27, 2017 at 10:42 AM by Lina Chen



2ND FLOOR PLAN
SCALE: 3/32" = 1'-0"

FLOOR AREA: 17,710sf / 1,645m²
UNITS: 15

2017-02-27	DESIGN REVISIONS
2017-02-06	ISSUED FOR REZONING OP
2017-01-04	CLIENT REVISION
2016-10-17	CLIENT REVIEW
2016-06-30	CLIENT REVIEW
2016-06-07	CLIENT REVIEW
2016-06-02	CLIENT REVIEW
2016-05-02	CLIENT REVIEW

REVISIONS

CONSULTANT

CLIENT

CREADA HOLDINGS INC.

PROJECT

"CIVIC"
Proposed Multi-Family
Project

5830 & 5640 201A STREET,
LANGLEY BC, V3A 1T1

DRAWING TITLE

**2ND
FLOOR PLAN**

DATE 2016.06.15 FILE NO.

DWN. to

CHK. ch

1624

SEAL

SHEET NO.

DP-2.02



SCALE: 3/32" = 1'-0"

FLOOR AREA: 17,710sf / 1,645m²
UNITS: 19

ARCHITECTURE
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t 604.853.5222 f 604.853.5442
e info@focussal.ca

2017-02-27
DESIGN REVISIONS

2017-02-08
ISSUED FOR REZONING/GDP

2017-01-04
CLIENT REVISION

2016-10-17
CLIENT REVIEW

2016-09-30
CLIENT REVIEW

2016-09-07
CLIENT REVIEW

2016-09-02
CLIENT REVIEW

REVISIONS

CONSULTANT

CONSULTANT

CREADA HOLDINGS INC.

PROJECT "CIVIC" Proposed Multi-Family Project

30 & 5640 201A STREET,
ANGLEY BC, V3A 1T1

DRAWING TITLE

3RD FLOOR PLAN

TE 2018.08.15 FILE NO

WN	lc	1624
IK	ch	

1624

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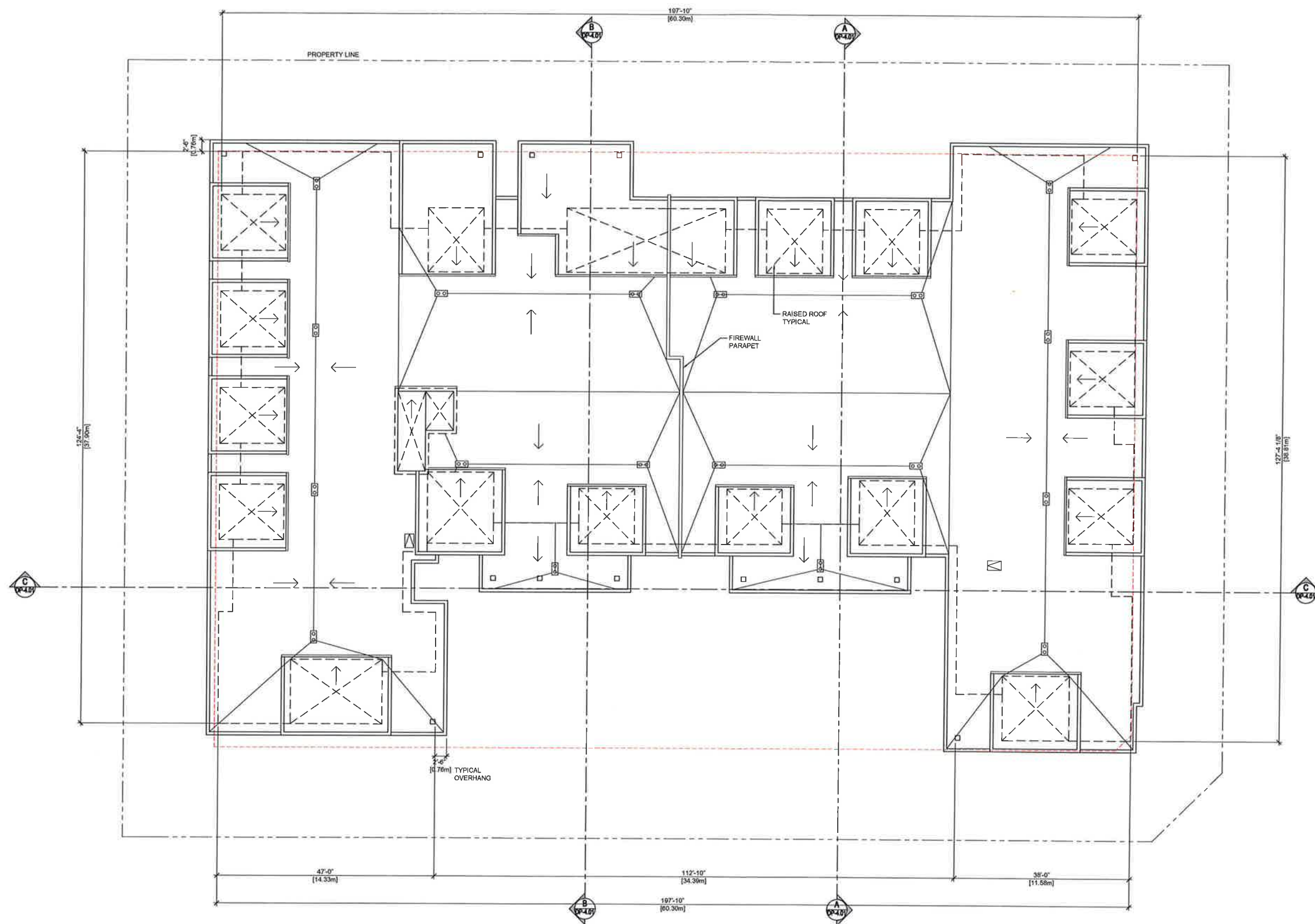


FLOOR AREA: 17,710sf / 1,645m²
UNITS: 19

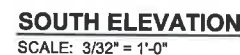
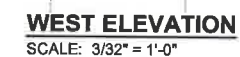


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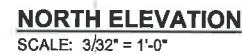
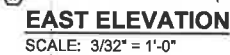


ROOF PLAN
SCALE: 3/32" = 1'-0"



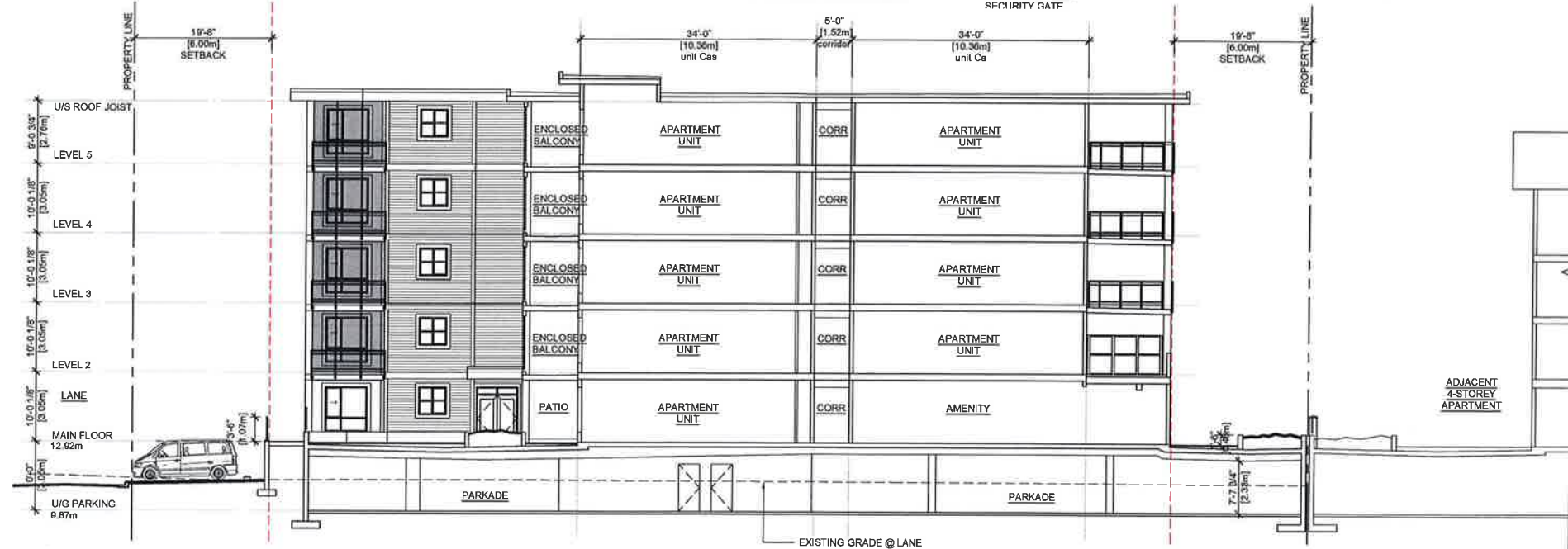
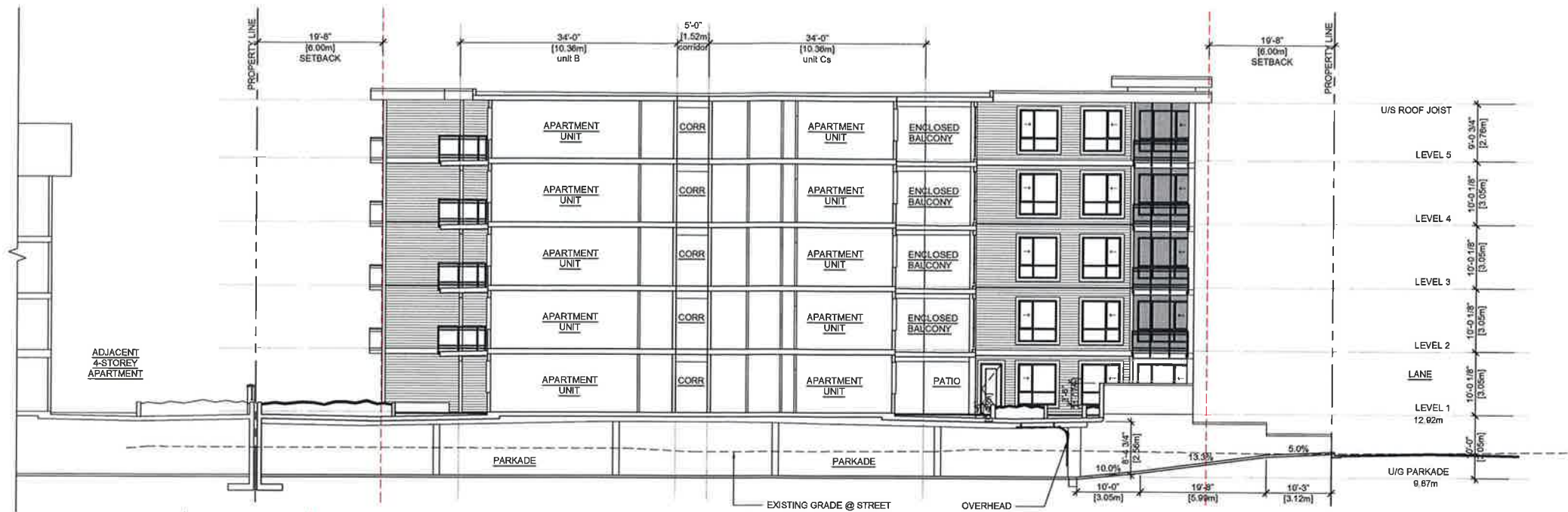
- 1 HARDIE PANEL FASCIA 'COBBLE STONE' COLOUR
- 2 HARDIE LAP SIDING W/8" EXPOSURE, 'COBBLE STONE' COLOUR
- 3 HARDIE LAP SIDING W/6" EXPOSURE, 'IRON GRAY' COLOUR
- 4 HARDIE SMOOTH PANEL SIDING W/ REVEAL SYSTEM, 'COBBLE STONE' COLOUR
- 5 HARDIE SMOOTH PANEL SIDING W/ REVEAL SYSTEM, 'IRON GRAY' COLOUR
- 6 HARDIE TRIMS, TO MATCH SIDING COLOURS
- 7 ALUMINUM SOFFIT
- 8 BRICK VENEER, MUTUAL MATERIALS 'TAN TERRA MISSION' COLOUR
- 9 ALUMINUM AND GLASS GUARDRAIL SYSTEM, PRE-FINISHED DARK GREY
- 10 ALUMINUM GUARDRAIL SYSTEM, PRE-FINISHED DARK GREY W/ 4" ALUM STRIPS (LONGBOARD OR SIM) @ 5" O/C MOUNTED TO FACE 'DARK CHERRY' COLOUR
- 11 CANOPY, PAINTED BENJAMIN MOORE HC-166 'KENDALL CHARCOAL'
- 12 METAL FLASHING, PAINTED BENJAMIN MOORE HC-166 'KENDALL CHARCOAL'
- 13 ALUMINUM FRAME PRIVACY SCREEN W/ TEMPERED FROSTED GLASS
- 14 EXTERIOR WOOD DOOR W/ SIDELITE, PAINTED
- 15 SEALED DOUBLE GLAZED P.V.C. WINDOW, PREFINISHED DARK GREY
- 16 SEALED DOUBLE GLAZED PATIO DOOR, PREFINISHED DARK GREY
- 17 PAINTED CONCRETE WALL
- 18 CONCRETE LINTEL, SEALED
- 19 CONCRETE STAIRS
- 20 CONCRETE RAMP
- 21 ALUMINUM HANDRAIL, PRE-FINISHED 'DARK GREY'
- 22 ADDRESS/ SIGNAGE, BY OTHERS
- 23 ALUMINUM STOREFRONT, CLEAR ANODIZED FRAME AND CLEAR INSULATED GLAZING
- 24 METAL THROUGH-WALL FLASHING, PAINTED TO MATCH SIDING
- 25 OVERHEAD SECTIONAL STEEL DOOR
- 26 PAINTED CONCRETE WALL, TO MATCH HARDIE PANEL COLOUR - 'COBBLE STONE'
- 27 'LUMON' BALCONY ENCLOSURE SYSTEM
- 28 REMOTE CONTROLLED SECURITY GRILLE TO PARKADE
- 29 EXTERIOR STEEL DOOR W/ VIEW LITE, PAINTED
- 30 ALUMINUM GUARDRAIL SYSTEM WITH PICKETS, PRE-FINISHED DARK GREY

DP-3.01



DP-3.02

- 1 HARDIE PANEL FASCIA 'COBBLE STONE' COLOUR
- 2 HARDIE LAP SIDING W/6" EXPOSURE, 'COBBLE STONE' COLOUR
- 3 HARDIE LAP SIDING W/6" EXPOSURE, 'IRON GRAY' COLOUR
- 4 HARDIE SMOOTH PANEL SIDING W/ REVEAL SYSTEM, 'COBBLE STONE' COLOUR
- 5 HARDIE SMOOTH PANEL SIDING W/ REVEAL SYSTEM, 'IRON GRAY' COLOUR
- 6 HARDIE TRIMS, TO MATCH SIDING COLOURS
- 7 ALUMINUM SOFFIT
- 8 BRICK VENEER, MUTUAL MATERIALS 'TAN TERRA MISSION' COLOUR
- 9 ALUMINUM AND GLASS GUARDRAIL SYSTEM, PRE-FINISHED DARK GREY
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- 18 CONCRETE LINTEL, SEALED
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- 29 EXTERIOR STEEL DOOR W/ VIEW LITE, PAINTED
- 30 ALUMINUM GUARDRAIL SYSTEM WITH PICKETS, PRE-FINISHED DARK GREY



2017-02-27
DESIGN REVISIONS

2017-02-08
ISSUED FOR REZONING/DP

2017-01-04
CLIENT REVISION

2016-10-17
CLIENT REVIEW

2016-09-30
CLIENT REVIEW

2016-09-07
CLIENT REVIEW

2016-08-02
CLIENT REVIEW

REVISIONS

CLIENT
CREADA HOLDINGS INC.

PROJECT
"CIVIC"
Proposed Multi-Family
Project

630 & 5640 201A STREET,
ANGLEY BC, V3A 1T1

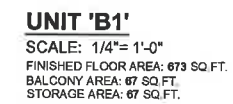
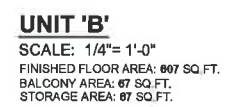
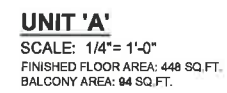
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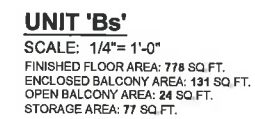
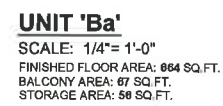
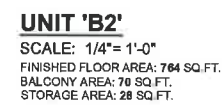
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DATE	2016.08.15	FILE NO.
OWN	lc	1624
CHK	ch	

REAL
SHEET NO.

DP-4.01





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Suite 100 - 1528 McCallum Road
 Abbotsford, British Columbia V2S 8A3
 Tel: 604.853.5222 Fax: 604.853.5442
 Email: info@focussai.ca

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CONSULTANT

ADA HOLDINGS INC.

CT

C"

**Closed Multi-Family
Project**

5640 201A STREET,
EY BC, V3A 1T1

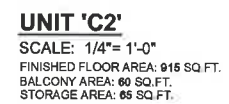
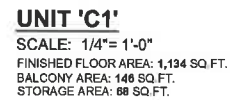
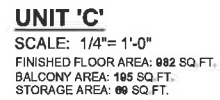
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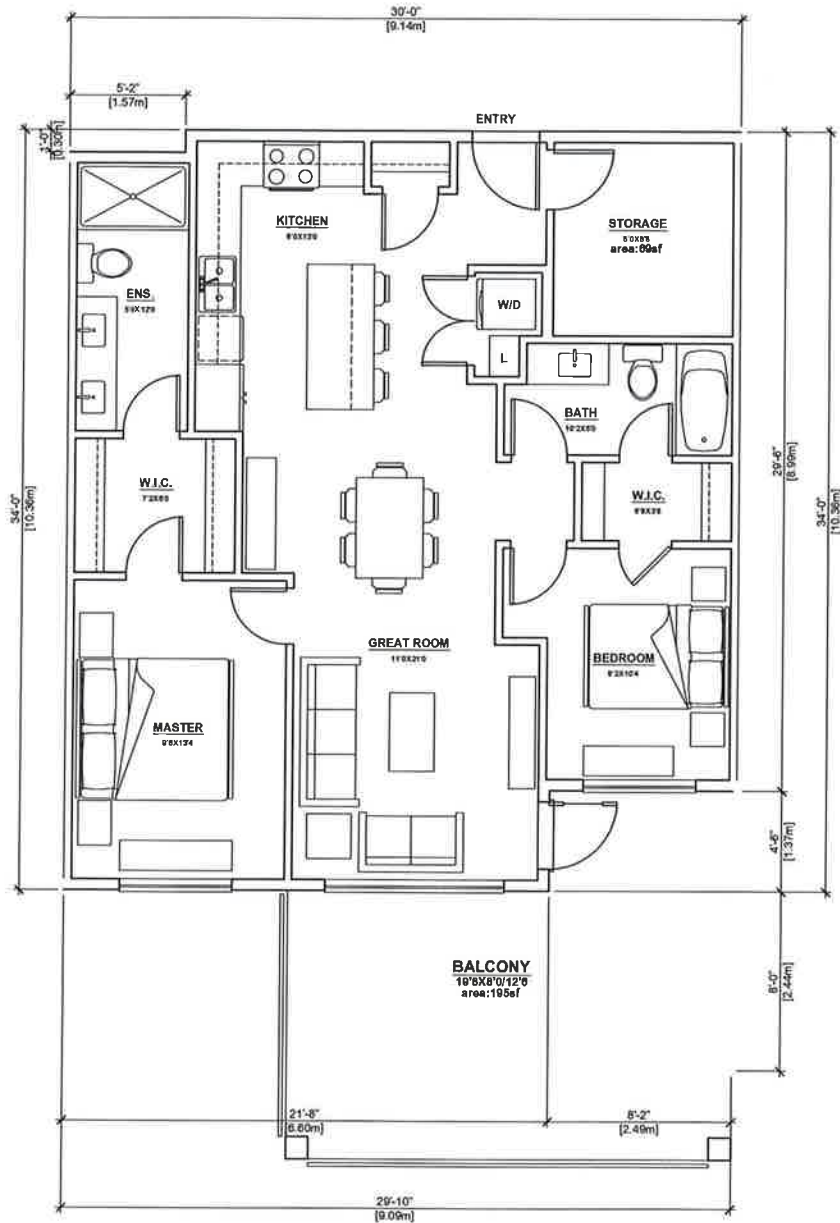
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2018.08.15	FILE NO.
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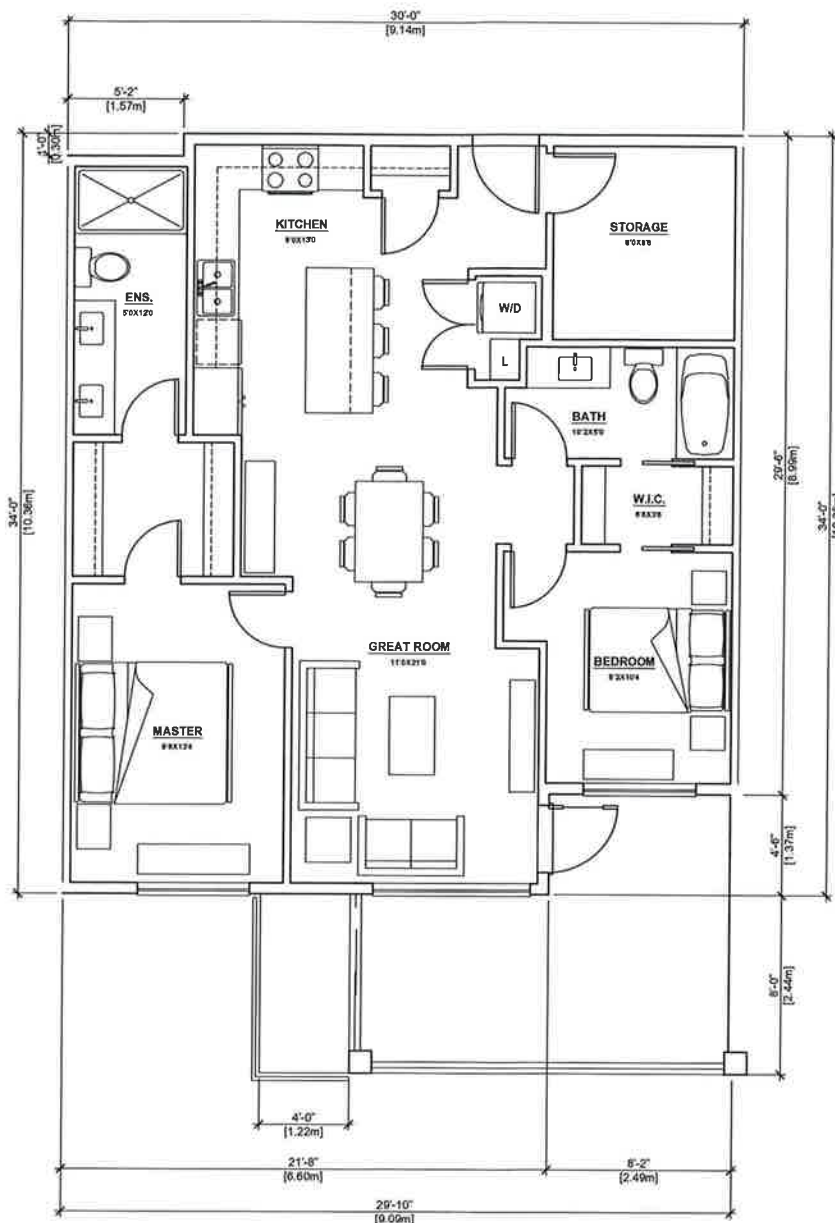
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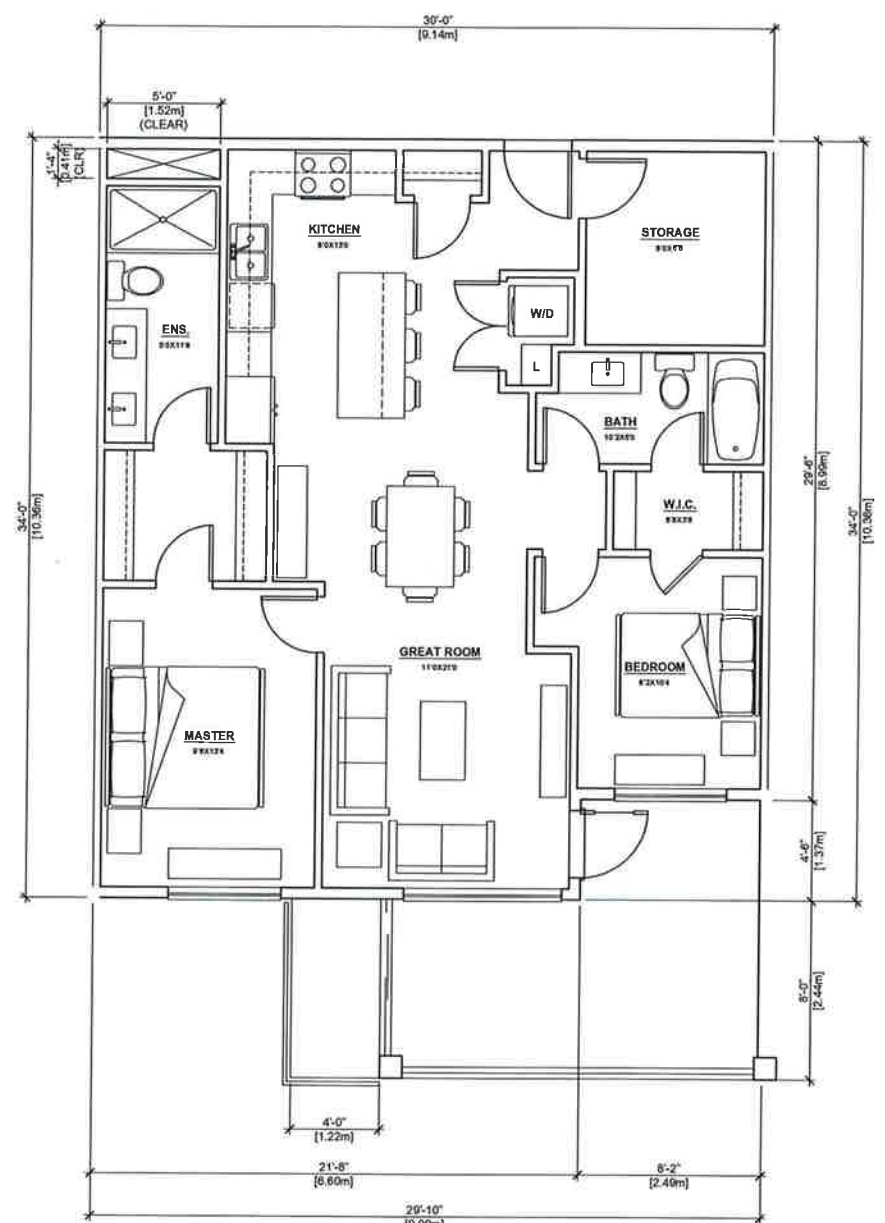




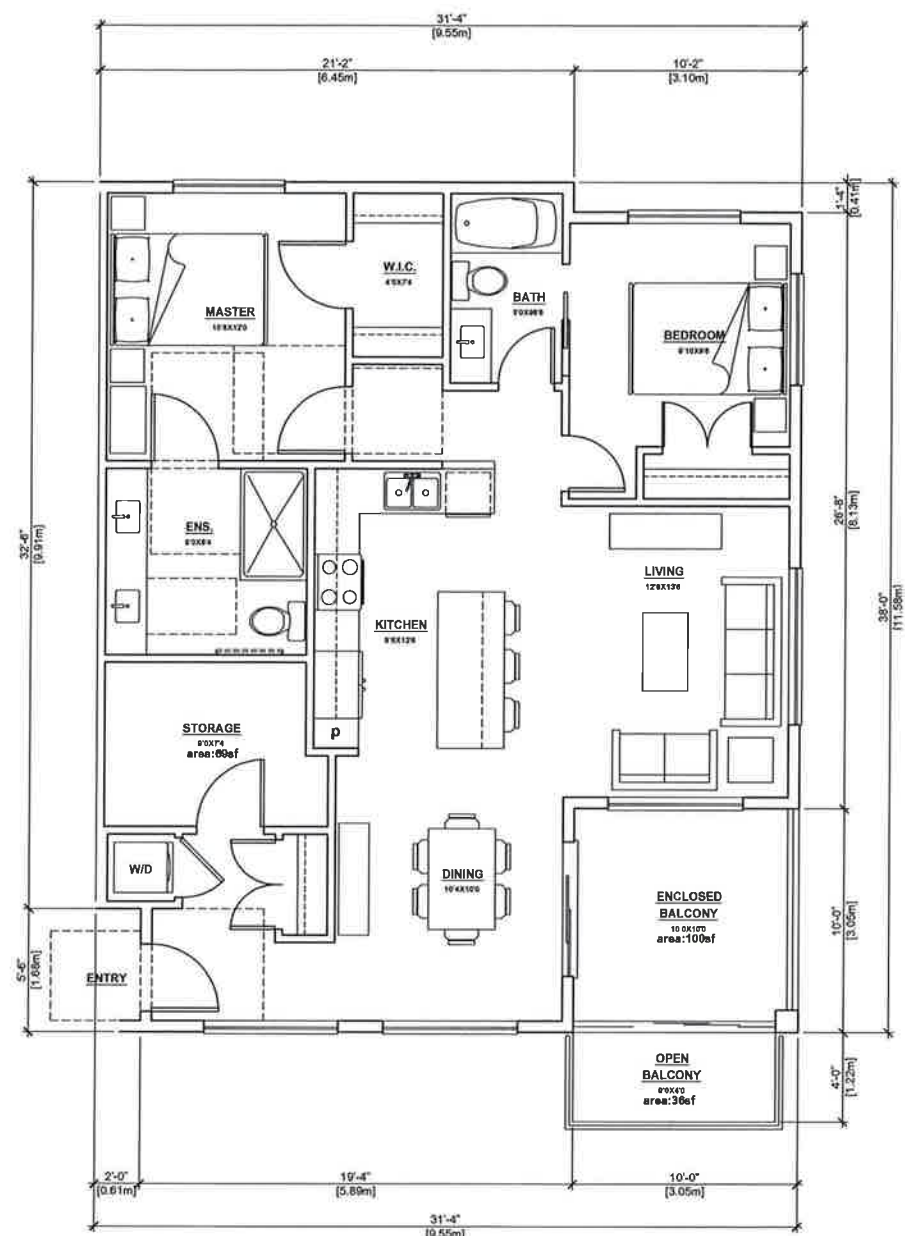
UNIT 'Ca'
SCALE: 1/4"= 1'-0"
FINISHED FLOOR AREA: 977 SQ. FT.
BALCONY AREA: 275 SQ. FT.
STORAGE AREA: 89 SQ. FT.



UNIT 'CaS'
SCALE: 1/4"= 1'-0"
FINISHED FLOOR AREA: 977 SQ. FT.
ENCLOSED BALCONY AREA: 175 SQ. FT.
OPEN BALCONY AREA: 32 SQ. FT.
STORAGE AREA: 89 SQ. FT.
NOTE: NO SOLARIUM ON MAIN FLOOR FOR UNIT CaS

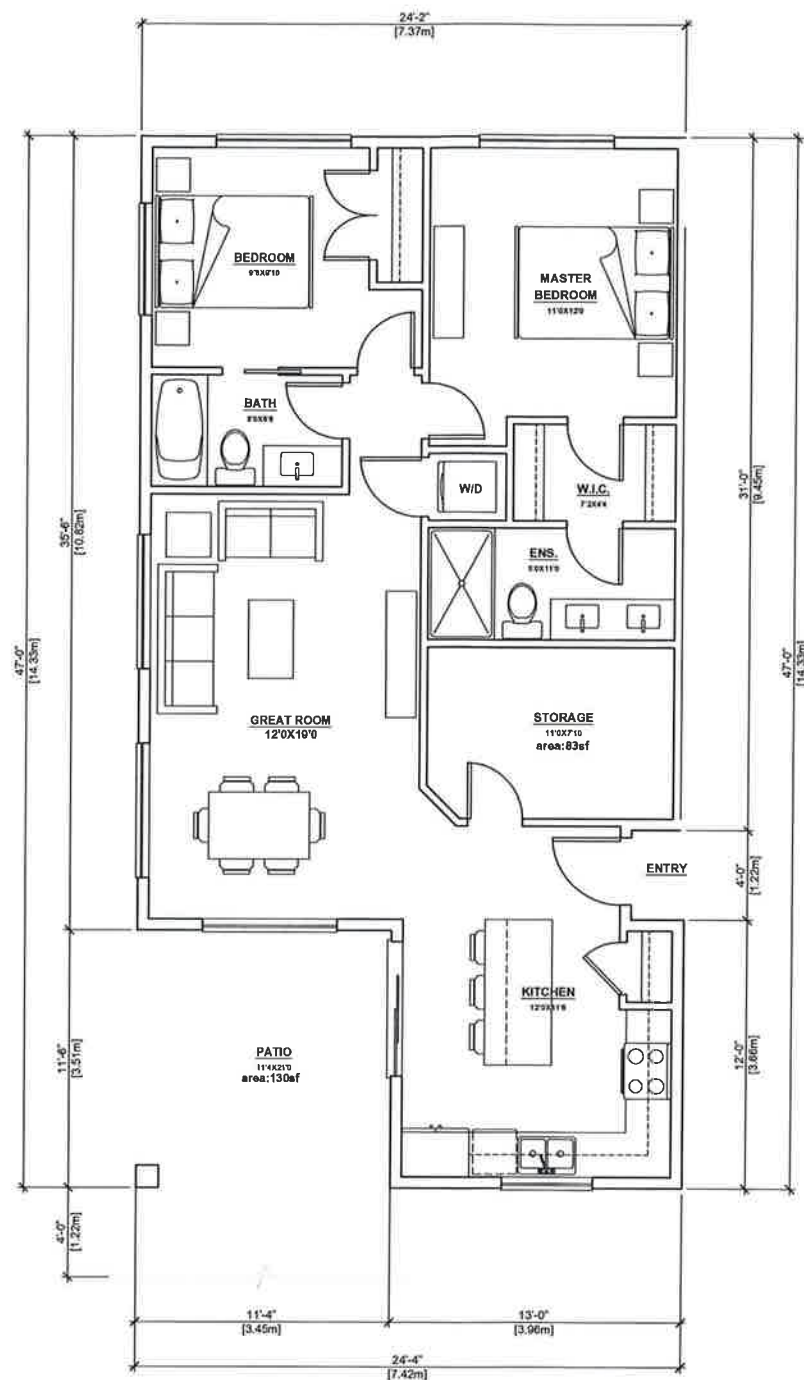


UNIT 'CS'
SCALE: 1/4"= 1'-0"
FINISHED FLOOR AREA: 973 SQ. FT.
ENCLOSED BALCONY AREA: 175 SQ. FT.
OPEN BALCONY AREA: 32 SQ. FT.
STORAGE AREA: 89 SQ. FT.
NOTE: NO SOLARIUM ON MAIN FLOOR FOR UNIT CS

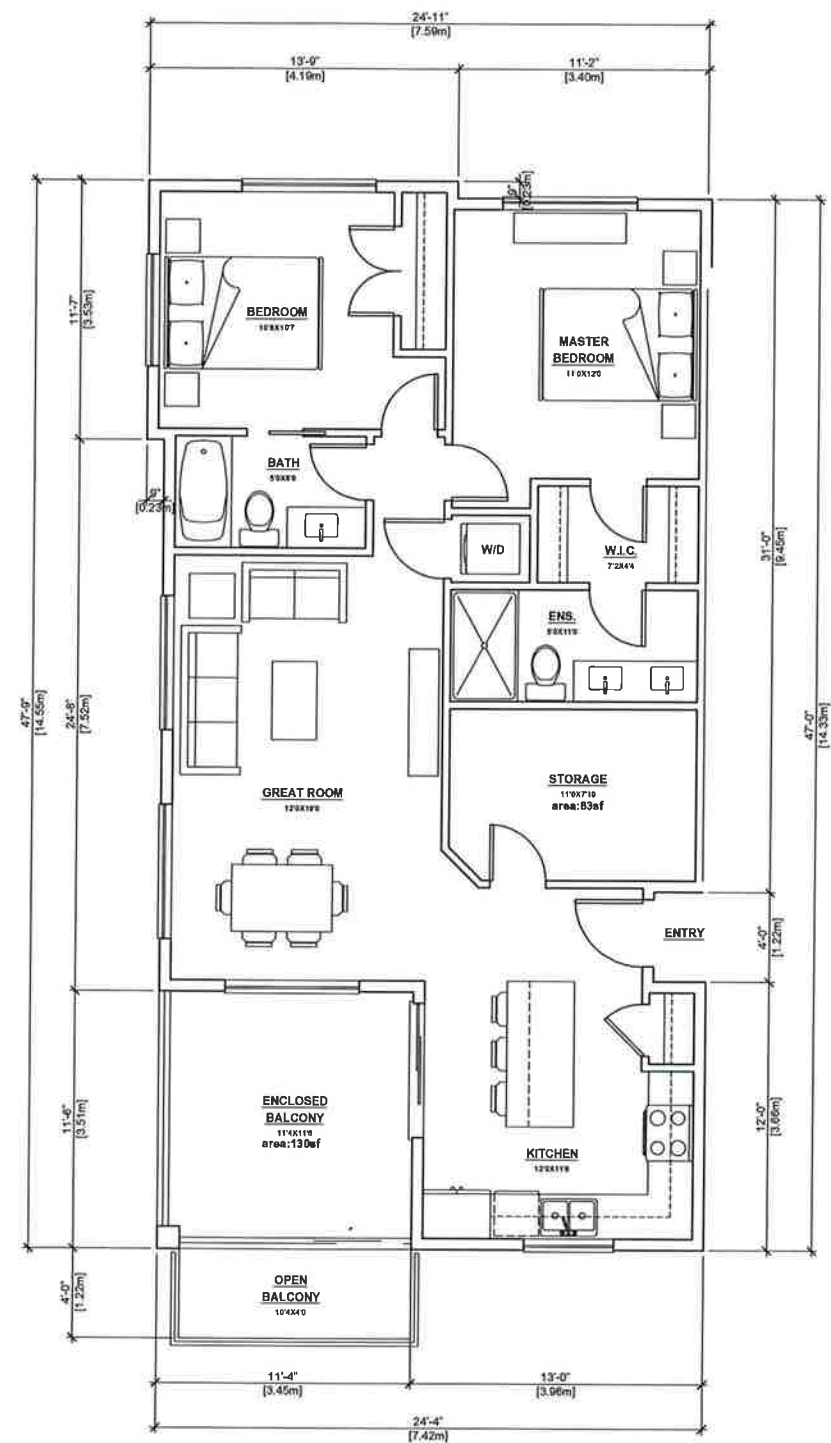


UNIT 'C3'
SCALE: 1/4" = 1'-0"
FINISHED FLOOR AREA: 1,088 SQ.FT.
ENCLOSED BALCONY: 100 SQ.FT.
OPEN BALCONY: 36 SQ.FT.
STORAGE AREA: 88 SQ.FT.

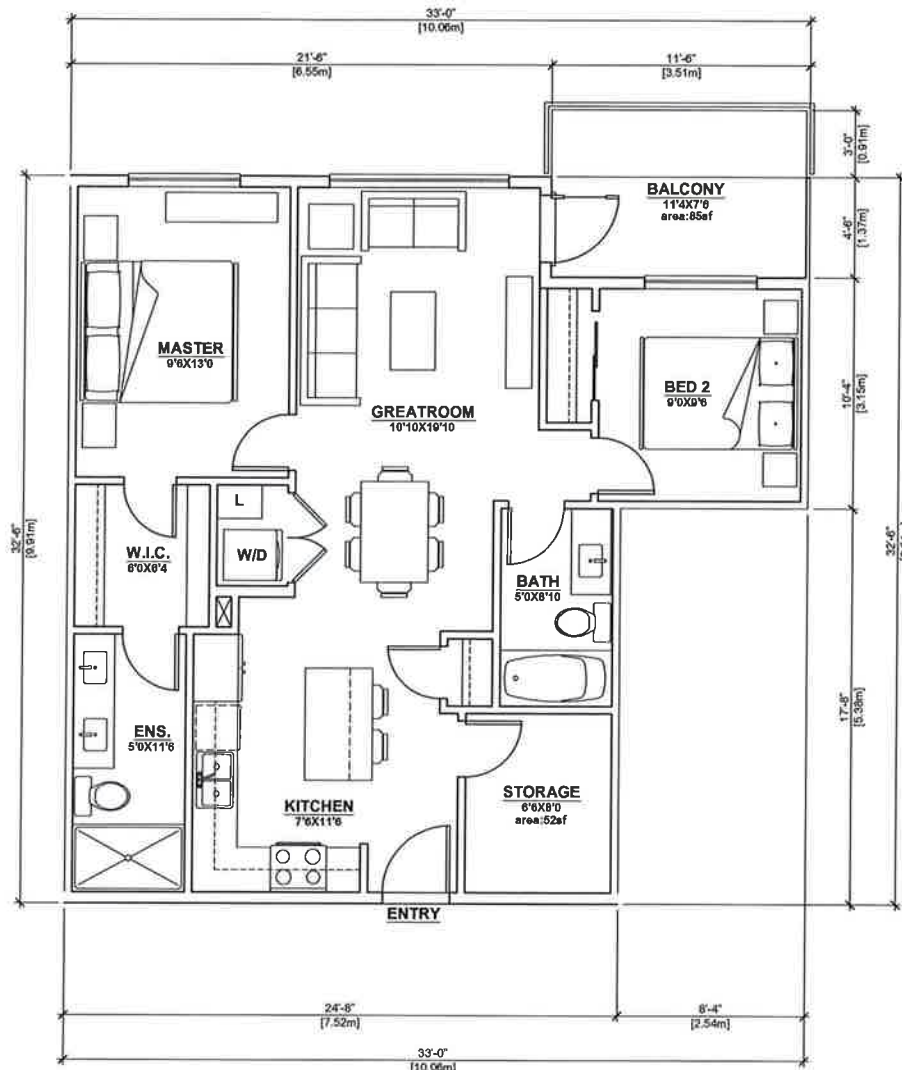
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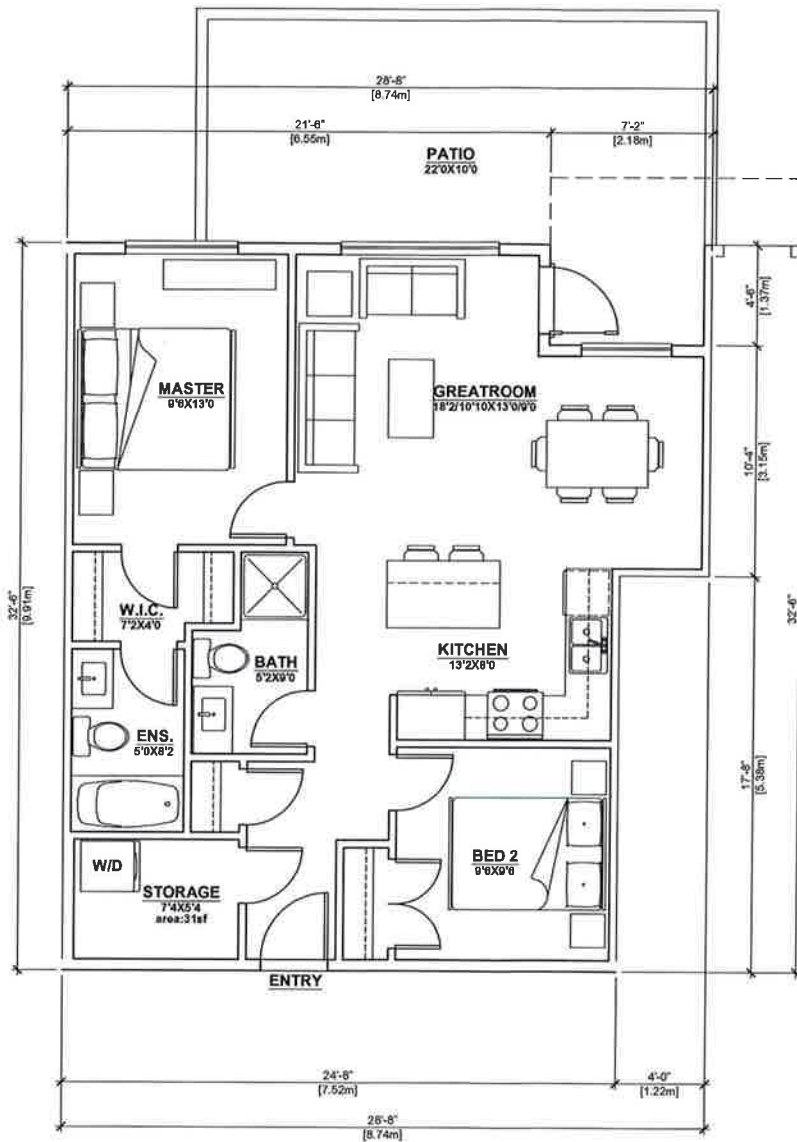
UNIT 'C4'
SCALE: 1/4"= 1'-0"
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ENCLOSED BALCONY: 130 SQ. FT.
OPEN BALCONY: ## SQ. FT.
STORAGE AREA: 83 SQ. FT.



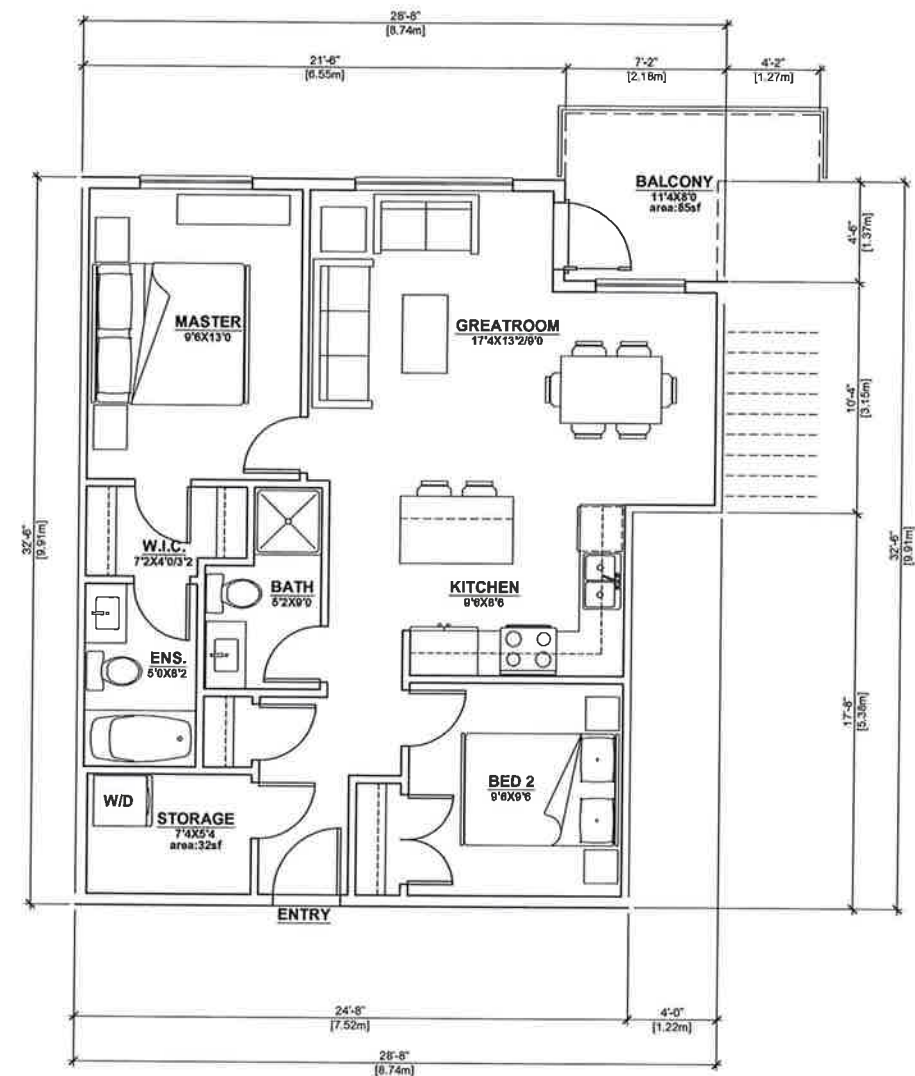
UNIT 'C4a'
SCALE: 1/4" = 1'-0"
FINISHED FLOOR AREA: 1017 SQ. FT.
ENCLOSED BALCONY: 130 SQ. FT.
OPEN BALCONY: 41 SQ. FT.
STORAGE AREA: 83 SQ. FT.



UNIT 'C5'
SCALE: 1/4"= 1'-0"
FINISHED FLOOR AREA: 874 SQ.FT.
BALCONY AREA: 85 SQ.FT.
STORAGE AREA: 52 SQ.FT.



UNIT 'C5a'
SCALE: 1/4"= 1'-0"
FINISHED FLOOR AREA: 829 SQ.FT.
PATIO AREA: 252 SQ.FT.
STORAGE AREA: 32 SQ.FT.



UNIT 'C5b'
SCALE: 1/4"= 1'-0"
FINISHED FLOOR AREA: 829 SQ.FT.
BALCONY AREA: 85 SQ.FT.
STORAGE AREA: 32 SQ.FT.

- 2017-02-27
DESIGN REVISIONS
2017-02-08
ISSUED FOR REZONING/DP
2017-01-04
CLIENT REVISION
2016-10-17
CLIENT REVIEW
2016-09-30
CLIENT REVIEW
2016-09-07
CLIENT REVIEW
2016-08-02
CLIENT REVIEW

REVISIONS
CONSULTANT

CLIENT
CREADA HOLDINGS INC.

PROJECT
"CIVIC"
Proposed Multi-Family
Project

5630 & 5640 201A STREET,
LANGLEY BC, V3A 1T1

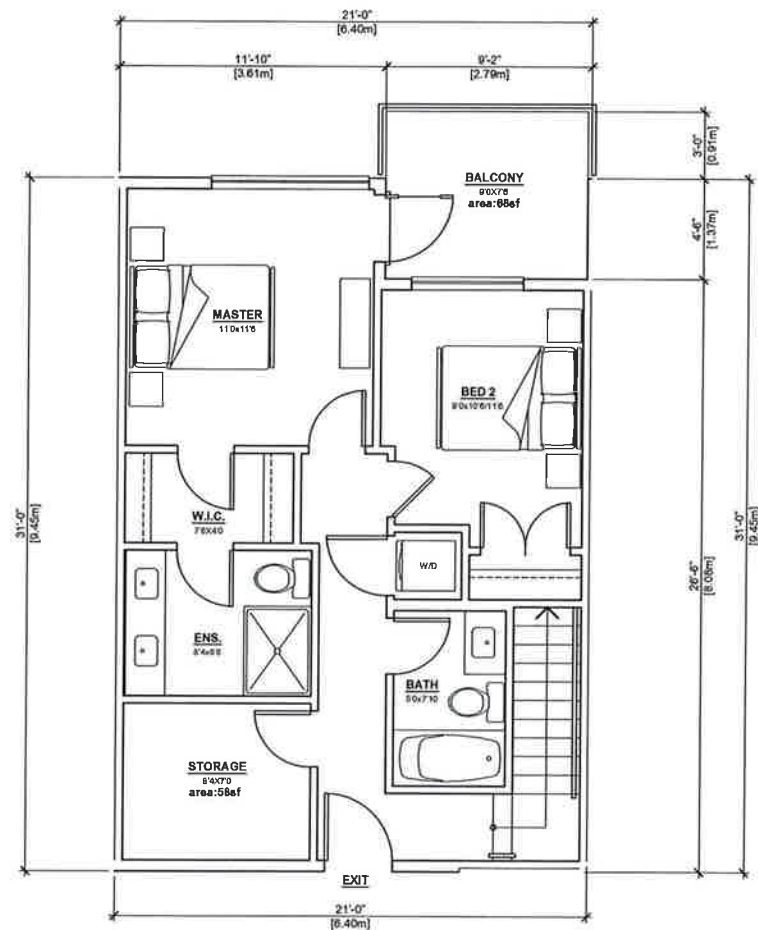
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**DETAILED
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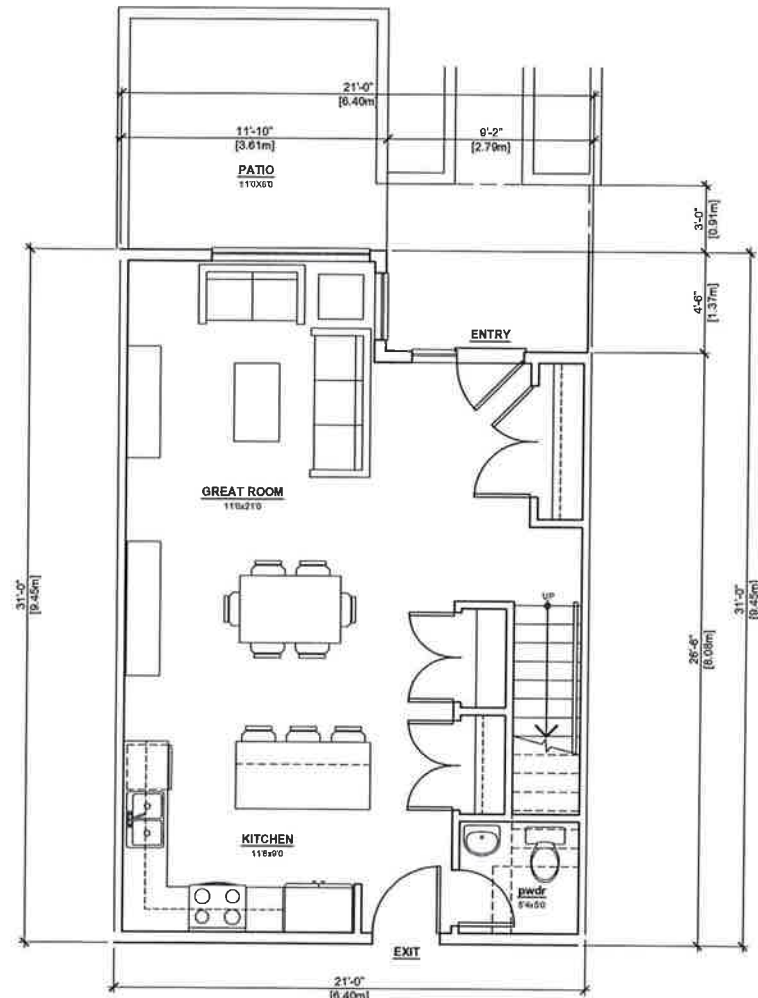
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DWN LC
CHK ch **1624**

SEAL
SHEET NO.

DP-5.05



UNIT 'D'
UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"
FINISHED FLOOR AREA: 610 SQ. FT.
BALCONY AREA: 66 SQ. FT.
STORAGE AREA: 58 SQ. FT.



UNIT 'D'
LOWER FLOOR PLAN
SCALE: 1/4" = 1'-0"
FINISHED FLOOR AREA: 610 SQ. FT.
PATIO AREA: 88 SQ. FT.

2017-02-27	DESIGN REVISIONS
2017-02-08	ISSUED FOR REZONING/DP
2017-01-04	CLIENT REVISION
2016-10-17	CLIENT REVIEW
2016-09-30	CLIENT REVIEW
2016-08-07	CLIENT REVIEW
2016-09-02	CLIENT REVIEW

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CREADA HOLDINGS INC.

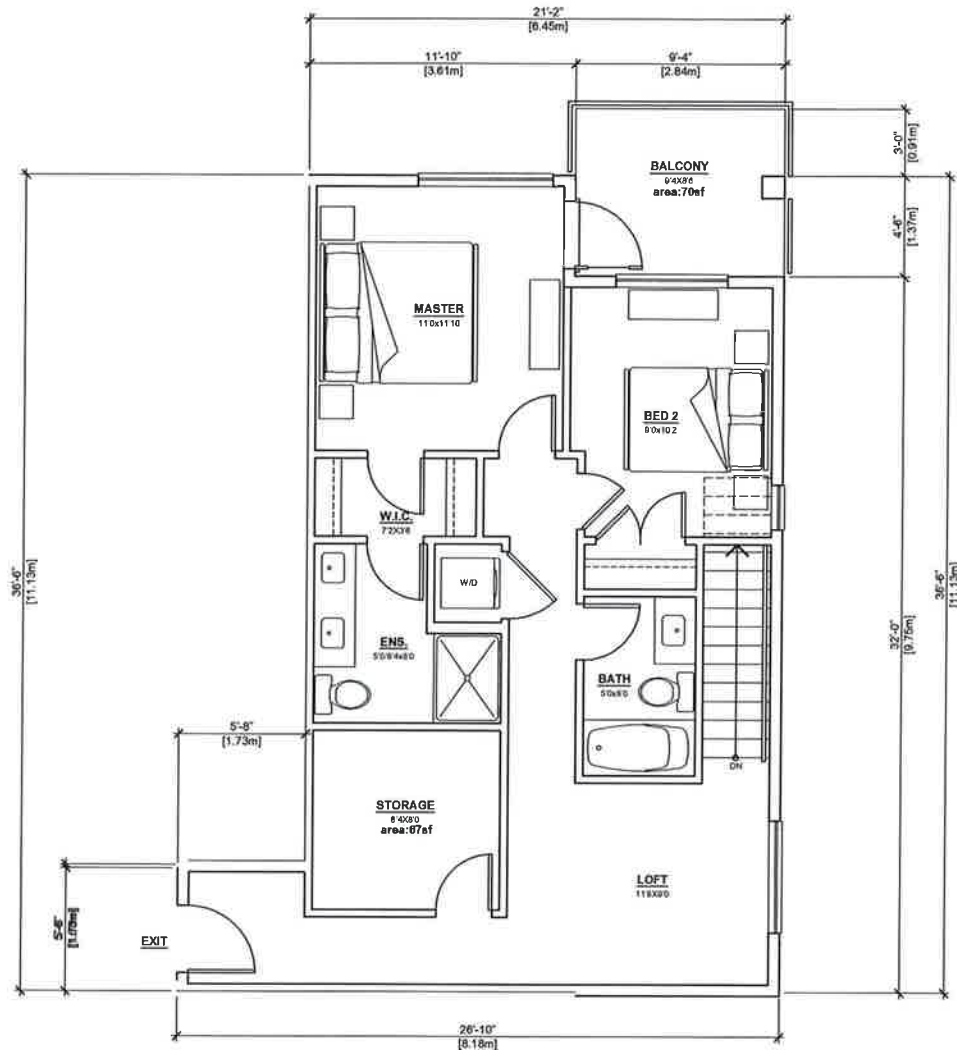
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Proposed Multi-Family Project
5830 & 5840 201A STREET, LANGLEY BC, V3A 1T1

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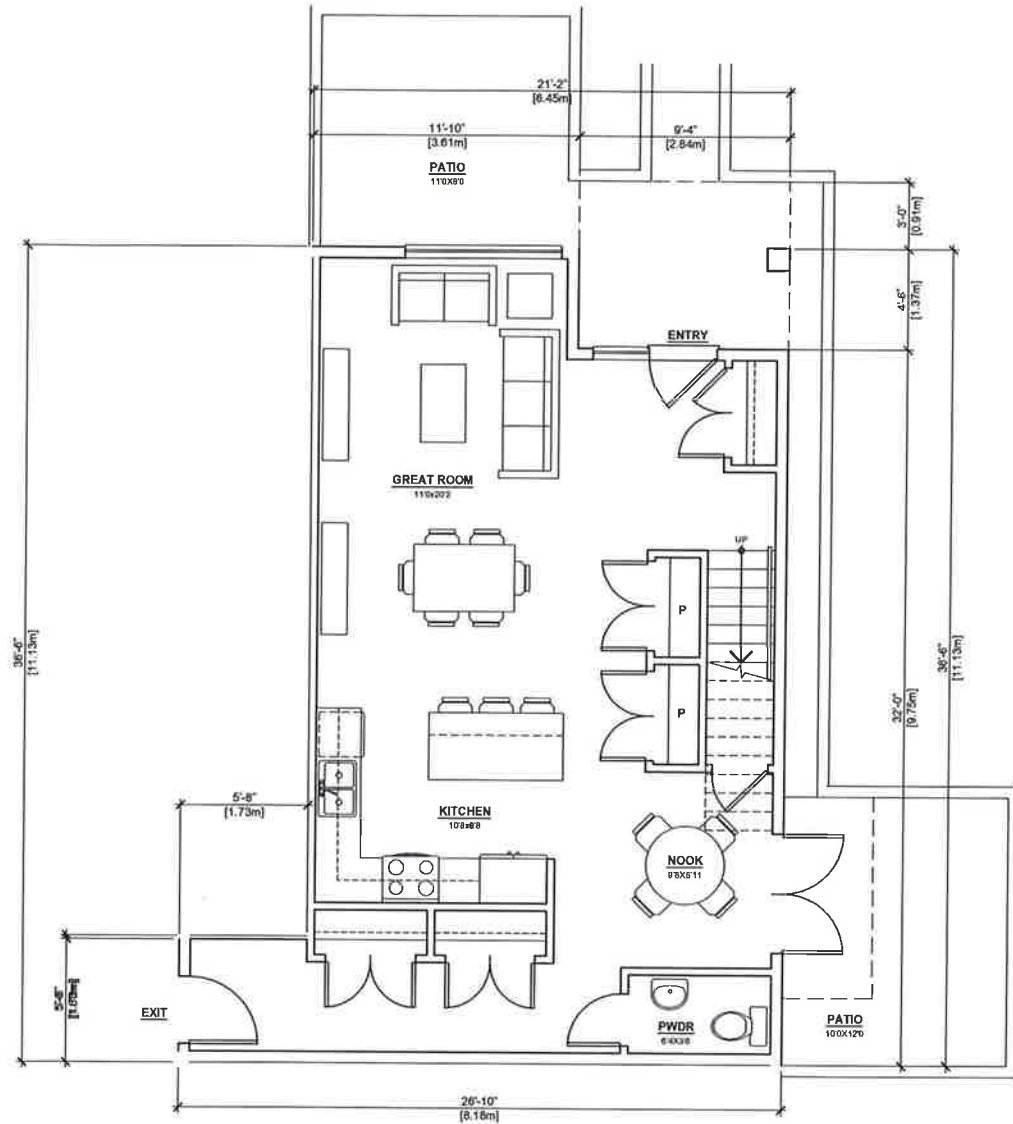
DETAILED UNIT PLANS

DATE	2016.08.15	FILE NO.
DWN	LC	
CHK	ch	1624

SEAL
SHEET NO.



UNIT 'D1'
UPPER FLOOR PLAN
SCALE: 1/4"= 1'-0"
FINISHED FLOOR AREA: 762 SQ.FT.
BALCONY AREA: 70 SQ.FT.
STORAGE AREA: 87 SQ.FT.



UNIT 'D1'
LOWER FLOOR PLAN
SCALE: 1/4"= 1'-0"
FINISHED FLOOR AREA: 763 SQ.FT.
PATIO AREA: 88 SQ.FT.

2017-02-27	DESIGN REVISIONS
2017-02-08	ISSUED FOR REZONING DP
2017-01-04	CLIENT REVISION
2016-10-17	CLIENT REVIEW
2016-09-30	CLIENT REVIEW
2016-09-07	CLIENT REVIEW
2016-09-02	CLIENT REVIEW

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PROJECT
"CIVIC"
Proposed Multi-Family Project
5630 & 5640 201A STREET,
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**DETAILED
UNIT PLANS**

DATE	2016.08.15	FILE NO.
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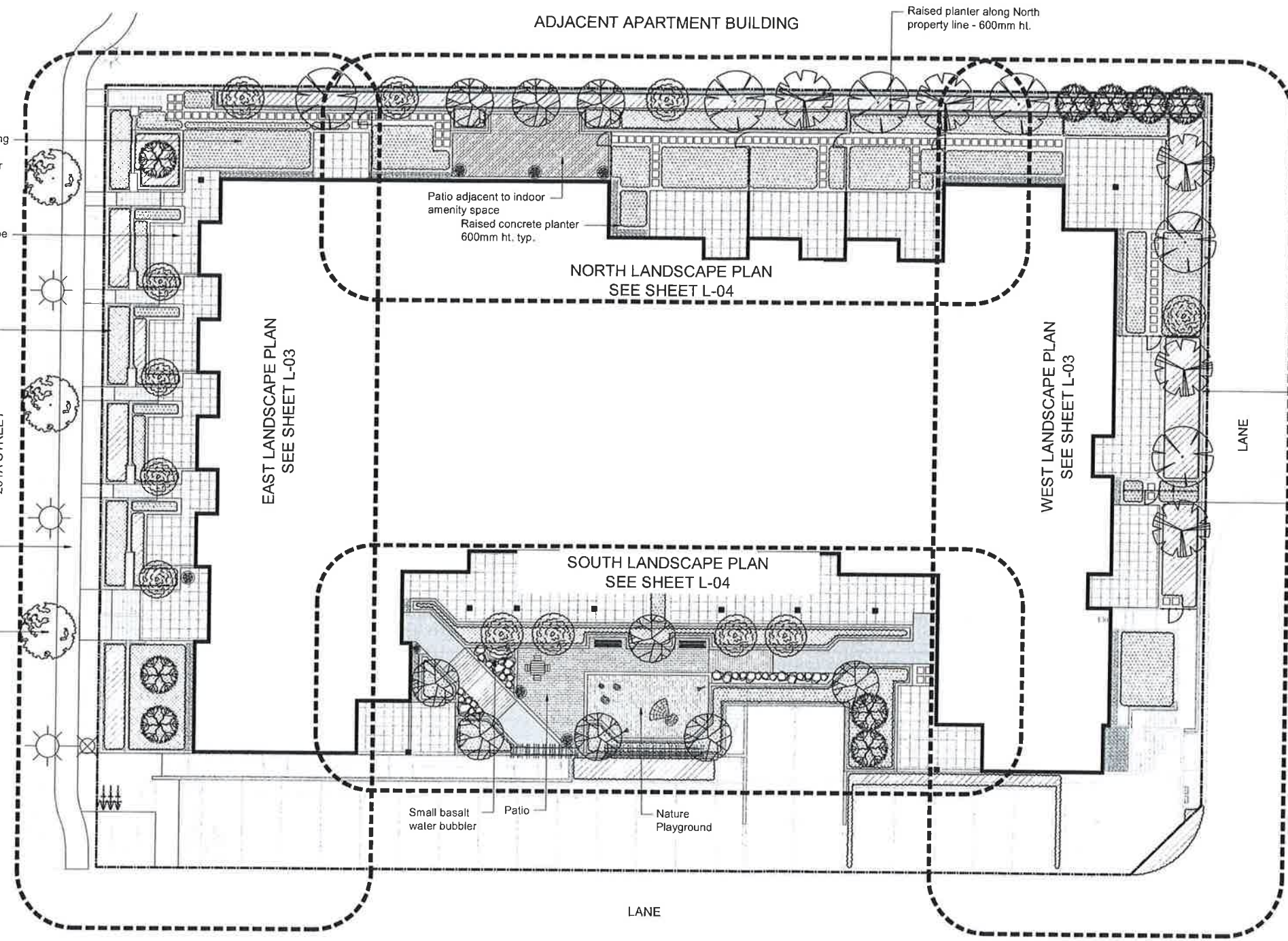
SEAL
SHEET NO.

DP-5.06a

Issued for Development Permit

Sheet List Table

Drawing #:
L-01



1 OVERALL SITE PLAN
Scale 1:150

TREE LEGEND

AC	AG	CK	PO
STY	STREET TREE		

PROPOSED TREE SCHEDULE

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
DECIDUOUS TREES					
AC	5	Acer palmatum 'Sango Kaku'	Sango Kaku Japanese maple	B+B; 3.0m Ht.	Plant as shown
AG	9	Acer griseum	Paperbark maple	B+B; 6cm Cal.	Plant as shown
CK	6	Cornus kousa 'Starlight'	Starlight Dogwood	B+B; 6cm Cal.	Plant as shown
STY	12	Styrax japonicus	Japanese snowbell, white	B+B; 6cm Cal.	Plant as shown
CONIFEROUS TREES					
PO	9	Picea canadensis	Serbian Spruce	B+B; 3.0m Ht.	Plant as shown

- PLANTING NOTES:
- ALL PLANT MATERIAL SHALL MEET OR EXCEED STANDARDS REQUIRED BY BCLMA OR BCSLA GUIDELINES.
 - TOPSOIL DEPTHS FOR PLANTING AS FOLLOWS:
A. GROUNDCOVERS: 300mm
B. SHRUBS: 450mm
C. TREE PITS: 1000mm WITH 300mm BELOW ROOT BALL
 - 1" MINUS COMPOST MULCH TO BE INSTALLED IN ALL SHRUB PLANTING AREAS.

No.	By	Description	Date
3	MR	Reissued for D.P.	February 27, 2017
2	MR	Issued for D.P.	February 3, 2017
1	SH	Issued for Client Review	January 11, 2017

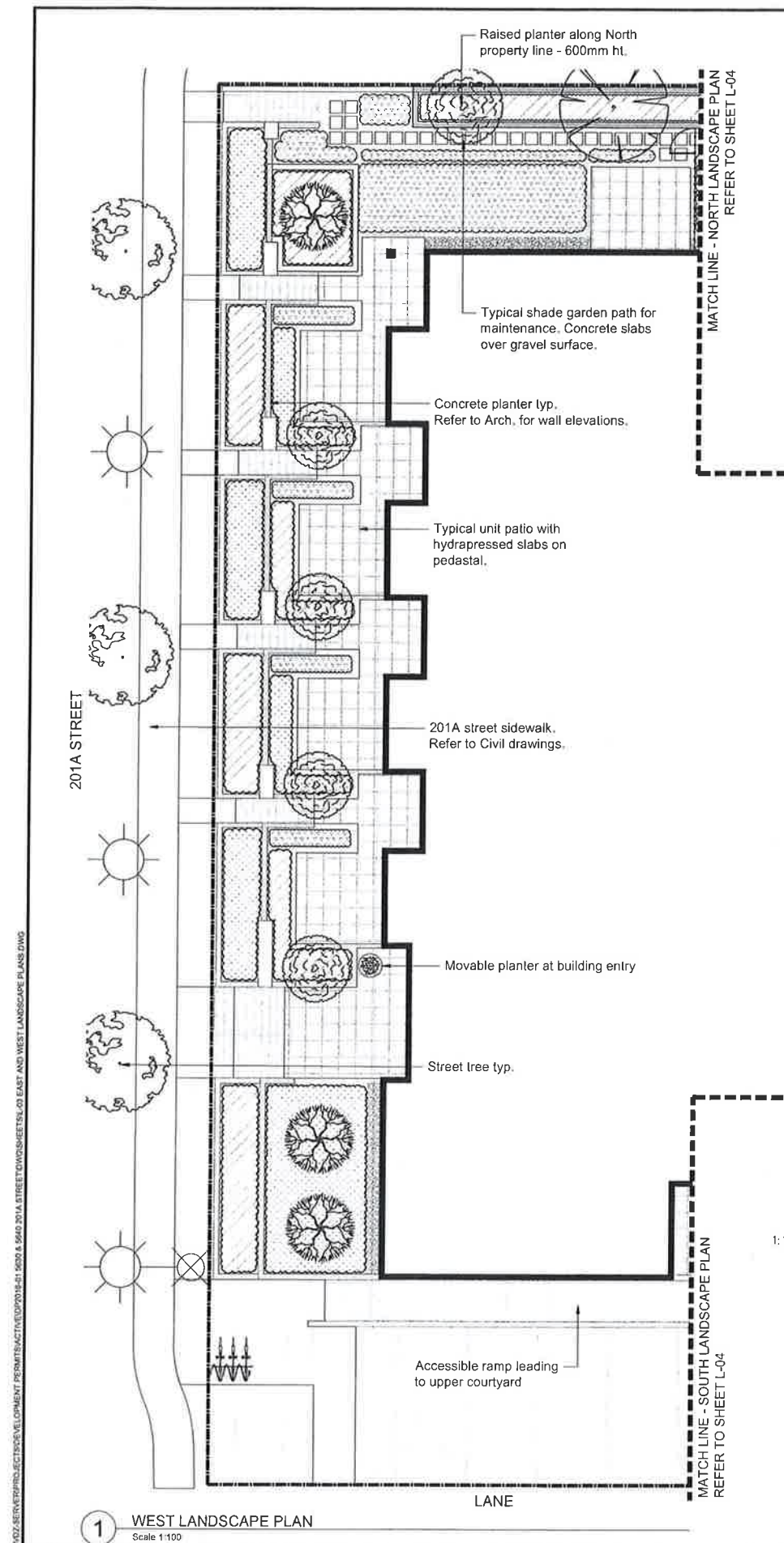
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







No.	By	Description	Date
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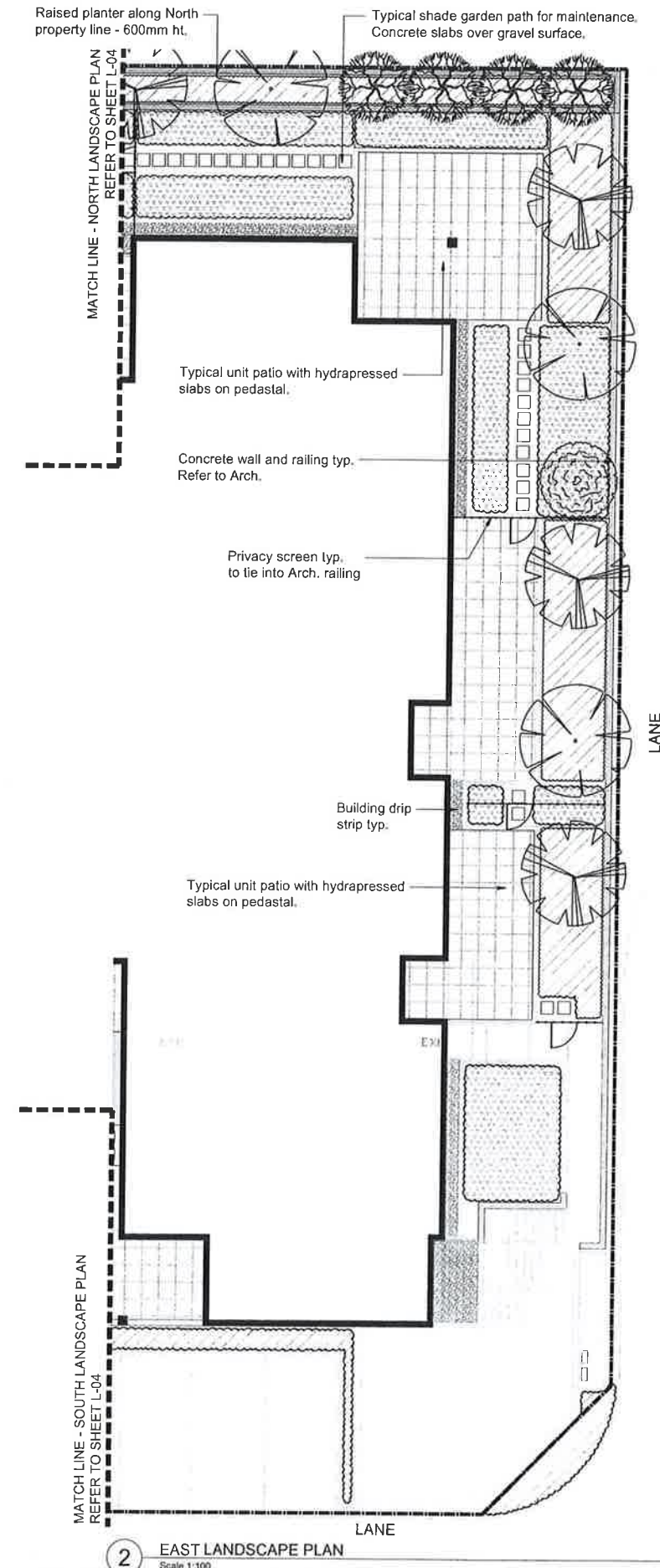
REVISIONS TABLE FOR SHEET

Project:
PROPOSED MULTI-FAMILY PROJECT
Location:
5630 & 5640 201A Street
Langley, BC, V3A 1T1

Drawn: SH MR	Stamp:
Checked: DJ	
Approved: MVDZ	Original Sheet Size: 24"x36"
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REF.	KEY	DESCRIPTION
2 (LD-01)		UNIT PAVERS Metropolitan Series Pavers Colour: Charcoal Supplier: Abbotsford Concrete Products
3 (LD-01)		PAVER SLABS Tewada Hydrapressed Slabs Colour: Charcoal Supplier: Abbotsford Concrete Products
2 (LD-01)		UNIT PAVERS Bridgwood Series Concrete Slabs Colour: Cedar Brown Supplier: Barkman Concrete
1 (LD-01)		CONCRETE SIDEWALK Over Structural Slab
		RAILINGS Refer to Architects Drawings
1 (LD-02)		SHADE GARDEN PLANTING Refer to Planting Plan
1 (LD-02)		FEATURE SHRUB AND GROUNDCOVER PLANTING Refer to Planting Plan
1 (LD-02)		PERIMETER SCREEN PLANTING Refer to Planting Plan
		DECORATIVE POTS GRTS -077 by Baldwin Site Elements or approved equal Contact: 604-424-4168 edn@nne.com beldwinse.com
4 (LD-01)		ALLAN BLOCK RETAINING WALL 600mm Hh. raised planters (Typ.)
6 (LD-01)		BENCH Maglin MLB720-W
7 (LD-01)		TABLE Maglin MLPT400-S-W
8 (LD-01)		SHADE GARDEN PATH Hydrapressed slabs on compacted gravel base for maintenance access.
5 (LD-02)		BUILDING DRIP STRIP
		BIKE RACK Looopy Series L24-BRS2 by Frances: Andrew Site Furnishings Ltd. Surface: Mosaic
5 (LD-01)		WOOD FIBAR PLAY SURFACE
7 (LD-02)		TIMBER STEP DOWN FENCE



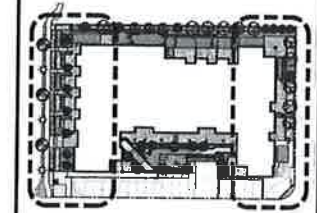
van der Zalm + associates inc.
Parks & Recreation • Civil Engineering
Urban Design • Landscape Architecture

Suite 1, 2017 57th Avenue
Langley, British Columbia
V1M 4B8

P. 604.882.0004
F. 604.882.0040
info@vz.ca



Key Map (NTS)



3	MR	Revised for D.P.	February 27, 2017
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1	SH	Issued for Client Review	January 11, 2017
No	By:	Description	Date

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Project:

PROPOSED MULTI-FAMILY
PROJECT

Location:
5630 & 5640 201A Street
Langley, BC, V3A 1T1

Drawn:	Stamp:
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Stamp:

Checked:
DJ

Approved
MVDZ

Original Sheet Size:
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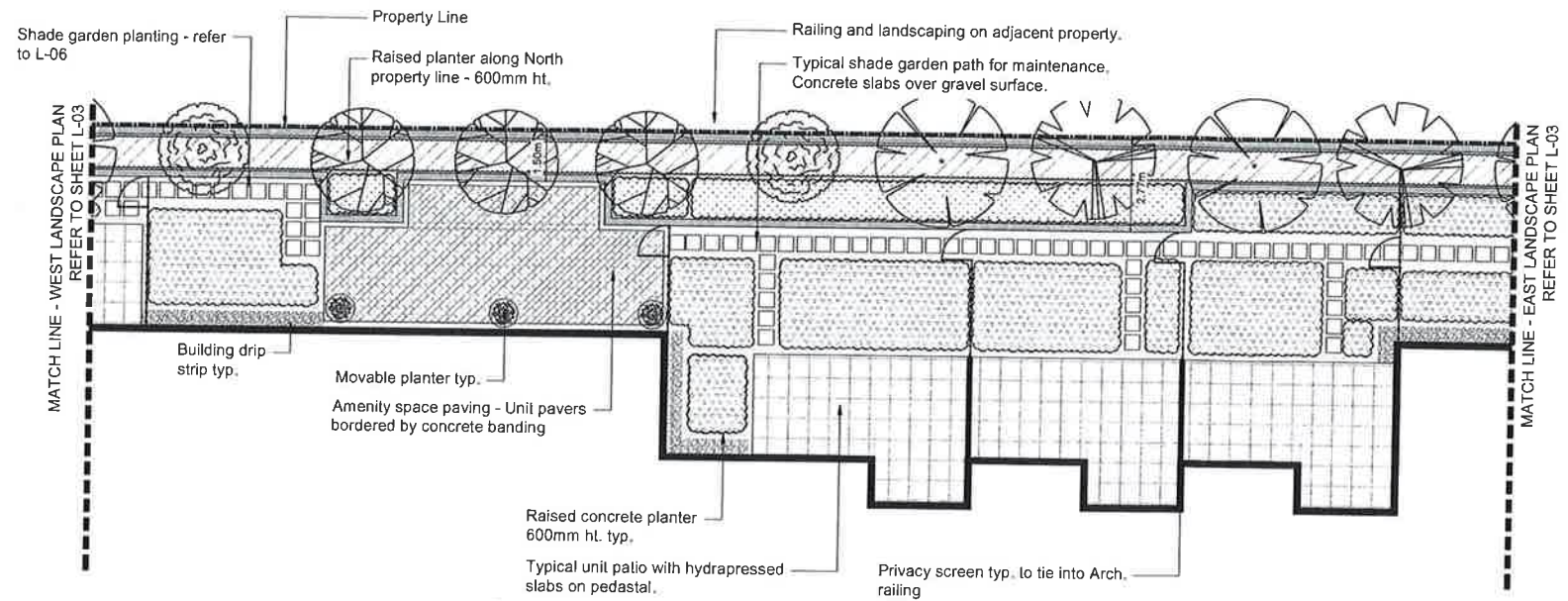
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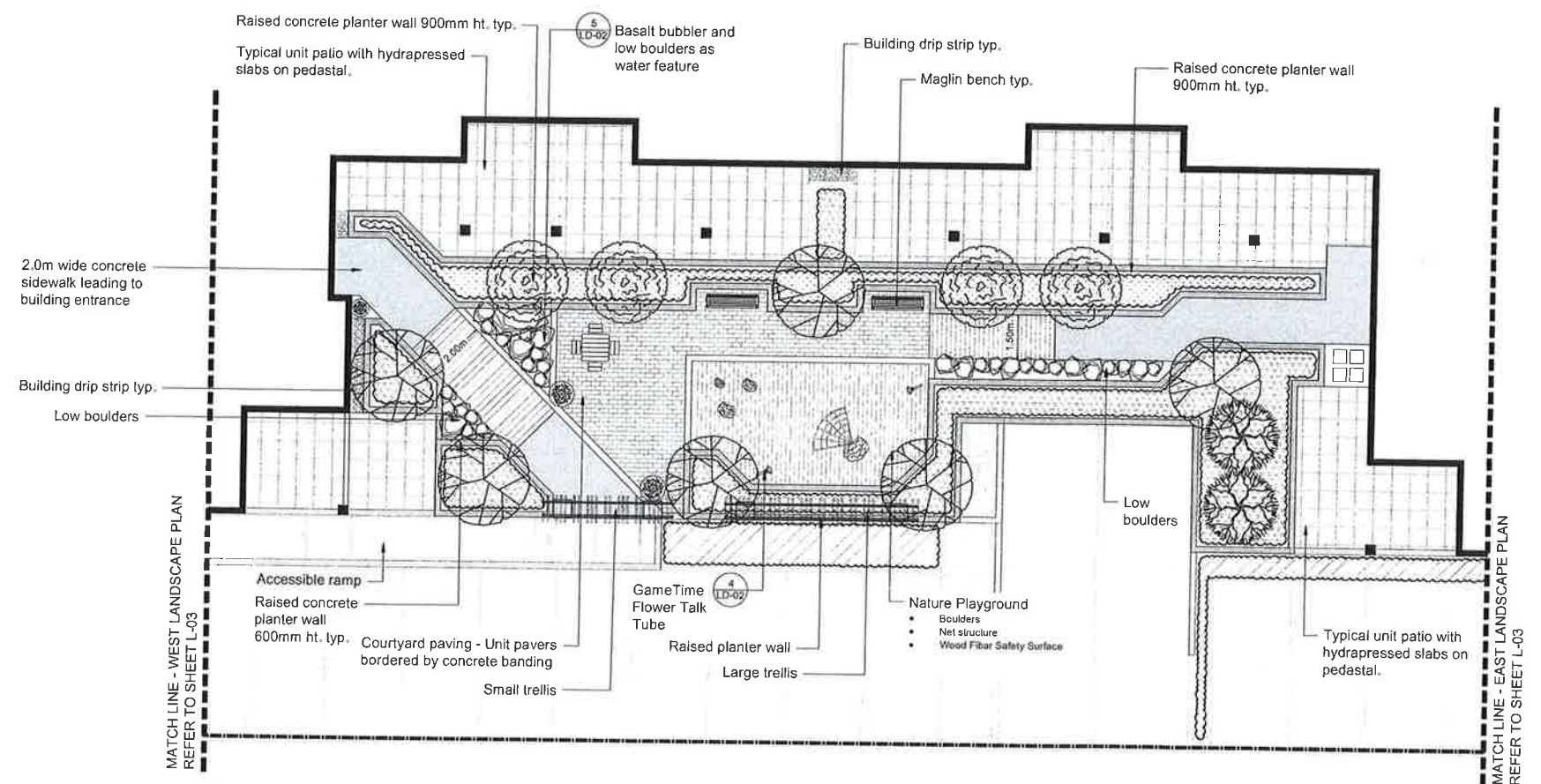
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VDZ Project #:
DP2016-61

Drawing #: L-03



1 NORTH LANDSCAPE PLAN
Scale 1:100



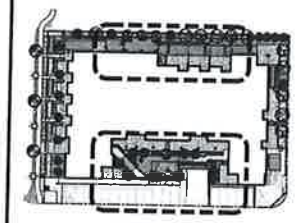
2 SOUTH LANDSCAPE PLAN (COURTYARD)
Scale 1:100

LANDSCAPE LEGEND

REF.	KEY	DESCRIPTION
2 LD-01		UNIT PAVERS Metropolitan Series Pavers Colour: Charcoal Supplier: Abbotsford Concrete Products
3 LD-01		PAVER SLABS Texada Hydrapressed Slabs Colour: Charcoal Supplier: Abbotsford Concrete Products
2 LD-01		UNIT PAVERS Bridgwood Series Concrete Slabs Colour: Cedar Brown Supplier: Barkman Concrete
1 LD-01		CONCRETE SIDEWALK Over Structural Slab
		RAILINGS Refer to Architects Drawings
1 LD-02		SHADE GARDEN PLANTING Refer to Planting Plan
1 LD-02		FEATURE SHRUB AND GROUND COVER PLANTING Refer to Planting Plan
1 LD-02		PERIMETER SCREEN PLANTING Refer to Planting Plan
		DECORATIVE POTS GRTS-077 by Baldevn Site Elements or approved equal. Contact: 604-424-4166 adrianne@baldevn.com
4 LD-01		ALLAN BLOCK RETAINING WALL 600mm Ht, raised planters (Typ.)
6 LD-01		BENCH Maglin MLB720-W
7 LD-01		TABLE Maglin MLPT400-S-W
8 LD-01		SHADE GARDEN PATH Hydrapressed slabs on compacted gravel base for maintenance access.
5 LD-02		BUILDING DRIP STRIP
		BIKE RACK Loopy Series L21-BR22 by Francis Andrew Site Furnishings Ltd Surface Mount
5 LD-01		WOOD FIBER PLAY SURFACE
7 LD-02		TIMBER STEP DOWN FENCE



Key Map (NTS)



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No.	By	Description	Date

Project:
PROPOSED MULTI-FAMILY PROJECT

Location:
5630 & 5640 201A Street
Langley, BC, V3A 1T1

Drawn:
SH
MR

Checked:
DJ

Approved:
MVDZ

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Drawing Title:
NORTH AND SOUTH LANDSCAPE PLANS

VDZ Project #:
DP2016-61

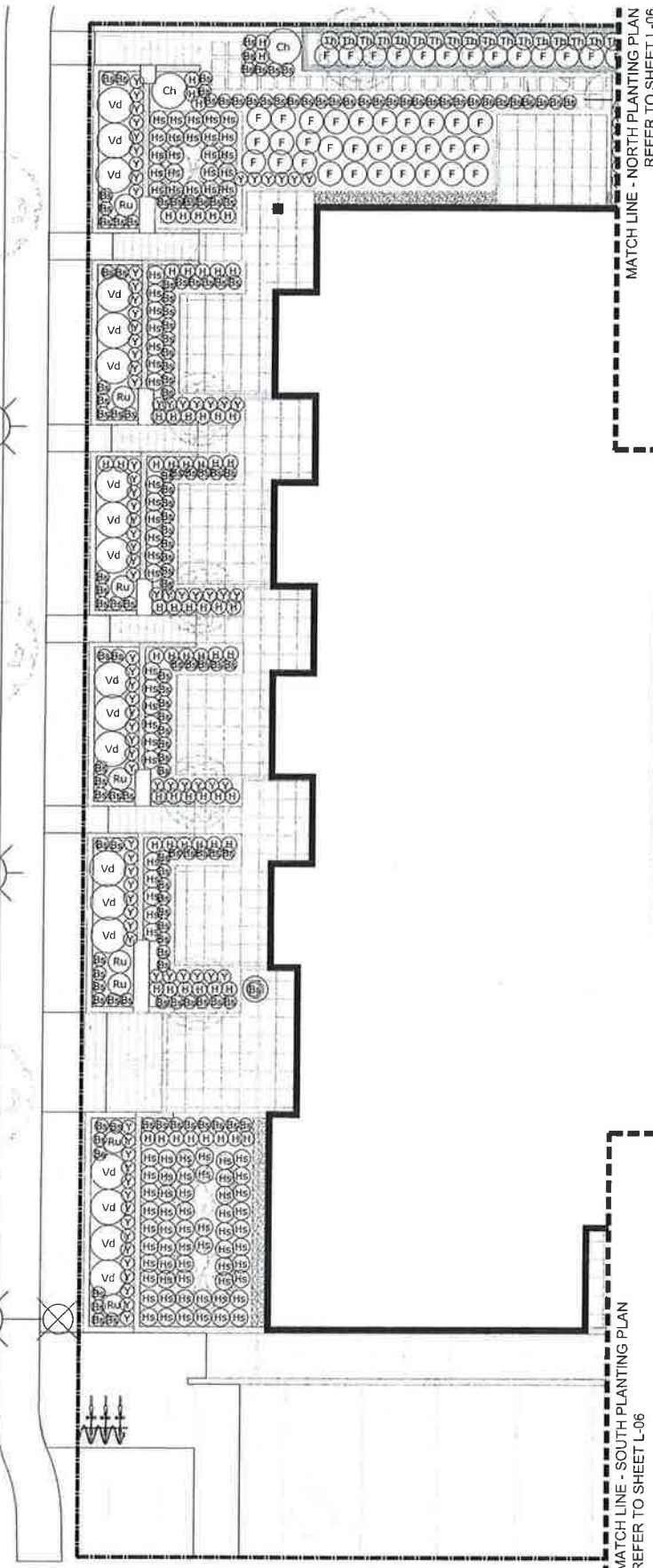
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VDZ-SEEN/PROJECT/DEVELOPMENT/PERMITS/ACTIVATION/2016-01 1600 & 5640 201A STREET/WORKSHEET/05 EAST AND WEST PLANTING PLANS.DWG

201A STREET

1

WEST PLANTING PLAN
Scale 1:100



PROPOSED PLANTING SCHEDULE

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
SHRUBS					
Az	22	Azalea japonica 'Hino White'	Evergreen azalea; white	# 3 Pot	900mm O.C.
Ch	11	Choisya ternata 'Aztec Pearl'	Aztec Pearl Mock Orange	# 3 Pot	1200mm O.C.
Ham	2	Hamamelis mollis 'Arnold Promise'	Witch Hazel; yellow	# 3 Pot	2000mm O.C.
Hyd	4	Hydrangea semulata 'Bluebird'	Bluebird Hydrangea	# 3 Pot	1500mm O.C.
Vd	27	Viburnum davidii	David's Viburnum	# 2 Pot	1200mm O.C.
Vo	5	Vaccinium ovatum	Evergreen Huckleberry	# 2 Pot	1000mm O.C.
PERENNIALS AND GRASSES					
A	19	Allium sphaerocephalon	Ball headed onion	Plant as shown	
C	35	Campanula poscharskyana	Serbian bellflower; blue	# 1 Pot	500mm O.C.
	1196	Carex pensylvanica	Pennsylvania Sedge	10 cm Pot	300mm O.C.
H	77	Hemerocallis 'Stella de Oro'	Daylily; yellow	# 1 Pot	500mm O.C.
Hs	187	Heliopsis scabra 'Autumn Fire'	Blue Oat Grass	# 1 Pot	600mm O.C.
P	141	Phlox divaricata 'Plum Perfect'	Woodland Phlox; Purple	10 cm Pot	450mm O.C.
Ru	17	Rudbeckia hirta 'Goldsturm'	Black Eyed Susan	# 1 Pot	750mm O.C.
S	22	Salvia nemorosa	Woodland Sage	# 1 Pot	750mm O.C.
Te	84	Tellima grandiflora	Fragrant Fringscup	# 1 Pot	600mm O.C.
HEDGING					
Bc	157	Buxus microphylla 'Winter Gem'	Edging Boxwood	# 2 Pot	500mm O.C.
Sa	47	Sarcococca hookeriana 'humilis'	Himalayan Sweetbox	# 2 Pot	600mm O.C.
Th	217	Thuja occidentalis 'Smaragd'	Smaragd Cedar Hedge	1.8m ht. B&B	600mm O.C.
Y	277	Taxus x media 'Hicksii'	Hick's Yew	1.0m ht.	450mm O.C.
GROUND COVER					
F	79	Liriope muscari	Blue Lilyturf	10 cm Pot	450mm O.C.
	231	Polystichum munitum	Western Sword Fern	# 1 Pot	800mm O.C.

- PLANTING NOTES:
1. ALL PLANT MATERIAL SHALL MEET OR EXCEED STANDARDS REQUIRED BY BCLNA OR BCSLA GUIDELINES.
 2. TOPSOIL DEPTHS FOR PLANTING AS FOLLOWS:
 - A. GROUND COVERS: 300mm
 - B. SHRUBS: 450mm
 - C. TREE PITS: 1000mm WITH 300mm BELOW ROOT BALL
 3. 1" MINUS COMPOST MULCH TO BE INSTALLED IN ALL SHRUB PLANTING AREAS.

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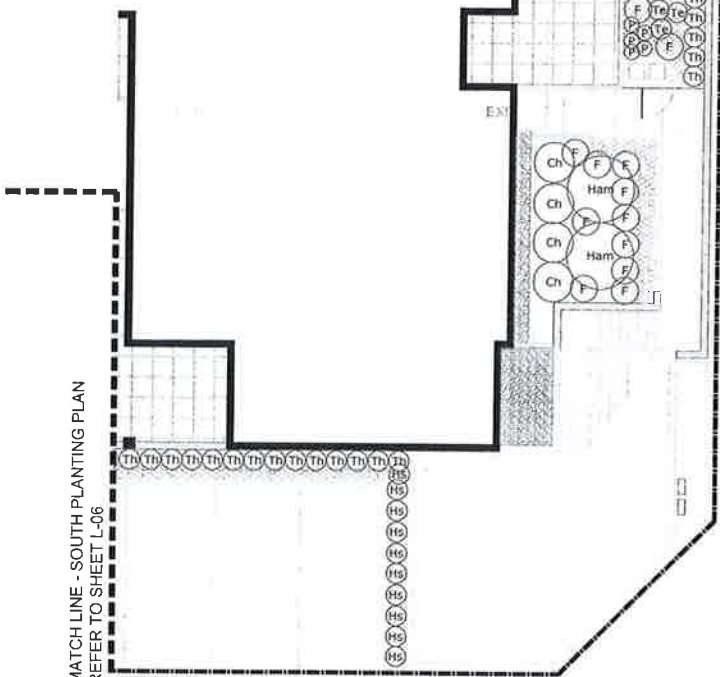
MATCH LINE - SOUTH PLANTING PLAN
REFER TO SHEET L-05

Raised planter along North property line - 600mm ht.
Typical shade garden path for maintenance. Concrete slabs over gravel surface.

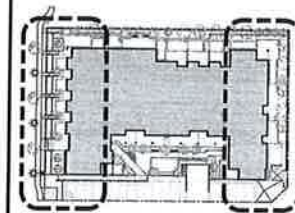
MATCH LINE - NORTH PLANTING PLAN
REFER TO SHEET L-06

2

EAST PLANTING PLAN
Scale 1:100



Key Map (NTS)



No.	By:	Description	Date
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Project:
PROPOSED MULTI-FAMILY PROJECT
Location:
5630 & 5640 201A Street
Langley, BC, V3A 1T1

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Approved: MVDZ	Original Sheet Size: 24"x36"
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Drawing Title:
EAST AND WEST PLANTING PLANS



VDZ Project #:
DP2016-61

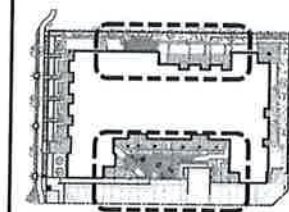
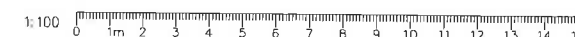
Drawing #:
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SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
SHRUBS					
Az	22	<i>Azalea japonica</i> 'Hino White'	Evergreen azalea; white	# 3 Pot	900mm O.C.
Ch	11	<i>Choisya lernata</i> 'Aztec Pearl'	Aztec Pearl Mock Orange	# 3 Pot	1200mm O.C.
Ham	2	<i>Hamamelis mollis</i> 'Arnold Promise'	Witch Hazel; yellow	# 3 Pot	2000mm O.C.
Hyd	4	<i>Hydrangea serrulata</i> 'Bluebird'	Bluebird Hydrangea		1500mm O.C.
Vd	27	<i>Viburnum davidii</i>	David's Viburnum	# 2 Pot	1200mm O.C.
Vo	5	<i>Vaccinium ovatum</i>	Evergreen Huckleberry	# 2 Pot	1000mm O.C.
PERENNIALS AND GRASSES					
A	19	<i>Allium sphaerocephalon</i>	Ball headed onion		Plant as shown
C	35	<i>Campanula poscharskyana</i>	Sieban bellflower; blue	# 1 Pot	500mm O.C.
	1196	<i>Carex pensylvanica</i>	Pennsylvania Sedge	10 cm Pot	300mm O.C.
H	77	<i>Hemerocallis</i> 'Stella de Oro'	Daylily; yellow	# 1 Pot	500mm O.C.
HS	187	<i>Helictotrichon sempervirens</i>	Blue Owl Grass	# 1 Pot	600mm O.C.
P	141	<i>Phlox divaricata</i> 'Pump Perfect'	Woodland Phlox; Purple	10 cm Pot	450mm O.C.
Ru	17	<i>Rubecola fulgida</i> var. 'Goldsturm'	Black Eyed Susan	# 1 Pot	750mm O.C.
S	22	<i>Salvia nemorosa</i>	Woodland Sage	#1 Pot	750mm O.C.
Te	84	<i>Tellima grandiflora</i>	Fragrant Figmaceg	# 1 Pot	600mm O.C.
HEDGING					
Bs	157	<i>Buxus microphylla</i> 'Winter Gem'	Edging Boxwood	# 2 Pot	500mm O.C.
Sa	47	<i>Sarcococca hookeriana</i> 'nuttallii'	Himalayan Sweetbox	# 2 Pot	600mm O.C.
Th	217	<i>Thuja occidentalis</i> 'Smaragd'	Smaragd Cedar Hedge	1.8m ht. B&E	600mm O.C.
Y	277	<i>Taxus x media</i> 'Hicksii'	Hick's Yew	1.0m ht	450mm O.C.
GROUND COVER					
	79	<i>L. tripe muscari</i>	Blue Lilyturf	10 cm Pot	450mm O.C.
F	231	<i>Polystichum murinum</i>	Western Sword Fern	# 1 Pot	800mm O.C.

PLANTING NOTES:

1. ALL PLANT MATERIAL SHALL MEET OR EXCEED STANDARDS REQUIRED BY BC/LNA OR BC/LA GUIDELINES
2. TOPSOIL DEPTHS FOR PLANTING AS FOLLOWS
 - A. GROUNDCOVERS: 300mm
 - B. SHRUBS: 450mm
 - C. TREE TIPS: 1000mm WITH 300mm BELOW ROOT BALL
3. 1" MINUS COMPOST MULCH TO BE INSTALLED IN ALL SHRUB PLANTING AREAS.



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REVISIONS TABLE FOR SHEET	
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Project:

PROPOSED MULTI-FAMILY
PROJECT

Location:
5630 & 5640 201A Street
Langley, BC, V3A 1T1

Drawn:	Stamp:
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Approved:	Original Sheet Size:
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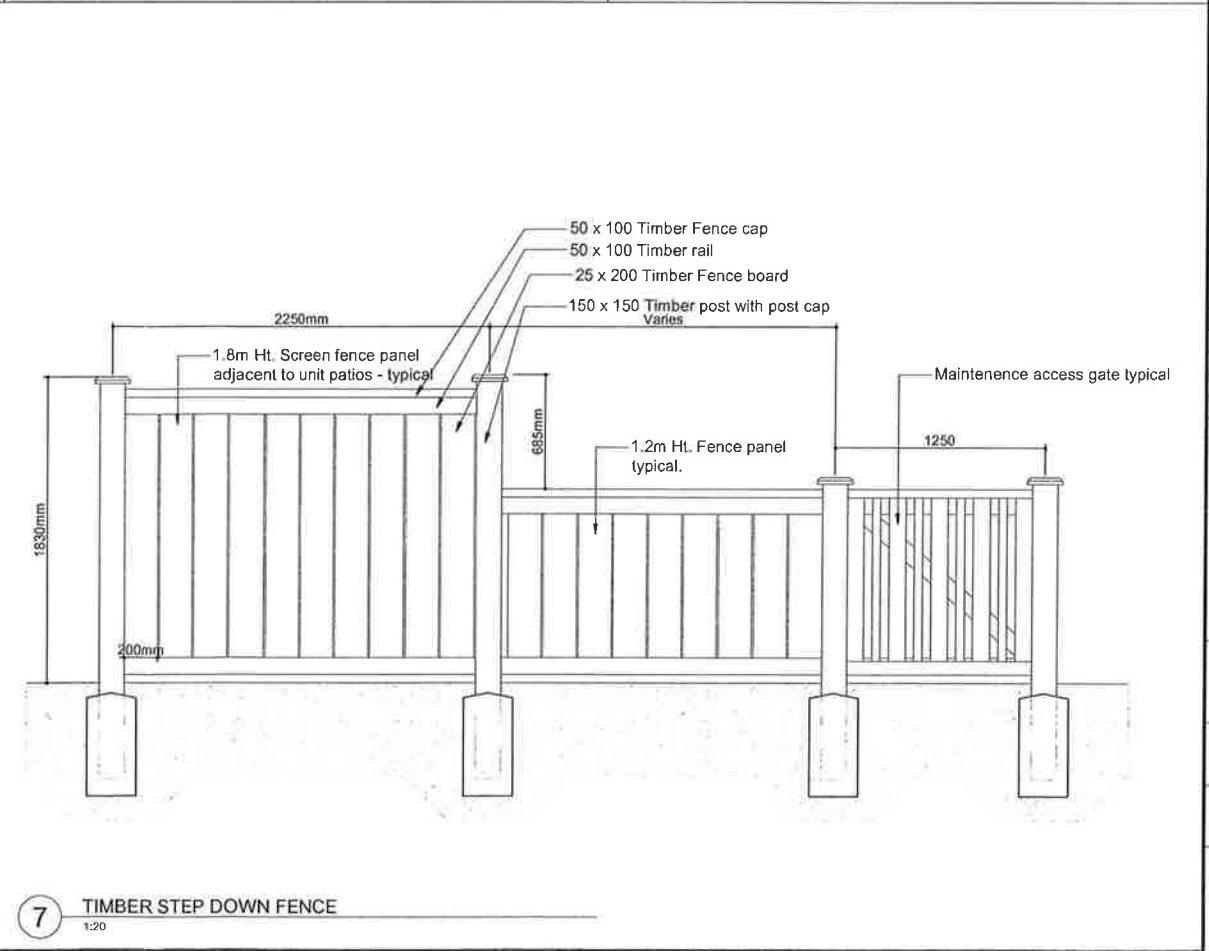
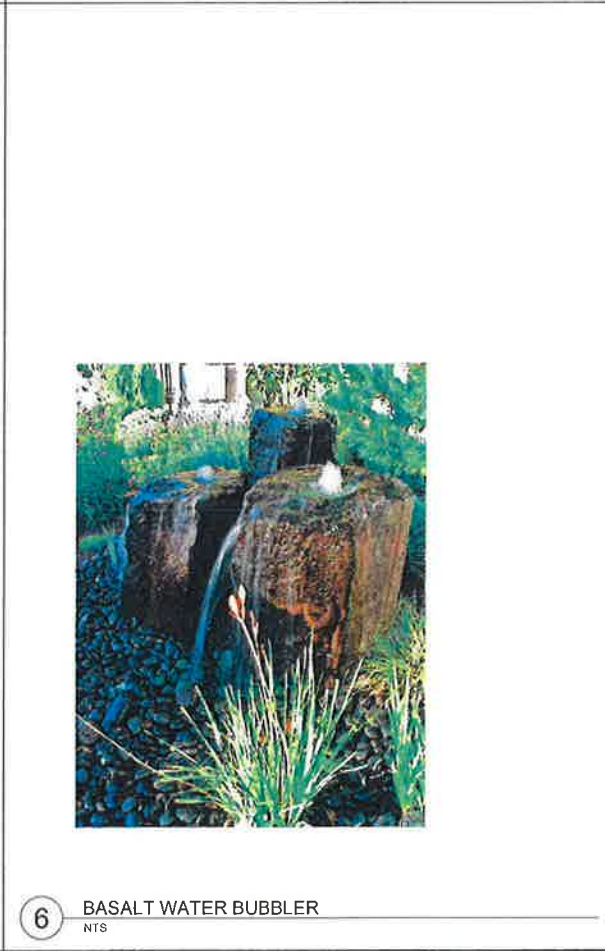
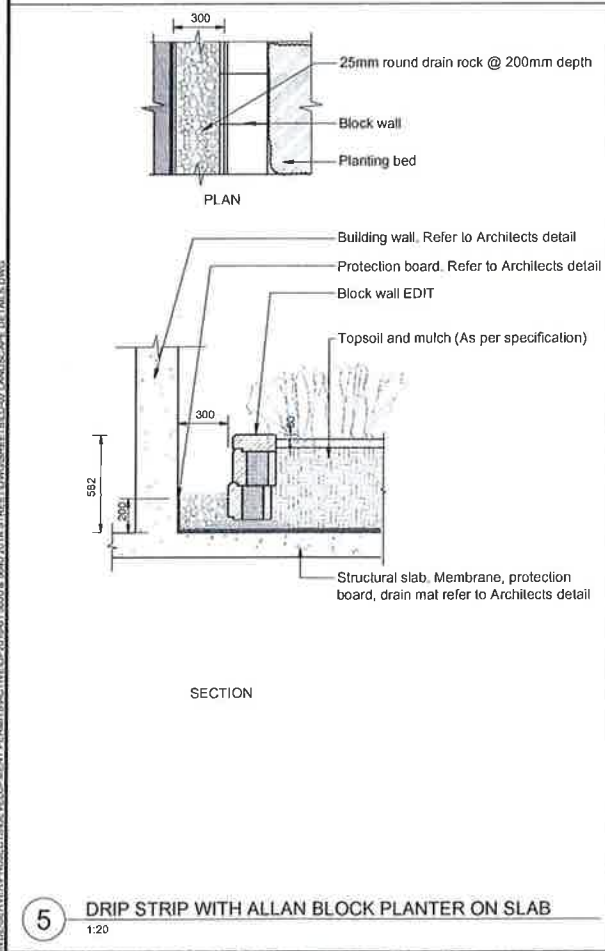
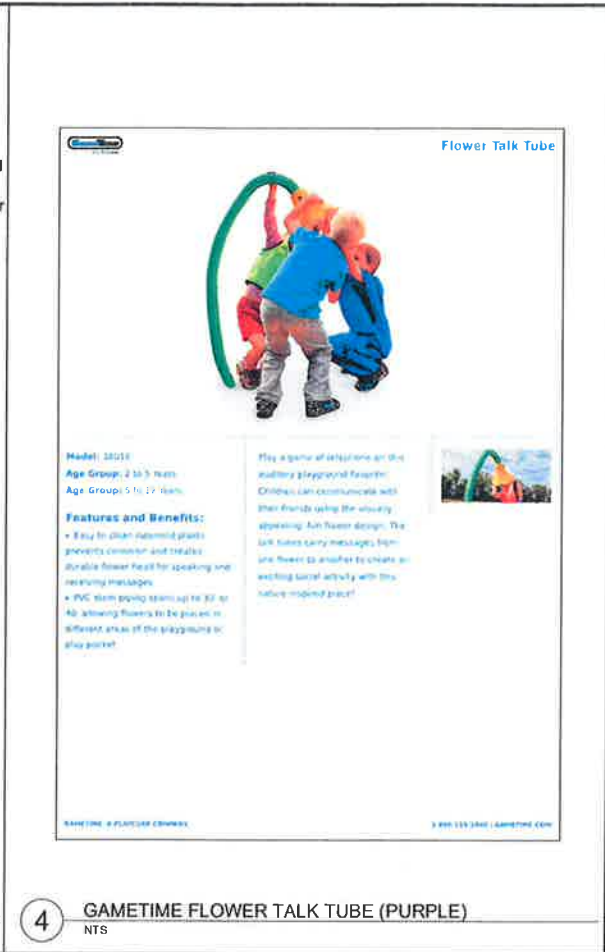
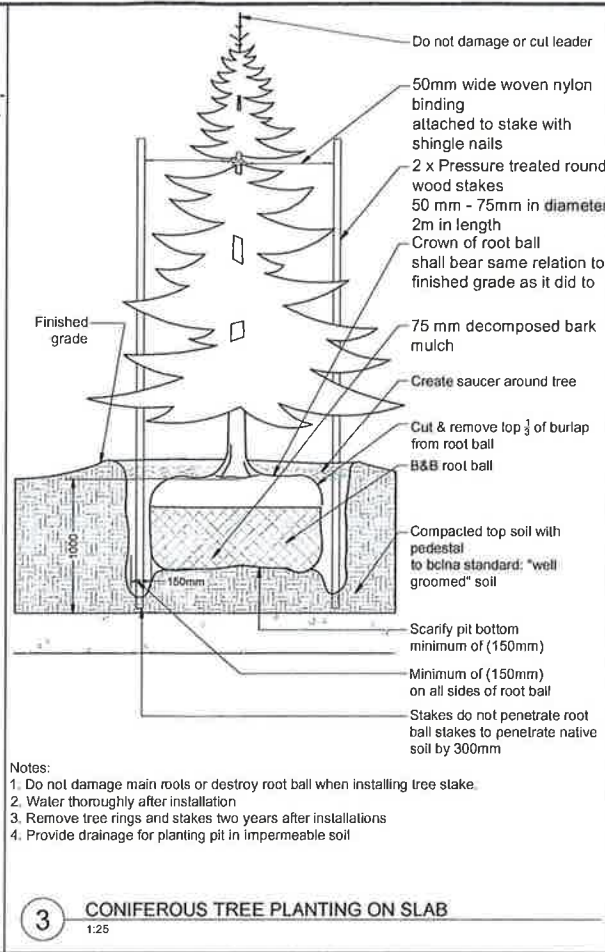
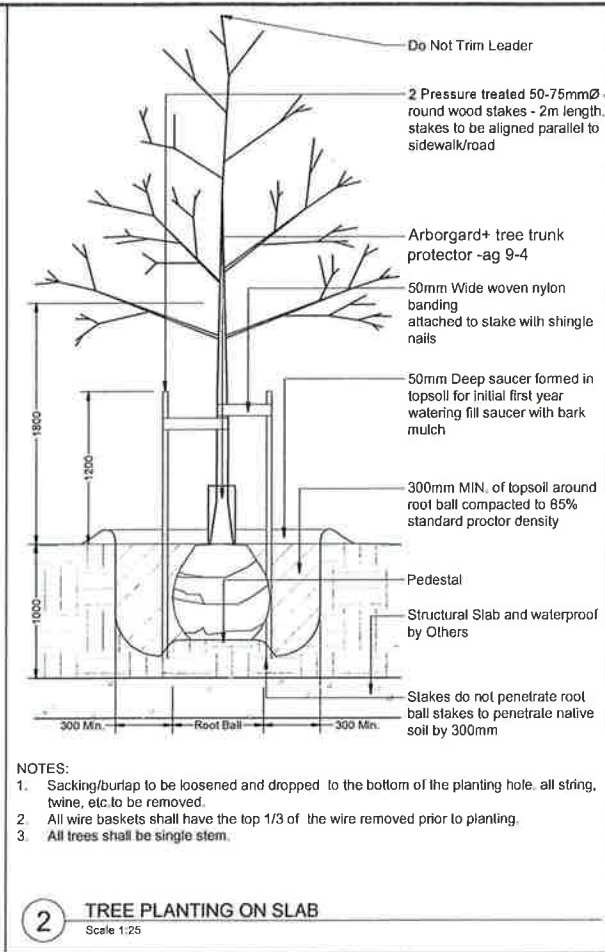
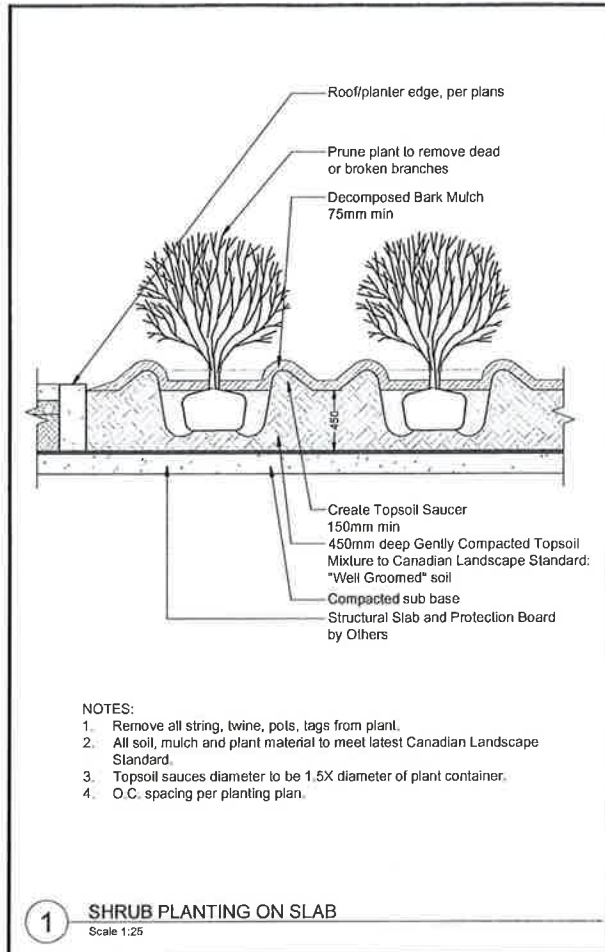
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NORTH AND SOUTH PLANTING PLANS

VDZ Project #:
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Drawing #: **L-06**



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F: 604.882.0042
info@vzinc.ca



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Drawing Title: **LANDSCAPE DETAILS**
Drawing #: **LD-02**
VZ Project #: **DP2016-61**



CITY OF LANGLEY
"The Place to Be!"

MOTION

THAT Development Permit Application DP 07-16 to accommodate a 5-lot subdivision of 20566 Grade Crescent and 20551-46A Avenue be approved subject to execution of a Development Servicing Agreement in compliance with the conditions outlined by the Director of Development Services & Economic Development report.



ADVISORY PLANNING COMMISSION REPORT

To: **Advisory Planning Commission**

Subject **Development Permit Application 07-16**

File #: 6410.00

From: Development Services & Economic Development
Department

Date: March 31, 2017

COMMITTEE RECOMMENDATION:

That Development Permit Application DP 07-16 to accommodate a 5-lot subdivision of 20566 Grade Crescent and 20551-46A Avenue be approved subject to execution of a Development Servicing Agreement in compliance with the conditions outlined by the Director of Development Services & Economic Development report.

PURPOSE OF REPORT:

To consider a Development Permit application by Coastland Engineering Ltd. for a 5-lot subdivision of the subject properties.

POLICY:

The subject property is located within “Estate Residential-Development Permit Area” of the Official Community Plan. As such, development permits are required for subdivisions. The “Estate Residential “designation is intended to protect the unique character of the area located between Grade Crescent and 46A Avenue. In accordance with Section 920(1)(a) of the *Local Government Act*, a Development Permit is required prior to an Approving Officer granting Final Approval of a subdivision. The City’s Development Application Procedures Bylaw requires that all Development Permit applications be referred to the Advisory Planning Commission.



COMMENTS/ANAYLSIS:

Background Information:

Applicant:	Coastland Engineering Ltd.
Owners:	1088788 B.C. Ltd.
Civic Address:	20551 -46A Avenue & 20566 Grade Crescent Avenue
Legal Description:	Parcel “A” (Explanatory Plan 29502) Lot 5 Except: Part Subdivided by Plan 45080, Section 35, Township 7, New Westminster District Plan 11492; and Lot 102, Section 35, Township 7, New Westminster District Plan 33504
Existing Zoning:	RS2 Estate Residential Zone
Existing Official Community Plan (OCP) Designation:	Estate Residential

Development Services Comments:

The subject property is zoned RS2 Estate Residential Zone and designated “Estate Residential” in the Official Community Plan. The proposed 5-lot subdivision complies with the existing RS2 Estate Residential Zone minimum lot size requirement of 930 square metre (10,010.76 square feet). The Estate Residential Zone is intended to accommodate and regulate the development of single family housing on large suburban lots. Also attached is the subdivision servicing requirements as part of the normal subdivision review process.

The proposed 5-lot subdivision complies with the RS2 Estate Residential Zone is consistent with the overall development concept plan for the site and should be supported.



Engineering Comments:

A) The Developer is responsible for the following work which shall be designed and approved by a Professional Engineer:

- a. Submit an erosion and sediment control plan in accordance with the City of Langley Watercourse Protection Bylaw #2518.
- b. Provide detailed design drawings for frontage improvements along Grade Crescent. Improvements shall include road widening to a collector road standard including street lighting, ditch infill, curb and gutter, road drainage, sidewalk, new driveway crossing and under grounding of hydro/telephone. All works are to be designed and constructed in accordance with the Subdivision and Development Servicing Bylaw.
- c. The frontage of 46A Avenue is required to be upgraded to a local road standard including road widening, road drainage, curb, gutter, sidewalk, street lighting, street trees, and underground hydro/tel.
- d. Provide detailed design drawings for the dedication and construction of 46B Avenue to the City of Langley local road standard (SDR-003), including hammerhead turnaround, sidewalk, curb and gutter, underground hydro/telephone, street lighting, storm, sanitary and water main extensions. It shall be constructed to meet fire code requirements and provide adequate access for municipal waste collection trucks, which shall be supported with turning movements for review/approval by the City.
- e. Analyze the condition of the existing pavement on Grade Crescent and 46A Avenue. Pavements shall be adequate for an expected road life of 20 years under the expected traffic conditions for the class of road. Road construction and asphalt overlay designs shall be based on the analysis of the results of Benkelman Beam tests and test holes carried out on the existing road which is to be upgraded. If the pavement is inadequate it shall be remediated to centerline for the length of the developments frontage.
- f. Provide new water and sanitary sewer service connections for each lot. The Developer's engineer will size the connections for the required capacity of the development. The capacity of the existing water and sanitary sewer mains shall be assessed and any upgrades required to service the site shall be designed and



- installed at the Developer's expense. All existing service connections shall be capped at the main, at the Developer's expense, upon application for a demolition permit. Demolition of the existing residence must be performed prior to subdivision.
- g. A C91P fire hydrant will be required at the corner of 46B Avenue and 206 St. Locations to be approved by the Fire Department.
 - h. Conduct a water flow test and provide fire flow calculations by a Professional Engineer to determine if the existing water network is adequate for fire flows. Replacement of the existing watermain may be necessary to achieve the necessary pressure and flows to conform to Fire Underwriters Survey (FUS) "Water Supply for Public Fire Protection, a Guide to Recommended Practice, 1995".
 - i. Submit a site grading plan. The site grading plan must ensure drainage will not flow onto the neighbouring lots. Drainage swales may have to be installed to keep the flow within each lot. Retaining structures may be required.
 - j. Design a storm water management plan for the new lots. Rainwater management measures used on site shall limit the release rate to mitigate flooding and environmental impacts as detailed in the Subdivision and Development Servicing Bylaw.

B) The Developer is required to provide the following deposits and connection fees:

- a. The City requires a cash deposit, or an irrevocable letter of credit from a financial institution, acceptable to the City, in the amount of 110% of the estimated civil construction costs, as estimated by the Developer's engineer from approved engineering drawings.
- b. The City requires inspection and administration fees in accordance with the Subdivision and Development Servicing Bylaw. These fees will be based on a percentage of the estimated construction costs. (See Schedule A – General Requirement - GR5.1 for details).
- c. A deposit for the storm and sanitary connections is required, which will be determined after detailed civil engineering drawings are submitted, sealed by a Professional Engineer.



- d. The City requires water meters to be installed for each water service connection. A \$1500 security deposit is required for each of the new water meters. The deposit will be refunded after an inspection to ensure that the correct water meters are properly installed to City standards.

NOTE: Deposits for utility services or connections are estimates only. The actual cost incurred for the work will be charged. The City will provide the Developer with an estimate of connection costs, and the Developer will declare in writing that the estimate is acceptable.

C) The Developer is required to adhere to the following conditions:

- a. Underground hydro and telephone, and cable services to the development site are required.
- b. All survey costs and registration of documents with the Land Titles Office are the responsibility of the Developer.
- c. A complete set of “as-built” drawings sealed by a Professional Engineer shall be submitted to the City after completion of the works. Digital drawing files in .pdf and .dwg format shall also be submitted.
- d. Provide a tree survey and assessment report prepared by a Professional Arborist. The report should identify the trees that are to be retained and where replanting is required to replace trees that are removed. The selection, location and spacing of street trees, on the boulevard, shall be in accordance with the City of Langley’s Official Community Plan Bylaw, 2005, No. 2600 and Street Tree Program, November, 1999 manual.
- e. A copy of all geotechnical reports, signed and sealed by a geotechnical engineer licensed in BC, shall be submitted to the City prior to the initiation of any works.



BUDGET IMPLICATIONS:

The following development cost charges (for the creation of three new lots) shall be paid to the City of Langley prior to final approval of the subdivision:

City of Langley Development Cost Charges (3 new lots)	\$55,227.00
Greater Vancouver Sewerage & Drainage District Charges	\$5,193.00
<u>School District No. 35 School Site Acquisition Charge</u>	<u>\$2,211.00</u>
Total	\$62,631.00

ALTERNATIVES:

1. Require changes to the applicant's proposal.

Prepared by:



Gerald Minchuk, MCIP
Director of Development Services
& Economic Development/Approving Officer

Attachments:





**MINUTES OF THE
ADVISORY PLANNING COMMISSION MEETING**

**HELD IN LANGLEY CITY HALL
CKF COMMUNITY BOARDROOM**

**WEDNESDAY, APRIL 12, 2017
7:00 PM**

Present: Councillor Jack Arnold, Chairman
Councillor Paul Albrecht, Vice-Chairman
John Beimers
Trish Buhler
Shelley Coburn, School District No. 35
Esther Lindberg
Dan Millsip
George Roman
Jamie Schreder

Staff: Gerald Minchuk, Director of Development Services & Economic
Development

Absent: Hana Hutchinson
Corp. Steve McKeddie, Langley RCMP

1) RECEIPT OF MINUTES

MOVED BY Commission Member Buhler
SECONDED BY Commission Member Millsip

THAT the minutes for the March 8, 2017 Advisory Planning Commission
meeting be received as circulated.

CARRIED

2) **REZONING APPLICATION RZ 04-17/DEVELOPMENT PERMIT APPLICATION DP 05-17 -19942 BRYDON CRESCENT**

The Director Development Services & Economic Development provided a brief overview of the planning context for the proposed application and introduced Wes Friesen, Project Architect, Points West Architecture. Mr. Friesen presented the proposed rezoning and development permit applications. Following discussion regarding density, building form and character, landscaping, CPTED, engineering servicing requirements it was:

MOVED BY Commission Member Lindberg
SECONDED BY Commission Member Schreder

That Rezoning Application RZ 04-17/Development Permit Application DP 05-17 to accommodate a 4-storey, 54-unit condominium development located at 19942 Brydon Crescent be approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report be approved.

CARRIED

3) **DEVELOPMENT PERMIT APPLICATION DP 07-16 – 20566 GRADE CRESCENT and 20551 -46A AVENUE-COASTLAND ENGINEERING & SURVEYING LTD.**

The Director Development Services & Economic Development provided a brief overview of the planning context for the proposed 5-lot subdivision located within the Estate Residential Development Permit Area and introduced Mike Helle, Coastland Engineering & Surveying Ltd. Mr. Helle presented the proposed 5-lot subdivision. Following extensive discussion regarding the site plan, tree removal and replacement, and proposed house plans, it was:

MOVED BY Commission Member Biemers
SECONDED BY Commission Member Millsip

That Development Permit Application DP 07-16 to accommodate a 5-lot subdivision located at 20566 Grade Crescent and 20551-46A Avenue be approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report.

CARRIED

4) **NEXT MEETING**

Wednesday, June 14, 2017 (Tentative)

5) **ADJOURNMENT**

MOVED BY Commission Member Coburn
SECONDED BY Commission Member Roman

THAT the meeting adjourn at 8:30 P.M.

CARRIED



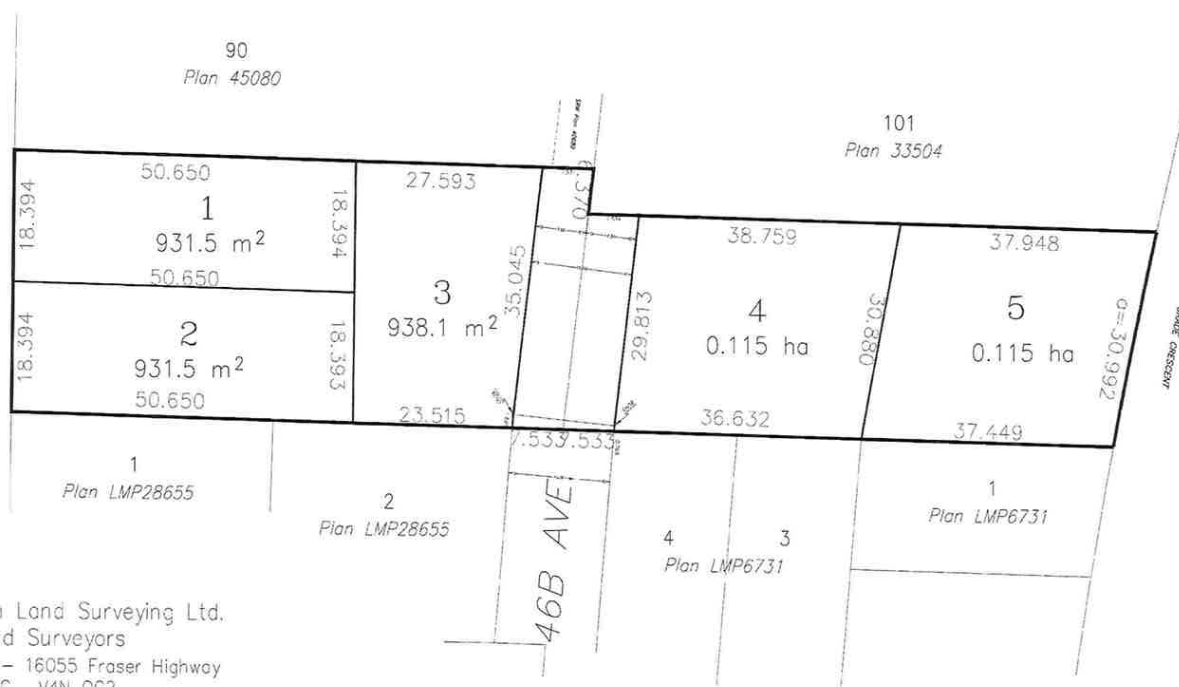
ADVISORY PLANNING COMMISSION CHAIRMAN



DIRECTOR OF DEVELOPMENT SERVICES & ECONOMIC DEVELOPMENT

Certified Correct

46A AVENUE



46B AVE

This plan lies within the Greater Vancouver Regional District



CITY OF LANGLEY

"The Place to Be!"

REQUEST TO APPEAR AS A DELEGATION / COMMUNITY SPOTLIGHT

To appear before Council as a Delegation or Community Spotlight at a Council Meeting, please submit a written request to the Corporate Officer by 12:00 p.m. noon on the Wednesday prior to the scheduled Council Meeting. You may complete this form or provide a letter however please ensure the letter contains the information requested on this form. You can submit your request by email to pkusack@langleycity.ca, in person or by mail at City Hall (20399 Douglas Crescent, Langley BC V3A 4B3), or by fax at 604-514-2838. A staff member will contact you to confirm the meeting date at which you are scheduled to appear before Council.

Council meetings take place at 7:00 p.m. in the Council Chambers on the second floor of Langley City Hall. Delegations are defined as an individual, group or organization making a request of Council. A Community Spotlight is an individual, group or organization providing information or updates on an event or activity. Delegations are limited to a five (5) minute presentation and Community Spotlights are limited to a ten (10) minute presentation. You may speak on more than one (1) topic but you must keep your presentation within the prescribed time limit.

Please attach any material that you wish Council to review in advance of the meeting to this form.

DATE: April 18, 2017 REQUESTED MEETING DATE: April 24, 2017

NAME: Kristine Simpson

ORGANIZATION NAME: BDO Canada (if applicable)

TOPIC: City of Langley Audit Report



REPORT TO COUNCIL

To: **Mayor Schaffer and Councillors**

Subject: **2016 Consolidated Financial Statements**

Report #: 17-019

File #: 1880.00

From: Darrin Leite, CPA, CA
Director of Corporate Services

Doc #: 146637

Date: April 14, 2017

RECOMMENDATION:

That City Council approve the 2016 Consolidated Financial Statements.

PURPOSE:

As required by Section 167 of the Community Charter the audited financial statements have to be presented to Council.

POLICY:

Not applicable.

COMMENTS/ANALYSIS:

The format of the annual financial statements reflects the accounting standards required by the Public Sector Accounting Board (PSAB). The goal is to provide better financial and performance information for government decision-making, accountability and comparability between government organizations.

Under PSAB 3150, the focus of the financial statements moves away from comparing the expenditures to budget on the Statement of Operations to a longer



term view of the accumulated surplus line on the Statement of Financial Position. Assets are a significant economic resource managed by the City and are a key component in the delivery of many of the services we provide, like the distribution of water and sewerage removal. The accumulated surplus does not represent excess funds that can be allocated to fund a particular expenditure in the future but rather provide a picture of how the City is managing its economic resources. It could also be interpreted as the net worth of the organization. If we raise revenue to cover costs and repay debt or acquire a new capital asset a surplus will result. If the City does not invest in the maintenance and renewal of our assets over time, the accumulated surplus will decrease through the amortization charge. The annual surplus will gauge how we are maintaining our assets.

In 2016, the accumulated surplus increased \$10.7 million represented as follows:

2016 Operating surplus	\$ 9,520
Net increase in tangible capital assets	9,509,827
Net increase in reserves	<u>1,175,136</u>
Total increase	<u>\$10,694,483</u>

Construction of the Timms Community Centre contributed to the large increase in tangible capital assets.

When comparing the 2016 actual expenditures to the financial plan it is important to note the financial plan presented does not reflect any amendments adopted by City Council. In addition, expenditures that were originally budgeted in the capital improvement plan but don't result in a tangible capital asset have been reallocated and expensed in the operating departments that they relate to. For example, traffic studies are not an asset that can be amortized (depreciated) over time so it is expensed in the period.

The consolidated financial statements include the following:

- Statement of Municipal Position – records the assets, liabilities and accumulated surplus
- Statement of Operations – shows the overall revenue and expenditures of the City including the amortization expenditures.
- Statement of Cash Flows – shows the change in the cash balance.
- Statement of Change in the Net Financial Assets – identifies the portion of the annual surplus that relates to net financial assets.



Consolidated (General, Water and Sewer):

The accumulated surplus for 2016 as outlined in Note 5 of the financial statements, shows the accumulated surplus is comprised of the following:

Operating surplus	\$ 3,824,393
Equity in tangible capital assets	\$239,763,844
Reserve balances	<u>\$ 29,233,339</u>
Accumulated Surplus	\$272,821,576

The operating surplus for 2016 was \$9,520 broken down as follows:

General	\$ 10,506
Sewer & Drainage	\$ 2,200
Water	<u>\$ (3,186)</u>
Annual Operating Surplus	\$ 9,520

The annual operating surplus resulted primarily from a combination of higher revenues, lower departmental expenditures and larger transfer to reserves. Excluding policing operating surpluses, which per City Council policy has to be directed to the Future Police Reserve, the remainder of the general operating surplus \$160,000 was directed to the Capital Works Reserve.

General Revenues:

Larger Items Over/(Under) budget include:

Admin / Inspection Fees	\$ 120,000
Building Permits / Misc Permits	\$ 226,000
Business Licences	\$ 19,000
Parking Ticket Fines	\$ 14,000
Parking Rentals	\$ 18,000
Tax Information Services	\$ 16,000
Tax Penalty and Interest	\$ (28,000)
Rentals of City Property	\$ 18,000
Sale of Fixed Assets	\$ 64,000
Sundry Revenues	\$ 56,000
Internal Equipment Rentals	\$ (67,000)
Interest Income	\$ 242,000
Casino Proceeds	\$ 825,000
Hotel Tax Revenue	\$ 65,000
LYFS Township Sharing	\$ (18,000)
Water Revenue	\$ (144,000)
Sewer & Drainage Revenue	\$ (55,000)



The City received a higher number of development building permits and inspection fees than anticipated due to two large multifamily construction projects and large renovation projects to Safeway, Bed Bath and Beyond and an additional building at the CKF site. Business license revenues were higher than anticipated. Parking ticket fines were higher than anticipated as we had a full staffing compliment. Parking rentals were higher due to increased filming activity utilizing on street parking. Due to a large number of property sales during the first half of the year, there was an increase in conveyancing requests for property tax certificates. There was lower penalties and interest due to less properties with arrears or delinquent taxes, partially due to the increase in property sales transactions. Rental of City properties were over budget due to the decision to rent a portion of the property adjacent to the City Parks Operation Centre. In addition, bus shelter advertising revenue was higher than anticipated. The lane closure at 20721 Fraser Highway resulting in \$64,000 in sale proceeds. Sundry revenues were higher than anticipated as the City received a grant for utilizing old tires in the play surface at Douglas Park and a refund for the environmental assessment work undertaken on the Parks Operation Centre site from the former property owner. The internal equipment rentals were lower due to depreciation expense replacing a portion of the internal equipment rental charge. The interest income was higher than budgeted because the balance in the reserves was higher than anticipated as some major projects like the Timm's Community Centre were still under construction. The Casino proceeds were estimated to be \$6 million in fact \$6.8 million in revenue was recorded. The last quarter proceeds \$1.7 million were recognized as revenue in 2016 but not received until January 2017. The Hotel tax revenues were higher than budgeted as there was a lower vacancy rate during the year. LYFS expenses were lower as there was a vacancy in the counselling positions so the revenue share from the Township was also lower. Water & Sewer revenues were lower than anticipated as they vary year to year based on water consumption and weather patterns.

Operating Expenditures:

Expenditures were under budget in all of the City operating departments, except the Fire Service, Development Services, Recreation and the Transfer to the Reserves. An amended budget bylaw is required to provide for these budget variances. The significant areas of variance from the budget estimates are as follows:



General Government Services

Operating surplus	(\$ 123,143)
Internal Vehicle Adjustment	(\$ 16,077)
Assets from Operations	(\$ 75,049)
	(\$ 214,269)
Amortization expense	(55,970)
Capital deficit (Non-capitalized expenditures)	(88,659)
Net under expenditure	(\$ 358,898)

Community Grants	(\$ 46,000)
Enterprise Fund	(\$ 12,000)
Election	\$ 6,000
Labour Costs	(\$ 88,000)
Bylaw Enforcement	(\$ 30,000)
Staff Training / Travel	(\$ 12,000)
Technology	\$ 58,000
City Hall Maintenance	\$ 9,000
Insurance Claims	(\$ 8,000)

The Community Grant and Enterprise Fund allocations were not fully expended. Labour costs were lower as there were vacant positions in Corporate Services. There was a vacant security contract position in Bylaw Enforcement. Some of the department training and computer training was deferred until the following year. Additional consulting hours were used in Technology to augment the vacant staff positions. More of the City Hall maintenance was shared with the new Timms facility based on the addition of the square footage of the new building. Insurance claims are under budget due to the number and types of claims received. Non capitalized expenditures are for projects that were approved in the Capital Improvement Plan but do not meet the definition of an asset so are therefore not capitalized. The expenditures are recorded as expenses in the Statement of Operations. The capital surplus means that the project was budgeted but not completed by year end and a deficit means it was budgeted in the prior year but completed in the current year.

Police Service

Operating surplus	(\$ 784,044)
Amortization expense	(\$ 5,598)
Capital deficit (Non-capitalized expenditures)	0
Net under expenditure	(\$ 789,642)



RCMP Detachment Operations under budget	(\$229,000)
RCMP Contract under budget	(\$510,000)
Public Safety Initiatives	(\$ 20,000)
CPO Operations	(\$ 25,000)
5.07 vacant positions from 51.35 contracted	

Detachment operating costs are billed by the Township of Langley. The expenditures were lower than budgeted due to staffing vacancies. The RCMP contract anticipated 51.35 members but only 46.28 members were supplied due to illness, maternity leave or leave of absence. The contract costs were lowered as these members are paid for through E Div Administration not the detachment. The retroactive wage settlement was budgeted for \$300K but has not been awarded through the courts so this funding is returned to the reserve and re-budgeted in the following year. The \$20K Public Safety Initiatives budget was not utilized. In 2017, this funding will be used to hire a Community Liaison Coordinator. The CPO was lower because the telephone costs were lower and the contract costs from the Township of Langley for the Coordinator position were lower. The overall policing surplus is transferred to the Future Police Cost Reserve as per Council policy.

Fire Service

Operating deficit	\$ 309,145
Internal Vehicle Adjustment	(\$ 396)
	\$ 308,749
Amortization expense	(\$ 31,178)
Capital deficit (Non-capitalized expenditures)	(\$ 16,771)
Net over expenditure	\$ 260,800

Fire Department wages & benefits over	\$ 252,000
Mutual Aid costs	\$ 35,000
Vehicle maintenance	\$ 65,000
Building maintenance	(\$ 10,000)
POC Training costs	(\$ 13,000)

There were a number of firefighter off on sick leave during the year resulting in overtime shift coverage from other members increasing the overall labour costs by \$252K. Mutual aid charges for support for three fires, from the Township of Langley fire service costed \$60K primarily due to the large Paddington Station



apartment fire. Whereas, the budget for mutual aid was only \$25K. This also had an impact on the Paid on Call costs as more support was required for this large fire event. Vehicle maintenance costs were higher than budget by \$65K and training costs were lower for the paid on call members as training was provided by in-house staff rather than through the Justice Institute.

Other Protective Services

Operating surplus	(\$ 87,567)
Net under expenditure	(\$ 87,567)

Langley Youth and Family Services costs were \$31K lower than budget as there were less consulting hours recorded than budgeted. The Emergency Planning was under budget \$45K as the charges for the program billed by the Township of Langley were lower than anticipated as well staffing costs were lower due to vacancies in the clerical position. The Victim Witness services were lower by \$9K due to staffing vacancies.

Engineering operations

Operating surplus	(\$ 2,448)
Internal Vehicle Adjustment	(\$ 89,534)
	(\$ 91,981)
Amortization expense	(\$ 54,577)
Capital deficit (Non-capitalized expenditures)	(\$ 358,940)
Net under expenditure	(\$ 505,498)

Engineering Wages	(\$ 18,000)
Engineering Operations	\$ 24,000
Shop Operations	(\$ 41,000)
Snow Removal	(\$ 17,000)
Patching and Repairing	(\$ 9,000)
Sign Maintenance	\$ 17,000
Traffic Signal Maintenance	\$ 28,000
Street Light Maintenance	\$ 21,000

Engineering wages were (\$18K) lower overall on a \$1,592K budget. The snow removal budget was over spent \$17K due to \$30K higher road salt purchases due to a harsher winter. Other contract services/supplies were \$4K higher overall than budget particularly in the area of Engineering Operations Centre \$18K due to a repair to the fibre optic communication cable serving the Operations Centre, \$24K patching and repairing and \$8K for community events. However, (\$32K) lower for street light maintenance and (\$12K) lower for sidewalk maintenance. A



year end adjustment is required to reduce the internal vehicle charge out costs being allocated to the department as it was replaced with the amortization costs. The capital expense represents plans and studies that are budgeted in the Capital Improvement Plan but don't result in a capital asset that can be depreciated. The capital projects were budgeted in the prior year but the projects were completed in the current year end resulting in a capital deficit.

Water Utility Expenses

Operating surplus	(\$ 105,298)
Internal Vehicle Adjustment	(\$ 31,367)
	(\$ 136,665)
Amortization expense	(\$ 7,674)
Capital deficit (Non-capitalized expenditures)	\$ 83,263
Net under expenditure	(\$ 61,076)

Water administration and billing	\$ 3,000
Water system maintenance	\$ 22,000
Water purchases are under budget	(\$ 130,000)

Meter reading costs were slightly higher, as were maintenance expenditures. Water purchases vary year to year based on the weather (outside watering) but consumption was lower in 2016 due to the Metro Vancouver water restrictions implemented earlier in the summer and later into the fall. The Maple Ridge / Barnston Pump station is funded through the Capital Plan but does not result in a City of Langley asset but a non-capitalized expenditure. The project was budgeted in prior years but the works completed in the current year making the project to appear to be over budget. However, this is just a timing difference.

Sewer and Drainage Utility Expenses

Operating surplus	(\$ 74,159)
Internal Vehicle adjustment	(\$ 21,232)
Assets from Operations	(\$ 18,458)
	(\$ 113,849)
Amortization expense	(\$ 29,444)
Capital deficit (Non-capitalized expenditures)	\$ 77,875
Net under expenditure	(\$ 65,418)



Administration and billing	(\$ 3,000)
Sanitary Sewer Maintenance	(\$ 33,000)
Storm Sewer Maintenance	(\$ 32,000)
Pump station maintenance	(\$ 12,000)
GVS&DD Levy	\$ 6,000

Maintenance costs were lower than anticipated. The GVS&DD levy charged by Metro Vancouver was higher than anticipated. Similar to the water fund, there were sewer capital projects that were budgeted in the prior year that are being carried out in the current year. It is a timing difference and overall the projects will still be within the total budget accumulated over the past number of years.

Development Services

Operating deficit	\$ 53,048
Internal Vehicle Adjustment	(\$ 7,993)
	\$ 45,055
Amortization expense	(\$ 3,520)
Capital deficit (Non-capitalized expenditures)	(\$ 18,559)
Net over expenditure	\$ 22,976

Hotel tax submissions to Tourism Langley were over budget \$65K which directly relates to an increase in the hotel tax revenue. The carbon emission offsets were \$18K lower than budget as a project was not undertaken during the year.

Garbage Collection

Operating surplus	(\$ 487)
Net under expenditure	(\$ 487)

Garbage costs were as anticipated in the budget.

Recreation Services

Operating deficit	\$ 202,615
Internal Vehicle Adjustment	(\$ 158)
	\$ 202,457
Amortization expense	\$ 480,430
Capital deficit (Non-capitalized expenditures)	\$ 9,658
Net over expenditure	\$ 692,545



Recreation Management	\$ 10,000
Al Anderson Pool	(\$ 23,000)
Timms Community Centre	\$ 165,000
Recreation Program Revenues	\$ 56,000

In recreation management, \$28K in the new Activenet recreation software transaction and processing fees were included, half of which were originally budgeted in the Technology budget in General Government Services. Pool revenues were higher by \$22K. The Timm's building maintenance and utility costs were \$80K higher than originally budgeted and labour costs were \$36K higher to run the new facility. The anticipated Timms rental revenues fell short by \$62K. DRC rental revenues are lower by \$8K offset by lower staff wage costs. Recreation programs revenues were \$209K higher and program costs were \$266K higher than budgeted particularly for the Daycamps, Fitness and Weight room programs.

Parks

Operating deficit	\$ 16,899
Internal Vehicle Adjustment	(\$ 119,852)
	(\$ 102,953)
Amortization expense	(\$ 15,744)
Capital deficit (Non-capitalized expenditures)	\$ 43,829
Net under expenditure	(\$ 74,868)

Overall labour costs were (\$43K) lower due to vacant positions. Contracted services for vandalism was \$90K higher than budget but (\$74K) was paid for by a transfer from the Enterprise fund. As well, contracted services work in Hunter Park to remove the trees affected by laminated root rot contributed \$40K.

Transfers from Operating Surplus (revenue source) under budget (\$45,000)

Transfer to cover the by election costs was not made.

Transfers from Reserves Accounts (revenue source) under budget (\$589,949)

Transfer from Gaming Proceeds	(\$ 55,000)
Transfer from Future Police Cost	(\$535,000)

Transfers to Reserves Accounts over budget \$1,376,462

Interest on Reserve Funds	\$ 181,000
Gaming Proceeds (\$6.8 million vs \$6.0 million budget)	\$ 825,000
Future Police Cost Reserve	\$ 222,000
MRN Rehabilitation Reserve	\$ 22,000



Sewer Future Capital	\$ 38,000
Water Future Capital	(\$ 4,000)
Operating to Capital	\$ 94,000

Transfers to Statutory Reserve Funds over budget \$442,083

Capital Works Reserve	\$ 206,000
Machinery Replacement	\$ 64,000

The gaming proceeds are transferred to the reserve when the revenue is recognized and transferred out of the reserve to fund capital projects once the payment is received from the Province. The future police cost reserve funding is due to lower number of members than contracted for and sharing formula with the Township. The general operating surplus \$160K was transferred to the Capital Works Reserve. Operating surplus for the Sewer and Water fund was also transferred to the sewer and water reserves.

BUDGET IMPLICATIONS:

A Financial Plan amendment is required to fund the over expenditures in the Fire Service, Development Services, Recreation and transfer to reserves.

Respectfully Submitted,



Darrin Leite, CPA, CA
Director of Corporate Services

CHIEF ADMINISTRATIVE OFFICER'S COMMENTS:

The 2016 Financial Statement Report demonstrates that the City's financial affairs are in a healthy state.



Francis Cheung, P. Eng.
Chief Administrative Officer



**Consolidated Financial Statements
of
CITY OF LANGLEY
Year ended December 31, 2016**

CITY OF LANGLEY
Consolidated Financial Statements
Year ended December 31, 2016

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CITY OF LANGLEY

Consolidated Financial Statements

Year ended December 31, 2016

MANAGEMENT'S RESPONSIBILITY

The management of the City of Langley (the "City") is responsible for the preparation of the accompanying consolidated financial statements and the preparation and presentation of all information in the Financial Report. The consolidated financial statements have been prepared in accordance with Canadian public sector accounting standards and are considered by management to present fairly the financial position and operating results of the City. The City's accounting procedures and related systems of internal control are designed to provide reasonable assurance that its assets are safeguarded and its financial records are reliable.

City Council accepts the consolidated financial statements and meets with management to determine that management has fulfilled its obligation in the preparation of the consolidated financial statements.

The City's independent auditor, BDO Canada LLP, has examined the consolidated financial statements and their report outlines the scope of their examination and their opinion on the consolidated financial statements of the City of Langley.



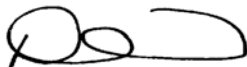
Darrin Leite, CPA, CA
Director of Corporate Services

CITY OF LANGLEY

Consolidated Statement of Financial Position at December 31, 2016 with comparative figures for 2015

	2016	2015
Financial Assets		
Cash & cash equivalents (Note 2)	\$ 25,175,577	\$ 18,811,533
Accounts receivable		
Taxes and utilities receivable	4,409,628	4,097,740
Receivables from other governments	3,383,695	2,263,334
Other receivables	976,384	1,128,546
Portfolio investments (Note 2)	25,136,374	33,069,675
	<u>59,081,658</u>	<u>59,370,828</u>
Liabilities		
Prepaid property taxes	4,236,591	4,237,923
Accounts payable and accrued liabilities	9,333,337	10,599,750
Employee future benefits (Note 3)	317,848	310,496
Deferred revenue	1,038,886	1,140,483
Deferred development cost charges (Note 4)	11,321,971	11,369,337
	<u>26,248,633</u>	<u>27,657,989</u>
Net Financial Assets	<u>32,833,025</u>	<u>31,712,839</u>
Non-Financial Assets		
Prepaid expenses	117,375	78,024
Supplies inventory	107,332	82,213
Tangible capital assets (Schedule 4)	239,763,844	230,254,017
	<u>239,988,551</u>	<u>230,414,254</u>
Accumulated Surplus (Note 5)	<u>\$ 272,821,576</u>	<u>\$ 262,127,093</u>

See accompanying notes to consolidated financial statements.



Darrin Leite, CPA, CA
Director of Corporate Services



Ted Schaffer
Mayor

CITY OF LANGLEY

Consolidated Statement of Operations

Year ended December 31, 2016 with comparative figures for 2015

	2016 Financial Plan	2016	2015
	Note 13		
Revenues (Schedules 2 & 3)			
Property tax revenue (Note 6)	\$ 25,098,150	\$ 25,209,207	\$ 23,886,067
User fees and other revenue	10,480,705	11,208,035	10,422,529
Gaming proceeds	6,000,000	6,824,902	6,542,247
Government transfers (Note 7)	2,200,915	3,542,142	1,982,429
Investment earnings	338,500	729,759	799,069
Use of development cost charges (Note 4)	985,050	1,456,558	2,163,884
Contributed tangible capital assets	-	2,879,922	132,680
	<u>45,103,320</u>	<u>51,850,525</u>	<u>45,928,905</u>
Expenses (Schedules 2 & 3)			
General government services	4,732,715	4,373,817	4,195,075
Police service	11,093,910	10,304,268	10,216,540
Fire service	4,308,425	4,569,225	4,284,385
Other protective services	811,040	723,473	759,478
Engineering operations	6,097,460	5,591,962	4,722,118
Water utility	3,857,425	3,796,349	4,002,283
Sewer and drainage utility	3,239,585	3,174,167	3,292,462
Development services	1,078,455	1,101,431	978,905
Solid waste	619,740	619,253	593,534
Recreation services	3,633,205	4,325,750	3,419,297
Parks	2,412,825	2,337,957	2,269,932
Loss on disposal of tangible capital assets	-	238,390	191,162
	<u>41,884,785</u>	<u>41,156,042</u>	<u>38,925,171</u>
Annual surplus	<u>3,218,535</u>	<u>10,694,483</u>	<u>7,003,734</u>
Accumulated surplus - beginning of year	262,127,093	262,127,093	255,123,359
Accumulated surplus - end of year (Note 5)	<u>\$ 265,345,628</u>	<u>\$ 272,821,576</u>	<u>\$ 262,127,093</u>

See accompanying notes to consolidated financial statements.

CITY OF LANGLEY

Consolidated Statement of Change in Net Financial Assets

Year ended December 31, 2016 with comparative figures for 2015

	2016 Financial Plan	2016	2015
Note 13			
Annual Surplus	\$ 3,218,535	\$ 10,694,483	\$ 7,003,734
Change in capital assets			
Acquisition of tangible capital assets	(8,874,050)	(12,247,420)	(17,090,132)
Contributed tangible capital assets	-	(2,879,922)	(132,680)
Amortization	4,750,000	5,026,725	4,631,360
Proceeds from sale of tangible capital assets	-	352,400	53,938
Loss on disposal of tangible capital assets	-	238,390	191,162
	(4,124,050)	(9,509,827)	(12,346,352)
Change in other non-financial assets			
Decrease (increase) in prepaid expenses	-	(39,351)	20,852
Decrease (increase) in supplies inventory	-	(25,119)	14,506
	-	(64,470)	35,358
Increase (decrease) in financial assets	(905,515)	1,120,186	(5,307,260)
Net financial assets - beginning of year	31,712,839	31,712,839	37,020,099
Net financial assets - end of year	\$ 30,807,324	\$ 32,833,025	\$ 31,712,839

See accompanying notes to consolidated financial statements.

CITY OF LANGLEY

Consolidated Statement of Cash Flows

Year ended December 31, 2016 with comparative figures for 2015

	2016	2015
Cash Provided By (Used For)		
Operating Transactions		
Annual surplus	\$ 10,694,483	\$ 7,003,734
Items not involving cash:		
Recognition of development cost charges	(1,456,558)	(2,163,884)
Amortization	5,026,725	4,631,360
Amortization of investment premiums and discounts	33,301	37,121
Contributed tangible capital assets	(2,879,922)	(132,680)
Loss on disposal of tangible capital assets	238,390	191,162
Changes in non-cash working capital:		
Accounts receivable	(1,280,087)	(663,045)
Prepaid property taxes	(1,332)	46,792
Accounts payable and accrued liabilities	(1,259,061)	1,703,578
Prepaid expenses	(39,351)	20,852
Supplies inventory	(25,119)	14,506
Deferred revenue	(101,597)	434,485
	<u>8,949,872</u>	<u>11,123,981</u>
Capital Transactions		
Cash used to acquire tangible capital assets	(12,247,420)	(17,090,132)
Proceeds from sale of tangible capital assets	352,400	53,938
	<u>(11,895,020)</u>	<u>(17,036,194)</u>
Financing Transactions		
Receipt of deferred development cost charges and interest earned	1,409,192	1,796,227
	<u>1,409,192</u>	<u>1,796,227</u>
Investing Transactions		
Purchase of investments	(23,100,000)	(39,000,000)
Redemption of investments	31,000,000	27,000,000
	<u>7,900,000</u>	<u>(12,000,000)</u>
Increase (decrease) in cash and cash equivalents	<u>6,364,044</u>	<u>(16,115,986)</u>
Balance, beginning of year	18,811,533	34,927,519
Balance, end of year	<u>\$ 25,175,577</u>	<u>\$ 18,811,533</u>

See accompanying notes to consolidated financial statements.

CITY OF LANGLEY

Notes to the Consolidated Financial Statements

Year ended December 31, 2016 with comparative figures for 2015

1. Significant accounting policies:

The City of Langley (the "City") is a municipality in the province of British Columbia and operates under the provisions of the Community Charter. The City provides municipal services such as policing, fire protection, public works, planning, parks, recreation and other general government services.

(A) Reporting Entity and Basis of Consolidation:

These financial statements have been prepared in accordance with Canadian public sector accounting standards using guidelines developed by the Public Sector Accounting Board ("PSAB") of the Chartered Professional Accountants of Canada. They consolidate the activities of all the funds of the City and the City's wholly-owned subsidiary Langley City Development Corporation.

(B) Basis of Accounting:

The City follows the accrual method of accounting for revenues and expenses. Revenues are normally recognized in the year in which they are earned and measurable. Expenses are recognized as they are incurred and measurable as a result of receipt of goods or services and/or the creation of a legal obligation to pay.

(C) Non-financial Assets:

Non-financial assets are not available to discharge existing liabilities and are held for use in the provision of services. They have useful lives extending beyond the current year, and are not intended for sale in the ordinary course of operations.

(D) Tangible Capital Assets:

Tangible capital assets are recorded at cost less accumulated amortization. Cost includes all costs directly attributable to acquisition or construction of the tangible capital asset including transportation and installation costs, design and engineering fees, legal fees and site preparation costs. Amortization is recorded on a straight-line basis over the estimated life of the tangible capital asset, commencing once the asset is put into use. Assets under construction are not amortized. Contributed tangible capital assets are recorded at fair value at the time of contribution and are also recorded as revenue.

Estimated useful lives of tangible capital assets are as follows:

Land Improvements	10 to 30 years
Buildings	10 to 50 years
Vehicles	10 to 20 years
Furniture & Equipment	3 to 20 years
Transportation Infrastructure	10 to 100 years
Sewer & Drainage Infrastructure	10 to 80 years
Water Infrastructure	20 to 80 years

(E) Revenue Recognition:

Property tax revenue

Taxes are recorded at estimated amounts when they meet the definition of an asset, have been authorized and the taxable event occurs. Annual levies for non-optional municipal services and general administrative services are recorded as property tax revenue in the year they are levied. Taxes receivable are recognized net of an allowance for anticipated uncollectable amounts. Levies imposed by other taxing authorities are not included as property tax revenue.

Through the British Columbia Assessment's appeal process, taxes may be adjusted by way of supplementary roll adjustments. The effects of these adjustments on taxes are recognized at the time they are awarded.

User fees and other revenue

Charges for licences and permits, solid waste fees, and sewer and water usage are recorded as user fees and other revenue as services utilized and revenue earned.

CITY OF LANGLEY

Notes to the Consolidated Financial Statements

Year ended December 31, 2016 with comparative figures for 2015

Gaming proceeds

Gaming proceeds, a specific type of government transfer, are recognized in the period in which they are generated.

Government transfers

Government transfers, which include legislative grants, are recognized as revenue in the financial statements when the transfer is authorized and any eligibility criteria are met, except to the extent that transfer stipulations give rise to an obligation that meets the definition of a liability. Transfers are recognized as deferred revenue when transfer stipulations give rise to a liability. Transfer revenue is recognized in the statement of operations as the stipulation liabilities are settled.

Investment earnings

Investment income is recorded on the accrual basis and recognized when earned.

Development cost charges

Developers are required to pay funds to offset the cost of required infrastructure development. The amounts are recognized as a liability and accrue interest until spent on the required infrastructure. When qualifying expenditures are incurred, Development Cost Charges are recognized as revenue as an offsetting funding source.

Contributed tangible capital assets

Developers are required to provide subdivision infrastructure such as streets, lighting, sidewalks, and drainage etc. Upon completion, these assets are turned over to the City and recognized at the estimated fair market value.

(F) Use of Estimates/Measurement Uncertainty

The preparation of financial statements in accordance with Canadian public sector accounting standards requires management to make estimates and assumptions that affect the reported amounts of assets and liabilities and disclosure of contingent assets and liabilities at the date of the financial statements and the reported amounts of revenue and expenditures during the reporting period. Significant areas requiring use of management estimates relate to the determination of employee future benefit liabilities, provisions for litigation and claims, collectibility of accounts receivable and the useful lives of tangible capital assets. Actual results could differ from those estimates.

(G) Basis of Segmentation (Schedule 2 & 3):

Municipal services have been segmented by grouping services that have similar objectives (by function). Revenues that are directly related to the costs of the function have been attributed to each segment. Interest is allocated to functions based on the purpose of specific borrowings.

(H) Contaminated Sites:

Governments are required to accrue a liability for the costs to remediate a contaminated site. Liabilities are recognized when an environmental standard exists, contamination exceeds the standard, the government has responsibility for remediation, future economic benefits will be given up and a reasonable estimate can be made.

Management has assessed its potential liabilities under the new standard, including sites that are no longer in productive use and sites for which the City accepts responsibility. There are no such sites that had contamination in excess of an environmental standard requiring remediation at this time. Therefore, no liability was recognized as at December 31, 2016 or December 31, 2015.

CITY OF LANGLEY

Notes to the Consolidated Financial Statements

Year ended December 31, 2016 with comparative figures for 2015

2. Cash, cash equivalents and portfolio investments:

	2016	2015
Deferred development cost charges	\$ 11,078,455	\$ 10,806,439
Statutory reserves	7,652,544	9,183,081
Non-statutory reserves	21,580,795	18,875,122
Operating funds	10,000,157	13,016,566
	<u>\$ 50,311,951</u>	<u>\$ 51,881,208</u>
Cash and cash equivalents	\$ 25,175,577	\$ 18,811,533
Portfolio investments	25,136,374	33,069,675
	<u>\$ 50,311,951</u>	<u>\$ 51,881,208</u>

Cash and cash equivalents includes funds held in bank accounts at TD Canada Trust earning interest of prime rate less 1.65% (2015 - prime rate less 1.65%).

Portfolio investments, which include banker's acceptances and term deposits, have effective interest rates between 1.35% and 5.76% (2015 - 1.65% and 5.76%) with varying maturity dates up to 96 months. The market value of the investments as at December 31, 2016 was \$25,282,512 (2015 - \$33,260,106). Portfolio investments are recorded at amortized cost.

Investments are written down to net realizable value when there has been a decline other than a temporary one.

3. Employee future benefits:

The City provides employee future benefits in the form of non-vested sick leave to qualifying employees. These benefits are accrued as earned and paid when taken by employees.

Employee sick leave is credited annually at 18 days per full year of service. Unused days are banked to a maximum of 120 days. The City does not pay out the value of the cumulative sick plan bank at retirement or termination of employment; however, the City could experience usage of these banks in periods leading up to retirement, resulting in a non-vested liability.

An actuarial evaluation of these benefits was performed to determine the City's estimated liability and accrued benefit obligation as at December 31, 2015. Actuarial losses are amortized over the estimated average remaining service life of employees. The next valuation will be as at December 31, 2018, with results available in 2019.

The employee future benefit liability at December 31, 2016 was \$317,848 (2015 - \$310,496), comprised as follows:

	2016	2015
Benefit liability - beginning of year	\$ 310,496	\$ 282,544
Current service cost	33,600	27,300
Interest cost	13,000	11,500
Benefits paid	(51,600)	(23,200)
Amortization of actuarial loss	12,352	12,352
Benefit liability - end of year	<u>317,848</u>	<u>310,496</u>
Unamortized actuarial loss	103,752	116,104
Accrued benefit obligation - end of year	<u>\$ 421,600</u>	<u>\$ 426,600</u>

Actuarial assumptions used to determine the City's accrued benefit obligation are as follows:

	2016	2015
Discount rate	3.00%	3.00%
Expected future inflation rate	2.50%	2.50%
Merit and inflationary earnings increases	2.58-4.63%	2.58-4.63%
Estimated average remaining service life	10.4	10.4

CITY OF LANGLEY

Notes to the Consolidated Financial Statements

Year ended December 31, 2016 with comparative figures for 2015

4. Deferred development cost charges:

	Balance at Dec. 31, 2015	Contributions Received	Interest Earned	Use of development cost charges	Balance at Dec. 31, 2016
Drainage	\$ 2,325,291	\$ 165,561	\$ 39,992	\$ -	\$ 2,530,844
Public Open Spaces	5,006,480	61,701	83,270	(57,609)	5,093,842
Roads	1,661,102	476,564	31,346	(636,425)	1,532,587
Sewer	1,374,868	393,565	25,372	(476,956)	1,316,849
Water	1,001,596	114,919	16,902	(285,568)	847,849
	<u>\$ 11,369,337</u>	<u>\$ 1,212,310</u>	<u>\$ 196,882</u>	<u>\$ (1,456,558)</u>	<u>\$ 11,321,971</u>

5. Accumulated surplus:

Accumulated surplus is comprised of operating surpluses and equity in tangible capital assets held in the general, sewer and water funds as well as reserves. Accumulated surplus is distributed as follows:

	2016	2015
Operating surplus		
General	\$ 1,293,380	\$ 1,282,874
Sewer & Drainage	1,138,317	1,136,117
Water	1,392,696	1,395,882
	<u>3,824,393</u>	<u>3,814,873</u>
Equity in tangible capital assets		
General	190,881,828	183,809,572
Sewer & Drainage	27,412,136	26,535,022
Water	21,469,880	19,909,423
	<u>239,763,844</u>	<u>230,254,017</u>
Reserves (Schedule 1)		
Statutory reserves	7,652,544	9,183,081
Non-statutory reserves	21,580,795	18,875,122
	<u>29,233,339</u>	<u>28,058,203</u>
	<u>\$ 272,821,576</u>	<u>\$ 262,127,093</u>

6. Property tax revenue:

In addition to its own tax levies, the City is required to levy taxes on behalf of various other taxing authorities. These include the provincial government for local school taxes, and organizations providing regional services in which the Municipality has become a member. Total tax levies were comprised as follows:

	2016 Financial Plan	2016	2015
City tax levies	\$ 24,549,430	\$ 24,658,376	\$ 23,349,346
Grants in lieu of taxes	548,720	550,831	536,721
	<u>25,098,150</u>	<u>25,209,207</u>	<u>23,886,067</u>
Levies for other organizations			
School taxes		13,611,552	13,532,754
Translink		2,725,645	2,782,035
British Columbia Assessment Authority		404,755	403,882
Metro Vancouver		377,040	371,599
Downtown Langley Merchants Assoc.		402,029	382,884
Municipal Finance Authority		1,395	1,291
Total collections for others		<u>17,522,416</u>	<u>17,474,445</u>
		<u>\$ 42,731,623</u>	<u>\$ 41,360,512</u>

CITY OF LANGLEY

Notes to the Consolidated Financial Statements

Year ended December 31, 2016 with comparative figures for 2015

7. Government transfers:

	2016 Financial Plan	2016	2015
Federal Government			
Community works fund	\$ 127,680	\$ 127,680	\$ 123,525
	127,680	127,680	123,525
Provincial Government			
Hotel tax revenue	105,000	170,281	140,087
Carbon tax revenue sharing	20,175	20,229	20,194
Traffic fine revenue sharing	498,200	501,659	539,020
Infrastructure funding	490,000	1,547,070	-
	1,113,375	2,239,239	699,301
Municipalities and Regional Authorities			
Police capital adjustment	32,000	32,969	34,385
Langley Youth & Family Services	344,630	326,584	345,114
Emergency preparedness	34,980	17,170	26,291
Major road network	523,000	528,500	753,813
Infrastructure funding	25,250	270,000	-
	959,860	1,175,223	1,159,603
	\$ 2,200,915	\$ 3,542,142	\$ 1,982,429

8. Trust funds:

The City has excluded the following trust funds and associated cash and accounts receivable from the Consolidated Statement of Financial Position and related interest earnings and transactions from the Consolidated Statement of Operations:

	2016	2015
Langley Christmas Bureau	\$ 238,184	\$ 222,429
Refundable deposits	6,661,064	6,240,288
Road bond reserve	41,350	41,350
GVS & DD development cost charges	28,421	56,842
	\$ 6,969,019	\$ 6,560,909

These funds were received from the public for specific purposes or are deposited by developers and held by the City until all aspects for the development permit have been fulfilled.

9. Expenditures and expenses by object (Schedules 2 & 3):

	2016			2015
	Operations	Capital	Total	Total
Salaries & benefits	\$ 12,681,200	\$ 203,320	\$ 12,884,520	\$ 11,669,703
Goods and services	23,209,727	12,044,100	35,253,827	39,523,078
Contributed tangible capital assets	-	2,879,922	2,879,922	132,680
Total expenditures	35,890,927	15,127,342	51,018,269	51,325,461
Amortization	5,026,725	-	5,026,725	4,631,360
Loss on disposal of tangible capital assets	238,390	-	238,390	191,162
Total expenditures & expenses	\$ 41,156,042	\$ 15,127,342	\$ 56,283,384	\$ 56,147,983

CITY OF LANGLEY

Notes to the Consolidated Financial Statements

Year ended December 31, 2016 with comparative figures for 2015

10. Commitments:

- (A) The City of Langley has entered into a seven year solid waste management contract for January 1, 2015 to December 31, 2022. Annual payments under the agreement are approximately \$325,000.
- (B) The City of Langley provided Langley Community Services Society (formerly Langley Family Services) a 50 year lease for a City owned building at 5339 207 Street. The City of Langley provided a loan guarantee for the Langley Community Services Society to borrow not more than \$500,000 from Envision Credit Union to be applied to the cost of the construction of building.

11. Municipal pension plan:

The employer and its employees contribute to the Municipal Pension Plan (a jointly trustee pension plan). The board of trustees, representing plan members and employers, is responsible for administering the plan, including investment of assets and administration of benefits. The plan is a multi-employer defined benefit pension plan. Basic pension benefits are based on a formula. As at December 31, 2015, the plan has about 189,000 active members and approximately 85,000 retired members. Active members include approximately 37,000 contributors from local governments.

Every three years, an actuarial valuation is performed to assess the financial position of the plan and adequacy of plan funding. The actuary determines an appropriate combined employer and member contribution rate to fund the plan. The actuary's calculated contribution rate is based on the entry-age normal cost method, which produces the long-term rate of member and employer contributions sufficient to provide benefits for average future entrants to the plan. This rate is then adjusted to the extent there is amortization of any funding deficit.

The most recent valuation for the Municipal Pension Plan as at December 31, 2015, indicated a \$2,224 million funding surplus for basic pension benefits on a going concern basis.

The City of Langley paid \$980,408 (2015 - \$933,488) for employer contributions while employees contributed \$775,444 (2015 - \$741,580) to the plan in fiscal 2016.

The next valuation will be as at December 31, 2018, with results available in 2019.

Employers participating in the plan record their pension expense as the amount of employer contributions made during the fiscal year (defined contribution pension plan accounting). This is because the plan records accrued liabilities and accrued assets for the plan in aggregate, resulting in no consistent and reliable basis for allocating the obligation, assets and cost to individual employers participating in the plan.

12. Contingent liabilities:

A number of legal claims have been initiated against the City in varying and unspecified amounts. The outcome of these claims cannot reasonably be determined at this time.

CITY OF LANGLEY

Notes to the Consolidated Financial Statements

Year ended December 31, 2016 with comparative figures for 2015

13. Financial plan:

The financial plan reported on the Consolidated Statement of Financial Activities represents the Financial Plan and Capital Improvement Plan bylaw adopted by City Council on February 15, 2016 and does not reflect any amendments approved after the original adoption.

The following reconciles the balanced statutory financial plan and the financial plan surplus reported on the Consolidated Statement of Operations.

	2016 Financial Plan
Surplus as per Financial Plan Bylaw No. 2980	\$ -
Capital asset additions	8,874,050
Transfer to non-statutory reserves	7,557,775
Transfer to statutory reserves	1,297,550
Amortization expense	(4,750,000)
Transfer from non-statutory reserves	(7,382,290)
Transfer from statutory reserves	(2,333,550)
Transfer from surplus	(45,000)
Financial Plan Surplus as per Consolidated Statement of Operations	<u>\$ 3,218,535</u>

CITY OF LANGLEY

Schedule 1

Consolidated Schedule of Statutory and Non-statutory Reserves

Year ended December 31, 2016 with comparative figures for 2015

Statutory Reserves	Balance at Dec. 31, 2015	External Contributions	Internal Transfer Additions	Interest	Internal Transfer Expenditures	Operational Expenditures	Capital Asset Additions	Balance at Dec. 31, 2016
Capital Works	\$ 5,562,027	\$ -	\$ 1,315,690	\$ 92,727	\$ -	\$ (307,316)	\$ (2,677,760)	\$ 3,985,368
Equipment Replacement-Fire Dept.	1,473,878	-	55,000	24,495	-	-	(112,383)	1,440,990
Lane Development	250,954	-	-	4,144	-	-	-	255,098
Machinery Replacement	1,391,256	-	486,399	24,689	-	-	(480,066)	1,422,278
Off-Street Parking	225,231	-	10,944	3,809	-	-	-	239,984
Office Equipment Replacement	35,314	-	46,500	927	-	-	(41,482)	41,259
Parks and Recreation	208,005	-	177,500	4,548	-	(49,370)	(110,133)	230,550
P&R Future Projects	36,416	-	-	601	-	-	-	37,017
Total	\$ 9,183,081	\$ -	\$ 2,092,033	\$ 155,940	\$ -	\$ (356,686)	\$ (3,421,824)	\$ 7,652,544

Non-statutory Reserves	Balance at Dec. 31, 2015	External Contributions	Internal Transfers Additions	Interest	Internal Transfer Expenditures	Operational Expenditures	Capital Asset Additions	Balance at Dec. 31, 2016
Community Works	\$ 4,214	\$ -	\$ 127,680	\$ 237	\$ -	\$ -	\$ (127,680)	\$ 4,451
Future Policing Costs	2,979,336	-	221,544	48,752	(27,214)	-	(61,194)	3,161,224
Gaming Proceeds	8,449,597	-	6,824,902	164,918	(567,477)	(526,154)	(4,089,018)	10,256,768
Major Road Network Rehab	1,094,913	-	307,949	18,729	-	-	(326,909)	1,094,682
Sewer Future Capital	847,219	-	440,000	16,947	-	(59,893)	(110,443)	1,133,830
Sewer Insurance Claims	30,862	-	-	510	-	-	-	31,372
Special Bonds	3,740,698	497,370	-	66,984	-	-	(75,792)	4,229,260
Tax Stabilization	329,009	-	-	5,432	-	-	-	334,441
Water Future Capital	1,399,274	-	570,000	26,146	-	(66,035)	(594,618)	1,334,767
Total	\$ 18,875,122	\$ 497,370	\$ 8,492,075	\$ 348,655	\$ (594,691)	\$ (652,082)	\$ (5,385,654)	\$ 21,580,795

CITY OF LANGLEY
Schedule 2
Consolidated Report of Segmented Revenues and Expenses
Year ended December 31, 2016

	2016 Financial Plan	General government	Police service	Fire service	Other protective services	Engineering operations	Water utility	Sewer & drainage utility	Development services	Solid waste	Recreation services	Parks	Unallocated	2016
	Note 13													
Revenue														
Property tax revenue	\$ 25,098,150	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 25,209,207	\$ 25,209,207
User fees and other revenue	10,480,705	175,286	5,050	1,560	77,408	386,510	4,210,074	3,261,344	1,073,907	623,792	14,364	154,371	1,224,369	11,208,035
Gaming proceeds	6,000,000	279,859	-	-	-	-	-	-	-	-	237,618	50,000	6,257,425	6,824,902
Government transfers	2,200,915	-	534,628	-	343,754	2,105,407	-	-	190,510	-	197,414	-	170,429	3,542,142
Investment earnings	338,500	-	-	-	-	-	-	-	-	-	-	-	729,759	729,759
Use of development cost charges	985,050	-	-	-	-	552,455	285,568	476,956	-	-	-	141,579	-	1,456,558
Contributed infrastructure	-	-	-	-	-	1,333,547	738,100	808,275	-	-	-	-	-	2,879,922
Total Revenue	45,103,320	455,145	539,678	1,560	421,162	4,377,919	5,233,742	4,546,575	1,264,417	623,792	449,396	345,950	33,591,189	51,850,525
Expenses														
Operating														
Salaries & benefits	12,362,400	2,324,273	3,859	3,738,639	96,228	1,618,046	491,657	345,505	743,768	16,627	2,168,836	1,133,762	-	12,681,200
Goods and services	24,772,385	1,465,514	10,236,007	531,764	627,245	1,928,493	2,902,366	2,268,106	331,183	602,626	1,506,484	809,939	-	23,209,727
Loss (gain) on disposal of capital assets	-	(164,883)	-	-	-	128,311	59,304	207,107	-	-	3,598	4,953	-	238,390
	37,134,785	3,624,904	10,239,866	4,270,403	723,473	3,674,850	3,453,327	2,820,718	1,074,951	619,253	3,678,918	1,948,654	-	36,129,317
Amortization	4,750,000	584,030	64,402	298,822	-	2,045,423	402,326	560,556	26,480	-	650,430	394,256	-	5,026,725
Total Expenses	41,884,785	4,208,934	10,304,268	4,569,225	723,473	5,720,273	3,855,653	3,381,274	1,101,431	619,253	4,329,348	2,342,910	-	41,156,042
Excess (Deficiency) of Revenue Over Expenses	\$ 3,218,535	\$ (3,753,789)	\$ (9,764,590)	\$ (4,567,665)	\$ (302,311)	\$ (1,342,354)	\$ 1,378,089	\$ 1,165,301	\$ 162,986	\$ 4,539	\$ (3,879,952)	\$ (1,996,960)	\$ 33,591,189	\$ 10,694,483

CITY OF LANGLEY
Schedule 3
Consolidated Report of Segmented Revenues and Expenses
Year ended December 31, 2015

	2015 Financial Plan	General government	Police service	Fire service	Other protective services	Engineering operations	Water utility	Sewer & drainage utility	Development services	Solid waste	Recreation services	Parks	Unallocated	2015
Revenue														
Property tax revenue	\$ 24,104,450	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 23,886,067	\$ 23,886,067
User fees and other revenue	10,039,985	122,839	4,468	-	79,798	176,117	4,224,378	3,221,678	989,643	705,229	20,043	18,297	860,039	10,422,529
Gaming proceeds	5,600,000	173,291	-	-	-	-	-	-	-	-	173,291	50,000	6,145,665	6,542,247
Government transfers	1,746,960	-	573,405	-	371,405	753,813	-	-	160,281	-	-	-	123,525	1,982,429
Investment earnings	364,400	-	-	-	-	-	-	-	-	-	-	-	799,069	799,069
Use of development cost charges	516,035	-	-	-	-	319,515	977,361	806,938	-	-	-	60,070	-	2,163,884
Contributed infrastructure	-	-	-	-	-	-	99,550	33,130	-	-	-	-	-	132,680
Total Revenue	42,371,830	296,130	577,873	-	451,203	1,249,445	5,301,289	4,061,746	1,149,924	705,229	193,334	128,367	31,814,365	45,928,905
Expenses														
Operating														
Salaries & benefits	11,867,460	2,277,835	2,652	3,370,514	113,591	1,437,324	449,235	349,731	663,869	17,161	1,671,443	1,062,487	-	11,415,842
Goods and services	23,899,515	1,291,522	10,147,906	589,592	645,887	1,237,368	3,148,838	2,371,341	287,341	576,373	1,579,239	811,400	-	22,686,807
Loss (gain) on disposal of capital assets	-	(570)	-	-	-	163,088	19,325	7,299	-	-	-	2,020	-	191,162
	35,766,975	3,568,787	10,150,558	3,960,106	759,478	2,837,780	3,617,398	2,728,371	951,210	593,534	3,250,682	1,875,907	-	34,293,811
Amortization	4,750,000	625,718	65,982	324,279	-	2,047,426	404,210	571,390	27,695	-	168,615	396,045	-	4,631,360
Total Expenses	40,516,975	4,194,505	10,216,540	4,284,385	759,478	4,885,206	4,021,608	3,299,761	978,905	593,534	3,419,297	2,271,952	-	38,925,171
Excess (Deficiency) of Revenue Over Expenses	\$ 1,854,855	\$ (3,898,375)	\$ (9,638,667)	\$ (4,284,385)	\$ (308,275)	\$ (3,635,761)	\$ 1,279,681	\$ 761,985	\$ 171,019	\$ 111,695	\$ (3,225,963)	\$ (2,143,585)	\$ 31,814,365	\$ 7,003,734

CITY OF LANGLEY

Schedule 4

Schedule of Tangible Capital Assets

Year ended December 31, 2016 with comparative figures for 2015

2016	Land	Land Improvements	Buildings	Vehicles	Furniture & Equipment	Transportation Infrastructure	Sewer & Drainage Infrastructure	Water Infrastructure	Total
Historical cost									
Opening cost	\$ 66,277,337	\$ 7,641,879	\$ 38,477,047	\$ 6,556,864	\$ 6,450,591	\$ 120,124,515	\$ 42,851,328	\$ 29,179,590	\$ 317,559,151
Additions	370,045	791,276	1,782,039	369,145	1,240,232	6,919,565	1,640,875	2,014,165	15,127,342
Disposals	(185,117)	-	-	(96,693)	(46,529)	(429,191)	(370,564)	(213,133)	(1,341,227)
	66,462,265	8,433,155	40,259,086	6,829,316	7,644,294	126,614,889	44,121,639	30,980,622	331,345,266
Accumulated amortization									
Opening balance	-	3,425,748	12,357,223	4,060,232	4,656,159	37,219,299	16,316,306	9,270,167	87,305,134
Amortization expense	-	276,821	1,367,309	330,009	278,558	1,822,970	556,654	394,404	5,026,725
Disposals	-	-	-	(85,140)	(40,531)	(307,480)	(163,457)	(153,829)	(750,437)
	-	3,702,569	13,724,532	4,305,101	4,894,186	38,734,789	16,709,503	9,510,742	91,581,422
Net book value	\$ 66,462,265	\$ 4,730,586	\$ 26,534,554	\$ 2,524,215	\$ 2,750,108	\$ 87,880,100	\$ 27,412,136	\$ 21,469,880	\$ 239,763,844

2015	Land	Land Improvements	Buildings	Vehicles	Furniture & Equipment	Transportation Infrastructure	Sewer & Drainage Infrastructure	Water Infrastructure	Total
Historical cost									
Opening cost	\$ 66,277,337	\$ 7,288,101	\$ 30,043,067	\$ 6,309,144	\$ 6,215,531	\$ 117,002,257	\$ 40,869,520	\$ 27,258,313	\$ 301,263,270
Additions	-	353,778	8,433,980	574,312	246,794	3,532,748	2,097,128	1,984,072	17,222,812
Disposals	-	-	-	(326,592)	(11,734)	(410,490)	(115,320)	(62,795)	(926,931)
	66,277,337	7,641,879	38,477,047	6,556,864	6,450,591	120,124,515	42,851,328	29,179,590	317,559,151
Accumulated amortization									
Opening balance	-	3,143,894	11,465,064	4,025,193	4,350,319	35,615,648	15,838,139	8,917,348	83,355,605
Amortization expense	-	281,854	892,159	320,882	317,574	1,855,114	567,488	396,289	4,631,360
Disposals	-	-	-	(285,843)	(11,734)	(251,463)	(89,321)	(43,470)	(681,831)
	-	3,425,748	12,357,223	4,060,232	4,656,159	37,219,299	16,316,306	9,270,167	87,305,134
Net book value	\$ 66,277,337	\$ 4,216,131	\$ 26,119,824	\$ 2,496,632	\$ 1,794,432	\$ 82,905,216	\$ 26,535,022	\$ 19,909,423	\$ 230,254,017



ZONING BYLAW, 1996, No. 2100
AMENDMENT No. 133, 2017, BYLAW No. 3014
DEVELOPMENT PERMIT APPLICATION DP 01-17

To consider a Rezoning Application and Development Permit Application by Tannin Developments to accommodate a 4-storey, 98-unit condominium apartment development.

The subject property is currently zoned RM1 Multiple Residential Low Density Zone and CD38 Comprehensive Development Zone in Zoning Bylaw No. 2100 and designated “High Density Residential” in the Official Community Plan. All lands designated Multiple Family Residential are subject to a Development Permit to address building form and character.

COMMENTS/ANALYSIS:

Background Information:

Applicant:	Tannin Developments
Owner:	CH Project (Langley) Ltd. & R. Cheng-Chen, J. Cheng
Civic Addresses:	5393, 5455-5457 -201 st Street
Legal Description:	Lot 1, District Lot 305, Group 2, New Westminster District Plan EPP42319, and Strata Lots 1 and 2, District Lot 305, Group 2, New Westminster District Strata Plan LMS643 Together With An Interest In The Common Property In Proportion To The Unit Entitlement Of The Strata Lot As Shown On Form 1
Site Area:	4943 m ² (1.22 acres)
Lot Coverage:	44.5%
Gross Floor Area:	94,224 ft ²
Floor Area Ratio:	1.77 FSR
Total Parking Required:	127 spaces (plus 20 visitor)
Total Parking Provided:	128 spaces (plus 20 visitor)
Existing Zoning:	RM1 –Multiple Residential Low Density Zone and CD38-Comprehensive Development Zone
Proposed Zoning:	CD 45 –Comprehensive Development Zone
OCP Designation:	High Density Residential (80 units/acre)
Variances Requested:	None
Development Cost Charges:	\$925,410.50 (includes \$167,020 SF DCC Credit)
Community Amenity Charge:	\$98,000 (@\$1,000/unit)



**ZONING BYLAW, 1996, No. 2100
AMENDMENT No. 133**

BYLAW No. 3014

A Bylaw to amend City of Langley Zoning Bylaw, 1996, No. 2100 to add a new Comprehensive Development Zone (CD45) and to rezone the property located at 5393, 5455-5457 -201 Street to the new zone.

WHEREAS the *Local Government Act* authorizes a local government to zone areas of a municipality and to make regulations pursuant to zoning;

NOW THEREFORE the Council of the City of Langley, in open meeting assembled, enacts as follows:

1. Title

This bylaw shall be cited as the “Zoning Bylaw 1996, No. 2100 Amendment No. 133, 2017, No.3014”.

2. Amendment

- (1) Bylaw No. 2100, cited as the “Zoning Bylaw, 1996, No. 2100” is hereby amended by adding in Part VII Comprehensive Development Zones the following as the new Zone classification of Comprehensive Development – 45 (CD45) Zone: immediately after Comprehensive Development -44 (CD44) Zone:

“NN. CD45 COMPREHENSIVE DEVELOPMENT ZONE

1. Intent

This Zone is intended to accommodate and regulate a 4-storey, 98-unit apartment development

2. Permitted Uses

The Land, buildings and structures shall only be used for the following uses only:

- (a) Multiple-Unit Residential; and

- (b) Accessory uses limited to the following:
 - (i) *Home Occupations* excluding bed and breakfast and *child care centre*.

3. **Site Dimensions**

The following lot shall form the site and shall be zoned CD 45 Comprehensive Development Zone on the Zoning Map, City of Langley Zoning Bylaw, 1996, No. 2100, Schedule “A”:

- (a) PID: 029-900-042
Lot 1, District Lot 305, Group 2, New Westminster District Plan EPP42319
- (b) PID: 018-000-312
Strata Lot 2, District Lot 305, Group 2, New Westminster District Strata Plan LMS643 Together With An Interest In The Common Property In Proportion To The Unit Entitlement Of The Strata Lot As Shown On Form 1
- (c) PID: 018-000-304
Strata Lot 1, District Lot 305, Group 2, New Westminster District Strata Plan LMS643 Together With An Interest In The Common Property In Proportion To The Unit Entitlement Of The Strata Lot As Shown On Form 1

4. **Siting and Size of Buildings and Structures and Site Coverage**

The location, size and site coverage of the buildings and structures of the Development shall generally conform to the plans and specifications comprising 18 pages and dated January 16, 2017 prepared for Tannin Developments by Keystone Architecture & Planning and Van der Zalm & Associates Inc. Landscape Architecture, 1 copy of which is attached to Development Permit 01-17.

5. **Special Regulations**

Special regulations shall comply with subsection 9 Special Regulations prescribed in the respective zones under different Parts of this bylaw.

6. **Other Regulations**

In addition, land use regulations including the following are applicable:

- (a) General provisions on use are set out in Section I.D. of this bylaw;
- (b) Building Permits shall be subject to the City of Langley Building and Plumbing Regulation Bylaw and the Development Cost Charge Bylaw; and
- (c) Subdivisions shall be subject to the City of Langley Subdivision and Development Servicing Bylaw, and the *Land Title Act*.”

READ A FIRST AND SECOND TIME this 20th day of February, 2017.

A PUBLIC HEARING, pursuant to Section 464 of the “Local Government Act” was held this sixth day of March, 2017.

READ A THIRD TIME this sixth day of March, 2017.

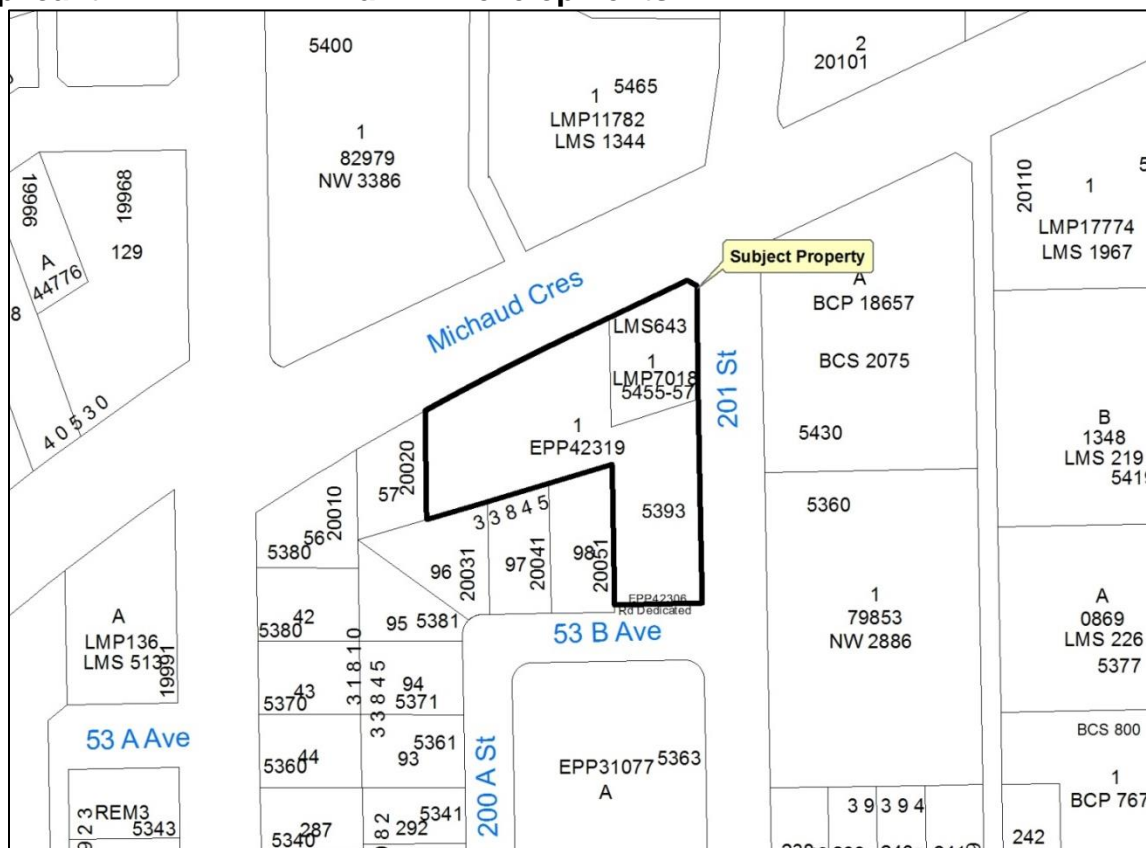
FINALLY ADOPTED this ----- day of -----, -----.

MAYOR

CORPORATE OFFICER



Civic Address:	5393 – 201 Street, 5455-5457 – 201 Street
Legal Description:	Lot 1, District Lot 305, Group 2, New Westminster District, Plan EPP42319; Strata Lots 1 & 2, District Lot 305, Group 2, New Westminster District, Plan LMS643
Owner:	CH Project (Langley) Ltd., R. Cheng-Chen, J. Cheng
Applicant:	Tannin Developments





ADVISORY PLANNING COMMISSION REPORT

To: **Advisory Planning Commission**

Subject **Rezoning Application 01-17/Development
Permit Application 01-17, Keystone
Architecture & Planning, 5393, 5455-5457 -201
Street**

From: Development Services & Economic Development
Department

File #: 6620.00

Doc #:

Date: January 30, 2017

COMMITTEE RECOMMENDATION:

That Rezoning Application RZ 01-17 and Development Permit Application 01-17 to accommodate a 98 unit condominium apartment located at 5393, 5455-5457 - 201 Street be approved subject to execution of a Development Servicing Agreement in compliance with the conditions outlined in the Director of Development Services & Economic Development report.

PURPOSE OF REPORT:

To consider a Rezoning Application and Development Permit Application by Keystone Architecture & Planning Ltd. to accommodate a 98 unit condominium development

POLICY:

The subject property is zoned RM1 Multiple Residential Low Density Zone and CD38 Comprehensive Development Zone in Zoning Bylaw No. 2100 and designated “High Density Residential” in the Official Community Plan. All lands



designated Multiple Family Residential are subject to a Development Permit to address building form and character.

COMMENTS/ANALYSIS:

Background Information:

Applicant:	Keystone Architecture & Planning Ltd.
Owner:	CH Project (Langley) Ltd. &
Civic Addresses:	5393, 5455-5457 -201 st Street
Legal Description:	Lot 1, District Lot 305, Group 2, New Westminster District Plan EPP42319, and Strata Lots 1 and 2, District Lot 305, Group 2, New Westminster District Strata Plan LMS643 Together With An Interest In The Common Property In Proportion To The Unit Entitlement Of The Strata Lot As Shown On Form 1
Site Area:	4943 m ² (1.22 acres)
Lot Coverage:	44.5%
Gross Floor Area:	94,224 ft ²
Floor Area Ratio:	1.77 FSR
Total Parking Required:	127 spaces (plus 20 visitor)
Total Parking Provided:	128 spaces (plus 20 visitor)
Existing Zoning:	RM1 –Multiple Residential Low Density Zone and CD38-Comprehensive Development Zone
Proposed Zoning:	CD 45 –Comprehensive Development Zone
OCP Designation:	High Density Residential (80 units/acre)
Variances Requested:	None
Development Cost Charges:	\$925,410.50 (includes \$167,020 SF DCC Credit)
Community Amenity Charge:	\$98,000 (@\$1,000/unit)

Engineering Requirements:

These preliminary engineering requirements have been issued to reflect the application for rezoning and development for a proposed **98-Unit Apartment**



Development at 5393. 5455-5457 - 201 Street, which may be subject to change upon receipt of updated development plans to the City.

The City's Zoning Bylaw, 1996, #2100 has requirements concerning landscaping for buffer zonings, parking and loading areas, and garbage and recycling containers, all of which applies to this design.

A) The developer is responsible for the following work which shall be designed by a Professional Engineer:

1. Implement erosion and sediment control measures designed and approved by a qualified professional in accordance with the City of Langley Watercourse Protection Bylaw #2518.
2. Conduct a water flow test and provide fire flow calculations by a Professional Engineer to determine if the existing water network is adequate for fire flows. Replacement of the existing watermain may be necessary to achieve the necessary pressure and flows to conform to Fire Underwriters Survey (FUS) "Water Supply for a Public Fire Protection, a Guide to Recommended Practice, 1995".
3. Additional C71P fire hydrants may be required to meet bylaw and firefighting requirements. Hydrant locations must approved by the City of Langley Fire Department.
4. New water and sanitary and storm sewer service connections are required. The developer's engineer will determine the appropriate main tie in locations and size the connections for the necessary capacity. The capacity of the existing water and sewer mains should be assessed and any upgrades required servicing the site shall be designed and installed at the Developer's expense. All existing services shall be capped at the main, at the Developer's expense, upon application for Demolition permit.
5. New curb, gutter, sidewalks and street trees are required on all frontages.
6. Upgrade the existing street lighting to City of Langley Standards.
7. A stormwater management plan for the site is required. Rainwater management measures used on site shall limit the release rate to mitigate flooding and environmental impacts as detailed in the Subdivision and Development Bylaw.



8. The site layout shall be designed by a civil engineer to ensure that the parking and access layout meets minimum design standards, including setbacks from property lines. Appropriate turning templates should be used to prove parking stalls and drive-aisles are accessible by the design vehicle.
9. The condition of the existing pavement on the 201 Street and Michaud Crescent and 53B Avenue road frontages shall be assessed. Pavements shall be adequate for an expected road life of 20 years under the expected traffic conditions for the class of road. Road construction and asphalt overlay designs shall be based on the analysis of the results of Benkelman Beam tests, test holes and visual assessment carried out on the existing road which is to be upgraded. If the pavement is inadequate it shall be remediated to centerline.
10. The selection, location and spacing of street trees and landscaping shall be in accordance with the City of Langley's Official Community Plan Bylaw, 2005, No. 2600 and Street Tree Program, November, 1999 manual.
11. A property dedication and lot consolidation is required for the ultimate right-of-way width of 20m on 53B Avenue fronting the development.

B) The developer is required to deposit the following bonding and connection fees:

1. The City would require a Security Deposit based on the estimated construction costs of installing civil works, as approved by the Director of Engineering, Parks and Environment.
2. The City would require inspection and administration fees in accordance to the Subdivision Bylaw based on a percentage of the estimated construction costs. (See Schedule A – General Requirement - GR5.1 for details).
3. A deposit for a storm, sanitary and water connection is required, which will be determined after detailed civil engineering drawings are submitted, sealed by a Professional Engineer.
4. The City would require a \$20,000 bond for the installation of a water meter to current standards.



C) The developer is required to adhere to the following conditions:

1. Eliminate the existing overhead wiring and hydro poles along the frontage of Michaud Crescent.
2. Underground hydro and telephone, and cable services to the development site are required.
3. All survey costs and registration of documents with the Land Titles Office are the responsibility of the developer/owner.
4. A water meter is required to be installed outside in a vault away from any structures in accordance to the City's water meter specifications at the developer's cost. A double detector check valve assembly is required to be installed outside away from any structure in a vault as per the City's specifications.
5. An approved backflow prevention assembly must be installed on the domestic water connection immediately upon entering the building to provide premise isolation.
6. A "Stormceptor" or equivalent oil separator is required to treat site surface drainage.
7. A complete set of "as-built" drawings sealed by a Professional Engineer shall be submitted to the City after completion of the works. Digital drawing files in .pdf and .dwg format shall also be submitted.
8. The selection, location and spacing of street trees and landscaping shall be in accordance with the City of Langley's Official Community Plan Bylaw, 2005, No. 2600 and Street Tree Program, November, 1999 manual.
9. Stormwater run-off generated on the site shall not impact adjacent properties, or roadways.
10. Garbage and recycling enclosures shall be designed to meet Metro Vancouver's "Multi-Family and Commercial Building Recycling Space - Draft Sample Bylaw for Municipalities".

Discussion:

The proposed four-story condominium apartment proposes unit sizes ranging from approximately 450 ft² to 1,200 ft² and offer a variety of one-bedroom, two-bedroom and three-bedroom suites. The facade massing steps both vertically and horizontally to address the connection with pedestrian by providing highly articulated elevations



and roofs lines. This stepping gives opportunities for the buildings to address the two important corners along Michaud Crescent as well as gives relief to the streetscape. An increased roof step and a deep extruded open framed canopy identify the main entrance and suggest prominence to the buildings hierarchal roof steps. Landscaping will be used to soften the raised parkade from the adjacent public sidewalk by elevating the building users urban experience. The rich material palette is intended to strengthen the buildings articulated massing, while balancing a contextual relationship within the City of Langley. Brick is used to ground the building and give it a sense of permanence. Glazing has been introduced to the patios to contribute to furthering the urban experience by softening the building by providing access to more light and view.

Convenient parking for both tenants and visitors, including handicap stalls is located within the underground parkade. However, there is a separate secured parking area, with a security gate for tenants. Planting and landscape features incorporated CPTED principles, featuring decorative fencing along the street level softening the hard streetscape and pedestrian walkways throughout the entire development.

The proposed development generally complies with the Multifamily Residential Development Permit Area Guidelines for apartment developments.

Fire Department Comments:

Langley City Fire-Rescue Service has reviewed the attached plans and provided preliminary comments to the applicant. The department will review, and make further comment, as the project continues to the building permit design stage.

Advisory Planning Commission:

In accordance with Development Application Procedures Bylaw No. 2488, the subject applications will be reviewed by the Advisory Planning Commission at the February 8, 2017 meeting. A copy of the APC minutes will be presented to Langley City Council at the February 20, 2017 Regular Council meeting.



BUDGET IMPLICATIONS:

In accordance with Bylaw No. 2482, the proposed development would contribute \$925,410.50 to Development Cost Charge accounts and \$98,000 in Community Amenity Charges.

ALTERNATIVES:

1. Require changes to the applicant's proposal.
2. Deny application.

Prepared by:



Gerald Minchuk, MCIP
Director of Development Services & Economic Development

attachments





**MINUTES OF THE
ADVISORY PLANNING COMMISSION MEETING**

**HELD IN LANGLEY CITY HALL
CKF COMMUNITY BOARDROOM**

**WEDNESDAY, FEBRUARY 8, 2017
7:00 PM**

Present: Councillor Jack Arnold, Chairman
Councillor Paul Albrecht, Vice-Chairman
John Beimers
Trish Buhler
Rob McFarlane, School District No. 35
Hana Hutchinson
Esther Lindberg
Corp. Steve McKeddie, Langley RCMP
Dan Millsip
George Roman
Jamie Schreder

Staff: Gerald Minchuk, Director of Development Services & Economic Development

Absent: None

1) RECEIPT OF MINUTES

MOVED BY Commission Member Roman
SECONDED BY Commission Member Hutchinson

THAT the minutes for the November 9, 2016 Advisory Planning Commission meeting be received as circulated.

CARRIED

2) **REZONING APPLICATION RZ 01-17/DEVELOPMENT PERMIT APPLICATION DP 01-17 -5393, 5455-5457-201 STREET-TANNIN DEVELOPMENTS**

The Director Development Services & Economic Development provided a brief overview of the planning context for the proposed application and introduced Lukas Wykpiś, Project Manager, and Steve Bartok, Project Architect, Keystone Architecture & Planning Inc. Mr. Wykpiś and Mr. Bartok presented the proposed rezoning and development permit applications. Following discussion regarding density, building form and character, landscaping, CPTED, sprinkling provisions, amenity rooms, adaptable units, and engineering servicing requirements it was:

MOVED BY Commission Member Schreder
SECONDED BY Commission Member Roman

That Rezoning Application RZ 01-17/Development Permit Application DP 01-17 to accommodate a 4-storey, 98-unit condominium apartment complex located at 5393, 5455-5457 -201 Street be approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report be approved.

CARRIED

4) **NEXT MEETING**

Wednesday, March 8, 2017

5) **ADJOURNMENT**

MOVED BY Commission Member Roman
SECONDED BY Commission Member Millsip

THAT the meeting adjourn at 9:00 P.M.

CARRIED

JHA rwld

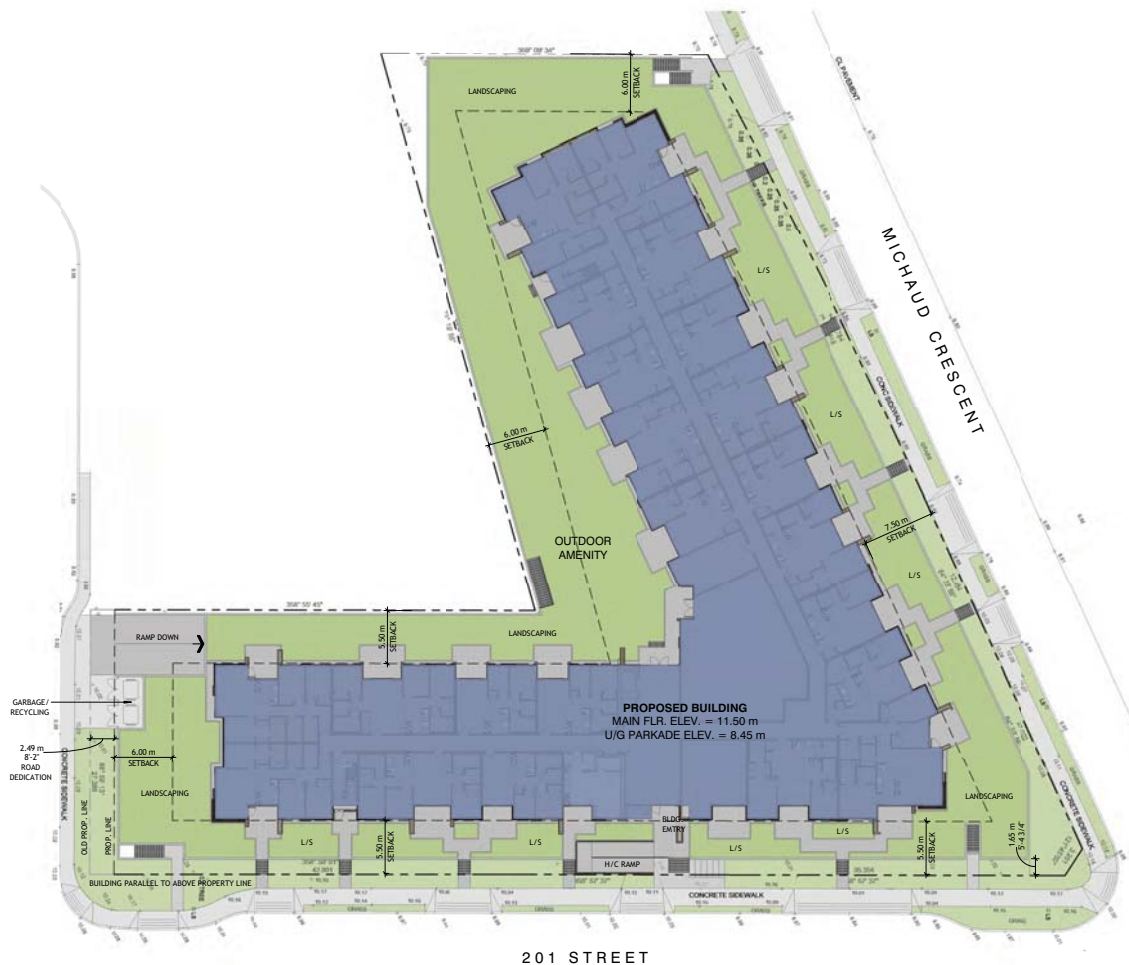
ADVISORY PLANNING COMMISSION CHAIRMAN

Gerald N. Natchab

DIRECTOR OF DEVELOPMENT SERVICES & ECONOMIC DEVELOPMENT

Certified Correct





SITE PLAN
1" = 20'-0"

DESIGN DATA:

PROPOSED ZONING: CD ZONE (BASED ON RM3)

LOT AREA: 53,205 S.F. (4,943 S.M.)(1.2214 ACRES)

DENSITY: 1.2214 * 80 = 97.7 = 98 UNITS

UNIT COUNT:

STUDIO - 6 UNITS
1 BED - 41 UNITS
2 BED - 45 UNITS (INC. 4 H/C ADAPTABLE)
3 BED - 6 UNITS
TOTAL = 98 UNITS (INC. 4 H/C ADAPTABLE)

FLOOR AREA:

1st FLOOR AREA:
OVERALL = 23,607 S.F. (6,151 S.F. Circ. Etc.)
2nd FLOOR AREA:
OVERALL = 23,273 S.F. (4,654 S.F. Circ. Etc.)
3rd FLOOR AREA:
OVERALL = 23,697 S.F. (4,640 S.F. Circ. Etc.)
4th FLOOR AREA:
OVERALL = 23,647 S.F. (4,255 S.F. Circ. Etc.)

TOTAL FINISHED FLOOR AREA:

94,224 S.F. (1.75 FSR)
Saleable = 74,524 S.F.
Circulation/Amenity = 19,700 S.F.
% Efficiency = 79.1%

U/G PARKADE AREA = 47,423 S.F.

PARKING REQUIRED:

1 BED = 1.2 stalls / unit
2 BED = 1.3 stalls / unit
3 BED = 2.0 stalls / unit
VISITOR = 0.2 stalls / unit

TENANT:

47 UNITS * 1.2 = 56.4
45 UNITS * 1.3 = 58.5
6 UNITS * 2.0 = 12.0
TOTAL REQUIRED = 126.9
= 127 STALLS

VISITOR:

98 UNITS * 0.2 = 19.6 = 20 STALLS

PARKING PROVIDED:

TENANT: 128 STALLS (IN PARKADE)
6 H/C
49 SMALL CAR (33% OF TOTAL)
73 STANDARD
VISITOR: 20 STALLS (IN PARKADE)
2 H/C
18 STANDARD

BIKE PARKING (0.5 SPACES / UNIT):

REQUIRED = 49 SPACES
PROVIDED = 52 SPACES

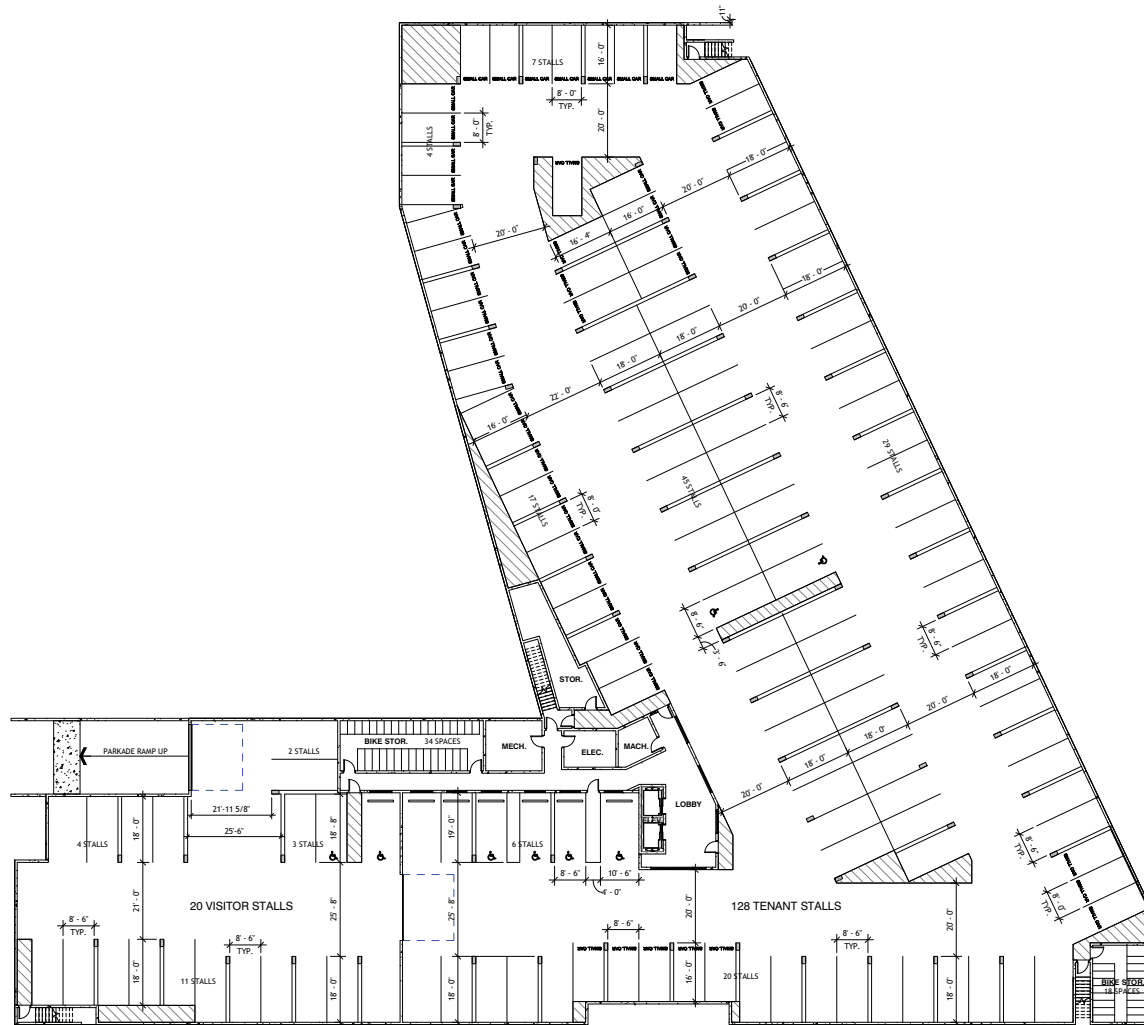
6 VISITOR BIKE STALLS PROVIDED

AMENITY SPACE (25 S.F. / UNIT):

REQUIRED:
25 S.F. * 98 = 2,450 S.F.
PROVIDED:
3,958 S.F. (ON 1st & 2nd FLOORS)

STORAGE LOCKERS:

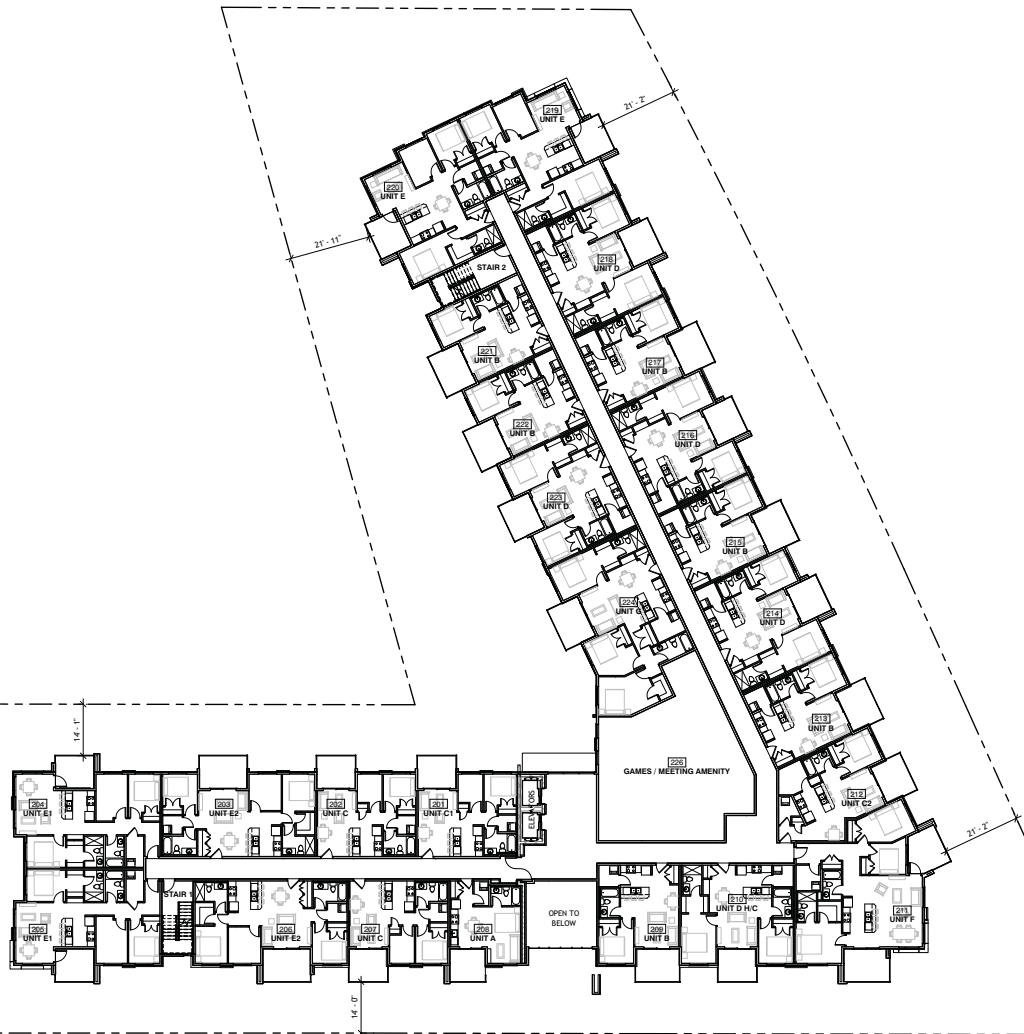
EACH UNIT HAS A STORAGE ROOM PROVIDED
79 STORAGE LOCKERS PROVIDED ON 1st, 3rd & 4th FLOORS



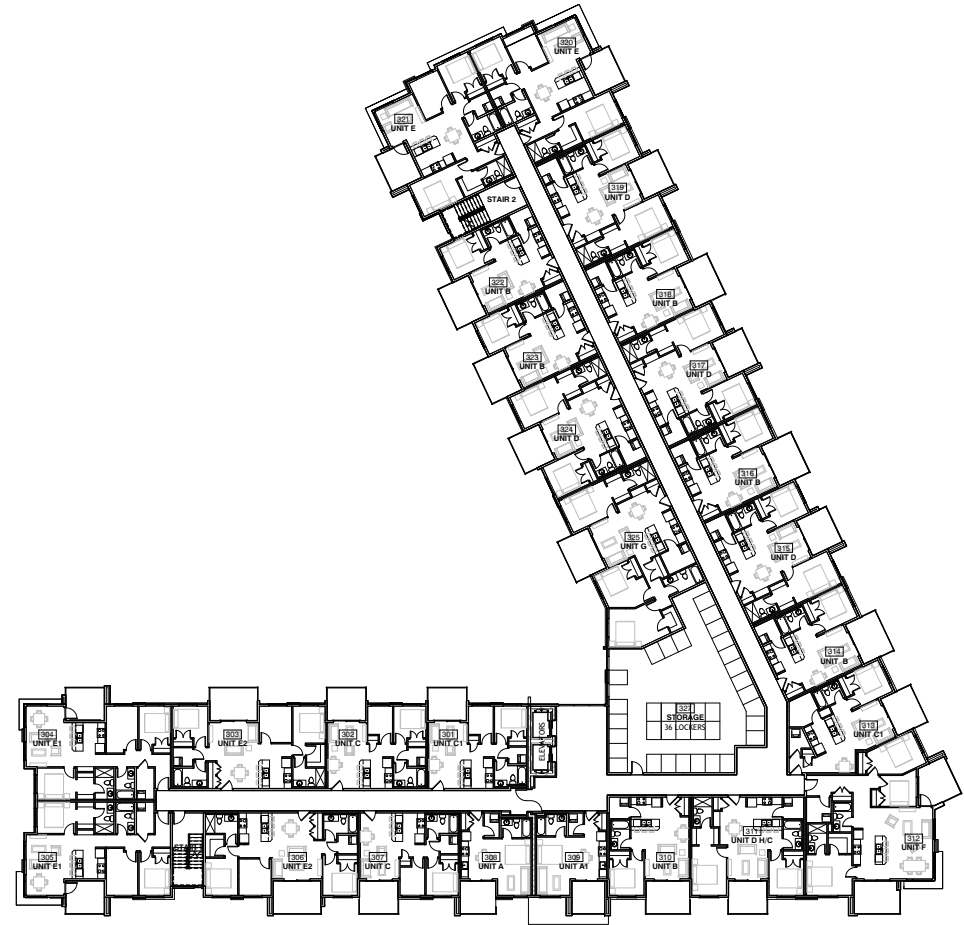
BASEMENT FLOOR PLAN
1/16" = 1'-0"



 **1st FLOOR PLAN**
1/16" = 1'-0"



2nd FLOOR PLAN
1/16" = 1'-0"



3rd & 4th FLOOR PLAN
1/16" = 1'-0"



North West - Elevation
1" = 10'-0"



East - Elevation
1" = 10'-0"

MATERIAL LEGEND		
1 CEMENT BOARD (BOARD & BATTEN), VERTICAL PANEL SIDING - COLOUR: WEST GRAY	5 BRICK "STACK BOND" - COLOUR: BEACH SAND	16 EXTERIOR ALUMINUM RAILING: - COLOUR: BLACK
2 VINYL HORIZONTAL LAP SIDING (6" EXPOSURE): - ROYAL BUILDING PRODUCTS, COLOUR: WHITE	16 WINDOW ALUMINUM: - COLOUR: DARK GRAY	17 CONCRETE WALL: - COLOUR: CLEAR SEALER
3 CEMENT BOARD HORIZONTAL LAP SIDING (6" EXPOSURE): - COLOUR: BEACH SAND	17 SLIDING PATIO DOOR VINYL: - COLOUR: DARK GRAY	18 ALUMINUM WALL PANEL - COLOUR: STONE GRAY
4 CEMENT BOARD HORIZONTAL LAP SIDING (6" EXPOSURE): - COLOUR: WOODSTOCK BROWN	18 ALUMINUM BALCONY RAILING WITH GLASS INSERT: - COLOUR: BLACK	19 ALUMINUM STOREFRONT: - COLOUR: CLEAR ANODIZED
5 CEMENT BOARD, SMOOTH PANEL SIDING - JAMES HARDIE, COLOUR: NIGHT GRAY	19 HEAVY TIMBER (PAINTED): - BENJAMIN MOORE, COLOUR: "BARNBOARD GRANGE" (CC-572)	20 REVEAL: - EASYTRIM, COLOUR: CLEAR ANODIZED
6 CEMENT BOARD, SMOOTH PANEL SIDING - JAMES HARDIE, COLOUR: IRON GRAY	20 WOOD FASCIA BOARD (PAINTED): - BENJAMIN MOORE, COLOUR: "WILLOW" (CC-542)	21 EXTERIOR METAL DOOR: - BENJAMIN MOORE, COLOUR: DARK GRAY
7 CORRUGATED METAL (VERTICAL)	21 METAL FLASHING: - GERTER, COLOUR: COMMERCIAL BROWN	22 PERFORATED VINYL SOFFITS: - RAICAR, COLOUR: SAND/LEWOOD
8 BRICK "STACK BOND" - COLOUR: RED		23 CEMENT BOARD, SMOOTH PANEL SIDING - JAMES HARDIE, COLOUR: ARCTIC WHITE



South - Elevation
1" = 10'-0"



West - Elevation
1" = 10'-0"



South East - Elevation
1" = 10'-0"



South West - Elevation
1" = 10'-0"

MATERIAL LEGEND		
1 CEMENT BOARD (BOARD & BATTEN), VERTICAL PANEL SIDING - COLOUR: 'MIST GRAY'	7 BRICK "STACK BOND" - COLOUR: 'BEACH SAND'	14 EXTERIOR ALUMINUM RAILING: - COLOUR: 'BLACK'
2 VINYL HORIZONTAL LAP SIDING (6" EXPOSURE): - 'ROYAL BUILDING PRODUCTS', COLOUR: 'WHITE'	18 WINDOW ALUMINUM: - COLOUR: 'DARK GRAY'	17 CONCRETE WALL: - COLOUR: 'CLEAR SEALER'
3 CEMENT BOARD HORIZONTAL LAP SIDING (6" EXPOSURE): - COLOUR: 'BEACH SAND'	11 SLIDING PATIO DOOR VINYL: - COLOUR: 'DARK GRAY'	16 ALUMINUM WALL PANEL: - COLOUR: 'STONE GRAY'
4 CEMENT BOARD HORIZONTAL LAP SIDING (6" EXPOSURE): - COLOUR: 'WOODSTOCK BROWN'	12 ALUMINUM BALCONY RAILING WITH GLASS INSERT: - COLOUR: 'BLACK'	15 ALUMINUM STOREFRONT: - COLOUR: 'CLEAR ANODIZED'
5 CEMENT BOARD, SMOOTH PANEL SIDING: - 'JAMES HARDIE', COLOUR: 'NIGHT GRAY'	10 HEAVY TIMBER (PAINTED): - 'BENJAMIN MOORE', COLOUR: 'BARNBOARD GRANGE' (CC-572)	20 REVEAL: - 'EASYTRIM', COLOUR: 'CLEAR ANODIZED'
6 CEMENT BOARD, SMOOTH PANEL SIDING: - 'JAMES HARDIE', COLOUR: 'IRON GRAY'	14 WOOD FASCIA BOARD (PAINTED): - 'BENJAMIN MOORE', COLOUR: 'WILLOW' (CC-542)	21 EXTERIOR METAL DOOR: - 'BENJAMIN MOORE', COLOUR: 'DARK GRAY'
7 CORRUGATED METAL (VERTICAL)	13 METAL FLASHING: - 'GENTEK', COLOUR: 'COMMERCIAL BROWN'	22 PERFORATED VINYL SOFFITS: - 'KAYCAN', COLOUR: 'SANDLEWOOD'
8 BRICK "STACK BOND" - COLOUR: 'RED'		23 CEMENT BOARD, SMOOTH PANEL SIDING: - 'JAMES HARDIE', COLOUR: 'ARCTIC WHITE'



201 STREET & MICHAUD CRESCENT



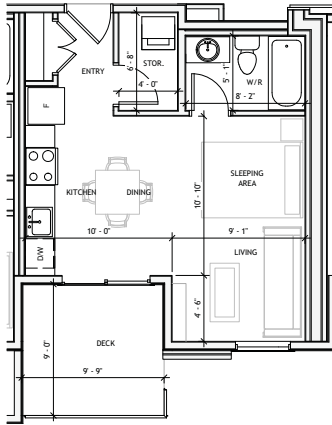
201 STREET



MICHAUD CRESCENT

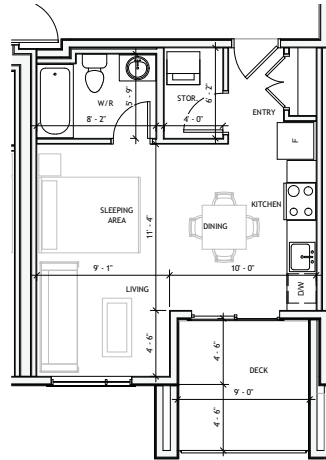


MAIN ENTRANCE



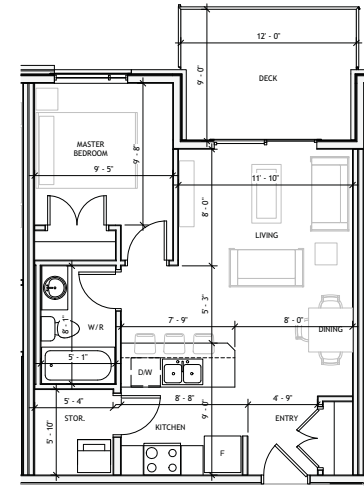
UNIT TYPE A - Studio
1/4" = 1'-0"

AREA: 405 SF +/-
NO. OF THIS UNIT: 4



UNIT TYPE A1 - Studio
1/4" = 1'-0"

AREA: 430 SF +/-
NO. OF THIS UNIT: 2



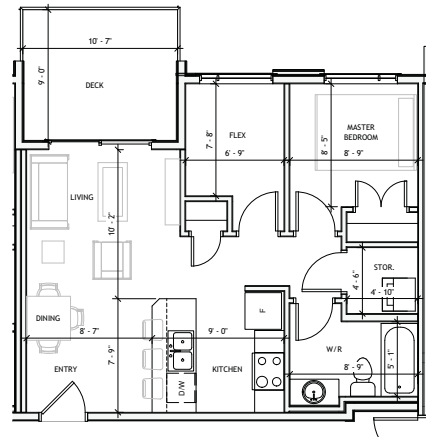
UNIT TYPE B - 1 Bed
1/4" = 1'-0"

AREA: 576 SF +/-
NO. OF THIS UNIT: 25



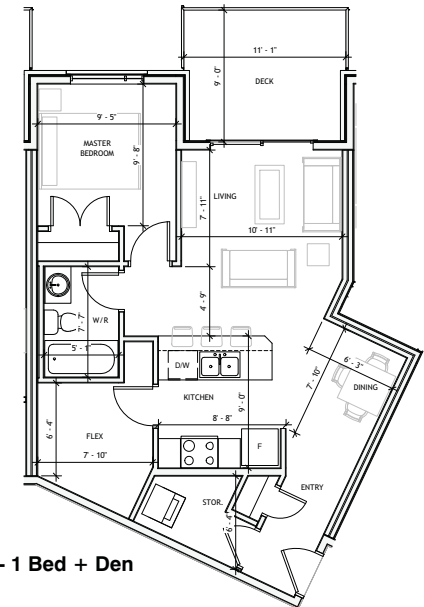
UNIT TYPE C - 1 Bed + Den
1/4" = 1'-0"

AREA: 600 SF +/-
NO. OF THIS UNIT: 8



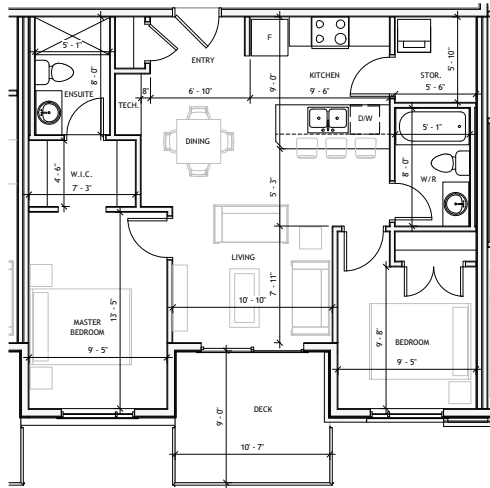
UNIT TYPE C1 - 1 Bed + Den
1/4" = 1'-0"

AREA: 596 SF +/-
NO. OF THIS UNIT: 4



UNIT TYPE C2 - 1 Bed + Den
1/4" = 1'-0"

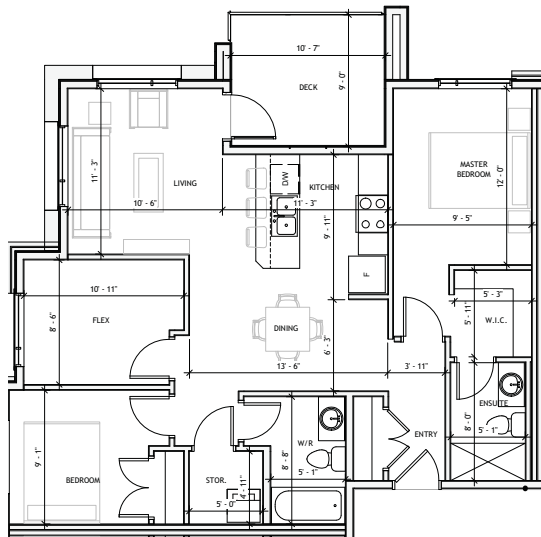
AREA: 668 SF +/-
NO. OF THIS UNIT: 4



UNIT TYPE D - 2 Bed (4 H/C Adaptable)

1/4" = 1'-0"

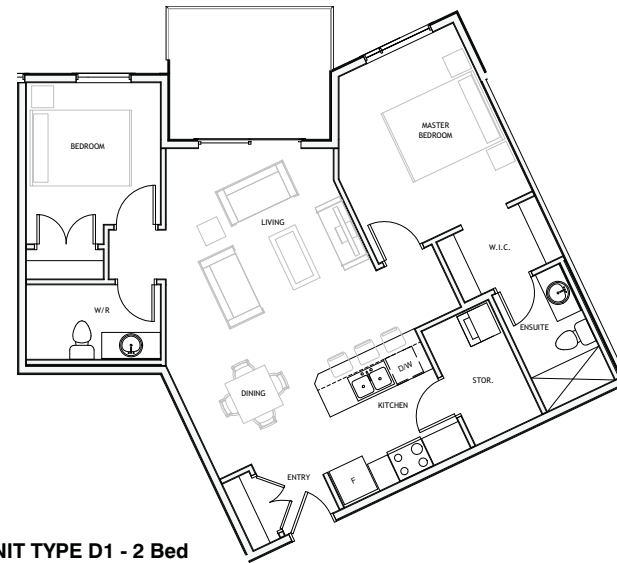
AREA: 825 SF +/-
NO. OF THIS UNIT: 20



UNIT TYPE E - 2 Bed + Den

1/4" = 1'-0"

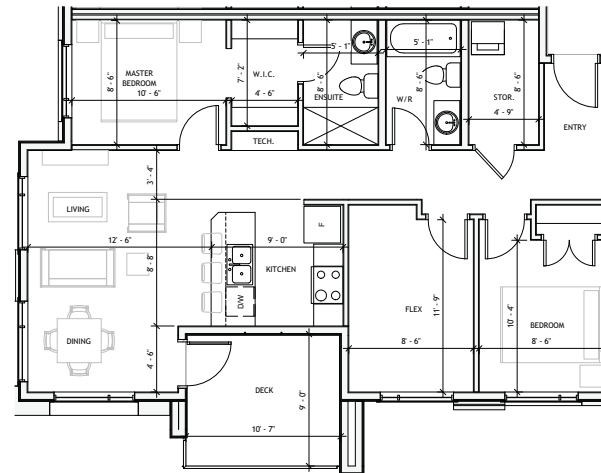
AREA: 973 SF +/-
NO. OF THIS UNIT: 8



UNIT TYPE D1 - 2 Bed

1/4" = 1'-0"

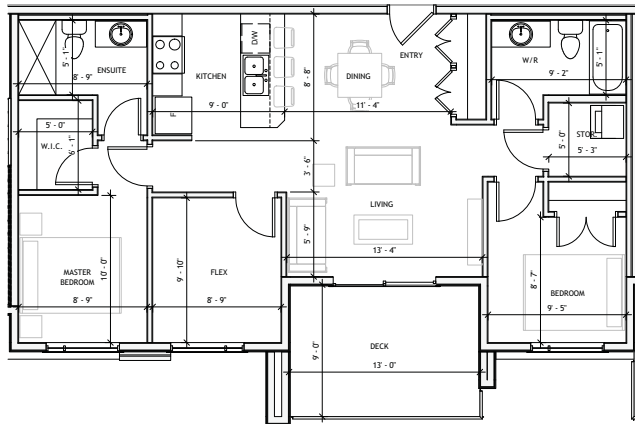
AREA: 922 SF +/-
NO. OF THIS UNIT: 1



UNIT TYPE E1 - 2 Bed + Den

1/4" = 1'-0"

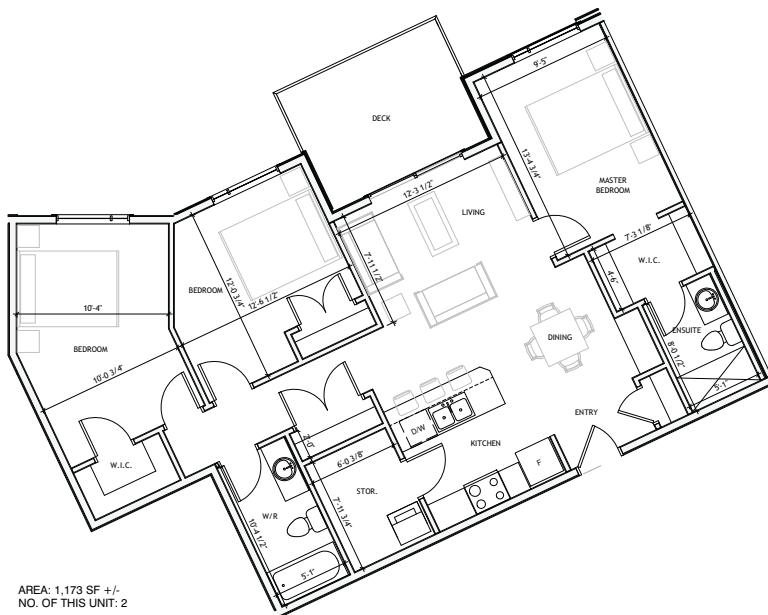
AREA: 978 SF +/-
NO. OF THIS UNIT: 8



UNIT TYPE E2 - 2 Bed + Den

1/4" = 1'-0"

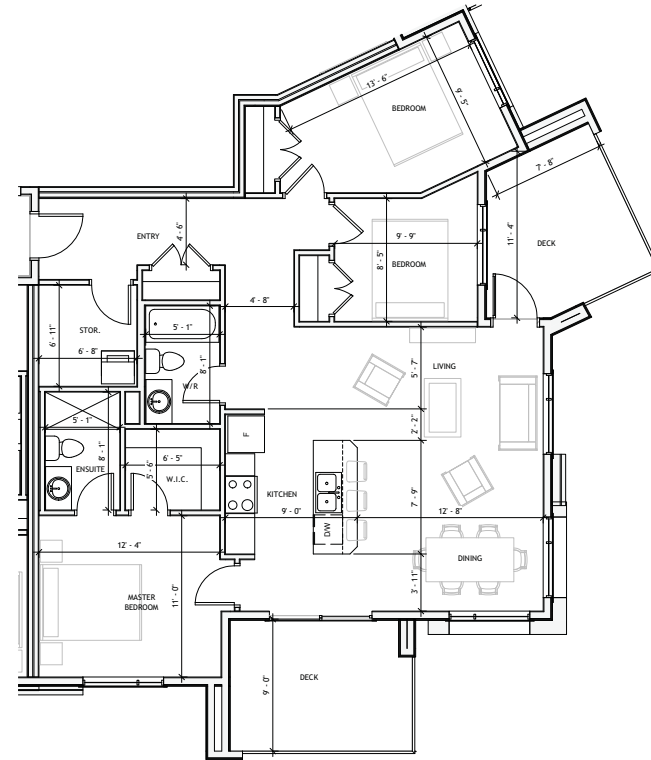
AREA: 940 SF +/-
NO. OF THIS UNIT: 8



AREA: 1,173 SF +/-
NO. OF THIS UNIT: 2

UNIT TYPE G - 3 Bed

1/4" = 1'-0"



UNIT TYPE F - 3 Bed

1/4" = 1'-0"

AREA: 1194 SF +/-
NO. OF THIS UNIT: 4



EXPLANATORY MEMO

ZONING BYLAW, 1996, No. 2100 AMENDMENT No. 136, 2017, No. 3019

PURPOSE:

To consider a rezoning application from RM1 –Multiple Residential Low Density Zone to RM-3 –Multiple Residential High Density Zone to accommodate a 4-Storey, 54 unit condominium development located at 19942 Brydon Crescent.

Background Information:

Applicant:	Points West Architecture
Owner:	Whitetail Homes (Yale Manor) Ltd.
Civic Address:	19942 Brydon Crescent
Legal Description:	Lots 9 and 10, Section 3, Township 8, New Westminster District Plan 14434
Site Area:	4,574 m ² (49,234 ft ²)
Lot Coverage:	26%
Floor Area Ratio:	1.03
Total Parking Required:	81 spaces (including 11 visitor spaces)
Total Parking Provided:	81 spaces (including 11 visitor spaces)
Existing Zoning:	RM1 Multiple Residential Low Density Zone
Proposed Zoning:	RM3 Multiple Residential High Density Zone
OCP Designation:	High Density Residential
Variances Requested:	None
Development Cost Charges:	\$501,861 (includes \$100,090.50 DCC Credit)
Community Amenity Charge:	\$54,000 (@\$1,000/unit)



**ZONING BYLAW, 1996, No. 2100
AMENDMENT No. 136**

BYLAW No. 3019

A Bylaw to amend City of Langley Zoning Bylaw, 1996, No. 2100 to rezone the properties located at 19942 Brydon Crescent to RM3 (Multiple Residential High Density) Zone.

WHEREAS the *Local Government Act* authorizes a local government to zone areas of a municipality and to make regulations pursuant to zoning;

NOW THEREFORE the Council of the City of Langley, in open meeting assembled, enacts as follows:

1. Title

This bylaw shall be cited as the “Zoning Bylaw 1996, No. 2100 Amendment No. 136, 2017, No. 3019.

2. Amendment

Bylaw No. 2100, cited as the “Zoning Bylaw, 1996, No. 2100 is hereby amended by changing the zone classification of:

3. Lot 9, Section 3, Township 8, New Westminster District Plan 14434 and

Lot 10, Section 3, Township 8, New Westminster District Plan 14434

from RM1 –Multiple Residential Low Density Zone to RM-3 – Multiple Residential High Density Zone in Schedule “A” – Official Zoning Map.

READ A FIRST AND SECOND TIME this twenty-fourth day of April, 2017.

A PUBLIC HEARING, pursuant to Section 464 of the “Local Government Act” was held this xxx day of xxx , 2017.

READ A THIRD TIME this xxx day of xxx , 2017.

FINALLY ADOPTED this xxx day of xxx , 2017.

MAYOR

DEPUTY CORPORATE OFFICER



REZONING APPLICATION RZ 04-17 DEVELOPMENT PERMIT APPLICATION DP 05-17

Civic Address: 19942 Brydon Crescent
Legal Description: Lots 9 & 10, Section 3, Township 8, New Westminster District, Plan 14434
Applicant: Points West Architecture
Owner: Whitetail Homes (Yale Manor) Ltd.





ADVISORY PLANNING COMMISSION REPORT

To: **Advisory Planning Commission**

Subject **Rezoning Application RZ 04-17/ Development
Permit Application DP 05-17, Points West
Architecture, 19942 Brydon Crescent**

From: Development Services & Economic Development
Department

File #: 6620.00

Doc #:

Date: March 31, 2017

COMMITTEE RECOMMENDATION:

That Rezoning Application RZ 04-17 and Development Permit Application DP 05-17 to accommodate 4-storey 54-unit condominium apartment development located at 19942 Brydon Crescent be approved subject to execution of a Development Servicing Agreement in compliance with the conditions outlined in the Director of Development Services & Economic Development's report.

PURPOSE OF REPORT:

To consider a Rezoning Application and Development Permit Application by Points West Architecture to accommodate a 4-storey 54-unit condominium apartment development.

POLICY:

The subject property is zoned RM1 Multiple Residential Low Density Zone in Zoning Bylaw No. 2100 and designated "High Density Residential" in the Official Community Plan. All lands designated Multiple Family Residential are subject to a Development Permit to address building form and character.



COMMENTS/ANALYSIS:

Background Information:

Applicant:	Points West Architecture
Owner:	Whitetail Homes (Yale Manor) Ltd.
Civic Address:	19942 Brydon Crescent
Legal Description:	Lots 9 and 10, Section 3, Township 8, New Westminster District Plan 14434
Site Area:	4,574 m ² (49,234 ft ²)
Lot Coverage:	26%
Floor Area Ratio:	1.03
Total Parking Required:	81 spaces (including 11 visitor spaces)
Total Parking Provided:	81 spaces (including 11 visitor spaces)
Existing Zoning:	RM1 Multiple Residential Low Density Zone
Proposed Zoning:	RM3 Multiple Residential High Density Zone
OCP Designation:	High Density Residential
Variances Requested:	None
Development Cost Charges:	\$501,861 (includes \$100,090.50 DCC Credit)
Community Amenity Charge:	\$54,000 (@\$1,000/unit)

Engineering Requirements:

Additional design changes may be required upon further investigation, site inspections and receipt of other supporting reports and documents. All work to be done to the City of Langley Specifications & MMCD Standards.

These requirements have been issued to reflect the application for rezoning and development for a proposed **Condominium Development at 19942 Brydon Crescent**, which may be subject to change upon receipt of development plans to the City.

The City's Zoning Bylaw, 1996, #2100 has requirements concerning landscaping for buffer zones, parking and loading areas, and garbage and recycling containers, all of which will apply to this development.

A) The developer is responsible for the following work which shall be designed by a Professional Engineer:

1. Implement erosion and sediment control measures designed and approved by a qualified professional in accordance with the City of Langley Watercourse Protection Bylaw #2518.



2. Conduct a water flow test and provide fire flow calculations by a Professional Engineer to determine if the existing water network is adequate for fire flows. Replacement of the existing watermain may be necessary to achieve the necessary pressure and flows to conform to Fire Underwriters Survey (FUS) "Water Supply for a Public Fire Protection, a Guide to Recommended Practice, 1995".
3. Additional C71P fire hydrants may be required to meet bylaw and firefighting requirements. Hydrant locations must be approved by the City of Langley Fire Department.
4. New water, sanitary and storm sewer service connections are required. The developer's engineer will determine the appropriate main tie in locations and size the connections for the necessary capacity. The capacity of the existing water and sewer mains must be assessed and any upgrades required to service the site shall be designed and installed at the Developer's expense. All existing services shall be capped at the main, at the Developer's expense, upon application for Demolition permit.
5. The Developer must replace the existing sanitary sewers through the site in statutory rights-of-way. The Developer may choose to relocate either sewer to better suit the development plans. Works to be designed by the Developer's engineer and approved by the City Engineer.
6. New driveway crossing, removal of existing driveway crossing, and street trees are required on Brydon Crescent.
7. The street lighting fronting the site shall be analyzed and, if necessary, upgraded to City of Langley Standards.
8. A stormwater management plan for the site is required. Rainwater management measures used on site shall limit the release rate to mitigate flooding and environmental impacts as detailed in the Subdivision and Development Bylaw.
9. The condition of the existing pavement on the Brydon Crescent frontage requires final overlay. This requirement will be fulfilled by a cash-in-lieu payment.
10. The selection, location and spacing of street trees and landscaping shall be in accordance with the City of Langley's Official Community Plan Bylaw, 2005, No. 2600 and Street Tree Program, November, 1999 manual.

B) The developer is required to deposit the following bonding and connection fees:

1. The City requires a Security Deposit based on the estimated construction costs of installing civil works, as approved by the Director of Engineering, Parks and Environment.
2. The City would require inspection and administration fees in accordance to the Subdivision Bylaw based on a percentage of the estimated construction costs. (See Schedule A – General Requirement - GR5.1 for details).



3. A deposit for a storm, sanitary and water connection is required, which will be determined after detailed civil engineering drawings are submitted, sealed by a Professional Engineer.
4. The City would require a \$20,000 bond for the installation of a water meter to current standards.

C) The developer is required to adhere to the following conditions:

1. Building and site plans must adhere to the setbacks as determined by a Qualified Environmental Professional and approved by the Ministry through the RAR process.
2. Undergrounding of the existing overhead hydro and Telephone poles along the Brydon Crescent frontage is required.
3. Undergrounding of hydro, telephone and cable services to the development site are required.
4. All survey costs and registration of documents with the Land Titles Office are the responsibility of the developer/owner.
5. A water meter is required to be installed outside in a vault away from any structures in accordance to the City's water meter specifications at the developer's cost. A double detector check valve assembly is required to be installed outside away from any structure in a vault as per the City's specifications.
6. A "Stormceptor" or equivalent oil separator is required to treat parkade drainage.
7. A complete set of "as-built" drawings sealed by a Professional Engineer shall be submitted to the City after completion of the works. Digital drawing files in .pdf and .dwg format shall also be submitted.
8. The selection, location and spacing of street trees and landscaping shall be in accordance with the City of Langley's Official Community Plan Bylaw, 2005, No. 2600 and Street Tree Program, November, 1999 manual.
9. Stormwater run-off generated on the site shall not impact adjacent properties, or roadways.
10. Garbage and recycling enclosures shall be designed to meet Metro Vancouver's "Multi-Family and Commercial Building Recycling Space Requirements- for Municipalities".

Discussion:

The applicant is proposing to develop an attractive 4-storey 54-unit, condominium apartment development on a site currently occupied by six older townhouse units, with frontage on Brydon Crescent.

The proposed four-story apartment unit sizes range from 450 ft² to 1,104 ft² and offer both one-bedroom and two-bedroom suites. The articulation along the façade



using different textures and exterior finishes on all four sides of the development further enhance the overall development. Vehicular access is provided from the front of the site to a secured underground parkade, accommodating both visitor parking and tenant parking requirements with separate security gates.

Exterior finishes are of high quality and require low maintenance. They include cultured stone columns, asphalt shingles, vinyl shakes in the vaulted gables, black metal railings, a mix of horizontal and vertical siding, and heavy timber brackets. is intended to bring a fresh new and exciting urban appeal to this area in transition.

Planting and landscape features incorporated CPTED principles, featuring low decorative fencing along the street level softening the hard streetscape and pedestrian walkways throughout the entire development.

The proposed development generally complies with the Multifamily Residential Development Permit Area Guidelines for townhouse developments.

Fire Department Comments:

Langley City Fire-Rescue Service has reviewed the attached plans and provided preliminary comments to the applicant. The department will review, and make further comment, as the project continues to the building permit design stage.

Advisory Planning Commission:

In accordance with Development Application Procedures Bylaw No. 2488, the subject applications will be reviewed by the Advisory Planning Commission at the April 12, 2017 meeting. A copy of the APC minutes will be presented to Langley City Council at the April 24, 2017 Regular Council meeting.

BUDGET IMPLICATIONS:

In accordance with Bylaw No. 2482, the proposed development would contribute \$501,861.00 to Development Cost Charge accounts and \$54,000 in Community Amenity Charges.

ALTERNATIVES:

1. Require changes to the applicant's proposal.
2. Deny application.



To: Mayor Schaffer and Councillors

Date: March 31, 2017

Subject: Rezoning Application RZ 04-17/ Development Permit Application DP 05-17, Points West
Architecture, 19942 Brydon Crescent

Page 6

Prepared by:



Gerald Minchuk, MCIP

Director of Development Services & Economic Development

attachments





**MINUTES OF THE
ADVISORY PLANNING COMMISSION MEETING**

**HELD IN LANGLEY CITY HALL
CKF COMMUNITY BOARDROOM**

**WEDNESDAY, APRIL 12, 2017
7:00 PM**

Present: Councillor Jack Arnold, Chairman
Councillor Paul Albrecht, Vice-Chairman
John Beimers
Trish Buhler
Shelley Coburn, School District No. 35
Esther Lindberg
Dan Millsip
George Roman
Jamie Schreder

Staff: Gerald Minchuk, Director of Development Services & Economic
Development

Absent: Hana Hutchinson
Corp. Steve McKeddie, Langley RCMP

1) RECEIPT OF MINUTES

MOVED BY Commission Member Buhler
SECONDED BY Commission Member Millsip

THAT the minutes for the March 8, 2017 Advisory Planning Commission
meeting be received as circulated.

CARRIED

2) REZONING APPLICATION RZ 04-17/DEVELOPMENT PERMIT APPLICATION DP 05-17 -19942 BRYDON CRESCENT

The Director Development Services & Economic Development provided a brief overview of the planning context for the proposed application and introduced Wes Friesen, Project Architect, Points West Architecture. Mr. Friesen presented the proposed rezoning and development permit applications. Following discussion regarding density, building form and character, landscaping, CPTED, engineering servicing requirements it was:

MOVED BY Commission Member Lindberg
SECONDED BY Commission Member Schreder

That Rezoning Application RZ 04-17/Development Permit Application DP 05-17 to accommodate a 4-storey, 54-unit condominium development located at 19942 Brydon Crescent be approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report be approved.

CARRIED

3) DEVELOPMENT PERMIT APPLICATION DP 07-16 – 20566 GRADE CRESCENT and 20551 -46A AVENUE-COASTLAND ENGINEERING & SURVEYING LTD.

The Director Development Services & Economic Development provided a brief overview of the planning context for the proposed 5-lot subdivision located within the Estate Residential Development Permit Area and introduced Mike Helle, Coastland Engineering & Surveying Ltd. Mr. Helle presented the proposed 5-lot subdivision. Following extensive discussion regarding the site plan, tree removal and replacement, and proposed house plans, it was:

MOVED BY Commission Member Biemers
SECONDED BY Commission Member Millsip

That Development Permit Application DP 07-16 to accommodate a 5-lot subdivision located at 20566 Grade Crescent and 20551-46A Avenue be approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report.

CARRIED

4) **NEXT MEETING**

Wednesday, June 14, 2017 (Tentative)

5) **ADJOURNMENT**

MOVED BY Commission Member Coburn
SECONDED BY Commission Member Roman

THAT the meeting adjourn at 8:30 P.M.

CARRIED



ADVISORY PLANNING COMMISSION CHAIRMAN



DIRECTOR OF DEVELOPMENT SERVICES & ECONOMIC DEVELOPMENT

Certified Correct



PUBLIC INFORMATION MEETING – March 31, 2017

Public Information meeting for proposed strata condo development located at:

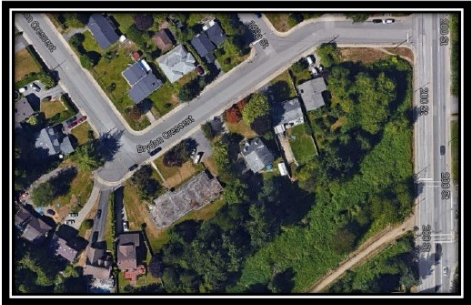
19942 Brydon Cres, Langley, BC (see map below)

Dear Neighbour,

You are invited to attend a public information meeting to review and discuss the proposed development at 19942 Brydon Crescent, Langley BC. The intent of this Public Information Meeting is to seek input from the area residents on the proposed development and address any questions that may arise.

The proposal includes the following components:

- Rezoning from RM1 to RM3 zone
- 54 strata titled condo units ranging from 450 sq. ft. to 1,104 sq. ft.
- City of Langley Official Community Plan Designation: High density 80 UPA (allowable density: 80 units per acre)



The meeting will be held at:

Multi-purpose room # 2

– Timms Community Center

20399 Douglas Crescent

Date: Friday, March 31, 2017

Time: 7:00 pm – 8:30 pm

Additional details pertaining to the proposed development will be given at the Public Information meeting. The project consultant will be in attendance as well to answer any questions you may have prior to proceeding to Council for further consideration.

*****PLEASE NOTE THIS IS NOT A PUBLIC HEARING NOTICE*****

Please join us as your thoughts are important to us.

Sincerely,

White Tail Homes Ltd.

BRYDON CRESCENT MULTIPLE FAMILY PROJECT

CPTED REVIEW REPORT

WHITETAIL HOMES LTD.



LIAHONA SECURITY CONSORTIUM INC.

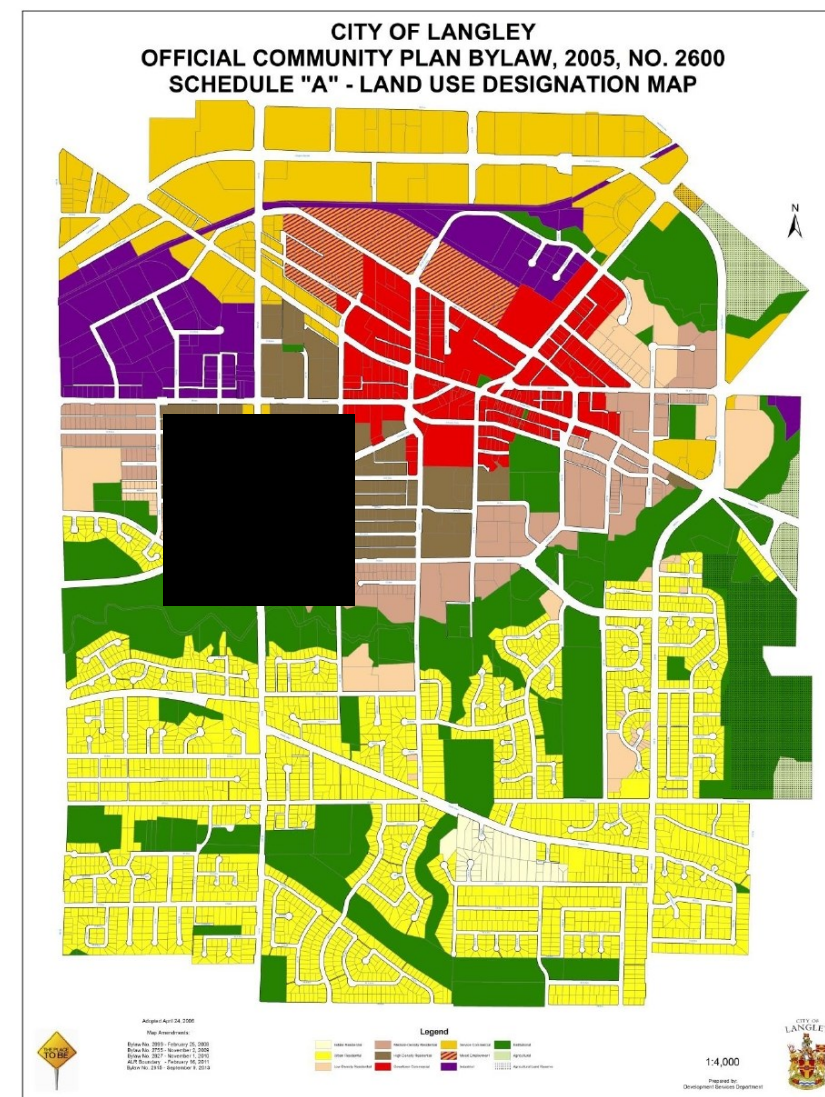


P.O. Box 88
Mill Bay, BC. V0R 2P0
Phone: (250) 743-8948
Fax: (250) 743-8941
E-mail: liahonasecurity@shaw.ca
Web: www.liahonasecurity.com

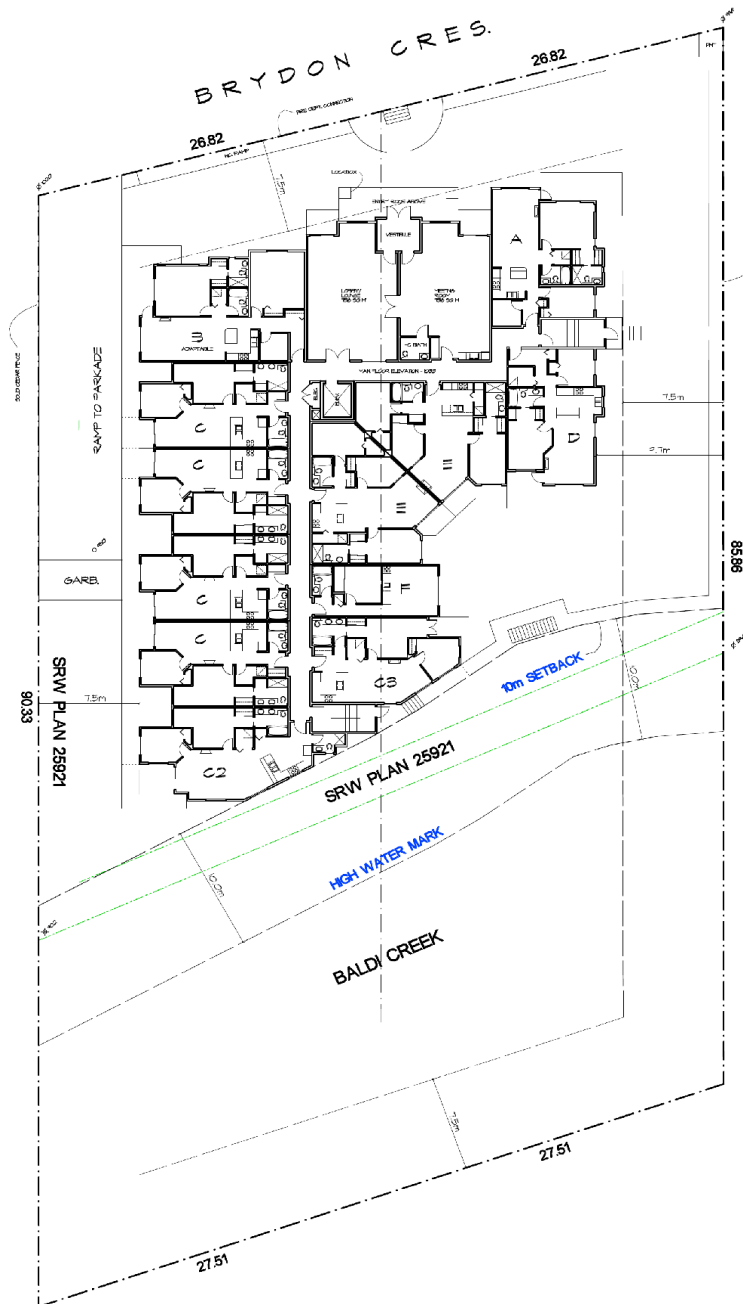
Report Date: 19/Feb/2017



OFFICIAL COMMUNITY PLAN BYLAW, 2005, NO. 2600





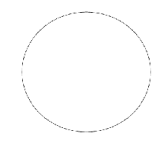


SITE RECONCILIATION

LOT AREA	- 49,284 SQ FT (1.13 ACRES)
PROPOSED ZONE	- R-V 3
DENSITY	- 54 UNITS PROPOSED (90 UNITS ALLOWABLE)
BUILDING HEIGHT	- 4 STOREYS
LOT COVERAGE	- 26 % PROPOSED (40% ALLOWABLE)
FLOOR AREA RATIO	- .08
SETBACKS	- 15m REQUIRED
AVENUE SPACE	- 54' X 23' = 242 SQ M REQUIRED (472 SQ M PROVIDED)
PARKING	- 4 ONE BED X 2 + 50 TWO BED X 3 = 610 STALLS REQUIRED - 54 UNITS X 0.2 = 108 VISITOR STALLS REQUIRED - 21 TOTAL STALLS PROVIDED - 21 TOTAL STALLS X 5 % = 4 H/C STALLS REQUIRED
ADAPTABLE UNITS	- 4 UNITS PROVIDED (7%)
EV PARKING	- 2 STALLS PROVIDED



SITE PLAN
SCALE = 1/8" = 1'-0"



APR 10, 2017 ISSUED FOR DEVELOPMENT PERMIT
MARCH 22, 2017 - REVISED FOR DEVELOPMENT PERMIT
COMMISSION

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V2S 2S2

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E-MAIL: pw@pointswest.ca

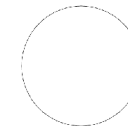
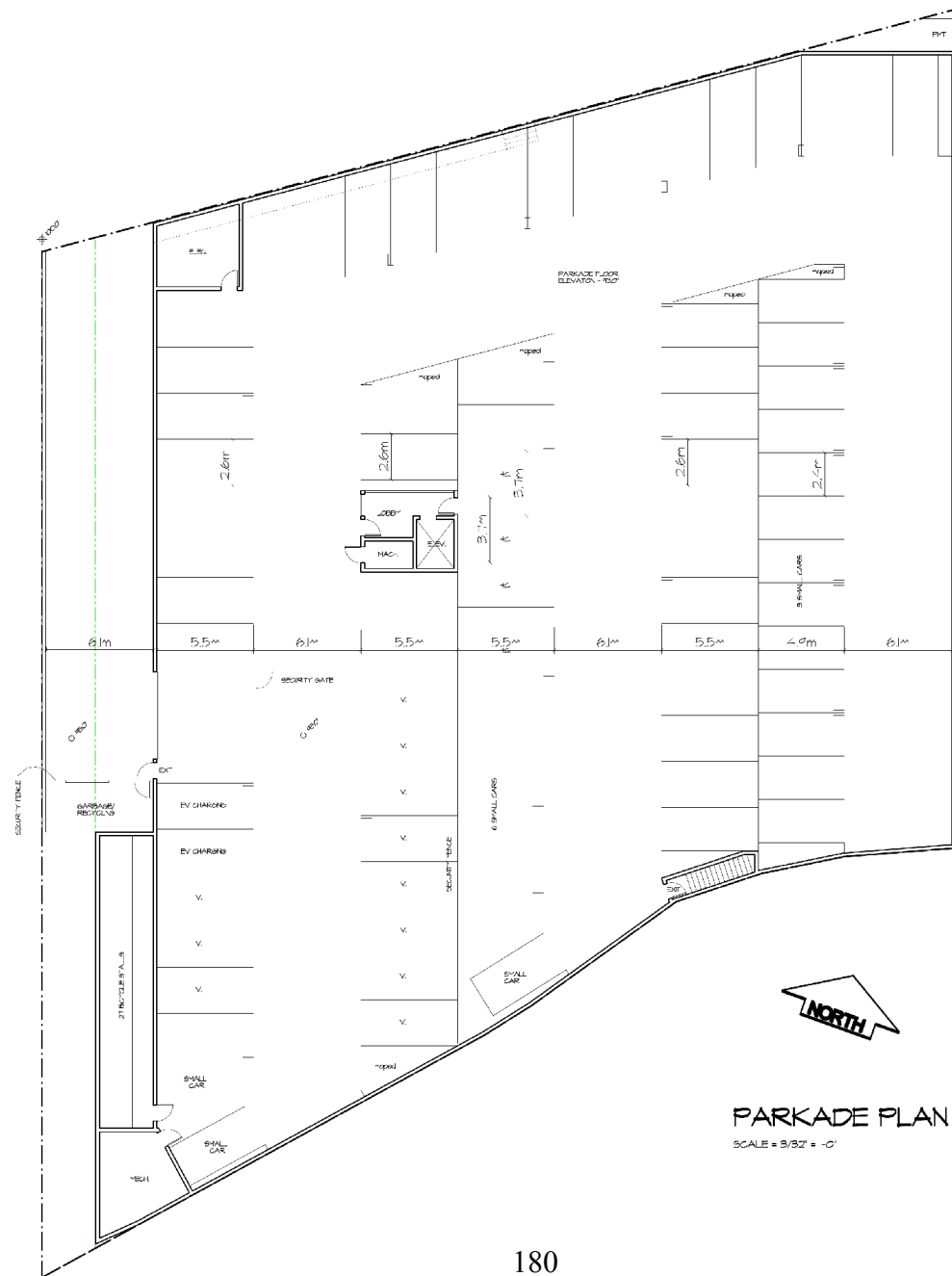
PROJECT:
54 UNIT APARTMENT

25921 BRYDON CRES.
ABBOTSFORD, BC

DATE	NOV 22, 2016
SCALE	1/8" = 1'-0"
DRAWN BY	WIT

DRAWING TITLE:
PRELIMINARY SITE PLAN

JOB NO.:	SHEET NO.:
1611	P-1

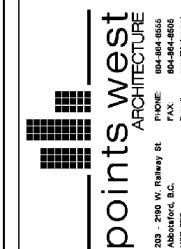


APR 10, 2017 - REVISED FOR DEVELOPMENT TIME
MARCH 22, 2017 - PREPARED FOR "SPECIAL OPS" FBI

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TRC :
**54 UNIT
APARTMENT**

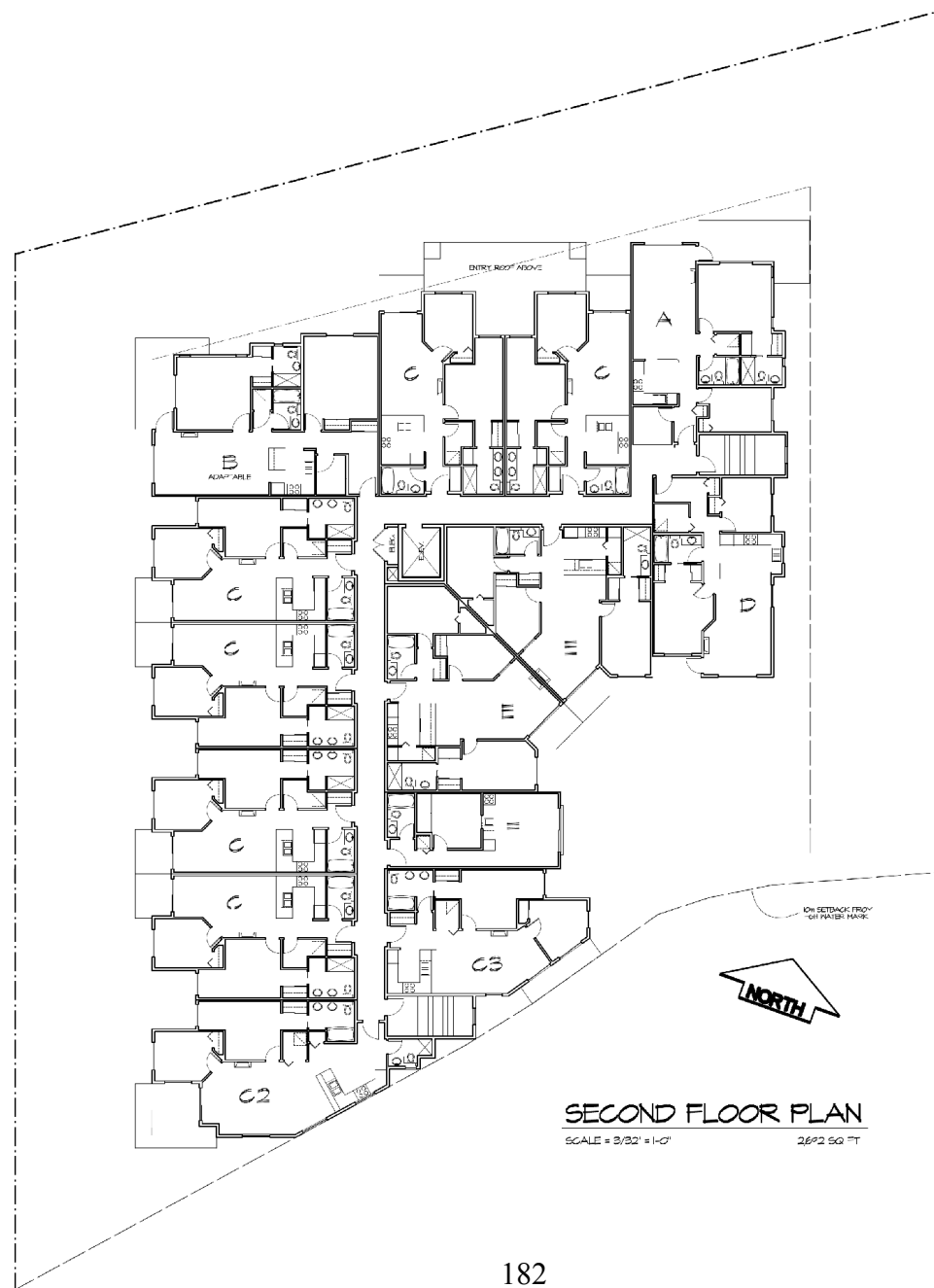
1942 BRIDON CRTS
ANDREW BC

DAT :	NOV 22 236
SCALE :	332 = 1-C
DRAWN :	WT

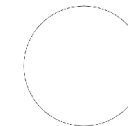
DRAWING TITLES
**PRELIMINARY
PARKADE PLAN**

161

SIT NO:
P-2



SECOND FLOOR PLAN
SCALE = 3/32" = 1'-0" 2692 SQ. FT.



APR 10, 2017 - REVIEW FOR DEVELOPMENT PERMIT.
MARCH 22, 2017 - REVIEW FOR DEVELOPMENT PERMIT.

COMMENTS:

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209 - 2105 W. Railway St.
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PHONE: 804-804-8808
FAX: 804-804-8808
Email: pw@pwest.net

PROJECT:
54 UNIT APARTMENT

2102 BRIDGEMORE ST.
VANCOUVER, BC

DATE: 04.10.2017

SCALE: 3/32" = 1'-0"

DRAWN BY: VWF

DRAWING TITLE:

PRELIMINARY

SECOND

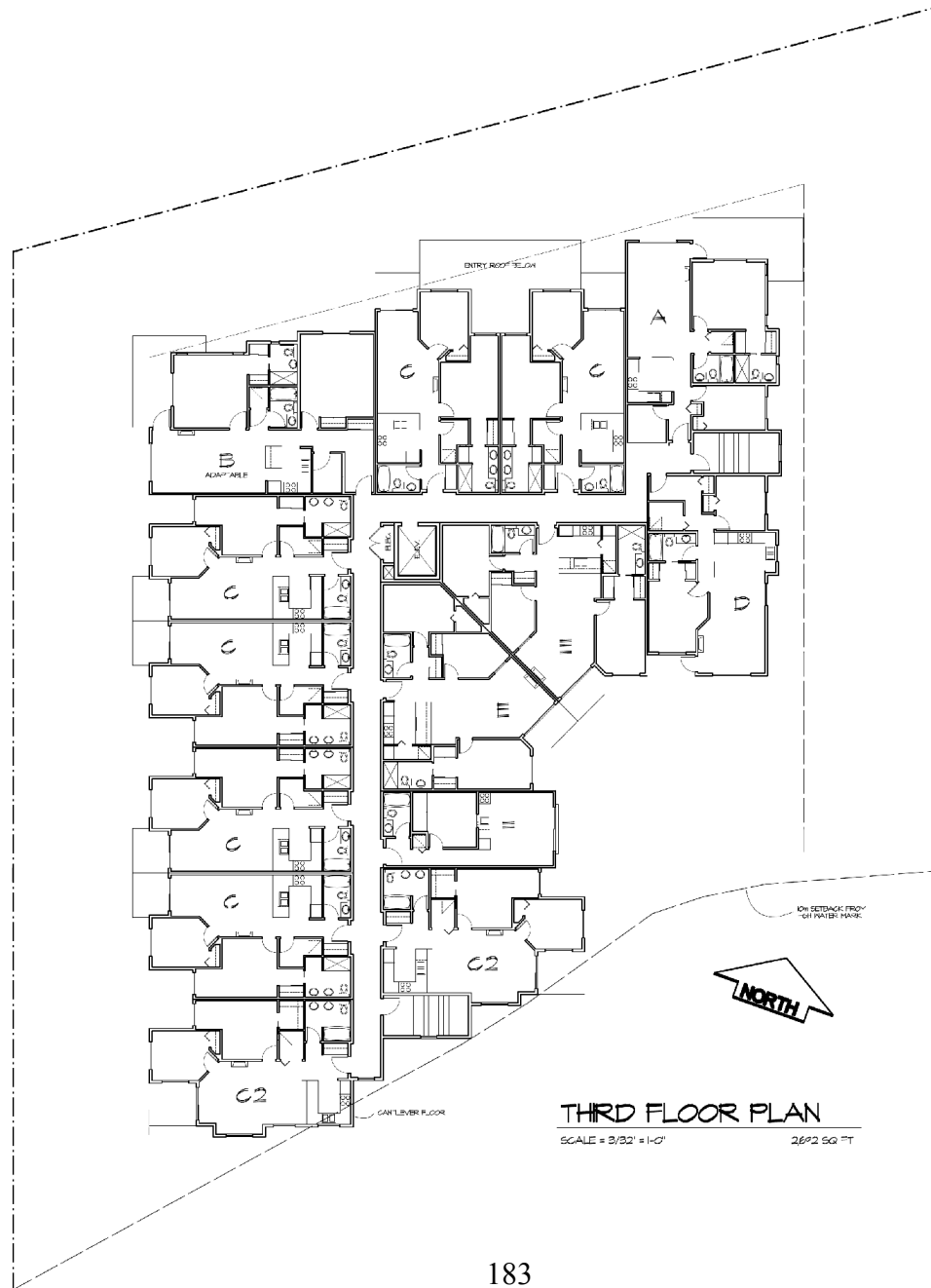
FLOOR PLAN

JOB NO.:

1611

SHEET NO.:

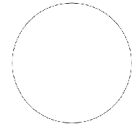
P-4



THIRD FLOOR PLAN

SCALE = 3/32" = 1'-0"

26/92 50 FT



MARCH 22, 2017 - REVISED FOR DEVELOPER - FINAL

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E-mail: pwa@pwa.net

PROJECT:
**54 UNIT
APARTMENT**

TRAC REGION OF
BRITISH COLUMBIA

SHEET	001 OF 203
SCALE	3/32" = 1'-0"
DRAWN BY	WFE

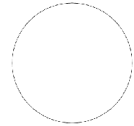
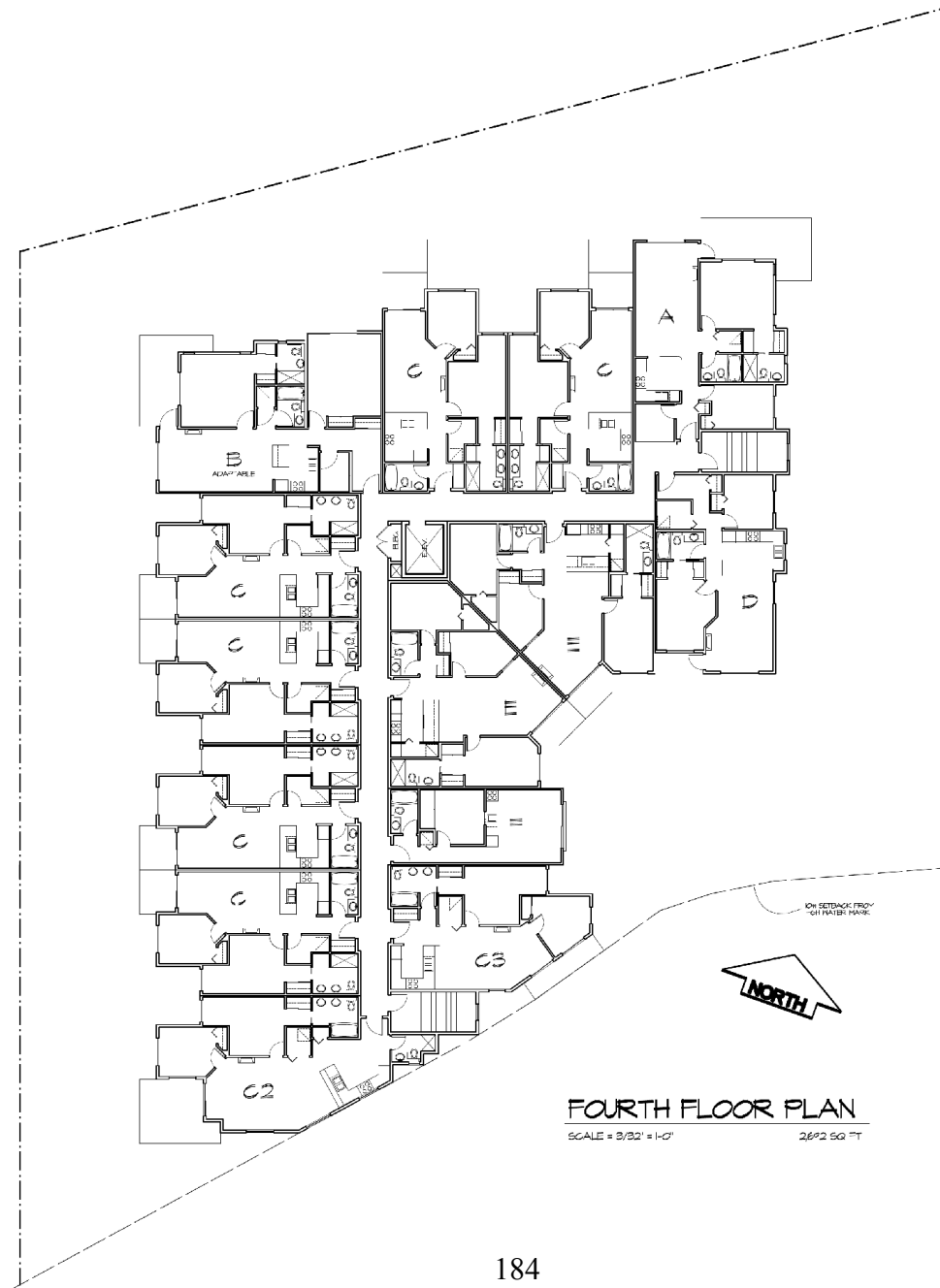
DRAWING TITLE:
**PRELIMINARY
THIRD
FLOOR PLAN**

JOB NO.:

1611

SHEET NO.:

P-5



APR 10 2017 - REVISION FOR DEVELOPMENT PERMIT
MARCH 22 2017 - REVISION FOR DEVELOPMENT PERMIT

REVISIONS:

54 UNIT APARTMENT
ARCHITECTURAL AND MECHANICAL
AND ELECTRICAL REVISIONS
AND MECHANICAL REVISIONS
AND MECHANICAL REVISIONS

CONSULTANT:

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Tomball, TX 77375
PHONE: 281-884-8888
FAX: 281-884-8889
EMAIL: info@pointswest.com

PROJECT:
54 UNIT APARTMENT

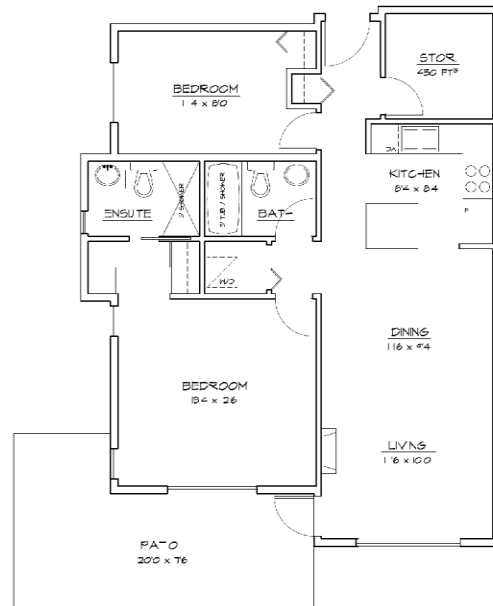
DESIGNER:
JANICE B.

DATE: 04/10/17
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DRAWN: JTB

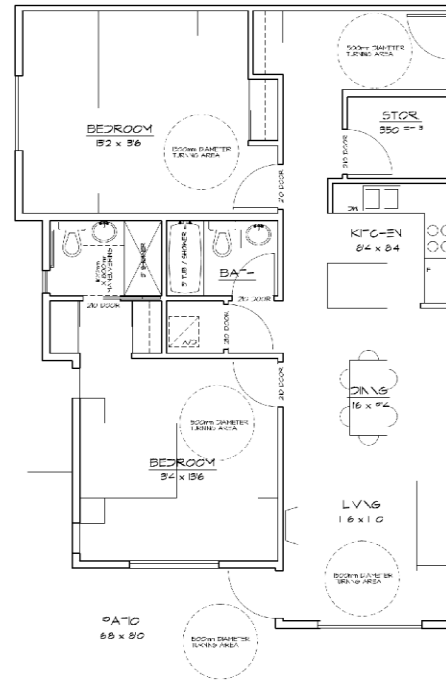
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**PRELIMINARY
FOURTH
FLOOR PLAN**

LOT NO.:
1611

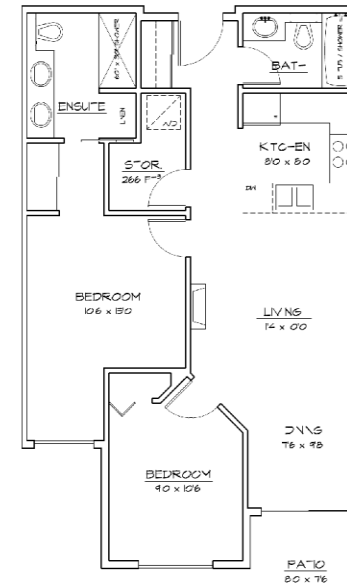
SHEET NO.:
P-6



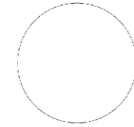
'A' UNIT PLAN 880 SQ FT
SCALE = 1/4" = 1'-0"



'B' UNIT PLAN 645 SQ FT
SCALE = 1/4" = 1'-0" ADAPTABLE UNIT



'C' UNIT PLAN 720 SQ FT
SCALE = 1/4" = 1'-0"



APRIL 12, 2017 - REFER FOR DEVELOPMENT PLAN
MAY 12, 2017 - REFER FOR DEVELOPMENT PLAN
CONSIDERS

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E-mail: pw@pwest.net

PROJECT:
54 UNIT APARTMENT

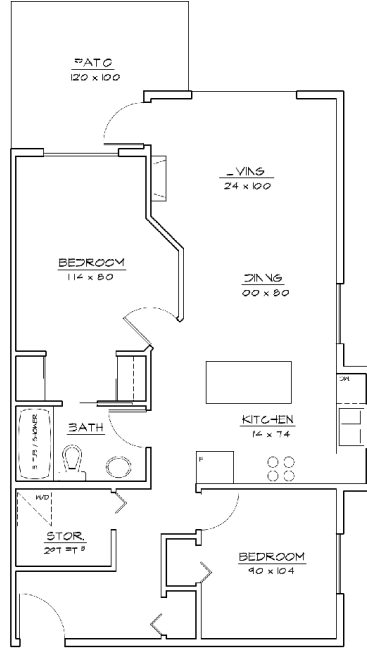
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DRAWN BY:	WJ

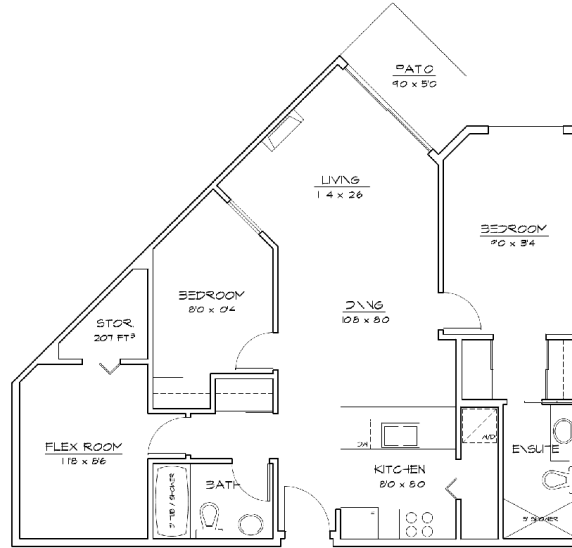
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PRELIMINARY SUITE PLANS

JOB NO.:
1611

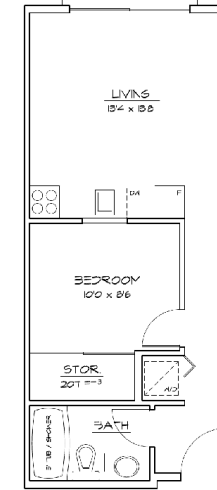
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P-7



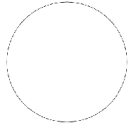
'D' UNIT PLAN 800 SQ FT
SCALE = 1/4" = 1'-0"



'E' UNIT PLAN 680 SQ FT
SCALE = 1/4" = 1'-0"



'F' UNIT PLAN 450 SQ FT
SCALE = 1/4" = 1'-0"



APR 10 2017 REVISED FOR PRELIMINARY PLAN
MAY 22 2017 REVISED FOR PRELIMINARY PLAN

REVISIONS:

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ARCHITECTURE

300 W. Railway St.
Atlanta, GA 30303
Phone: 404.525.1111
Fax: 404.525.1112
Email: info@pointswest.net

PROJECT:
54 UNIT APARTMENT

PROJECTION OFFICE
AND/OR:

DATE:	NOV 30 2016
SCALE:	1/4" = 1'-0"
DRAWN:	WJ

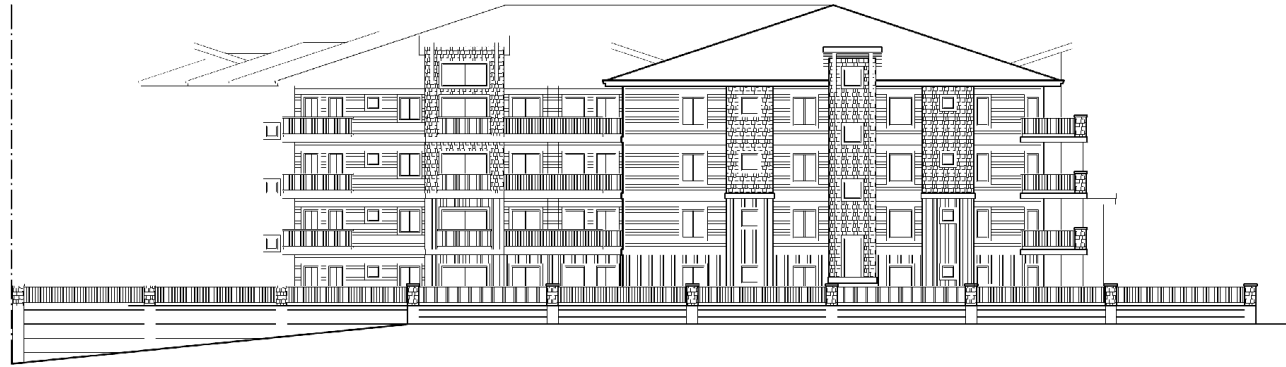
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PRELIMINARY SUITE PLANS

JOB NO.:

1611

SUIT NO.:

P-8



EAST ELEVATION

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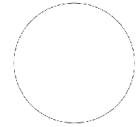


NORTH ELEVATION

SCALE = 3/32" = 1'-0"

EXTERIOR FINISHES :

- ① - ASPHALT SHINGLE ROOF (40 YR. WARRANTY)
- ② - PREFINISHED ALUMINUM TARGA GUTTERS
- ③ - HORIZONTAL VINYL SIDING (2ND-4TH FLOOR)
- ④ - 2ND LOGG MOBAND
- ⑤ - VINYL SHAKE ACCENTS (2ND-4TH FLOOR)
- ⑥ - VERTICAL SIDING (1ST FLOOR)
- ⑦ - VINYL TRIM AND CORNERS
- ⑧ - LEDGESTONE COLUMNS
- ⑨ - PREFINISHED ALUMINUM PICKET RAILS



APRIL 12, 2017 - REBID FOR DEVELOPMENT PERMIT
REVISED 22.20.17 - REBID FOR DEVELOPMENT PERMIT

CONSONS.

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CONSULTANT:

points west
ARCHITECTURE
325 - 325 W. Railway St.
Albany, N.Y. 12205
PHONE: 518.486.4800
FAX: 518.486.4800
E-MAIL: pwa@pointswest.net

PROJECT:
54 UNIT APARTMENT

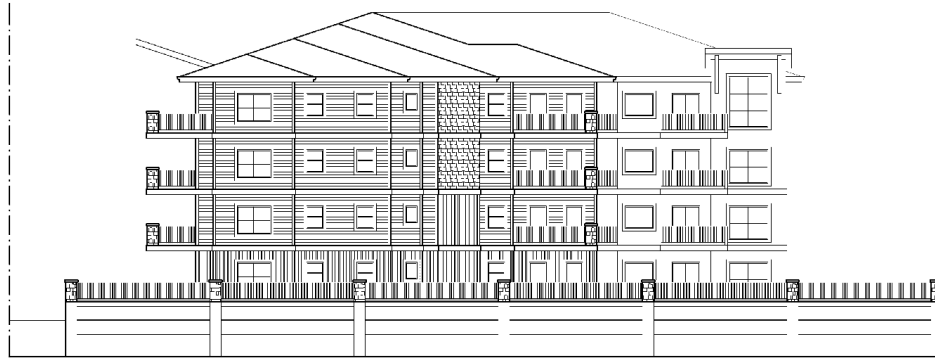
PROJECT LOCATION:
ALBANY, N.Y.

DATE:	04.12.2017
SCALE:	3/32" = 1'-0"
DRAWN BY:	WJF

DRAWING TITLE:
PRELIMINARY NORTH & EAST ELEVATIONS

JOB NO.:
1611

SHEET NO.:
P-9

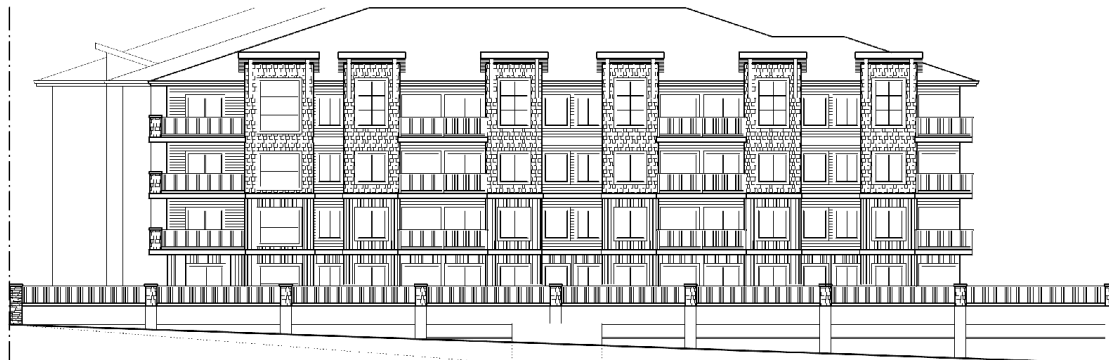


SOUTH ELEVATION

SCALE = 3/32" = 1'-0"

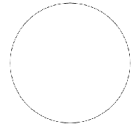
EXTERIOR FINISHES :

- (1) - ASPHALT SHINGLE ROOF (40 YR. WARRANTY)
- (2) - PREFINISHED ALUMINUM FASCIA GUTTERS
- (3) - HORIZONTAL VINYL SIDING (2ND-4TH FLOOR)
- (4) - 2X6 WOOD SIDING
- (5) - VINYL SHAKE ACCENTS (2ND-4TH FLOOR)
- (6) - VERTICAL SIDING (1st FLOOR)
- (7) - VINYL FRAME WINDOWS
- (8) - LESTONITE COLUMNS
- (9) - PREFINISHED ALUMINUM PICKET RAILING



WEST ELEVATION

SCALE = 3/32" = 1'-0"



APRIL 12, 2007 - REVISION FOR DEVELOPMENT PERMIT
MARCH 22, 2007 - REVISION FOR DEVELOPMENT PERMIT

REVISIONS

THIS DRAWING IS THE PROPERTY OF POINTS WEST ARCHITECTURE AND MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT PERMISSION.

CONSULTANT

points west
ARCHITECTURE

PHONE: 804-804-8855
FAX: 804-804-8808
E-mail: pw@pointswest.net

208 - 218 W. Railway St.
Abbotsford, B.C.
V2S 2Z2

PROJECT :
54 UNIT APARTMENT

PROJECT LOCATION
ABBOTSFORD, B.C.

DATE: DEC. 8, 2005
SCALE: 3/32" = 1'-0"
DRAWN BY: WIT

DRAWING TITLE :
PRELIMINARY SOUTH & WEST ELEVATIONS

OR NO. :
1611

SHEET NO. :
P-10



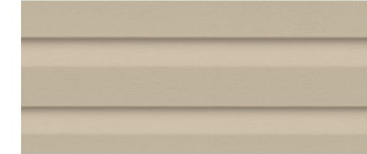
Asphalt Shingles
'Cambridge' by IKO
Colour - Weatherwood



Fascia & Window Trim
'Hardie Trim' by Gentek
Colour - Arctic White



Accent Shakes
by Gentek
Colour - Storm - 631



Vertical Vinyl siding
'Concord' by Gentek
Col: Monterey Sand -673



Horizontal Vinyl Siding
'Concord' by Gentek
Colour - Linen - 012



Columns and Gable Braces
Semi Transparent Stain by
Benjamin Moore



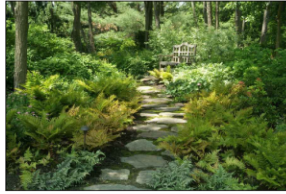
Stone Accent & Columns
'Custom Fit Ledgestone' by Rocky
Mountain Stoneworks



Aluminum Railings
'Prefinished Aluminum' by
Duracoat Colour - Black

Brydon Crescent

**Exterior Materials
Colour Selection**



NATURE WALK SHADE GARDEN



KEEPING SERBIAN SPRUCE



STYRAX JAPONICA TREE

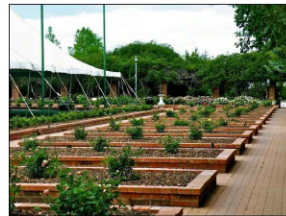


TUNNEL

TEETER-TOTTOR



LOW RAISED MOUNDS



RAISED VEGGIE PLOTS

PRIMARY ENTRY:
SYMMETRICAL LANDSCAPE
SEQUENCE WITH TREES AND
PATHWAYS)

NATURE WALK SHADE GARDEN

CONCRETE RETAINING WALL
(POURED IN PLACE)

PRIVATE PATIO 12' X 17'

5'-0" HIGH WOODEN FENCE:
SEE DETAIL ON L-5

4'-0" WIDE CONCRETE
PATHWAY

D RIP STRIP

RAMP TO PARKADE

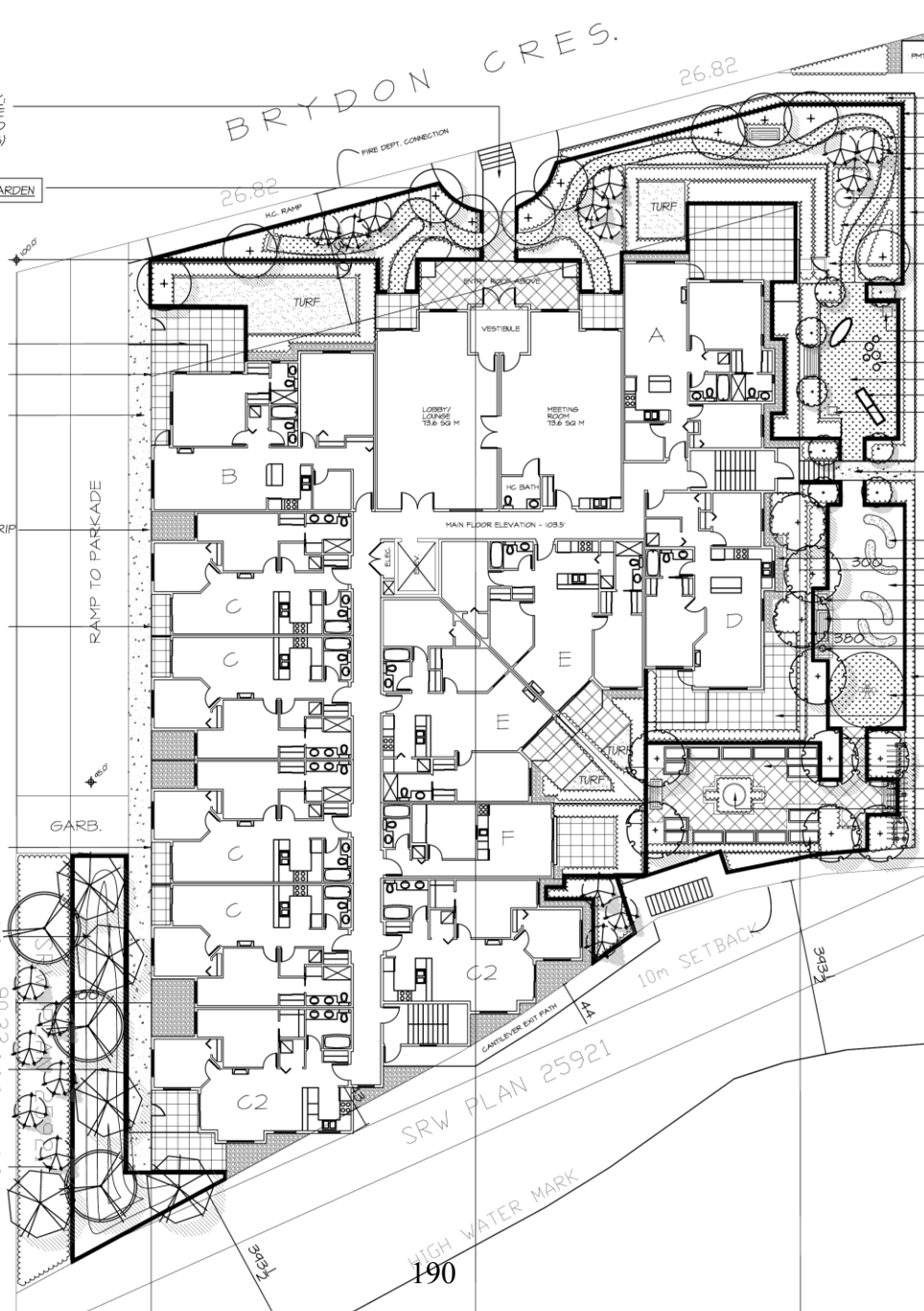
GARB.

5'-0" HIGH WOODEN FENCE:
SEE DETAIL ON L-5

DROUGHT TOLERANT
GRASSES AND ROSES

MOUND SOIL UP BY 36"
INSIDE THE RETAINING
WALL AREA

DROUGHT TOLERANT
GRASSES AND ROSES



NATURE WALK SHADE GARDEN

EVERGREEN SCREENING
POURED IN PLACE CONCRETE
RETRAINING WALL
WOOD MULCH PATH
KEEPING SERBIAN SPRUCE
CONCRETE POURED IN
PLACE RETAINING WALL
SHALLOW WATER BOWL
EVERGREEN SCREENING
INDIGENOUS SHADE
TOLERANT PLANTINGS

5'-0" WOODEN PRIVACY FENCE WITH
MAINTENANCE GATE

DOG PARK

TRASH RECEPTACLE
TUNNEL

DOG STEPS
WOOD MULCH
TEETER-TOTTOR
WATER SOURCE (FAUCET)

EAST ENTRY: BROOM
FINISHED CONCRETE

TODDLER AMENITY

LOW RAISED MOUNDS
D RIP STRIP
SOD LAWN SURROUND
TRASH RECEPTACLE
SITTING BENCH
6'-0" WOODEN PRIVACY FENCE
BOLLARD LIGHT

EVERGREEN PLANT SCREENING
CRAZY DAISY PLAY TOY
LARGE PRIVATE PATIO (8'X24')
P&P CONCRETE RETAINING WALL

COMMON AMENITY

WOODEN TRELLIS & BENCH
WATER BOWL SURROUNDED
BY PERENNIALS
(BIRD FRIENDLY)
RAISED VEGGIE PLOTS



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NO.	DATE	REVISION DESCRIPTION	DR.
1	JAN 24 2017	4'-0" WIDE WALKWAY (P&P)	TK
2	JAN 25 2017	CONCEPT SITE PLAN	TK
3	JAN 26 2017	CREATING LANDSCAPE FOLDER	BN

SEAL:

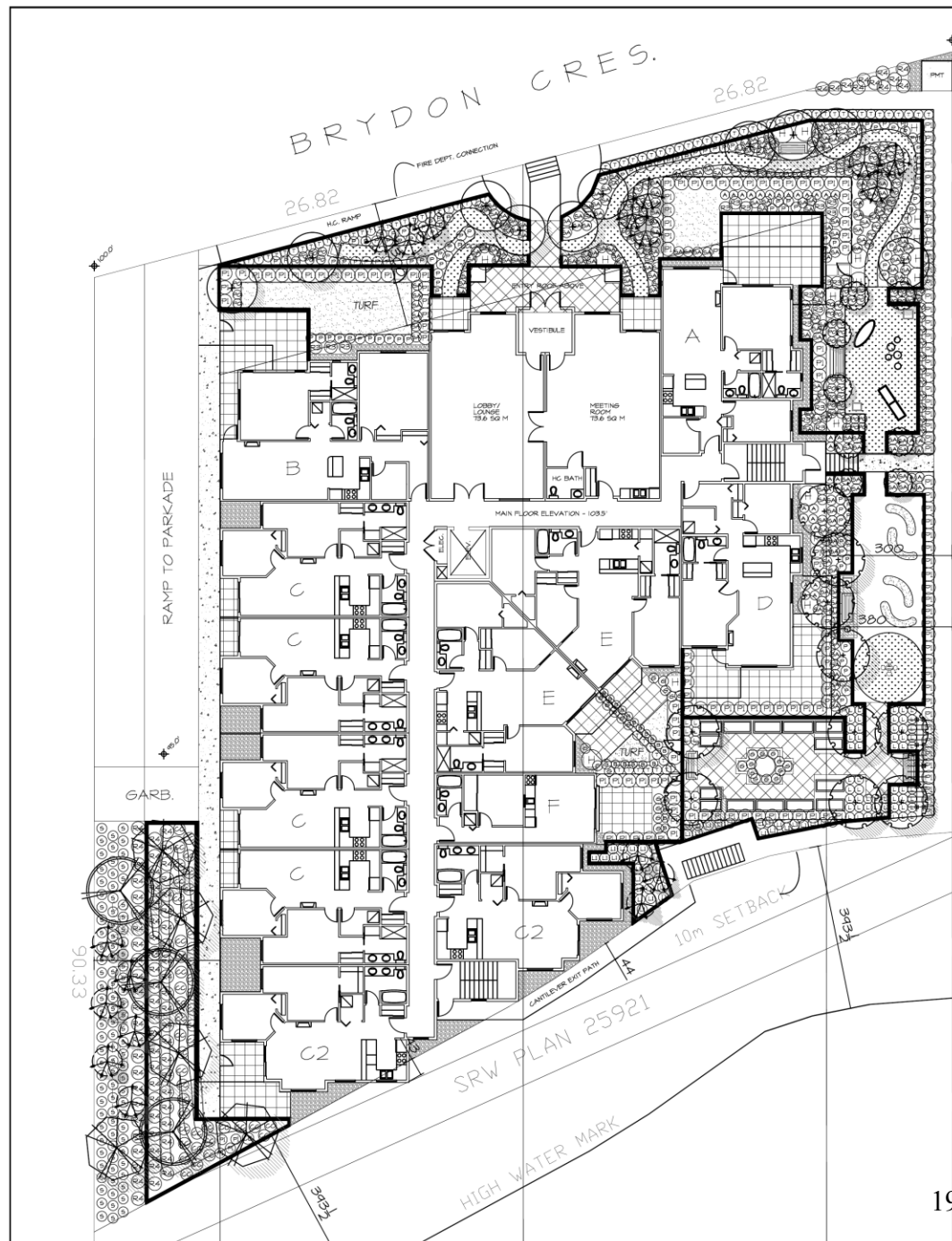
PROJECT:
54 UNITS RESIDENTIAL
DEVELOPMENT
19942 BRYDON CRES.
LANGLEY, BC

DRAWING TITLE:
**SITE
PLAN**

DATE:	17 JAN 18	DRAWING NUMBER:	L1
SCALE:	3/32" = 1'-0"		
DRAWN:	TK		
DESIGN:	TK		
CHK'D:	MTM		

M2LA PROJECT NUMBER: 17 006

17006-01.jpg



PLANT SCHEDULE			M2 JOB NUMBER: 17008	
KEY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS	
	5 ACER RUERUM	RED MAPLE	6CM CAL; 2M STD; BAB	
	10 CORNUS EDDIE'S WHITE WONDER	WHITE WONDER DOGWOOD	6CM CAL; STD FORM; BAB	
	10 PICEA OMORICA PENDULA	KEEPSER SEERIAN SPRUCE	2.5M HT; BAB	
	3 PRUNUS NERPA	AUSTRIAN BLACK PINE	3M HT; BAB	
	10 PRUNUS SERILLATA 'AMAROGAHA'	AMARGOHA CHERRY	6CM CAL; 1.5M STD; BAB	
	10 SYTRAX 'OBASIA'	FRAGRANT SNOEWELL	6CM CAL; BAB	
	39 BUXUS SEPIREVIDENS	COMMON DOGWOOD	#1 POT	
	17 HYDRANGEA PINK STAR LINE LIGHT	ROSE LIGHT HYDRANGEA, LIMEGREEN-PINK	#1 POT	
	43 LONGICRA INTIDA SILVER BEAUTY	SILVER BEAUTY LONGICRA	#1 POT	
	164 PRUNUS LUSTANICA	PURPLEBLOSS LAUREL	#5 POT	
	16 RHODODENDRON 'CREST'	RHODODENDRON, YELLOWHAY	#2 POT	
	76 ROSA X RADRAZZ KNOCKOUT	RED KNOCKOUT ROSE	#1 POT	
	210 SARCOCOCCA HOOKERANA 'VAR. HUMILIS	HIMALAYAN SHEET BOX	#3M HT	
	77 TAXUS X MEDIA 'NIGRISI'	KISS' YEN	1.35M BAB	
		80 CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FOERSTER REED GRASS	#1 POT
4 PENNSETUM ALOPEGURIODES HAMELIN		DWARF FOUNTAIN GRASS	#1 POT	
14 STIPA TENUOSSIMA		MEXICAN FEATHER GRASS	#1 POT	
		40 ANEMONE 'NONORINE JOBERT' white	WINDFLOWER	15CM POT
	3 GERANIUM 'JOHNSONS BLUE'	GRANDEBELL GERANIUM	#1 POT	
	66 LAVENDULA ANOUK	ANOUK SILVER LAVENDER	#1 POT	
		61 COTONEASTER DAMMERI	BEARBERRY COTONEASTER	#1 POT
131 PACHYSTANORA TERMINALIS GREEN SHEEN		JAPANESE SPURGE	#1 POT	
108 POLYSTICHUM SETIFERM		ALASKAN FERN	#1 POT; 25CM	

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE DC LANDSCAPE STANDARD; LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CITY STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT PROJECT SITE. AREA OF SEARCH TO INCLUDE LOWER HANLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO DC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.

ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.

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M2
LANDSCAPE ARCHITECTURE

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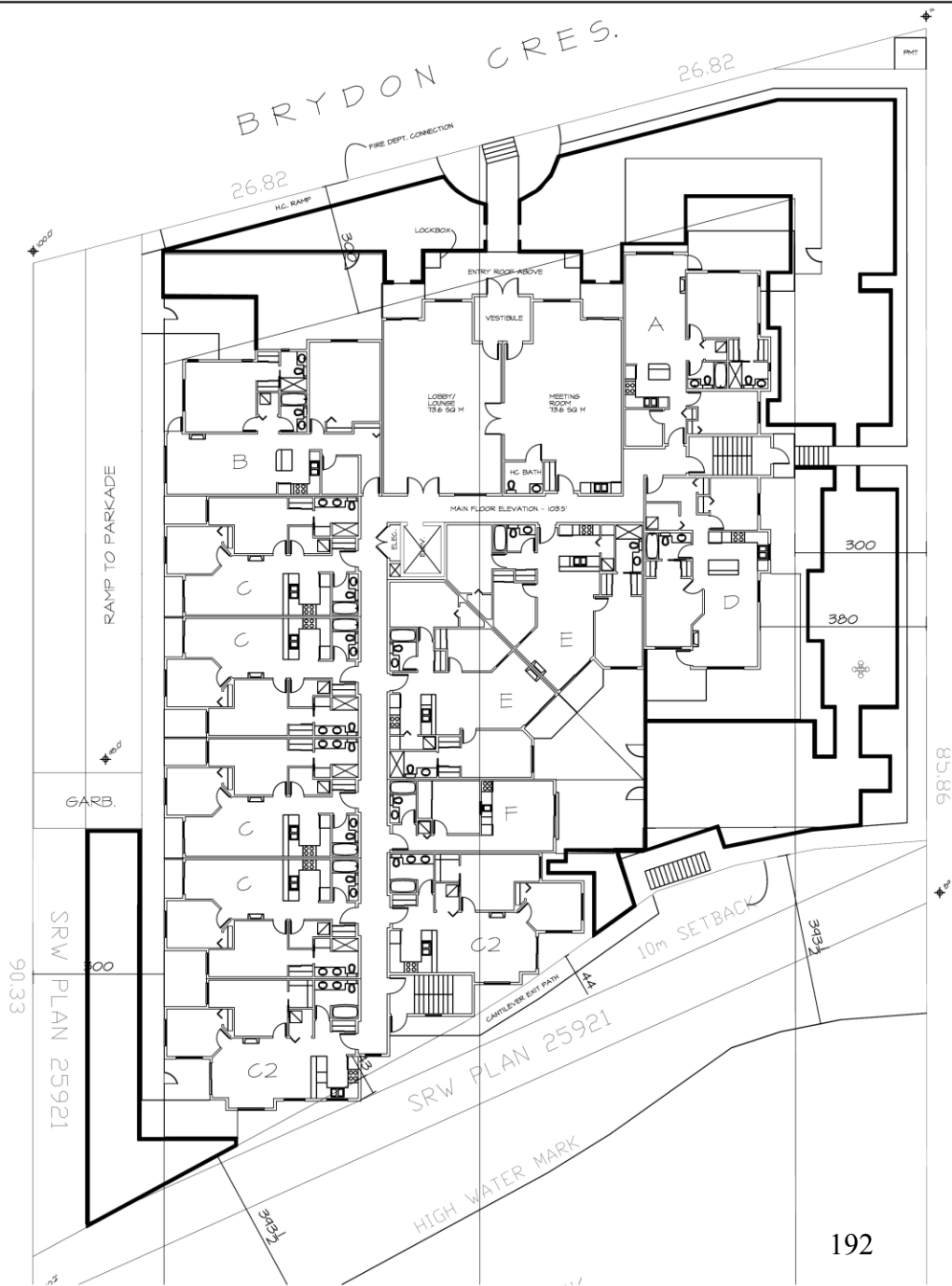
NO.	DATE	REVISION DESCRIPTION	DR.
4	MARCH 24, 2007	ADDED #4-0 NEST NEST HOLLOWY (DP)	TK
3	MARCH 20, 2007	DP SET	TK
2	MARCH 20, 2007	CONCEPT SITE PLAN	TK
1	JANUARY	CREATING LANDSCAPE FOLDER	EN

PROJECT:
54 UNITS RESIDENTIAL
DEVELOPMENT
19942 BRYDON CRES.
LANGLEY, BC

DRAWING TITLE:

**SHRUB
PLAN**

DATE: 17 JAN 18	DRAWING NUMBER: L2 OF 7
SCALE: 1/8" = 1'-0"	
DRAWN: TK	
DESIGN: TK	
CHK'D: MTH	
M2LA PROJECT NUMBER: 17 006	



LEGEND

POURED IN PLACE ARCHITECTURAL
CONCRETE WALL

5'-0" HIGH WOODEN PRIVACY
FENCE WITH MAINTENANCE GATES

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NO.	DATE	REVISION DESCRIPTION	DR.
1	JAN 25 2007	CONCEPT SITE PLAN	TK
2	JAN 25 2007	CREATING LANDSCAPE FOLDER	BN
3	MARCH 24 2007	ADDED 4'-0" HIGH WOODEN FENCE	TK
4	MARCH 24 2007	ADDED 4'-0" HIGH WOODEN FENCE	TK

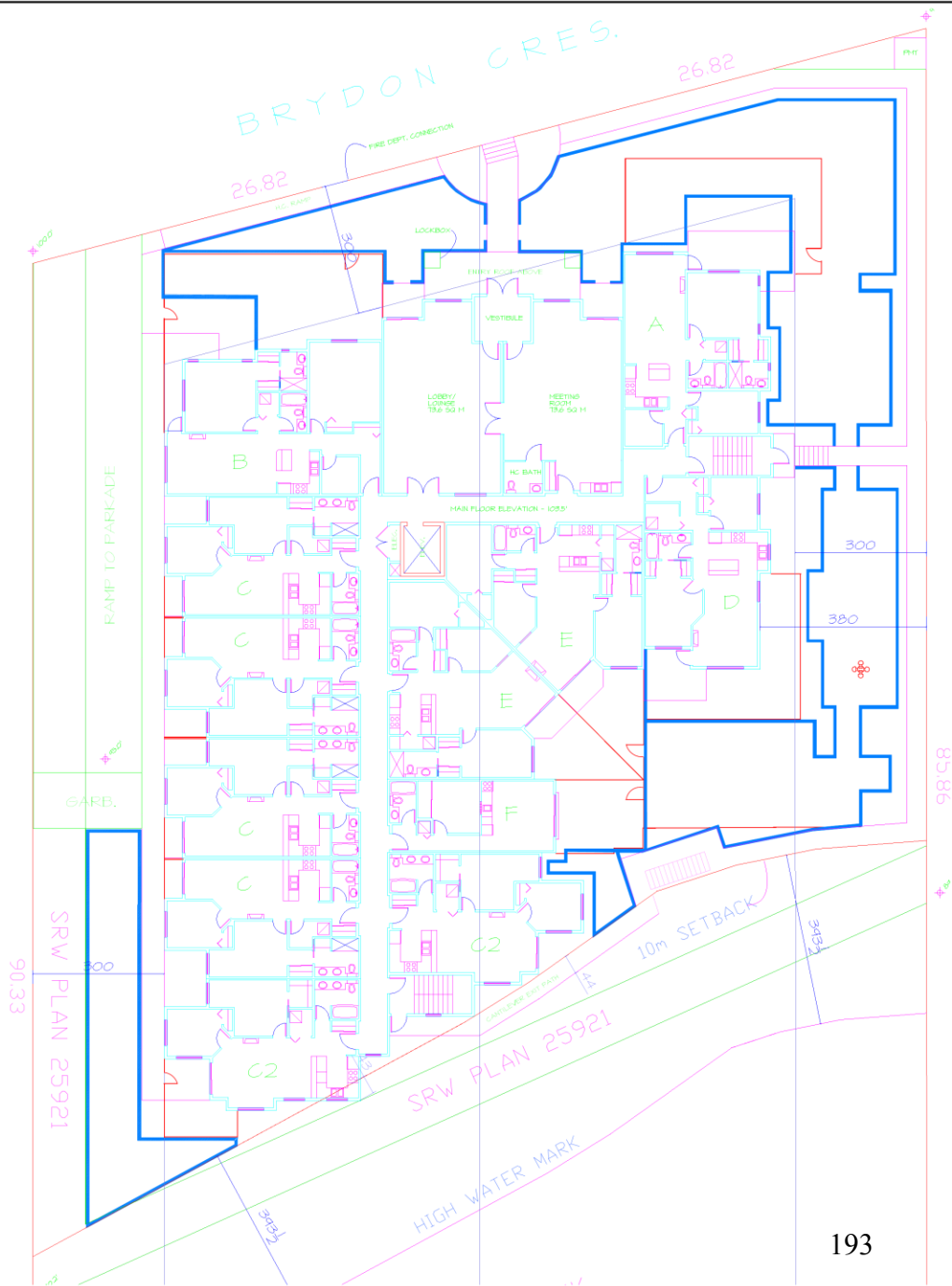
SEAL:

PROJECT:
54 UNITS RESIDENTIAL
DEVELOPMENT
19942 BRYDON CRES.
LANGLEY, BC

DRAWING TITLE:
**RETAINING WALLS
AND FENCES**

DATE: 17 JAN 08	DRAWING NUMBER:
SCALE: 3/32" = 1'-0"	L3
DRAWN: TK	OF 7
DESIGN: TK	
CHECK: MTH	

M2LA PROJECT NUMBER: 17 006



193

LEGEND

POURED IN PLACE ARCHITECTURAL
CONCRETE WALL

5'-0" HIGH WOODEN PRIVACY
FENCE WITH MAINTENANCE GATES

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NO.	DATE	REVISION DESCRIPTION	DR.
1	MARCH 24 2017	ADDED 4'-0" HIGH WOODEN PRIVACY FENCE	TK
2	JAN 25 2017	CONCEPT SITE PLAN	TK
3	JAN 25 2017	CREATING LANDSCAPE FOLDER	BN

SEAL:

PROJECT:
54 UNITS RESIDENTIAL
DEVELOPMENT
19942 BRYDON CRES.
LANGLEY, BC

DRAWING TITLE:
**RETAINING WALLS
AND FENCES**

DATE: 17 JAN 18	DRAWING NUMBER:
SCALE: 3/32" = 1'-0"	L3
DRAWN: TK	OF 7
DESIGN: TK	
CHECK: MTH	

M2LA PROJECT NUMBER: 17 006



TUNNEL, REC TEC INDUSTRIES



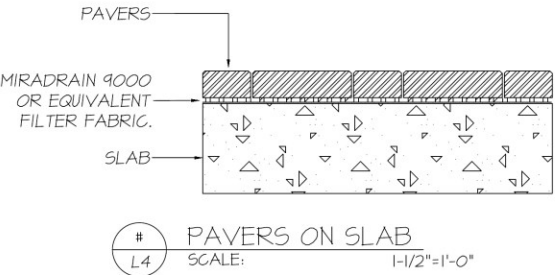
TEETER TOTTER, REC TEC INDUSTRIES



SIGN/DOG WASTE CONTAINER



DOG STEPS, REC TEC INDUSTRIES



KOMPAN "DAISY"; MODEL M128P



TRASH RECEPTACLE;
PUBLIC PLACE WASTE
RECEPTACLE BY WISHBONE;
MODEL NUMBER: 184418



BENCH;
PARKER PARK BENCH
BY WISHBONE;
MODEL NUMBER: PKB-6

Aluminum Bollard (DB30) Specification Sheet

Project Name:	Location:	MFG: Philips Hadco
Fixture Type:	Catalog No.:	Qty:



Ordering Guide

Example: DB30 | A0 12L E

Product Code	DB30	Aluminum Bollard
Finish	A	Gray
	B	Black
	H	Brass
Optics	A0	Symmetrical
Weight	12L	12.5W LED
	12M	12.5W LED
	20P	20W CFL
	30P	30W CFL
	40P	40W CFL
	50H	50W hal
	70H	70W hal
	30S	30W vHPS
	50S	50W vHPS
	70S	70W vHPS
	100S	100W vHPS
Voltage	E	120V
	F	240V
	G	240V
	H	277V
	A	347V

*1 Available in 120V (E) only
*2 Not available in 240V (G)
*3 Available in 120V (E) and 277V (H) only

Specifications

HOUSING:
36 in high strength, low copper, proprietary cast aluminum alloy. Dome roof with die-cast aluminum louvers. Easy access to lamp. 5" dia. extruded aluminum with a wall thickness of 0.125". All non-ferrous fasteners prevent corrosion and ensure longer life.

FINISH:
Thermoplastic polyester powdercoat is electrostatically applied after a free-edge conversion clearing process and bonded by heat fusion thermosetting. Laboratory tested for superior weatherability and fade resistance in accordance with ASTM B117 specifications. For larger projects where a custom color is required, contact the factory for more information.

OPTICAL ASSEMBLY:
Symmetrical. Die-cast aluminum louvers with underside painted with highly reflective white powdercoat. Tempered glass globe.

LAMPING:
LED 8W medium base porcelain socket A15.
MR and HPS Medium base: E17.
Incandescent Medium Base A15.
20W CFL (GX24Q-3).
30W CFL (GX24Q-3).
40W CFL (GX24Q-3).
50W CFL (GX24Q-4).

ELECTRICAL ASSEMBLY:
LED is 2700K warm white, delivers 800 lumens, and is dimmable. Lamp life is rated at 25,000 hours. 120 volt only. 8W rated medium base porcelain socket.
Key-locked Ballast Assembly is mounted to an aluminum plate, which is mounted inside the base. Quick disconnects for easy installation and removal.
4W rated medium base porcelain socket. Nickel-plated screw shell with center contact.
20W Fluorescent socket is a GX24Q-3 base.
30W Fluorescent socket is a GX24Q-3 base.
40W Fluorescent socket is a GX24Q-3 base.
50W Fluorescent socket is a GX24Q-4 base.

BALLAST:
All HED ballasts are core and coil and regulated with power factors better than 90% (HPF). Ballast provides +/- 5% lamp power regulation with +/- 10% input voltage regulation.

ISO 9001:2008 Registered
Note: Philips reserves the right to modify the above details to reflect changes in the cost of materials and/or production and/or design without prior notice.
100 Craftway Drive, Littleton, PA 17340 | P: +1-717-358-6288 | F: +1-717-358-6289 | <http://www.hadco.com> | Copyright 2011 Philips

Aluminum Bollard (DB30) Specification Sheet

Project Name:	Location:	MFG: Philips Hadco
Fixture Type:	Catalog No.:	Qty:

Ballasts are factory pre-wired and tested. Metal halide ballasts are capable of starting at 20°F or -30°C and HPS at -40°F or -40°C. NOTE: All ballasts are EISA / Title 20 / Title 24 compliant where applicable. Fluorescent ballast is electronic. Ballast is capable of starting at 0°F or -18°C. Ballast is factory wired and tested.

INSTALLATION & MOUNTING:
This is intended for the base plate with three (3) 5/16-18 flat head allen key stainless steel tamper resistant screws.

WARRANTY:
Three-year limited warranty.

CERTIFICATIONS:
ETL, listed to U.S. safety standards for wet locations. cETL, listed to Canadian safety standards for wet locations. Manufactured to ISO 9001:2008 Standards.

Height:
30" (76cm)

Width:
8" (20cm)

Bolt Circle:
8" (20cm)

Anchor Rods:
Internal (3) 3/8" dia. x 8" long (1 cm x 20cm)

Base Diameter:
8" (20cm)

Max. Weight:
Pavement: 10 lbs
Grass: 10 lbs

NOTES:
-SEE ELECTRICAL DRAWINGS FOR
CONSTRUCTION DETAILS
-INSTALL AS PER MANUFACTURER'S
SPECIFICATIONS

ISO 9001:2008 Registered
Note: Philips reserves the right to modify the above details to reflect changes in the cost of materials and/or production and/or design without prior notice.
100 Craftway Drive, Littleton, PA 17340 | P: +1-717-358-6288 | F: +1-717-358-6289 | <http://www.hadco.com> | Copyright 2011 Philips



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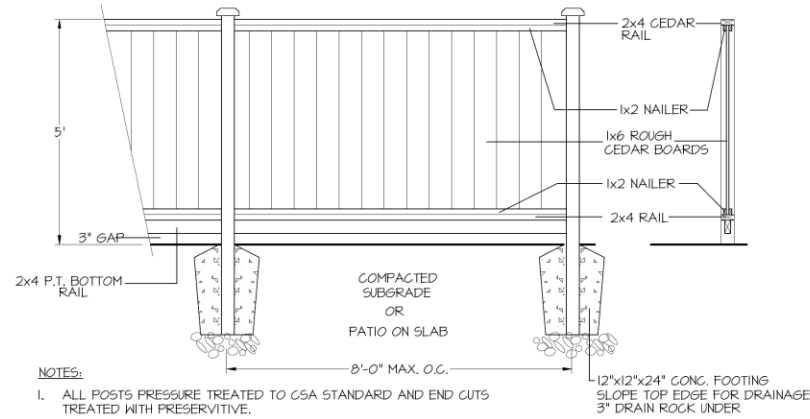
NO.	DATE	REVISION DESCRIPTION	DR.
1	JAN 24 2017	CONCEPT SITE PLAN	TK
2	JAN 25 2017	CREATING LANDSCAPE FOLDER	BN
3	JAN 26 2017	CONCEPT SITE PLAN	TK
4	MARCH 24 2017	ADDED 4'-0" WIDE WEST WALKWAY (SP. 1)	TK

SEAL:

PROJECT:
54 UNITS RESIDENTIAL
DEVELOPMENT
19942 BRYDON CRES.
LANGLEY, BC

DRAWING TITLE:
LANDSCAPE
DETAILS

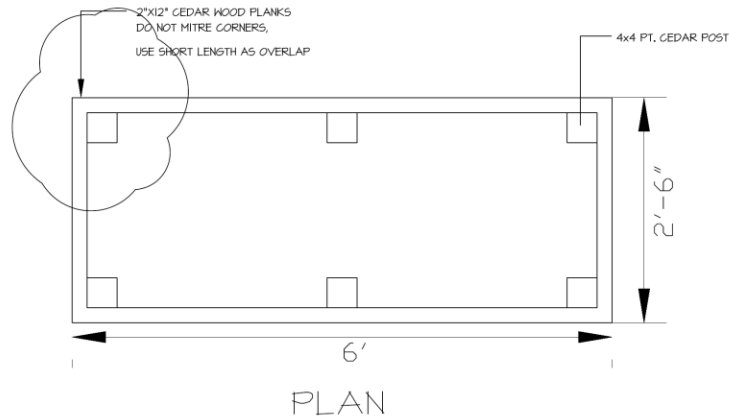
DATE:	17_JAN_18	DRAWING NUMBER:	L4
SCALE:			
DRAWN:	TK		
DESIGN:	TK		
CHK'D:	MTM		
M2LA PROJECT NUMBER:		OF 7	17_006



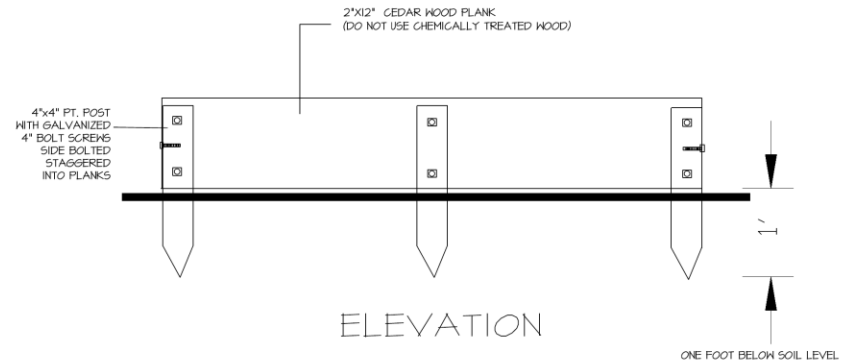
NOTES:

1. ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE.
2. ALL OTHER MEMBERS TO BE CEDAR, #2 (CONSTRUCTION) GRADE MINIMUM.
3. ALL HARDWARE HOT DIPPED GALVANIZED.
4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION. FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.
5. ALL FENCES TO BE LEVEL. CHANGES IN GRADE TO BE IN 12"-18" STEPS (MAX). GAPS TO GRADE TO FOLLOW FINISH GRADE. GAP TO BE 3-6".

5' HT. WOODEN PRIVACY FENCE
L5 SCALE: 3/4"=1'-0"



RAISED VEGGIE PLOTS
L5 SCALE: 1-1/2"=1'-0"



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4	MARCH 24 2017	ADDED 4'-0" HIDE HEST W/ HOLIDAY DP	TK
3	JAN 30 2017	DP SET	TK
2	JAN 25 2017	CONCEPT SITE PLAN	TK
1	JANUARY	CREATING LANDSCAPE FOLDER	BN
NO.	DATE	REVISION DESCRIPTION	DR.

SEAL:

SEAL:

PROJECT:
54 UNITS RESIDENTIAL
DEVELOPMENT
19942 BRYDON CRES.
LANGLEY, BC

DRAWING TITLE:

**LANDSCAPE
DETAILS**

DATE:	17_JAN18	DRAWING NUMBER:	L5
SCALE:			
DRAWN:	TK		
DESIGN:	TK		
CHK'D:	MTM		

M2LA PROJECT NUMBER: 17 006



EXPLANATORY NOTE
ZONING BYLAW, 1996, No. 2100
AMENDMENT No. 137, 2017, BYLAW No. 3021

The purpose of Zoning Bylaw 3021 is to designate the portion of road (55.3 m²) located adjacent to 20416 Park Avenue dedicated by Plan 80124 to C1 Downtown Commercial Zone, as the City intends to sell the property and the road is no longer required.



ZONING BYLAW, 1996, No. 2100 AMENDMENT NO. 137, 2017, BYLAW NO. 3021

A Bylaw to amend the Zoning Bylaw

WHEREAS the Council adopted City of Langley Zoning Bylaw, 1996, No. 2100, and wishes to amend the bylaw;

NOW THEREFORE the Council of the City of Langley in an open meeting assembled enacts as follows:

1. **Title**

This bylaw shall be cited as “Zoning Bylaw 1996, No. 2100 Amendment No. 137, 2017, No. 3021”.

2. **Effective Date**

This bylaw shall come into force on the date of adoption.

3. **Amendment to Zoning Bylaw**

City of Langley Zoning Bylaw, 1996, No. 2100 is amended by designating the zoning of land shown on the Schedule attached to this bylaw (hatched in black and labeled “Lane Plan 80124 Parcel ‘A’), as C1 – Downtown Commercial Zone on the Zoning Map, attached as Schedule “A” to City of Langley Zoning Bylaw, 1996, 2100 and by amending that Zoning Map accordingly.

READ A FIRST and SECOND TIME this _____ day of _____, 2017.

PUBLIC HEARING HELD this _____ day of _____, 2017.

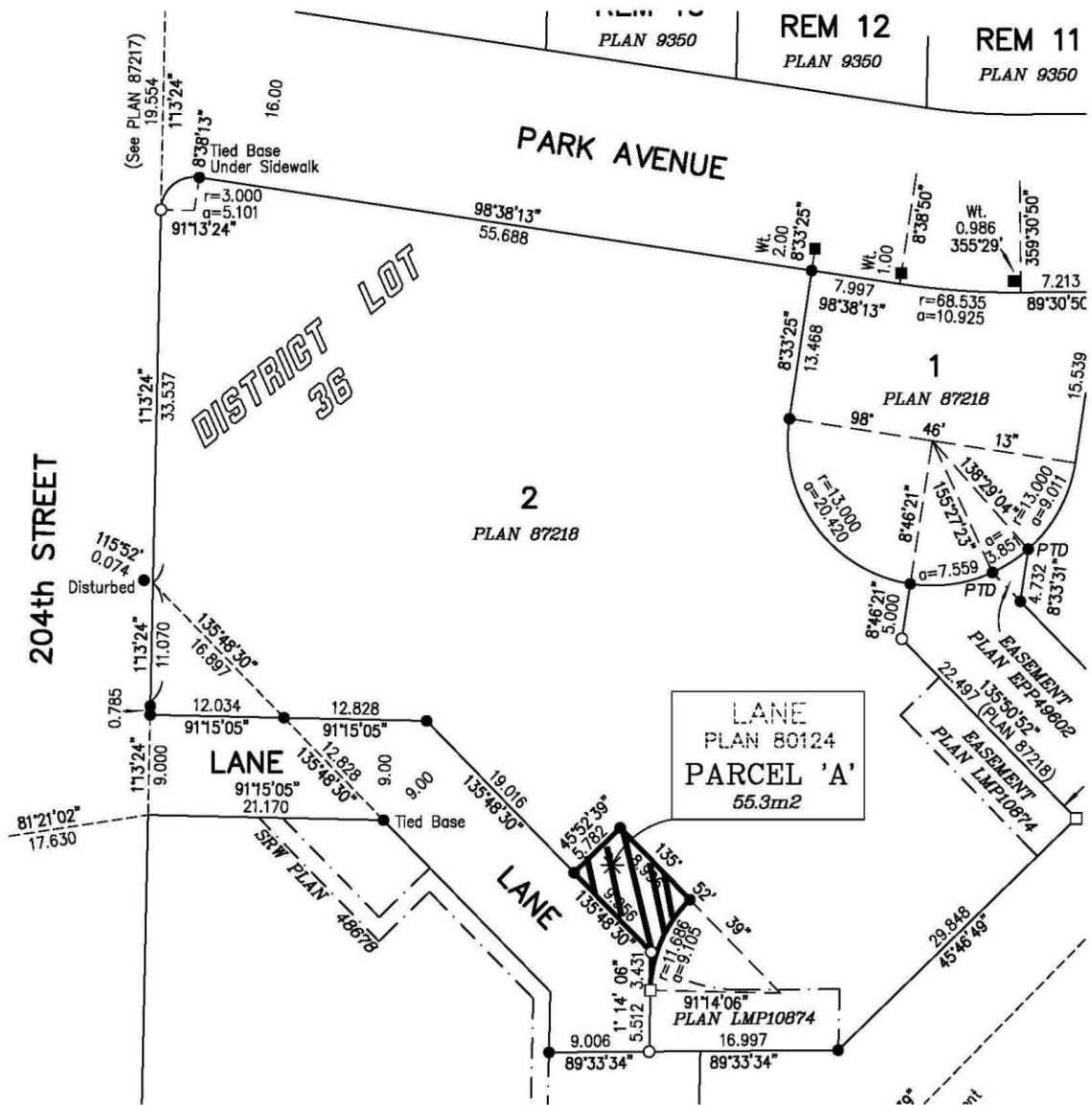
READ A THIRD TIME this _____ day of _____, 2017.

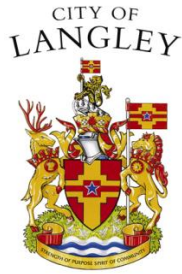
ADOPTED this _____ day of _____, 2017.

MAYOR

CORPORATE OFFICER

SCHEDULE "A"





EXPLANATORY NOTE

BYLAW NO. 3020

A taxation revenue increase of 3.61% is required to fully fund the 2017 Financial Plan.

During the Financial Plan deliberations, City Council discussed a number of property tax ratios. The following table shows the chosen ratios and the effect on property tax levies:

	Properties	Ratio	\$ Change	% Change
Average Single Family Residential	3,379	1.000	\$ 105	5.34%
Average Strata Dwelling	5,795	1.000	(\$ 20)	-2.77%
Average Light Industrial Property	78	3.195	\$ 864	5.34%
Average Business Property	628	2.990	\$ 962	5.39%

The following table outlines the distribution of property taxes among the property tax classes.

Property Class	% of Total Property Taxation	Dollar Value
Residential (1)	47.63%	\$12,245,858
Utilities (2)	0.42%	107,984
Light Industrial (5)	6.08%	1,563,194
Business & Other (6)	45.62%	11,729,079
Recreation / Non Profit (8)	0.25%	64,276
Farmland (9)	0.00%	34
Total	100%	\$25,710,425

The residential property tax class provides the largest proportion of property tax revenue which is consistent with most other jurisdictions. During the Financial Planning process, City Council expressed a desire to shift the tax burden from the residential class to the business class so that the business class pays a higher proportion of the property taxation to move to the average ratio between classes (1: 3) identified in Metro Vancouver. The ratio in 2017 will be 1 : 2.99 between the residential and business class. This ratio change shifted an additional 1.72% of the overall city property tax burden to the business class properties.

Note: The figures presented in the explanatory memo do not include any utility charges or levies from other taxing jurisdictions only levies specifically for the City of Langley.



2017 TAX RATES BYLAW NO. 3020

A Bylaw to levy property value taxes for municipal purposes for the year 2017.

The Council of the City of Langley, in open meeting assembled, enacts as follows:

- 1) The following tax rates appearing in Schedule "A", attached to and forming a part of this Bylaw, are imposed and levied for the year 2017 for:
 - a) the municipal revenue proposed to be raised for the year from property value taxes, as provided in the financial plan, and
 - b) the amount to be collected for the year by means of rates established by the municipality to meet its taxing obligations in relation to another local government or other public body.

and are imposed on the basis of the assessed value of the land and improvements.

- 2) This Bylaw may be cited for all purposes as the "2017 Tax Rates Bylaw, 2017, No. 3020".

READ A FIRST, SECOND AND THIRD TIME this -- day of --, 2017.

ADOPTED this -- day of --, 2017.

MAYOR

CORPORATE OFFICER

2017 Tax Rates Bylaw No. 3020 Schedule "A"

Municipal Taxes

<i>Property Class</i>	COLUMN "A" <i>General Municipal</i>	<i>Police</i>	<i>Fire</i>	<i>Library</i>	<i>Infrastructure</i>	<i>Other</i>
1. Residential	2.8336	1.2923	0.4692	0.1710	0.0135	0.8876
2. Utility	40.0000	18.2429	6.6240	2.4145	0.1906	12.5280
3. Supportive Housing	2.8336	1.2923	0.4692	0.1710	0.0135	0.8876
5. Light Industry	9.0532	4.1289	1.4992	0.5465	0.0431	2.8355
6. Business/Other	8.4724	3.8640	1.4030	0.5114	0.0404	2.6536
8. Rec/Non-profit	9.0532	4.1289	1.4992	0.5465	0.0431	2.8355
9. Farm	2.8336	1.2923	0.4692	0.1710	0.0135	0.8876

Regional Tax Requisitions

<i>Property Class</i>	<i>GVRD</i>
1. Residential	0.0446
2. Utility	0.1562
3. Supportive Housing	0.0446
5. Light Industry	0.1517
6. Business/Other	0.1093
8. Rec/Non-profit	0.0446
9. Farm	0.0446



EXPLANATORY NOTE

BYLAW NO. 3022

The purpose of Bylaw No. 3022 is to amend the 2016 – 2020 Financial Plan to authorize the expenditures reflected in the 2016 Consolidated Financial Statements itemized in Report #17-019.



**FINANCIAL PLAN 2016 – 2020, BYLAW 2016, No. 2980
AMENDMENT No. 2**

BYLAW No. 3022

A Bylaw to amend the Financial Plan for 2016 - 2020.

The Council of the City of Langley, in open meeting assembled, enacts as follows:

1. Title

This bylaw shall be cited as the “Financial Plan 2016 – 2020 Bylaw, 2016, No. 2980, Amendment No. 2 Bylaw, 3022”.

2. Amendment

- (1) Financial Plan 2016 – 2020 Bylaw, 2016, No. 2980 is hereby amended by deleting Schedule “A” and substituting a new Schedule “A” attached to and forming part of this bylaw.

READ A FIRST, SECOND AND THIRD TIME this – day of --, 2017.

OPPORTUNITY FOR PUBLIC INPUT this – day of --, 2017.

ADOPTED this – day of --, 2017.

MAYOR

CORPORATE OFFICER



FINANCIAL PLAN 2016 – 2020 AMENDMENT NO. 2

BYLAW NO. 2980 Schedule 'A'

	<i>2016 Amended Financial Plan Amendment #2</i>	<i>2016 Financial Plan Bylaw 2980</i>	<i>2016 Financial Plan Change Plus/(minus)</i>	<i>%</i>
GENERAL OPERATING FUND				
Operating Revenue				
Property Value Taxes	\$ 25,209,207	\$ 25,098,150	\$ 111,057	0.4%
User Fees and Other Revenue	10,334,215	10,057,440	276,775	2.8%
Gaming Proceeds	6,824,902	6,000,000	824,902	13.7%
Government Transfers	1,725,072	1,685,665	39,407	2.3%
Investment Earnings	573,819	338,500	235,319	69.5%
	44,667,215	43,179,755	1,487,460	3.4%
Expenditures				
General Government Services	3,738,231	3,952,500	(214,269)	-5.4%
RCMP - Police Services	10,239,866	11,023,910	(784,044)	-7.1%
Fire Service	4,267,174	3,958,425	308,749	7.8%
Other Protective Services	723,473	811,040	(87,567)	-10.8%
Engineering and Operations	2,705,979	2,797,960	(91,981)	-3.3%
Water Supply Distribution	3,285,760	3,422,425	(136,665)	-4.0%
Sewerage and Drainage	2,535,736	2,649,585	(113,849)	-4.3%
Development Services	1,023,510	978,455	45,055	4.6%
Garbage Collection	619,253	619,740	(487)	-0.1%
Recreation Services	3,639,662	3,437,205	205,457	5.9%
Parks	1,799,872	1,902,825	(102,953)	-5.4%
Amortization	5,026,725	4,750,000	276,725	5.8%
	39,605,241	40,304,070	(698,829)	-1.7%
Transfers				
Transfer from General Surplus	-	(45,000)	45,000	-100.0%
Transfer from Reserve Accounts	(594,691)	(1,184,640)	589,949	-49.8%
Transfer to Reserve Accounts	8,840,730	7,557,775	1,282,955	17.0%
Transfer to Reserve Funds	1,739,633	1,297,550	442,083	34.1%
Asset additions from operating funds	93,507	-	93,507	-
	10,079,179	7,625,685	2,453,494	32.2%
Surplus reduction for amortization	(5,026,725)	(4,750,000)	(276,725)	
Operating Surplus	\$ 9,520	\$ -	\$ 9,520	



REPORT TO COUNCIL

To: **Mayor Schaffer and Councillors**

Subject Hunter Park Task Group recommendations

Report #: 17-020

File #: 5751.00

From: Geoff Mallory, Manager of Park Operations

Doc #:

Date: April 24, 2017

RECOMMENDATION:

THAT Council approve the redevelopment plans for Hunter Park as recommended by the Hunter Park Redevelopment Task Group.

PURPOSE:

The purpose of this report is to present the plan completed by the Hunter Park Task Group regarding the redevelopment for Hunter Park.

POLICY:

N/A

COMMENTS/ANALYSIS:

Council approved the creation of the Hunter Park Task Group in January, 2017 to provide an opportunity for local residents, surrounding the park, to have input and recommend to Council a plan to redevelop Hunter Park in light of the fact that all the Douglas Fir Trees were removed from the park due to root rot disease.



An open house was held on February 28th, 2017 to solicit public input on what types redevelopment they would like to see in Hunter Park. Twenty three people attended that meeting and were given an opportunity to provide feedback on the types of amenities they would like to see in the park. Attendees also had an opportunity to put forward their names to be part of the task group to help develop the plans for the park. We received 19 feedback cards and selected 5 residents to be on the Task Group.

The Task Group held its first meeting on March 21st to review the open house feedback and proposed concept plans. They provided feedback on the concept plan, proposed amenities (Appendix A) and alternate suggestions. Staff revised the redevelopment plans based on that feedback and presented the revised plan (Appendix B) to the task group on April 11th. The task group discussed the revised plans and a motion was put forward to make a recommendation to council to approve the revised plan for implementation, this was seconded and approved unanimously by the task group. A copy of the plan will be presented at the April 24th meeting on the overhead projector.

BUDGET IMPLICATIONS:

There is \$160,000 approved in the 2017 Parks Capital Plan for Hunter Park redevelopment. A detailed cost estimate has not yet been completed; however, we are confident the work can be done within the allocated budget and will scale the project on that basis, i.e. plant caliper has a significant impact on costs and will be adjusted as needed.

ALTERNATIVES:

None suggested.

Respectfully Submitted,



for:

Geoff Mallory,
Manager, Parks Operations



I support the recommendation.



Rick Bomhof, P. Eng.
Director of Engineering, Parks & Operations

Attachment(s): Appendix A and B

CHIEF ADMINISTRATIVE OFFICER'S COMMENTS:

I support the recommendation.



Francis Cheung, P. Eng.
Chief Administrative Officer

Appendix "A"



Park Infrastructure and Tree Amenities



Appendix “B”







REPORT TO COUNCIL

To: **Mayor Schaffer and Councillors**

Subject **Out of Province Conference Request**

Report #:

File #:

From: Gerald Minchuk, MCIP, RPP
Director of Development Services & Economic
Development

Doc #: 6620.00

Date: April 3, 2017

RECOMMENDATION:

THAT the Director of Development Services & Economic Development, be authorized to attend the 54th International Making Cities Livable Conference in Santa Fe, New Mexico from October 2-6, 2017; and

THAT all expenses be paid from the Development Services & Economic Development Continuing Education/Travel account.

PURPOSE OF REPORT:

To seek approval to attend an out-of-province conference.

POLICY:

The City's Travel & Expense Policy GE-10 requires City employees to receive Council approval to attend any conferences that are outside the Province of British Columbia.



COMMENTS/ANALYSIS:

The 54th International Making Cities Livable Conference will be held in Santa Fe, New Mexico from October 2 to October 6, 2017. This year's Conference theme is *“Designing Public Places for Community, Democratic Dialogue, Health & Equity”*. The City of Langley's McBurney Plaza submission was selected as one of the project finalists for an IMCL Urban Design Award, that will be awarded to the successful urban design project at this year's ICML Conference Award ceremony.

“The International Making Cities Livable Conference focus is on the importance of making cities livable for children first, the need for public transit, bicycle lanes, traffic calmed streets, for human scale architecture and mixed use urban fabric, for reviving the city centre and creating public places where people could gather for farmers markets, festivals, outdoor cafes and community social life.”

The ICML Conference bring together city officials, practitioners, scholars, in architecture, urban design and planning from around the world to share experiences and ideas. The Conference Program and exceptional speakers provide a comprehensive theme relevant to the City of Langley.

BUDGET IMPLICATIONS:

The estimated cost to attend this continuing education opportunity is \$2500, which is within the current Development Services & Economic Development Department Continuing Education/Travel account.

ALTERNATIVES:

Deny the request to attend the 54th International Making Cities Livable Conference by the Director of Development Services & Economic Development.



Respectfully Submitted:



Gerald Minchuk, MCIP
Director of Development Services & Economic Development

CHIEF ADMINISTRATIVE OFFICER'S COMMENTS:

I support the recommendation.



Francis Cheung, P. Eng.
Chief Administrative Officer

