



PUBLIC HEARING AGENDA

Monday, April 24, 2017
7:00 P.M.
Council Chambers, Langley City Hall
20399 Douglas Crescent

Pages

1. CALL TO ORDER

Mayor Schaffer calls the Public Hearing to order.

Mayor Schaffer reads a statement regarding the procedure to be followed for the Public Hearing.

The Corporate Officer advises how this Hearing has been publicized and of any letters received

2. BUSINESS

a. Bylaw 3017 - Zoning Amendment Bylaw

1

To amend the Zoning Bylaw, 1996, No. 2100 to add a new Comprehensive Development Zone (CD46) and to rezone the properties located at 5406, 5418-5420 -198th Street and 19829-19831-54th Avenue from RM1 Multiple Residential Low Density Zone and RS1 – Single Family Residential Zone, to CD46 – Comprehensive Development Zone to accommodate a 62 unit condominium apartment building.

The Mayor invites Lukas Wykpis, Keystone Architecture to present the proposed bylaw and development permit.

The Mayor invites those in attendance who deem their interest in property affected by the proposed bylaw and development permit to present their comments.

b. Bylaw 3018 - Zoning Amendment Bylaw

To amend the Zoning Bylaw, 1996, No. 2100 to add a new Comprehensive Development Zone (CD47) and to rezone the properties located at 5630 and 5640 -201Ast Street from RM2 Multiple Residential Medium Density Zone, to CD47 – Comprehensive Development Zone to accommodate an 88 unit, 5-Storey condominium apartment building.

The Mayor invites Colin Hagen, Focus Architecture to present the proposed bylaw and development permit.

The Mayor invites those in attendance who deem their interest in property affected by the proposed bylaw and development permit to present their comments.

3. **MOTION TO CLOSE PUBLIC HEARING**



ZONING BYLAW, 1996, No. 2100
AMENDMENT No. 134, 2017, BYLAW No. 3017
DEVELOPMENT PERMIT APPLICATION DP 02-17

To consider a Rezoning Application and Development Permit Application by Keystone Architecture & Planning Ltd. to accommodate a 4-storey, 62-unit condominium apartment development.

The subject property is currently zoned RM1 Multiple Residential Low Density Zone and RS1 Single Family Residential Zone in Zoning Bylaw No. 2100 and designated “High Density Residential” in the Official Community Plan. All lands designated Multiple Family Residential are subject to a Development Permit to address building form and character.

COMMENTS/ANALYSIS:

Background Information:

Applicant:	Keystone Architecture & Planning Ltd.
Owners:	Randy Cotton, Khalid Musa, 1100626 B.C. Ltd., K& G Claire Holdings Ltd.
Civic Addresses:	5406, 5418-5420 -198 th Street and 19829-19831-54 th Avenue
Legal Description:	Strata Lot 1, Section 3, Township 8, New Westminster District Strata Plan NW788 Together With An Interest In The Common Property In Proportion To The Unit Entitlement Of The Strata Lot As Shown On Form 1, Strata Lot 2, Section 3, Township 8, New Westminster District Strata Plan NW788 Together With An Interest In The Common Property In Proportion To The Unit Entitlement Of The Strata Lot As Shown On Form 1, Lot 1, Section 3, Township 8, New Westminster District Plan 21252, Lot 3, Section 3, Township 8, New Westminster District Plan 21252
Site Area:	.77acre (33,866.55 ft ²)
Total Parking Required:	90 spaces (including 12 visitor)
Total Parking Provided:	90 spaces (including 12 visitor)
Existing Zoning:	RM1 –Multiple Residential Low Density Zone and RS1 –Single Family Residential Zone
Proposed Zoning:	CD 46 –Comprehensive Development Zone
OCP Designation:	High Density Residential (80 units/acre)
Variances Requested:	None
Development Cost Charges:	\$586,742 (includes \$104,387.50 DCC Credit)



**ZONING BYLAW, 1996, No. 2100
AMENDMENT No. 134**

BYLAW No. 3017

A Bylaw to amend City of Langley Zoning Bylaw, 1996, No. 2100 to add a new Comprehensive Development Zone (CD46) and to rezone the property located at 5406, 5418-5420-198th Street and 19831-54th Avenue to the new zone.

WHEREAS the *Local Government Act* authorizes a local government to zone areas of a municipality and to make regulations pursuant to zoning;

NOW THEREFORE the Council of the City of Langley, in open meeting assembled, enacts as follows:

1. Title

This bylaw shall be cited as the “Zoning Bylaw 1996, No. 2100 Amendment No. 134, 2017, No. 3017”.

2. Amendment

- (1) Bylaw No. 2100, cited as the “Zoning Bylaw, 1996, No. 2100” is hereby amended by adding in Part VII Comprehensive Development Zones the following as the new Zone classification of Comprehensive Development – 46 (CD46) Zone: immediately after Comprehensive Development -45 (CD45) Zone:

“00. CD46 COMPREHENSIVE DEVELOPMENT ZONE

1. Intent

This Zone is intended to accommodate and regulate a 4-storey, 62-unit condominium apartment development.

2. Permitted Uses

The Land, buildings and structures shall only be used for the following uses only:

- (a) Multiple-Unit Residential; and

- (b) Accessory uses limited to the following:
 - (i) *Home Occupations* excluding bed and breakfast and *child care centre*.

3. **Site Dimensions**

The following lot shall form the site and shall be zoned CD 46 Comprehensive Development Zone on the Zoning Map, City of Langley Zoning Bylaw, 1996, No. 2100, Schedule “A”:

- (a) PID: 001-522-841
Strata Lot 1, Section 3, Township 8, New Westminster District Strata Plan NW788 Together With An Interest In The Common Property In Proportion To The Unit Entitlement Of The Strata Lot As Shown On Form 1
- (b) PID: 001-522-884
Strata Lot 2, Section 3, Township 8, New Westminster District Strata Plan NW788 Together With An Interest In The Common Property In Proportion To The Unit Entitlement Of The Strata Lot As Shown On Form 1
- (c) PID: 010-344-616
Lot 1, Section 3, Township 8, New Westminster District Plan 21252

4. **Siting and Size of Buildings and Structures and Site Coverage**

The location, size and site coverage of the buildings and structures of the Development shall generally conform to the plans and specifications comprising 19 pages and dated February 2, 2017 prepared by Keystone Architecture & Planning and KD Planning and Design, 1 copy of which is attached to Development Permit 02-17.

5. **Special Regulations**

Special regulations shall comply with subsection 9 Special Regulations prescribed in the respective zones under different Parts of this bylaw.

6. **Other Regulations**

In addition, land use regulations including the following are applicable:

- (a) General provisions on use are set out in Section I.D. of this bylaw;

- (b) Building Permits shall be subject to the City of Langley Building and Plumbing Regulation Bylaw and the Development Cost Charge Bylaw; and
- (c) Subdivisions shall be subject to the City of Langley Subdivision and Development Servicing Bylaw, and the *Land Title Act*.”

READ A FIRST AND SECOND TIME this third day of April, 2017.

A PUBLIC HEARING, pursuant to Section 464 of the “Local Government Act” was held this ----- day of -----, 2017.

READ A THIRD TIME this ----- day of -----, 2017.

FINALLY ADOPTED this ----- day of -----, -----.

MAYOR

CORPORATE OFFICER

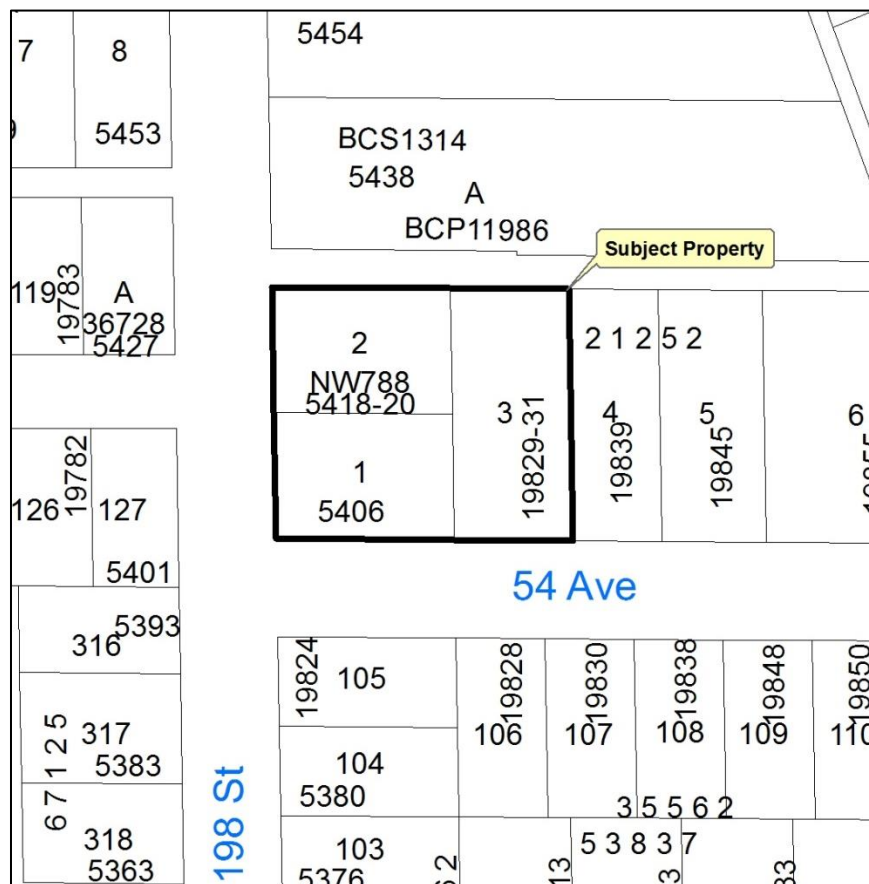
REZONING APPLICATION RZ 02-17 DEVELOPMENT PERMIT APPLICATION DP 02-17

Civic Address: 5406 – 198 Street, 5418-5420 – 198 Street, 19829-19831 – 54 Avenue

Legal Description: Lots 1 & 3, Section 3, Township 8, New Westminster District, Plan 21252; Strata Lots 1 & 2, Section 3, Township 8, New Westminster District, Strata Plan NW788

Owner: 1100626 BC Ltd., R. Cotton, K. Musa

Applicant: North Meridian Enterprises Ltd.





ADVISORY PLANNING COMMISSION REPORT

To: **Advisory Planning Commission**

Subject **Rezoning Application 02-17/Development
Permit Application 02-17, Keystone
Architecture & Planning, 5406, 5418-5420 -
198th Street and 19829-19831-54 Avenue**

File #: 6620.00

From: Development Services & Economic Development
Department

Doc #:

Date: February 21, 2017

COMMITTEE RECOMMENDATION:

That Rezoning Application RZ 02-17 and Development Permit Application 02-17 to accommodate a 62 unit condominium apartment located at 5406, 5418-5420-198th Street and 19829-19831- 54 Avenue be approved subject to execution of a Development Servicing Agreement in compliance with the conditions outlined in the Director of Development Services & Economic Development report

PURPOSE OF REPORT:

To consider a Rezoning Application and Development Permit Application by Keystone Architecture & Planning Ltd. to accommodate a 62 unit condominium development.

POLICY:

The subject properties are zoned RM1 Multiple Residential Low Density Zone and RS1 Single Family Residential Zone in Zoning Bylaw No. 2100 and designated “High Density Residential” in the Official Community Plan. All lands designated



Multiple Family Residential are subject to a Development Permit to address building form and character.

COMMENTS/ANALYSIS:

Background Information:

Applicant:	Keystone Architecture & Planning Ltd.
Owners:	Randy Cotton, Khalid Musa, 1100626 B.C. Ltd., K& G Claire Holdings Ltd.
Civic Addresses:	5406, 5418-5420 -198 th Street and 19829-19831-54 th Avenue
Legal Description:	Strata Lot 1, Section 3, Township 8, New Westminster District Strata Plan NW788 Together With An Interest In The Common Property In Proportion To The Unit Entitlement Of The Strata Lot As Shown On Form 1, Strata Lot 2, Section 3, Township 8, New Westminster District Strata Plan NW788 Together With An Interest In The Common Property In Proportion To The Unit Entitlement Of The Strata Lot As Shown On Form 1, Lot 1, Section 3, Township 8, New Westminster District Plan 21252, Lot 3, Section 3, Township 8, New Westminster District Plan 21252
Site Area:	.77acre (33,866.55 ft ²)
Lot Coverage:	39%
Gross Floor Area:	13,219 ft ²
Floor Area Ratio:	1.57 FSR
Total Parking Required:	90 spaces (including 12 visitor)
Total Parking Provided:	90 spaces (including 12 visitor)
Existing Zoning:	RM1 –Multiple Residential Low Density Zone and RS1 –Single Family Residential Zone
Proposed Zoning:	CD 46 –Comprehensive Development Zone
OCP Designation:	High Density Residential (80 units/acre)
Variances Requested:	None
Development Cost Charges:	\$586,742 (includes \$104,387.50 DCC Credit)
Community Amenity Charge:	\$62,000 (@\$1,000/unit)



Engineering Requirements:

Additional design changes may be required upon further investigation, site inspections and receipt of supporting reports and documents. All work to be done to the City of Langley Specifications & MMCD Standards.

These requirements have been issued for a rezoning and development permit for a proposed **Multi-Family Development**. These requirements may be subject to change upon receipt of a development application.

The City's Zoning Bylaw, 1996, #2100 has requirements concerning landscaping for buffer zones, parking, loading areas, and garbage / recycling areas, all of which apply to this Development.

A) The developer is responsible for the following work which shall be designed and approved by a Professional Engineer:

1. Implement erosion and sediment control measures designed and approved by a qualified professional in accordance with the City of Langley Watercourse Protection Bylaw #2518.
2. Conduct a water flow test and provide fire flow calculations by a Professional Engineer to determine if the existing water network is adequate for fire flows and achieve the necessary pressure and flows to conform to Fire Underwriters Survey (FUS) "Water Supply for a Public Fire Protection, a Guide to Recommended Practice, 1995".
3. Additional C71P fire hydrants may be required to meet bylaw and firefighting requirements. Hydrant locations must be approved by the City of Langley Fire Department.
4. New water, sanitary and storm sewer service connections are required for the site. The developer's engineer will determine the appropriate main tie in locations and size the connections for the necessary capacity. The capacity of the existing water and sewer mains shall be assessed and any upgrades required to service the site shall be designed and installed at the Developer's expense. All existing services shall be capped at the main, at the Developer's expense.



5. A stormwater management plan for the site is required. Rainwater management measures used on site shall limit the release rate to mitigate flooding and environmental impacts as detailed in the Subdivision and Development Bylaw.
6. The site layout shall be designed by a civil engineer to ensure that the parking and access layout meets minimum design standards, including setbacks from property lines. Appropriate turning templates should be used to prove parking stalls and drive-aisles are accessible by the design vehicle.
7. The condition of the existing pavement surrounding the site shall be assessed by a geotechnical engineer. Pavements shall be adequate for an expected road life of 20 years under the expected traffic conditions for the class of road. Road construction and asphalt overlay designs shall be based on the analysis of the results of Benkelman Beam tests and test holes carried out on the existing road which is to be upgraded. If the pavement is inadequate it shall be remediated, at developer's cost. Additionally, any widening of the pavement structure, required to meet the design road width, will need to be designed by a geotechnical engineer.
8. Vehicular access to the site will be from the laneway north of the site and/or 54 Avenue.
9. Removal of driveway crossings, new street trees, street lighting, curb and gutter and 1.8m wide sidewalk is required along 198 Street.
10. Removal of driveway crossings, new street trees, curb and gutter and 1.5m wide sidewalk is required along 54 Avenue. 54 Avenue shall be designed to a modified local road standard (curb to curb width 11.0m)
11. Existing street lighting along 54 Avenue Street shall be reviewed, by an approved lighting consultant, to ensure existing street lighting and lighting levels meet current City of Langley standards.
12. Undergrounding of overhead hydro/telephone is required along the 198 Street and 54 Avenue frontages.

B) The developer is required to deposit the following bonding and connection fees:

1. A Security Deposit of 110% of the estimated offsite works, as approved by the Director of Engineering, Parks and Environment, will be required.



2. Inspection and administration fees in accordance to the Subdivision Bylaw based on a percentage of the estimated construction costs. (See Schedule A – General Requirement - GR5.1 for details).
3. A deposit for storm, sanitary and water connections is required, which will be determined after detailed civil engineering drawings are submitted, sealed by a Professional Engineer.
4. A \$20,000 bond for the installation of a water meters to current standards.

C) The developer is required to adhere to the following conditions:

1. Underground hydro and telephone, and cable services to the development site are required.
2. Consolidate the subject properties. All survey costs and registration of documents with the Land Titles Office are the responsibility of the developer/owner.
3. Water meters are required for each water connection and are to be installed outside in a vault away from any structure, in accordance with the City's water meter specifications, at the developer's cost.
4. An approved backflow prevention assembly must be installed on the domestic water connection immediately upon entering the building to provide premise isolation.
5. A "Stormceptor" or equivalent oil separator is required to treat site surface drainage.
6. A complete set of "as-built" drawings sealed by a Professional Engineer shall be submitted to the City after completion of the works. Digital drawing files in *.pdf* and *.dwg* format shall also be submitted.
7. The selection, location and spacing of street trees and landscaping shall be in accordance with the City of Langley's Official Community Plan Bylaw, 2005, No. 2600 and Street Tree Program, November, 1999 manual.
8. Stormwater run-off generated on the site shall not impact adjacent properties, or roadways.
9. Garbage and recycling enclosures shall be designed to meet Metro Vancouver's "Technical Specifications for Recycling and Garbage Amenities in Multi-family and Commercial Developments - June 2015 Update". The current layout does not seem to provide a location for this.



Discussion:

The proposed four-story condominium apartment proposes unit sizes ranging from approximately 400 ft² to 1,100 ft² and offer a variety of studio, one-bedroom, two-bedroom and two-bedroom plus den suites. The siting and massing of the building is designed to allow natural daylight into the units through large windows and balcony projections and into the courtyard from the east where morning daylighting will encourage activity within the generous outdoor amenity space provided. Indoor and outdoor amenity space is conveniently connected at the ground floor level through an inviting covered entrance with walkways that connect the spaces as well as to and from the street and visitors parking area.

The building façade is rhythmically divided up and massed vertically and horizontally in such a way to create a sense of individuality and to appear as separate buildings, with a ground floor level scaled to allow a street-friendly and inviting connection with the two street faces. The exposed parkade portions are surface treated and line with a vegetative buffer and are permeable from the street by means of wide stairs and ramps.

The exterior treatment reflect that of an urban contemporary vernacular theme with the use of grey, white and steel tones and wood accents to bring a sense of warmth and welcoming as a livable space within the City of Langley.

Materials consist of a blend of stone, metal panel, cementitious cladding and stucco with glass and steel panel along the balcony projections that both articulate a lower scale at the street courtyard entries, and also sense of interest, openness and livability at the upper exterior interfaces with the public realm with enhanced views allow tenants to experience the outdoor while yet maintaining privacy within the suites.

Convenient dedicated visitor and including handicap parking stalls is located on the surface, with a separate secured parking area with a security gate for tenants. Planting and landscape features incorporated CPTED principles, featuring decorative fencing along the street level softening the hard streetscape and pedestrian walkways throughout the entire development.

The proposed development generally complies with the Multifamily Residential Development Permit Area Guidelines for apartment developments.



Fire Department Comments:

Langley City Fire-Rescue Service has reviewed the attached plans and provided preliminary comments to the applicant. The department will review, and make further comment, as the project continues to the building permit design stage.

Advisory Planning Commission:

In accordance with Development Application Procedures Bylaw No. 2488, the subject applications will be reviewed by the Advisory Planning Commission at the March 8, 2017 meeting. A copy of the APC minutes will be presented to Langley City Council at the March 20, 2017 Regular Council meeting.

BUDGET IMPLICATIONS:

In accordance with Bylaw No. 2482, the proposed development would contribute \$586,742 to Development Cost Charge accounts and \$62,000 in Community Amenity Charges.

ALTERNATIVES:

1. Require changes to the applicant's proposal.
2. Deny application.

Prepared by:



Gerald Minchuk, MCIP
Director of Development Services & Economic Development

attachments





**MINUTES OF THE
ADVISORY PLANNING COMMISSION MEETING**

**HELD IN LANGLEY CITY HALL
CKF COMMUNITY BOARDROOM**

**WEDNESDAY, MARCH 8, 2017
7:00 PM**

Present: Councillor Paul Albrecht, Vice-Chairman
John Beimers
Trish Buhler
Shelley Coburn, School District No. 35
Hana Hutchinson
Esther Lindberg
Corp. Steve McKeddie, Langley RCMP
Dan Millsip
George Roman
Jamie Schreder

Staff: Gerald Minchuk, Director of Development Services & Economic
Development

Absent: Councillor Jack Arnold, Chairman (with regrets)

1) **RECEIPT OF MINUTES**

MOVED BY Commission Member Lindberg
SECONDED BY Commission Member Schreder

THAT the minutes for the February 8, 2017 Advisory Planning
Commission meeting be received as circulated.

CARRIED

2) **REZONING APPLICATION RZ 02-17/DEVELOPMENT PERMIT**
APPLICATION DP 02-17 -5406, 5418, 5420-198TH STREET AND 19829-19831-54TH AVENUE

The Director Development Services & Economic Development provided a brief overview of the planning context for the proposed application and introduced Eric Poxleitner, Principal Architect, Keystone Architecture & Planning Inc. Mr. Poxleitner presented the proposed rezoning and development permit applications. Following discussion regarding density, building form and character, landscaping, CPTED, sprinkling provisions, amenity rooms, sustainability features, adaptable units, and engineering servicing requirements it was:

MOVED BY Commission Member Millsip
SECONDED BY Commission Member Buhler

That Rezoning Application RZ 02-17/Development Permit Application DP 02-17 to accommodate a 4-storey, 62-unit condominium apartment complex located at 5406, 5418, 5420-198th Street, and 19829-19831-54th Avenue be approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report be approved.

CARRIED

3) **REZONING APPLICATION RZ 03-17/DEVELOPMENT PERMIT**
APPLICATION DP 04-17 -5630 AND 5640-201A STREET

The Director Development Services & Economic Development provided a brief overview of the planning context for the proposed application and introduced Colin Hogan, Principal Architect, Focus Architecture Mr. Hogan presented the proposed rezoning and development permit applications. Following discussion regarding density, building form and character, landscaping, CPTED, sustainability features, amenity rooms, adaptable units, and engineering servicing requirements it was:

MOVED BY Commission Member Schreder
SECONDED BY Commission Member Buhler

That Rezoning Application RZ 03-17/Development Permit Application DP 04-17 to accommodate a 5-storey, 88-unit condominium apartment complex located at 5630 and 5640 -201A Street be approved subject to execution of a Development Servicing Agreement and compliance with

the conditions outlined in the Director of Development Services & Economic Development's report be approved.

CARRIED

4) **DEVELOPMENT PERMIT APPLICATION DP 03-17 -20670 LANGLEY BYPASS**

The Director Development Services & Economic Development provided a brief overview of the planning context for the proposed application and introduced Andrea Scott, Principal Lovick Scott Architects Ltd. Ms. Scott presented the proposed development permit application. Following discussion regarding building form and character, landscaping, CPTED, and engineering servicing requirements it was:

MOVED BY Commission Member Hutchinson
SECONDED BY Commission Member Lindberg

That Development Permit Application DP 03-17 to accommodate a 7,500 ft² retail warehouse located at 20670 Langley Bypass be approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report be approved.

CARRIED

5) **NEXT MEETING**

Wednesday, April 12, 2017

6) **ADJOURNMENT**

MOVED BY Commission Member Schreder
SECONDED BY Commission Member Roman

THAT the meeting adjourn at 9:00 P.M.

CARRIED



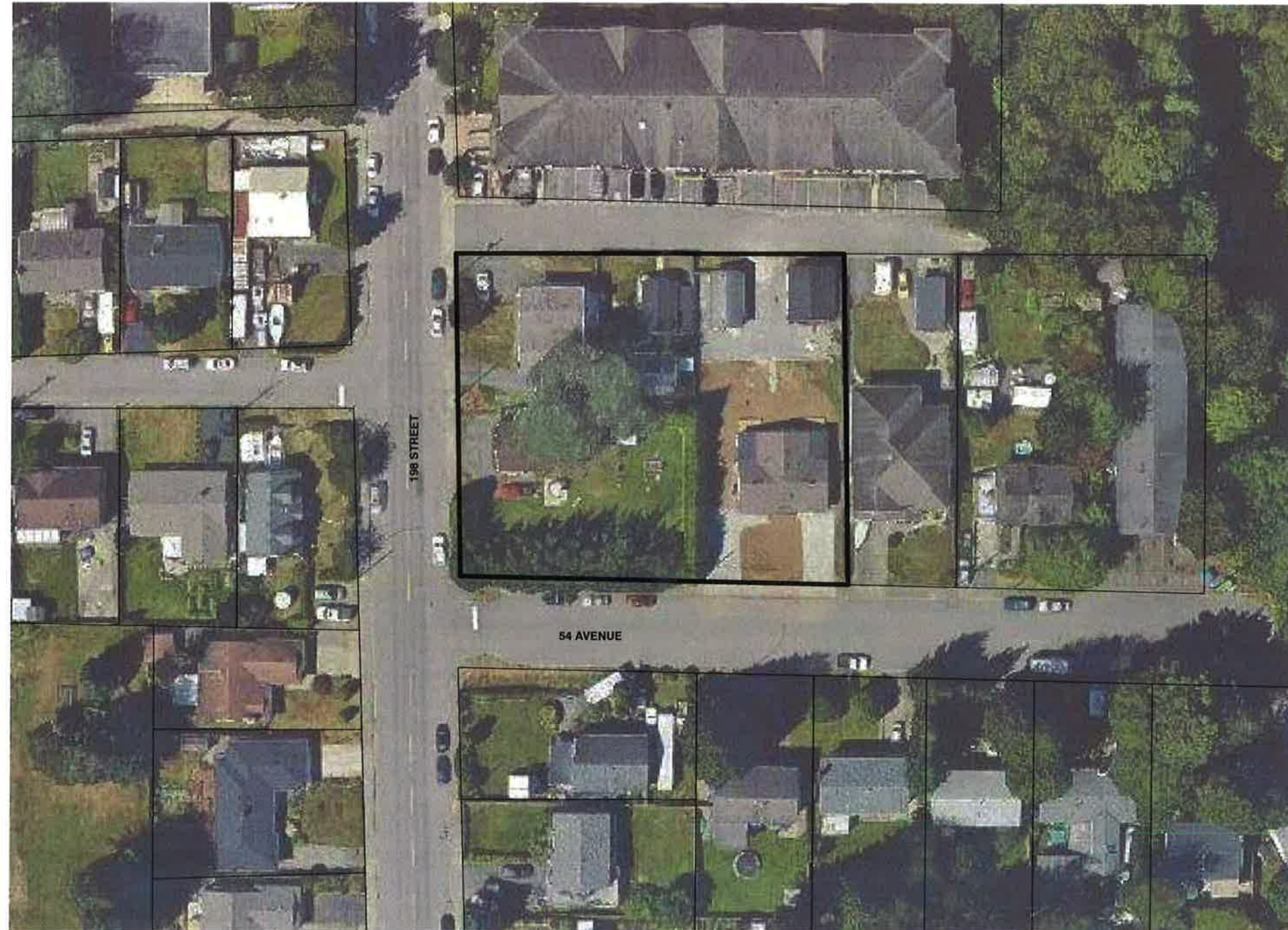
ADVISORY PLANNING COMMISSION VICE-CHAIRMAN



DIRECTOR OF DEVELOPMENT SERVICES & ECONOMIC DEVELOPMENT

Certified Correct







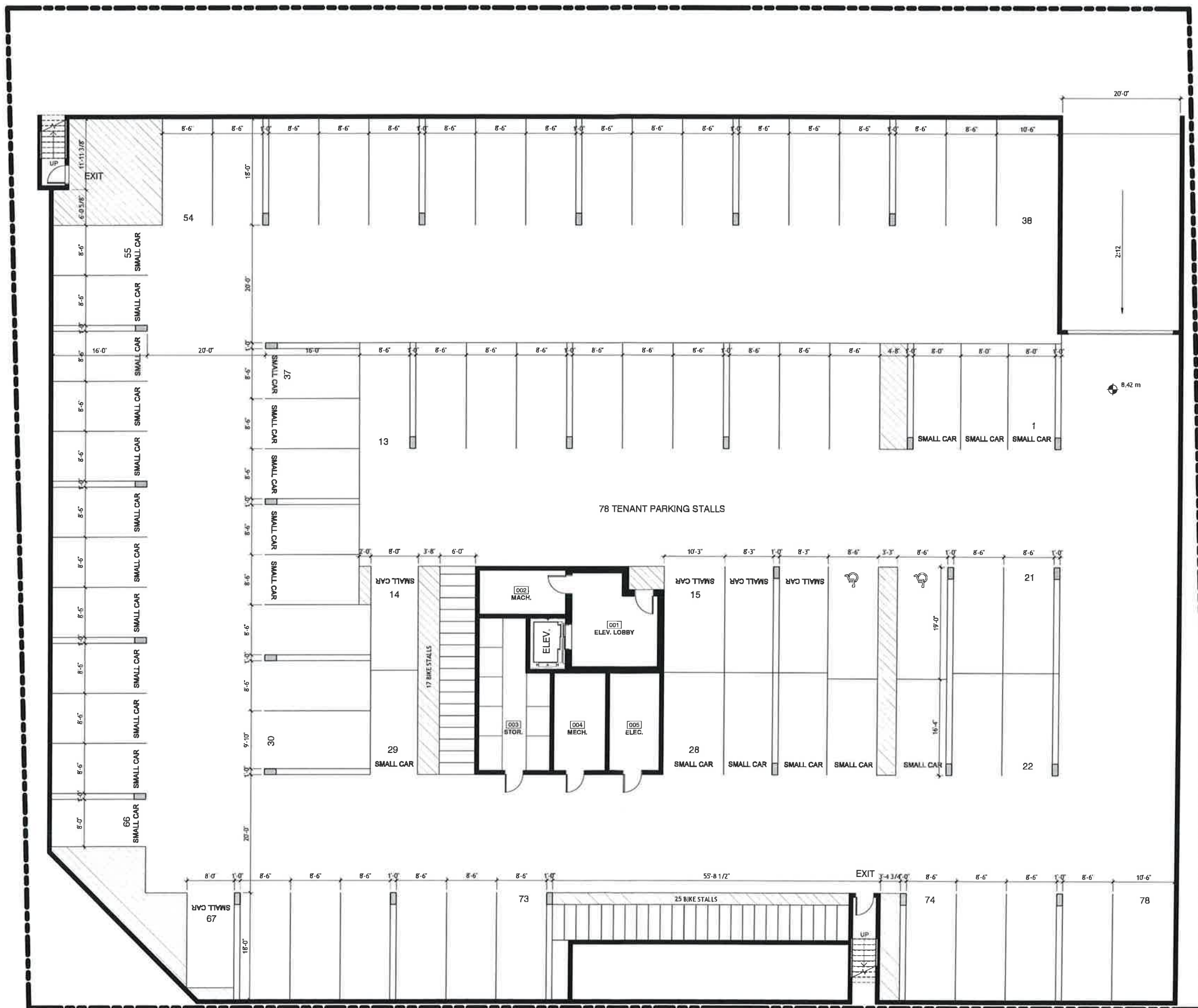
A. PROJECT DATA	
PROJECT:	NORTH MERIDIAN APARTMENTS
CURRENT ZONING:	RS - SINGLE FAMILY RESIDENTIAL
PROPOSED ZONING:	CD (COMPREHENSIVE DEVELOPMENT ZONE)
CIVIC ADDRESS:	54 AVENUE & 198 STREET, LANGLEY B.C.
LEGAL DESCRIPTION:	STRATA LOT 1 SECTION 3 TOWNSHIP 8 NEW WESTMINSTER DISTRICT STRATA PLAN HW788, PARCEL IDENTIFIER: 001-522-841 STRATA LOT 2 SECTION 3 TOWNSHIP 8 NEW WESTMINSTER DISTRICT STRATA PLAN HW788, PARCEL IDENTIFIER: 001-522-884 LOT 1 SECTION 3 TOWNSHIP 8 NEW WESTMINSTER DISTRICT PLAN 21252, PARCEL IDENTIFIER: 010-344-616 LOT 3 SECTION 3 TOWNSHIP 8 NEW WESTMINSTER DISTRICT PLAN 21252, PARCEL IDENTIFIER: 005-590-264
SITE AREA:	33,866.55 S.F. +/- (3146.31 S.M.)
BUILDING AREA:	13,219.02 S.F. +/- (1228.09 S.M.)
LOT COVERAGE:	39 %
FAR:	53,135.67 S.F. / 33,866.55 S.F. = 1.57

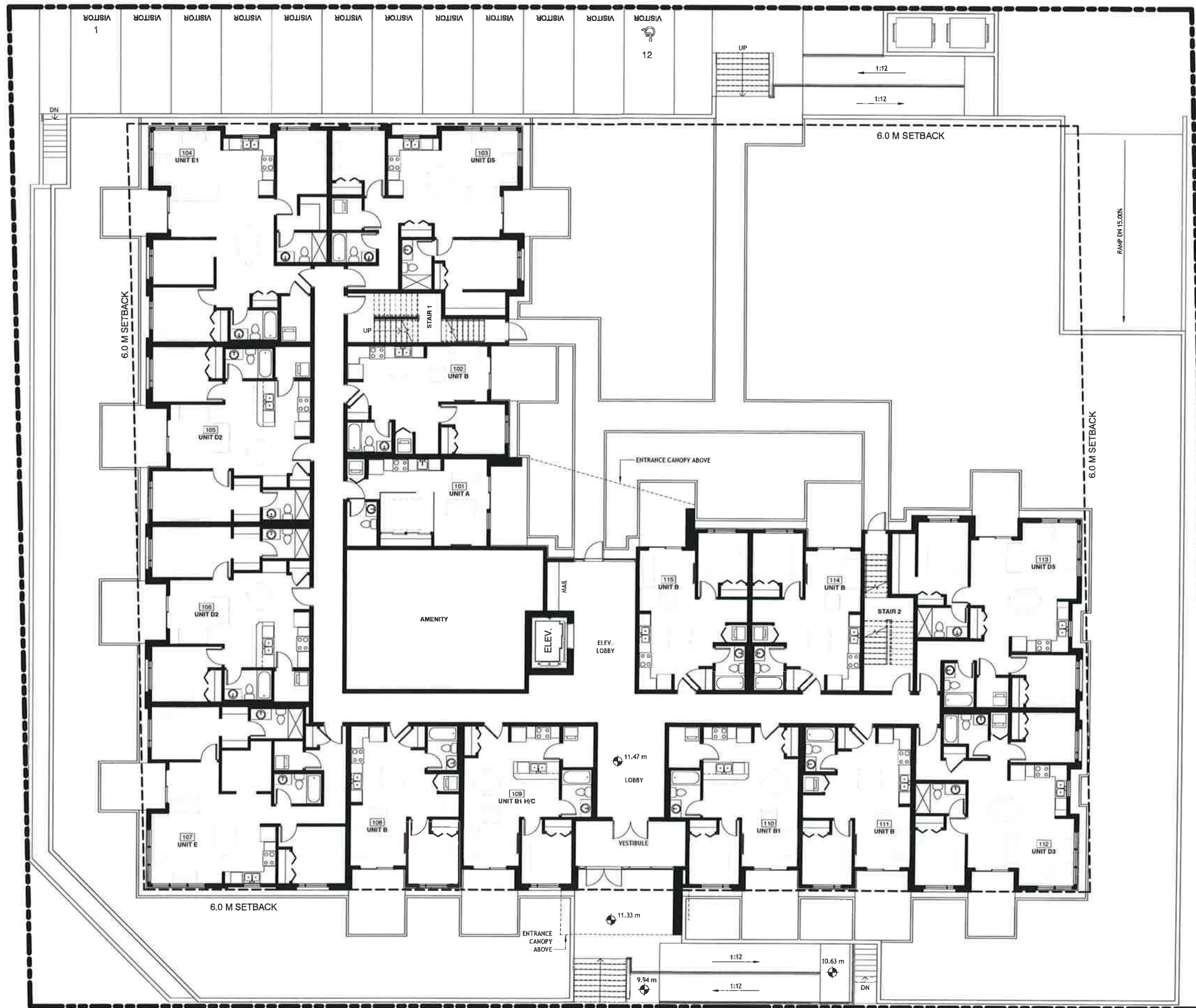
B. FLOOR AREA			
RESIDENTIAL		TOTAL	
1ST FLOOR	10393	965.54	
2ND FLOOR	11033.65	1025.06	
3RD FLOOR	11121.44	1033.22	
4TH FLOOR	11150.12	1035.88	
TOTAL	43698.21 S.F.	4059.70 S.M.	
STORAGE		TOTAL	
1ST FLOOR	0	0	
2ND FLOOR	0	0	
3RD FLOOR	760.22	70.63	
4TH FLOOR	760.22	70.63	
TOTAL	1520.44 S.F.	141.26 S.M.	
CIRCULATION / SERVICE		TOTAL	
1ST FLOOR	2026.13	188.23	
2ND FLOOR	1502.12	139.55	
3RD FLOOR	1414.33	131.40	
4TH FLOOR	1414.33	131.40	
TOTAL	6356.91 S.F.	590.58 S.M.	
AMENITY		TOTAL	
1ST FLOOR	799.89	74.31	
2ND FLOOR	760.22	71.23	
3RD FLOOR	0	0	
4TH FLOOR	0	0	
TOTAL	1560.11 S.F.	144.94 S.M.	
REQUIRED	25 S.F. / UNIT = 25 S.F. * 62 UNITS	1550.00 S.F.	144 S.M.
PARKADE		TOTAL	
P1	27497.56	2554.61	
TOTAL	27497.56 S.F.	2554.61 S.M.	
FLOOR AREA SUMMARY			
GROSS BLDG AREA	53135.67 S.F.	4936.47 S.M.	
NET RENTABLE SUITE AREA	43698.21 S.F.	4059.70 S.M.	
EFFICIENCY		82.2%	

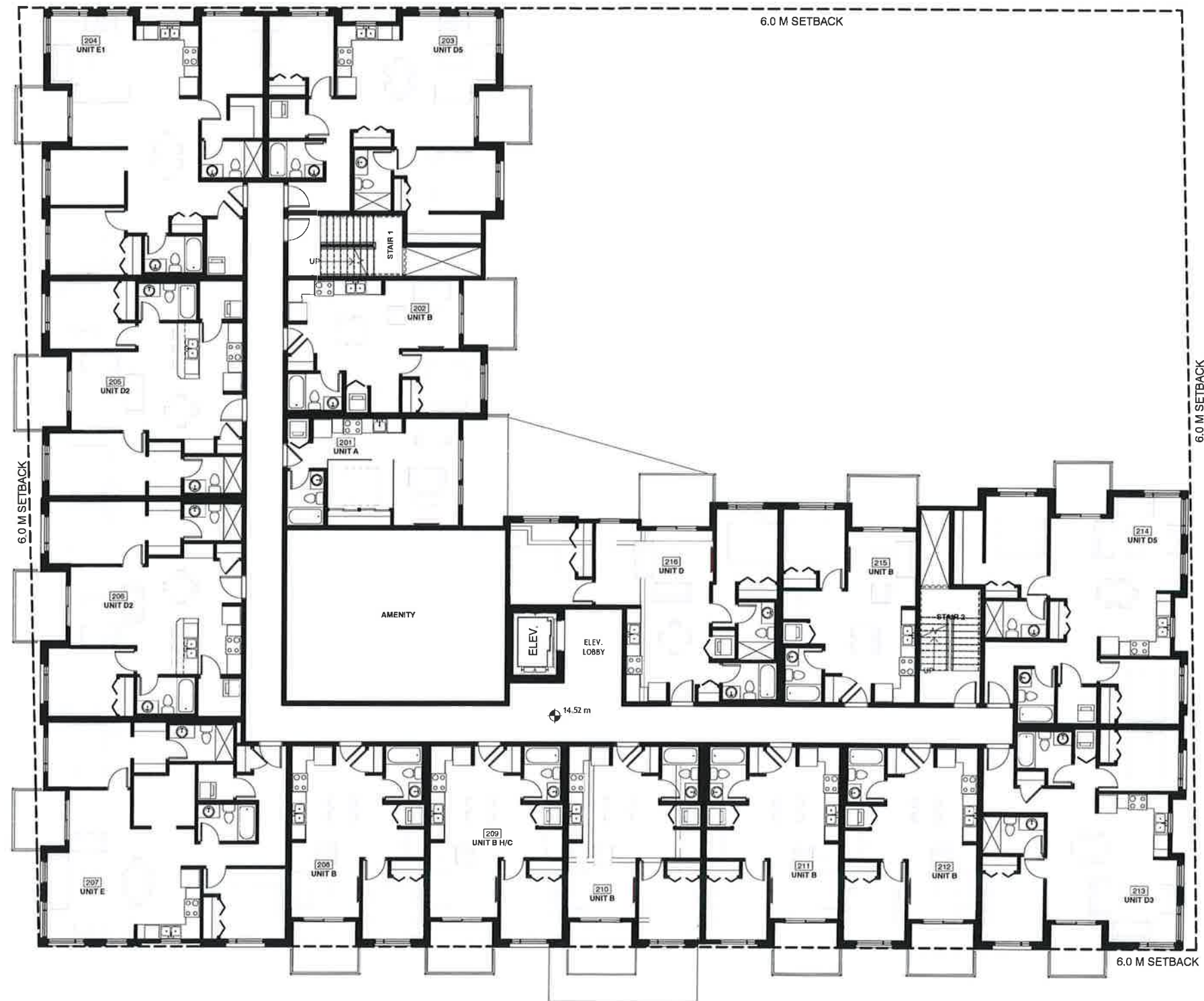
C. UNIT COUNT		
REFER TO AREA PLANS		
UNIT TYPE	QUANTITY	PERCENTAGE
STUDIO	4	6.5
1 BED	25	40.3
2 BED	33	53.2
TOTAL UNITS	62	100%
(INCLUDES 4 H/C SUITES)	(4)	(6.5%)

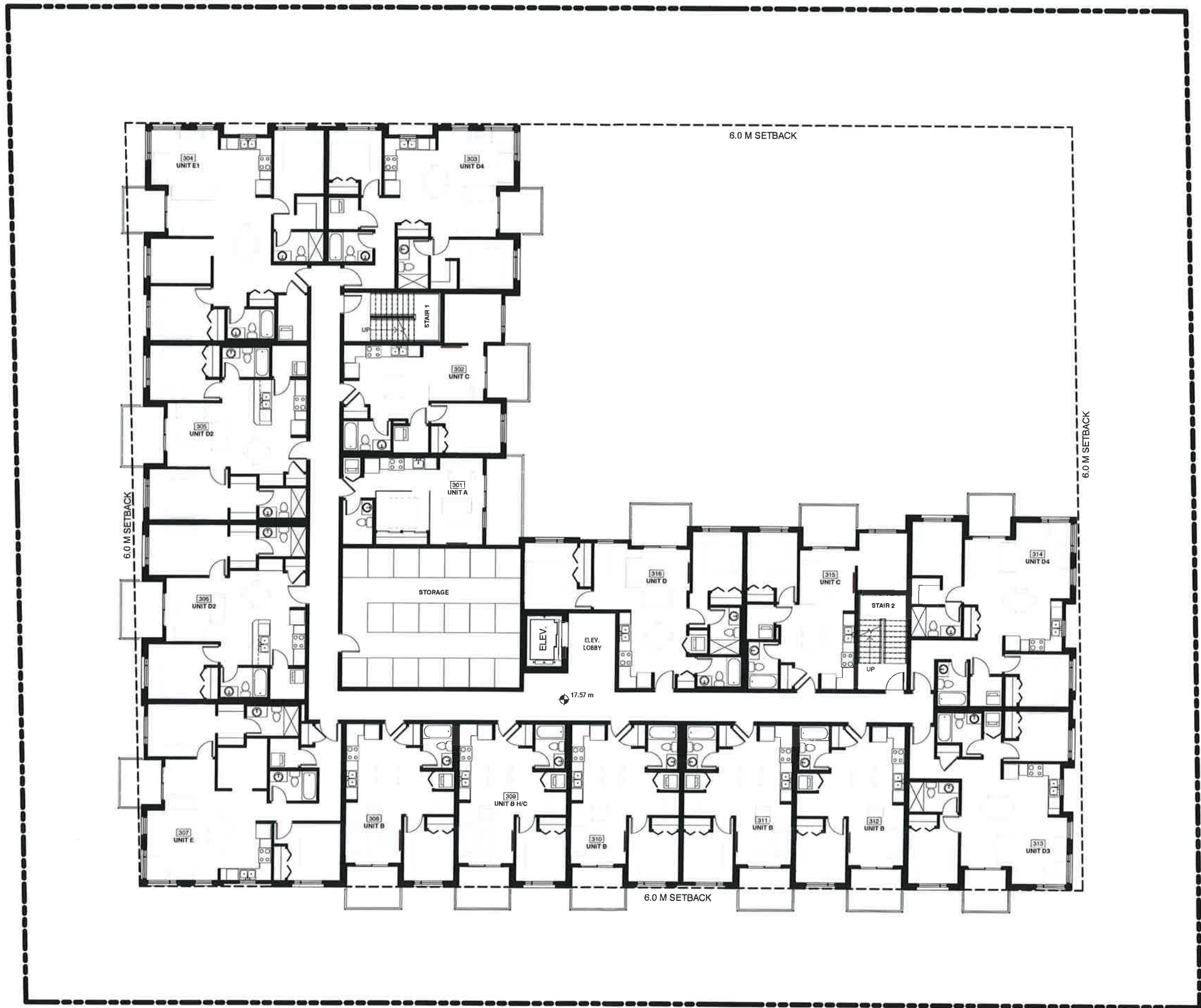
D. PARKING			
BASED ON RML ZONE			
REQUIRED (BYLAW REQUIREMENT)	NO. OF UNITS	FACTOR	TOTAL
RESIDENT - STUDIO	4	*1.2 STALLS/UNIT	5
RESIDENT - 1 BED	25	*1.2 STALLS/UNIT	30
RESIDENT - 2 BED	33	*1.3 STALLS/UNIT	43
VISITOR	62	*0.2	12
TOTAL PARKING STALLS REQUIRED			90
PROVIDED	SMALL CAR MAX 25 %	NO. H/C OF TOTAL	TOTAL
RESIDENT	29	2	78
VISITOR	0	1	12
TOTAL STALLS	32 %	3	90
BICYCLE PARKING REQUIRED (BYLAW REQUIREMENT)	NO. OF UNITS	FACTOR	TOTAL
BICYCLE STALLS	62	*0.5	31
BICYCLE PARKING PROVIDED	VERTICAL	HORIZONTAL	TOTAL
BICYCLE STALLS		42	42

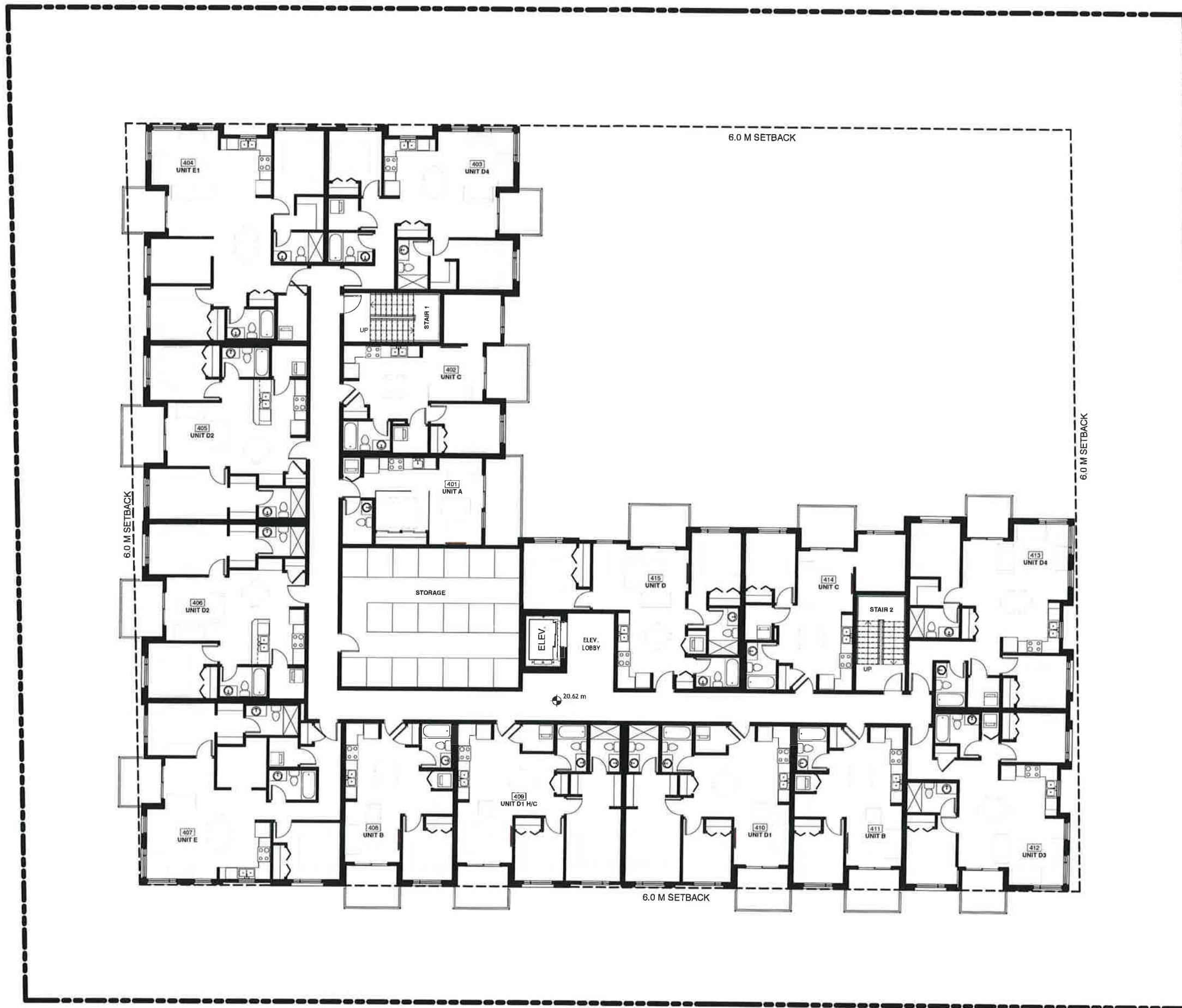
















SOUTH ELEVATION

1/8" = 1'-0"



WEST ELEVATION

1/8" = 1'-0"

MATERIAL LEGEND

- 1 EXTERIOR INSULATION FINISHING SYSTEM - STUCCO FINISH
COLOUR: ARCTIC WHITE
- 2 CEMENT BOARD SMOOTH PANEL SIDING (W/EASY TRIM ALUM.
REVEALS):
"JAMES HARDIE, COLOUR: 'NIGHT GRAY'
- 3 CEMENT BOARD SMOOTH PANEL SIDING (W/EASY TRIM ALUM.
REVEALS):
"JAMES HARDIE, COLOUR: 'IRON GRAY'
- 4 CEMENT BOARD CEDARSHILL HORIZONTAL LAP SIDING (6" EXPOSURE):
"JAMES HARDIE, COLOUR: 'EVENING BLUE'
- 5 MANUFACTURED STONE VENEER:
"CULTURED STONE, PRO-FIT MODERA LEDGESTONE
"COLOUR: 'CARBON'
- 6 LONGBOARD WOODGRAIN HORIZONTAL ALUMINUM SIDING, V-GROOVE
"COLOUR: 'LIGHT BAMBOO'
- 7 ALUMINUM METAL PANEL SIDING
"COLOUR: 'SILVER'
- 8 WINDOW VINYL:
"COLOUR: 'BLACK'
- 9 SLIDING PATIO DOOR VINYL:
"COLOUR: 'BLACK'
- 10 ALUMINUM BALCONY RAILING:
"COLOUR: 'BLACK'
- 11 HARDIE TRIM (RUSTIC GRAIN):
"JAMES HARDIE, COLOUR: 'IRON GRAY'
- 12 WOOD FASCIA BOARD (PAINTED):
"COLOUR: 'CHARCOAL'
- 13 WOOD FASCIA BOARD (PAINTED):
"COLOUR: 'PEARL GRAY'
- 14 METAL FLASHING:
"GENTEK, COLOUR: 'CHARCOAL'
- 15 EXTERIOR METAL GUARD
"COLOUR: 'BLACK'
- 16 EXTERIOR ALUMINUM RAILING:
"COLOUR: 'BLACK'
- 17 CONCRETE WALL:
"COLOUR: 'CLEAR SEALER'
- 18 PLANTERS (LANDSCAPE TIES)
"COLOUR: 'NATURAL WOOD'
- 19 ALUMINUM STOREFRONT SECTIONS:
"COLOUR: 'DARK BRONZE' (ANODIZED)
- 20 REVEAL:
"EASYTRIM, COLOUR: 'CLEAR ANODIZED'
- 21 EXTERIOR METAL DOOR:
"COLOUR: 'CHARCOAL'
- 22 METAL GUTTER:
"COLOUR: 'PREFINISHED CHARCOAL'
- 23 LONGBOARD WOODGRAIN ALUMINUM SOFFITS
"COLOUR: 'LIGHT BAMBOO'
- 24 BALCONY GLASS INFILL PANEL
- 25 BALCONY ALUMINUM METAL INFILL PANEL
"COLOUR: 'SILVER'



EAST ELEVATION
1/8" = 1'-0"



NORTH ELEVATION
1/8" = 1'-0"

MATERIAL LEGEND	
1	EXTERIOR INSULATION FINISHING SYSTEM - STUCCO FINISH COLOUR: ARCTIC WHITE
2	CEMENT BOARD SMOOTH PANEL SIDING (W/EASY TRIM ALUM. REVEALS): - JAMES HARDIE, COLOUR: NIGHT GRAY
3	CEMENT BOARD SMOOTH PANEL SIDING (W/EASY TRIM ALUM. REVEALS): - JAMES HARDIE, COLOUR: IRON GRAY
4	CEMENT BOARD CEDARMILL HORIZONTAL LAP SIDING (6" EXPOSURE): - JAMES HARDIE, COLOUR: EVENING BLUE
5	MANUFACTURED STONE VENEER: - CULTURED STONE, PRO-FIT MODERA LEDGESTONE - COLOUR: 'CARBON'
6	LONGBOARD WOODGRAIN HORIZONTAL ALUMINUM SIDING, V-GROOVE - COLOUR: 'LIGHT BAMBOO'
7	ALUMINUM METAL PANEL SIDING - COLOUR: 'SILVER'
8	WINDOW VINYL: - COLOUR: 'BLACK'
9	SLIDING PATIO DOOR VINYL: - COLOUR: 'BLACK'
10	ALUMINUM BALCONY RAILING: - COLOUR: 'BLACK'
11	HARDIE TRIM (RUSTIC GRAIN): - JAMES HARDIE, COLOUR: IRON GRAY
12	WOOD FASCIA BOARD (PAINTED): - COLOUR: 'CHARCOAL'
13	WOOD FASCIA BOARD (PAINTED): - COLOUR: 'PEARL GRAY'
14	METAL FLASHING: - GENTEX, COLOUR: 'CHARCOAL'
15	EXTERIOR METAL GUARD - COLOUR: 'BLACK'
16	EXTERIOR ALUMINUM RAILING: - COLOUR: 'BLACK'
17	CONCRETE WALL: - COLOUR: 'CLEAR SEALER'
18	PLANTERS (LANDSCAPE TIES) - COLOUR: 'NATURAL WOOD'
19	ALUMINUM STOREFRONT SECTIONS: - COLOUR: 'DARK BRONZE (ANODIZED)'
20	REVEAL: - EASTTRIM, COLOUR: 'CLEAR ANODIZED'
21	EXTERIOR METAL DOOR: - COLOUR: 'CHARCOAL'
22	METAL GUTTER: - COLOUR: 'PREFINISHED CHARCOAL'
23	LONGBOARD WOODGRAIN ALUMINUM SOFFITS: - COLOUR: 'LIGHT BAMBOO'
24	BALCONY GLASS INFILL PANEL
25	BALCONY ALUMINUM METAL INFILL PANEL - COLOUR: 'SILVER'



EAST ELEVATION - COURTYARD (Inside)

1/8" = 1'-0"



NORTH ELEVATION - COURTYARD (Inside)

1/8" = 1'-0"

MATERIAL LEGEND	
1	EXTERIOR INSULATION FINISHING SYSTEM - STUCCO FINISH COLOUR: ARCTIC WHITE
2	CEMENT BOARD SMOOTH PANEL SIDING (W/EASY TRIM ALUM. REVEALS): - JAMES HARDIE, COLOUR: 'NIGHT GRAY'
3	CEMENT BOARD SMOOTH PANEL SIDING (W/EASY TRIM ALUM. REVEALS): - JAMES HARDIE, COLOUR: 'IRON GRAY'
4	CEMENT BOARD CEDARMILL HORIZONTAL LAP SIDING (6" EXPOSURE): - JAMES HARDIE, COLOUR: 'EVENING BLUE'
5	MANUFACTURED STONE VENEER: - CULTURED STONE, PRO-FIT MODERA LEDGESTONE - COLOUR: 'CARBON'
6	LONGBOARD WOODGRAIN HORIZONTAL ALUMINUM SIDING, V-GROOVE - COLOUR: 'LIGHT BAMBOO'
7	ALUMINUM METAL PANEL SIDING - COLOUR: 'SILVER'
8	WINDOW VINYL: - COLOUR: 'BLACK'
9	SLIDING PATIO DOOR VINYL: - COLOUR: 'BLACK'
10	ALUMINUM BALCONY RAILING: - COLOUR: 'BLACK'
11	HARDIE TRIM (RUSTIC GRAIN): - JAMES HARDIE, COLOUR: 'IRON GRAY'
12	WOOD FASCIA BOARD (PAINTED): - COLOUR: 'CHARCOAL'
13	WOOD FASCIA BOARD (PAINTED): - COLOUR: 'PEARL GRAY'
14	METAL FLASHING: - GENTEK, COLOUR: 'CHARCOAL'
15	EXTERIOR METAL GUARD - COLOUR: 'BLACK'
16	EXTERIOR ALUMINUM RAILING: - COLOUR: 'BLACK'
17	CONCRETE WALL: - COLOUR: 'CLEAR SEALER'
18	PLANTERS (LANDSCAPE TIES) - COLOUR: 'NATURAL WOOD'
19	ALUMINUM STOREFRONT SECTIONS: - COLOUR: 'DARK BRONZE' (ANODIZED)
20	REVEAL: - 'EASYTRIM', COLOUR: 'CLEAR ANODIZED'
21	EXTERIOR METAL DOOR: - COLOUR: 'CHARCOAL'
22	METAL GUTTER: - COLOUR: 'PREFINISHED 'CHARCOAL'
23	LONGBOARD WOODGRAIN ALUMINUM SOFFITS - COLOUR: 'LIGHT BAMBOO'
24	BALCONY GLASS INFILL PANEL
25	BALCONY ALUMINUM METAL INFILL PANEL - COLOUR: 'SILVER'



198 STREET & 54 AVENUE



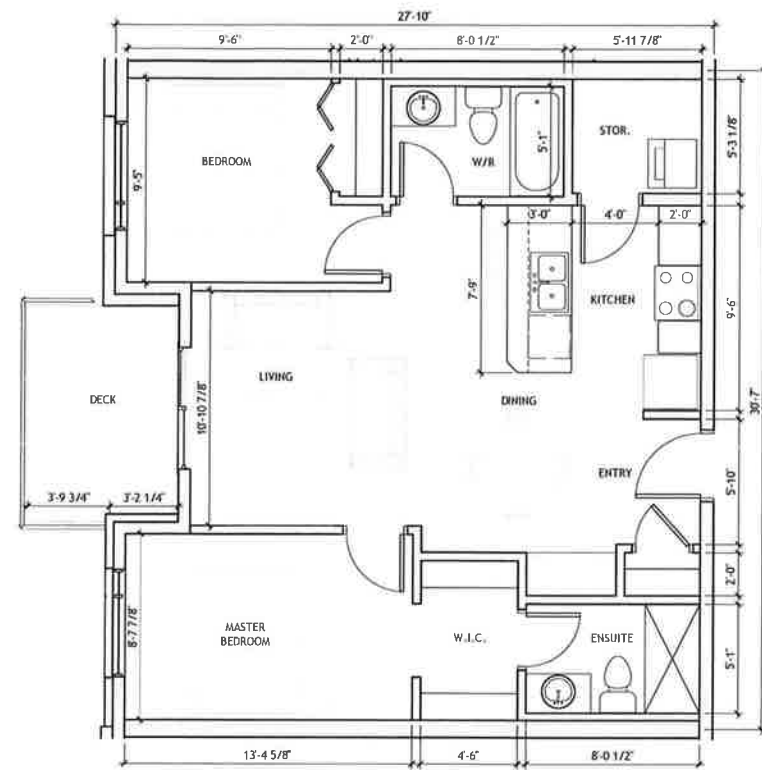
198 STREET



COURTYARD AT LANE



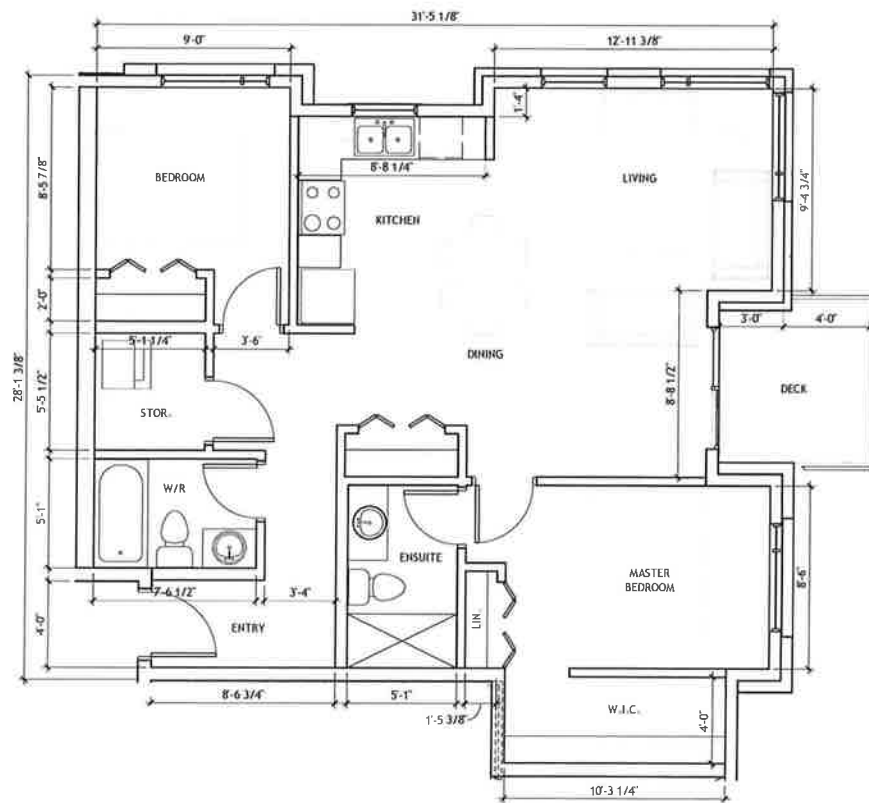
ADJACENT PROPERTY



UNIT TYPE D2 - 2 Bed

1/4" = 1'-0"

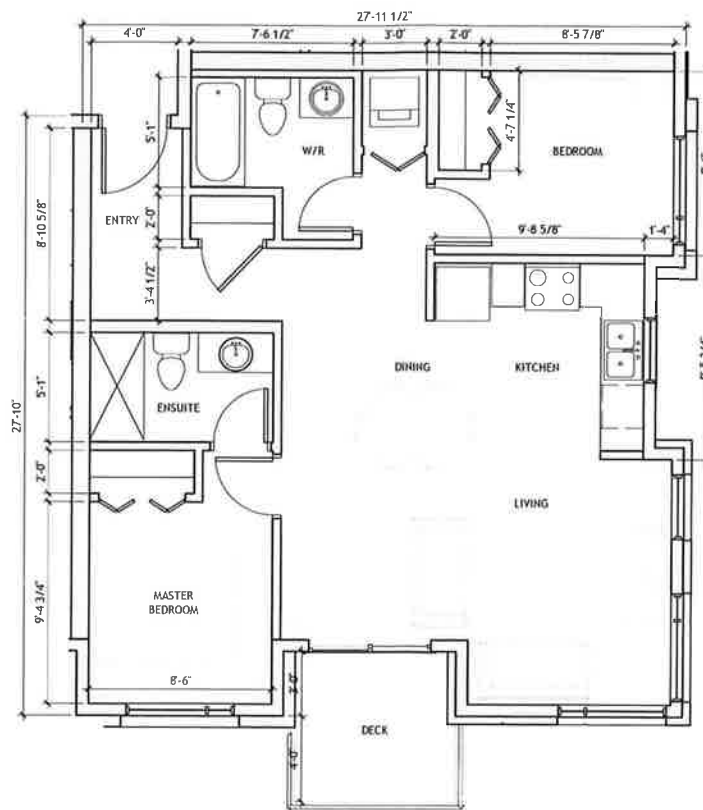
AREA: 820 SF +/-
NO. OF THIS UNIT: 8



UNIT TYPE D5 - 2 Bed Corner

1/4" = 1'-0"

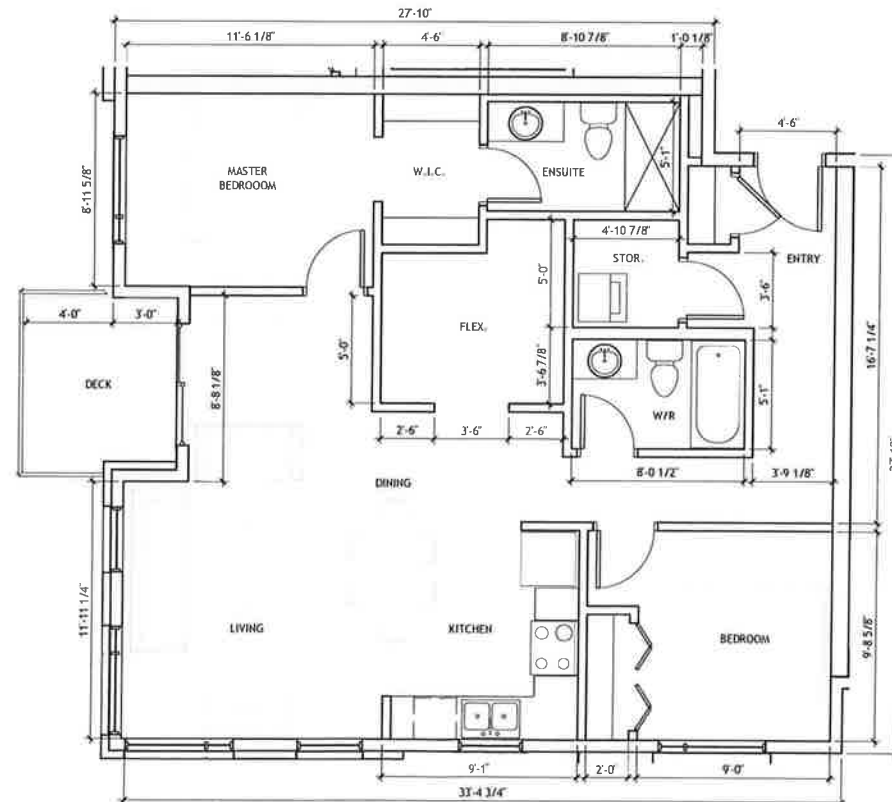
AREA: 914 SF +/-
NO. OF THIS UNIT: 4



UNIT TYPE D3 - 2 Bed Corner

1/4" = 1'-0"

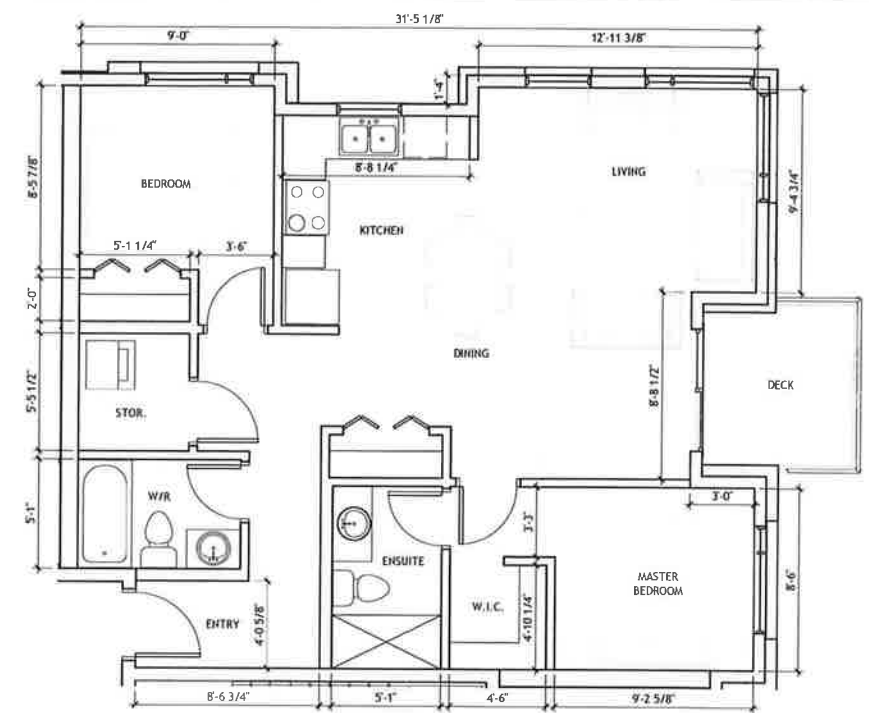
AREA: 803 SF +/-
NO. OF THIS UNIT: 4



UNIT TYPE E - 2 Bed + Flex

1/4" = 1'-0"

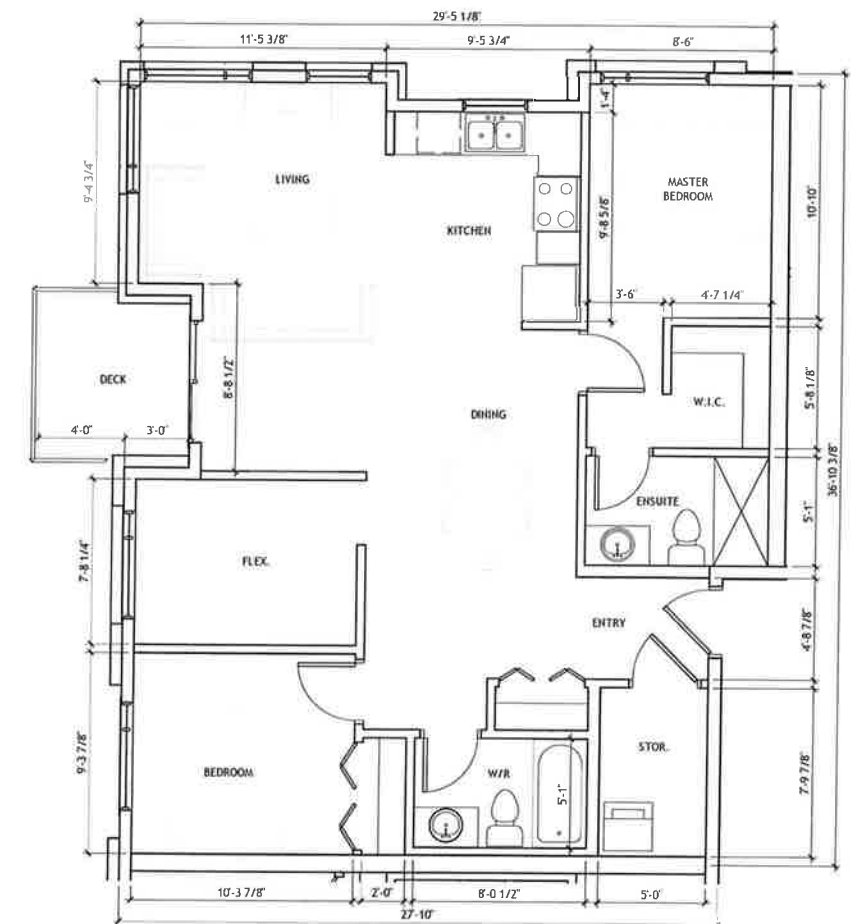
AREA: 1009 SF +/-
NO. OF THIS UNIT: 4



UNIT TYPE D4 - 2 Bed Corner

1/4" = 1'-0"

AREA: 864 SF +/-
NO. OF THIS UNIT: 4



UNIT TYPE E1 - 2 Bed + Flex

1/4" = 1'-0"

AREA: 1051 SF +/-
NO. OF THIS UNIT: 4



ZONING BYLAW, 1996, No. 2100
AMENDMENT No. 135, 2017, BYLAW No. 3018
DEVELOPMENT PERMIT APPLICATION DP 04-17

To consider a Rezoning Application and Development Permit Application by Focus Architecture to accommodate a 5-storey, 88-unit condominium apartment development.

The subject property is currently zoned RM2 Multiple Residential Medium Density Zone in Zoning Bylaw No. 2100 and designated “Downtown Commercial” in the Official Community Plan. All lands designated Downtown Commercial are subject to a Development Permit to address building form and character.

Background Information:

Applicant:	Focus Architecture Inc.
Owner:	Creada Holding Inc.
Civic Addresses:	5630 and 5640 -201A st Street
Legal Description:	Lot 36 and Lot 37, District Lot 309, Group 2, New Westminster District Plan 26341
Site Area:	3,725m ² (40,100 ft ²)
Lot Coverage:	53%
Total Parking Required:	124 spaces (including 18 visitor)
Total Parking Provided:	125 spaces (including 18 visitor)
Existing Zoning:	RM2 Multiple Residential Medium Density Zone
Proposed Zoning:	CD47-Comprehensive Development Zone
OCP Designation:	Downtown Commercial
Variances Requested:	None
Development Cost Charges:	\$498,455 (includes \$482,503 MF DCC Credit)



**ZONING BYLAW, 1996, No. 2100
AMENDMENT No. 135**

BYLAW No. 3018

A Bylaw to amend City of Langley Zoning Bylaw, 1996, No. 2100 to add a new Comprehensive Development Zone (CD47) and to rezone the property located at 5630 and 5640 -201A Street to the new zone.

WHEREAS the *Local Government Act* authorizes a local government to zone areas of a municipality and to make regulations pursuant to zoning;

NOW THEREFORE the Council of the City of Langley, in open meeting assembled, enacts as follows:

1. Title

This bylaw shall be cited as the “Zoning Bylaw 1996, No. 2100 Amendment No. 135, 2017, No. ”.

2. Amendment

- (1) Bylaw No. 2100, cited as the “Zoning Bylaw, 1996, No. 2100” is hereby amended by adding in Part VII Comprehensive Development Zones the following as the new Zone classification of Comprehensive Development – 47 (CD47) Zone: immediately after Comprehensive Development -46 (CD46) Zone:

“PP. CD47 COMPREHENSIVE DEVELOPMENT ZONE

1. Intent

This Zone is intended to accommodate and regulate a 5-storey, 88-unit condominium apartment development.

2. Permitted Uses

The Land, buildings and structures shall only be used for the following uses only:

- (a) Multiple-Unit Residential; and

- (b) Accessory uses limited to the following:
 - (i) *Home Occupations* excluding bed and breakfast and *child care centre*.

3. Site Dimensions

The following lot shall form the site and shall be zoned CD 47 Comprehensive Development Zone on the Zoning Map, City of Langley Zoning Bylaw, 1996, No. 2100, Schedule “A”:

- (a) PID: 002-692-104
Lot 36, District Lot 309, Group 2, New Westminster District Plan 26341
- (b) PID: 004-622-430
Lot 37, District Lot 309, Group 2, New Westminster District Plan 26341

4. Siting and Size of Buildings and Structures and Site Coverage

The location, size and site coverage of the buildings and structures of the Development shall generally conform to the plans and specifications comprising 30 pages and dated February 7, 2017 prepared by Focus Architecture and Van der Zalm & Associates Inc. 1 copy of which is attached to Development Permit 04-17.

5. Special Regulations

Special regulations shall comply with subsection 9 Special Regulations prescribed in the respective zones under different Parts of this bylaw.

6. Other Regulations

In addition, land use regulations including the following are applicable:

- (a) General provisions on use are set out in Section I.D. of this bylaw;
- (b) Building Permits shall be subject to the City of Langley Building and Plumbing Regulation Bylaw and the Development Cost Charge Bylaw; and
- (c) Subdivisions shall be subject to the City of Langley Subdivision and Development Servicing Bylaw, and the *Land Title Act*.”

READ A FIRST AND SECOND TIME this third day of April, 2017.

A PUBLIC HEARING, pursuant to Section 464 of the “Local Government Act” was held
this ----- day of -----, 2017.

READ A THIRD TIME this ----- day of -----, 2017.

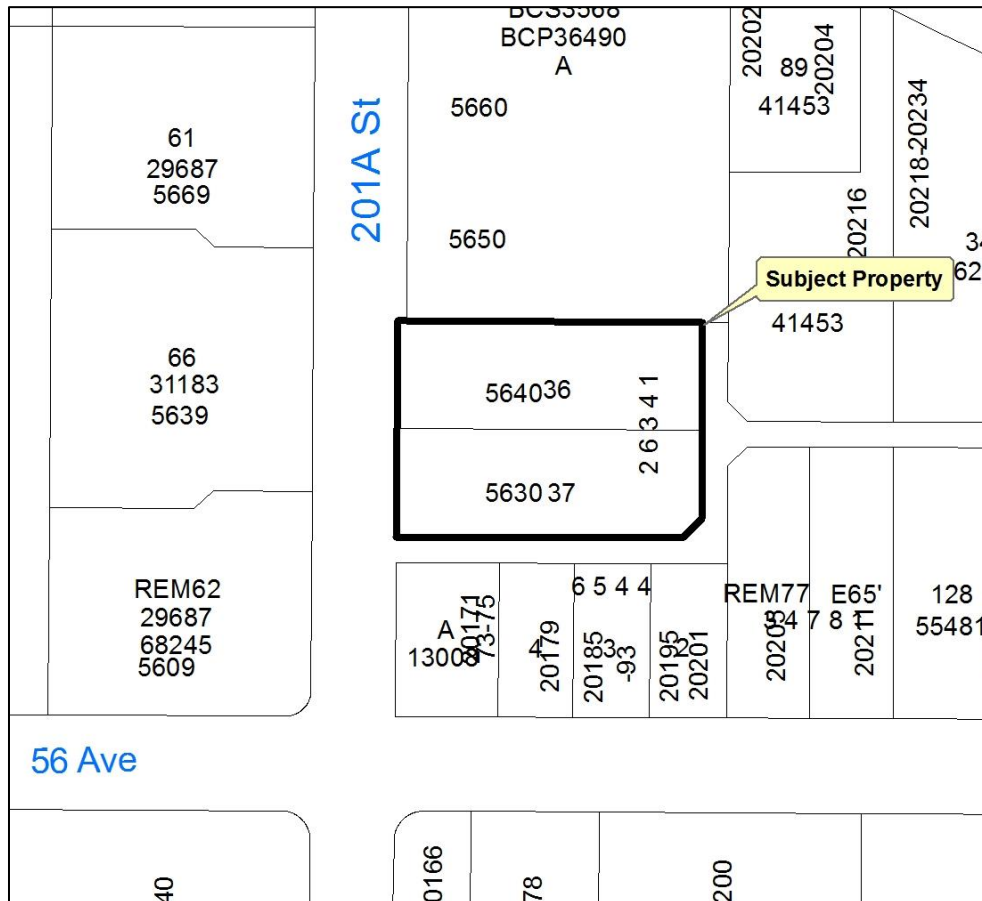
FINALLY ADOPTED this ----- day of -----, -----.

MAYOR

CORPORATE OFFICER

REZONING APPLICATION RZ 03-17 DEVELOPMENT PERMIT APPLICATION DP 04-17

Civic Address: 5630 & 5640 – 201A Street
Legal Description: Lots 36 & 37, District Lot 309, Group 2, New Westminster District, Plan 26341
Owner: Creada Holdings Inc.
Applicant: Focus Architecture Ltd.





ADVISORY PLANNING COMMISSION REPORT

To: **Advisory Planning Commission**

Subject **Rezoning Application 03-17/Development
Permit Application 04-17, Focus Architecture
Inc., 5630 and 5640 -201A Street**

From: Development Services & Economic Development
Department

File #: 6620.00

Doc #:

Date: February 21, 2017

COMMITTEE RECOMMENDATION:

That Rezoning Application RZ 03-17 and Development Permit Application DP 04-17 to accommodate a 88 unit 5-Storey condominium apartment located at 5630 and 5640 -201A Street be approved subject to execution of a Development Servicing Agreement in compliance with the conditions outlined in the Director of Development Services & Economic Development report.

PURPOSE OF REPORT:

To consider a Rezoning Application and Development Permit Application by Focus Architecture Inc. to accommodate a 88 unit, 5-Storey condominium apartment.

POLICY:

The subject property is zoned RM2 Multiple Residential Medium Density Zone in Zoning Bylaw No. 2100 and designated “Downtown Commercial” in the Official Community Plan. All lands designated Downtown Commercial are subject to a Development Permit to address building form and character.



COMMENTS/ANALYSIS:

Background Information:

Applicant:	Focus Architecture Inc.
Owner:	Creada Holding Inc.
Civic Addresses:	5630 and 5640 -201A st Street
Legal Description:	Lot 36 and Lot 37, District Lot 309, Group 2, New Westminster District Plan 26341
Site Area:	3,725m ² (40,100 ft ²)
Lot Coverage:	53%
Total Parking Required:	124 spaces (including 18 visitor)
Total Parking Provided:	125 spaces (including 18 visitor)
Existing Zoning:	RM2 Multiple Residential Medium Density Zone
Proposed Zoning:	CD47-Comprehensive Development Zone
OCP Designation:	Downtown Commercial
Variances Requested:	None
Development Cost Charges:	\$498,455 (includes \$482,503 MF DCC Credit)
Community Amenity Charge:	\$88,000 (@\$1,000/unit)

Engineering Requirements:

These requirements have been issued for a rezoning and development permit for a proposed **Multi-Family Development at 5630 and 5640 201A Street**. These requirements may be subject to change upon receipt of a development application.

The City's Zoning Bylaw, 1996, #2100 has requirements concerning landscaping for buffer zones, parking, loading areas, and garbage / recycling areas, all of which apply to this Development.

A) The developer is responsible for the following work which shall be designed and approved by a Professional Engineer:



1. Implement erosion and sediment control measures designed and approved by a qualified professional in accordance with the City of Langley Watercourse Protection Bylaw #2518.
2. Conduct a water flow test and provide fire flow calculations by a Professional Engineer to determine if the existing water network is adequate for fire flows and achieve the necessary pressure and flows to conform to Fire Underwriters Survey (FUS) “Water Supply for a Public Fire Protection, a Guide to Recommended Practice, 1995”.
3. Additional C71P fire hydrants may be required to meet bylaw and firefighting requirements. Hydrant locations must be approved by the City of Langley Fire Department.
4. New water, sanitary and storm sewer service connections are required for the site. The developer’s engineer will determine the appropriate main tie in locations and size the connections for the necessary capacity. The capacity of the existing water and sewer mains shall be assessed and any upgrades required to service the site shall be designed and installed at the Developer’s expense. All existing services shall be capped at the main, at the Developer’s expense.
5. A stormwater management plan for the site is required. Rainwater management measures used on site shall limit the release rate to mitigate flooding and environmental impacts as detailed in the Subdivision and Development Bylaw.
6. The condition of the existing pavement on 201A Street shall be assessed by a geotechnical engineer. Pavements shall be adequate for an expected road life of 20 years under the expected traffic conditions for the class of road. Road construction and asphalt overlay designs shall be based on the analysis of the results of Benkelman Beam tests and test holes carried out on the existing road which is to be upgraded. If the pavement is inadequate it shall be remediated, at developer’s cost. Additionally, any widening of the pavement structure, required to meet the design road width, will need to be designed by a geotechnical engineer. The laneways to the south and east of the site shall be reconstructed to the City of Langley standard as shown on standard drawing SDR 008
7. A 2.1m road dedication is required along 201A Street. 201A Street shall be designed to a collector road standard. The streetscape shall include new street trees, curb and gutter, utility strip, sidewalks and ornamental lighting as per the



City of Langley Downtown Master Plan see Downtown Realm of Influence standard.

8. Street lighting along 201A Street shall be designed by an approved lighting consultant, to ensure lighting levels meet current City of Langley standards..
9. Undergrounding of overhead hydro/tel, along 201A Street is required.

B) The developer is required to deposit the following bonding and connection fees:

1. A Security Deposit of 110% of the estimated offsite works, as approved by the Director of Engineering, Parks and Environment, will be required.
2. Inspection and administration fees in accordance to the Subdivision Bylaw based on a percentage of the estimated construction costs. (See Schedule A – General Requirement - GR5.1 for details).
3. A deposit for storm, sanitary and water connections is required, which will be determined after detailed civil engineering drawings are submitted, sealed by a Professional Engineer.
4. A \$20,000 bond for the installation of a water meter to current standards is required.

C) The developer is required to adhere to the following conditions:

1. Underground hydro and telephone, and cable services to the development site are required.
2. Consolidate the subject properties. All survey costs and registration of documents with the Land Titles Office are the responsibility of the developer/owner.
3. Water meters are required for each water connection and are to be installed outside in a vault away from any structure, in accordance with the City's water meter specifications, at the developer's cost.
4. An approved backflow prevention assembly must be installed on the domestic water connection immediately upon entering the building to provide premise isolation.
5. A "Stormceptor" or equivalent oil separator is required to treat site surface drainage.
6. A complete set of "as-built" drawings sealed by a Professional Engineer shall be submitted to the City after completion of the works. Digital drawing files in .pdf and .dwg format shall also be submitted.



7. The selection, location and spacing of street trees and landscaping shall be in accordance with the City of Langley's Official Community Plan Bylaw, 2005, No. 2600 and Street Tree Program, November, 1999 manual.
8. Stormwater run-off generated on the site shall not impact adjacent properties, or roadways.
9. Garbage and recycling enclosures shall be designed to meet Metro Vancouver's "Technical Specifications for Recycling and Garbage Amenities in Multi-family and Commercial Developments - June 2015 Update".

Discussion:

The applicant is proposing to develop an attractive 88-unit, 5-storey condominium apartment on a site currently occupied with a two 3 Storey apartment buildings. Unit sizes range from 448 ft² to 1,525 ft² and offer a variety of studio, one-bedroom, two-bedroom, two-bedroom two-level, and handicap –friendly *adaptable units*.

Vehicular access is via the existing south lane to minimize the traffic impact to the existing 201A Street. Architecturally, the design concept is a modern style building with a flat roof, generous glazed openings, and protruding balconies with glass railings. Exterior finishes are of a high quality and include brick veneer, fiber-cementitious siding in horizontal and panel applications, and wood-grained aluminium accent siding to punctuate pedestrian entry points on 201A Street. The massing, colours, and materials of the project is compatible with the adjacent four-storey condominium complex.

Entry to the tenant only underground parkade is controlled by overhead security gates, with surface parking for visitors conveniently located beside the building on the south side of the site.

Planting and landscape features incorporated CPTED principles, featuring low decorative fencing along the street level softening the hard streetscape and pedestrian walkways throughout the entire development.

The proposed development generally complies with the Downtown Commercial Multifamily Residential Development Permit Area Guidelines for apartment condominium developments.



Fire Department Comments:

Langley City Fire-Rescue Service has reviewed the attached plans and provided preliminary comments to the applicant. The department will review, and make further comment, as the project continues to the building permit design stage.

Advisory Planning Commission:

In accordance with Development Application Procedures Bylaw No. 2488, the subject applications will be reviewed by the Advisory Planning Commission at the March 8, 2017 meeting. A copy of the APC minutes will be presented to Langley City Council at the March 20, 2017 Regular Council meeting.

BUDGET IMPLICATIONS:

In accordance with Bylaw No. 2482, the proposed development would contribute \$498,455 to Development Cost Charge accounts and \$88,000 in Community Amenity Charges.

ALTERNATIVES:

1. Require changes to the applicant's proposal.
2. Deny application.

Prepared by:



Gerald Minchuk, MCIP
Director of Development Services & Economic Development

attachments



2) REZONING APPLICATION RZ 02-17/DEVELOPMENT PERMIT
APPLICATION DP 02-17 -5406, 5418, 5420-198TH STREET AND 19829-19831-54TH AVENUE

The Director Development Services & Economic Development provided a brief overview of the planning context for the proposed application and introduced Eric Poxleitner, Principal Architect, Keystone Architecture & Planning Inc. Mr. Poxleitner presented the proposed rezoning and development permit applications. Following discussion regarding density, building form and character, landscaping, CPTED, sprinkling provisions, amenity rooms, sustainability features, adaptable units, and engineering servicing requirements it was:

MOVED BY Commission Member Millsip
SECONDED BY Commission Member Buhler

That Rezoning Application RZ 02-17/Development Permit Application DP 02-17 to accommodate a 4-storey, 62-unit condominium apartment complex located at 5406, 5418, 5420-198th Street, and 19829-19831-54th Avenue be approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report be approved.

CARRIED

3) REZONING APPLICATION RZ 03-17/DEVELOPMENT PERMIT
APPLICATION DP 04-17 -5630 AND 5640-201A STREET

The Director Development Services & Economic Development provided a brief overview of the planning context for the proposed application and introduced Colin Hogan, Principal Architect, Focus Architecture Mr. Hogan presented the proposed rezoning and development permit applications. Following discussion regarding density, building form and character, landscaping, CPTED, sustainability features, amenity rooms, adaptable units, and engineering servicing requirements it was:

MOVED BY Commission Member Schreder
SECONDED BY Commission Member Buhler

That Rezoning Application RZ 03-17/Development Permit Application DP 04-17 to accommodate a 5-storey, 88-unit condominium apartment complex located at 5630 and 5640 -201A Street be approved subject to execution of a Development Servicing Agreement and compliance with

the conditions outlined in the Director of Development Services & Economic Development's report be approved.

CARRIED

4) **DEVELOPMENT PERMIT APPLICATION DP 03-17 -20670 LANGLEY BYPASS**

The Director Development Services & Economic Development provided a brief overview of the planning context for the proposed application and introduced Andrea Scott, Principal Lovick Scott Architects Ltd. Ms. Scott presented the proposed development permit application. Following discussion regarding building form and character, landscaping, CPTED, and engineering servicing requirements it was:

MOVED BY Commission Member Hutchinson
SECONDED BY Commission Member Lindberg

That Development Permit Application DP 03-17 to accommodate a 7,500 ft² retail warehouse located at 20670 Langley Bypass be approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report be approved.

CARRIED

5) **NEXT MEETING**

Wednesday, April 12, 2017

6) **ADJOURNMENT**

MOVED BY Commission Member Schreder
SECONDED BY Commission Member Roman

THAT the meeting adjourn at 9:00 P.M.

CARRIED



ADVISORY PLANNING COMMISSION VICE-CHAIRMAN



DIRECTOR OF DEVELOPMENT SERVICES & ECONOMIC DEVELOPMENT

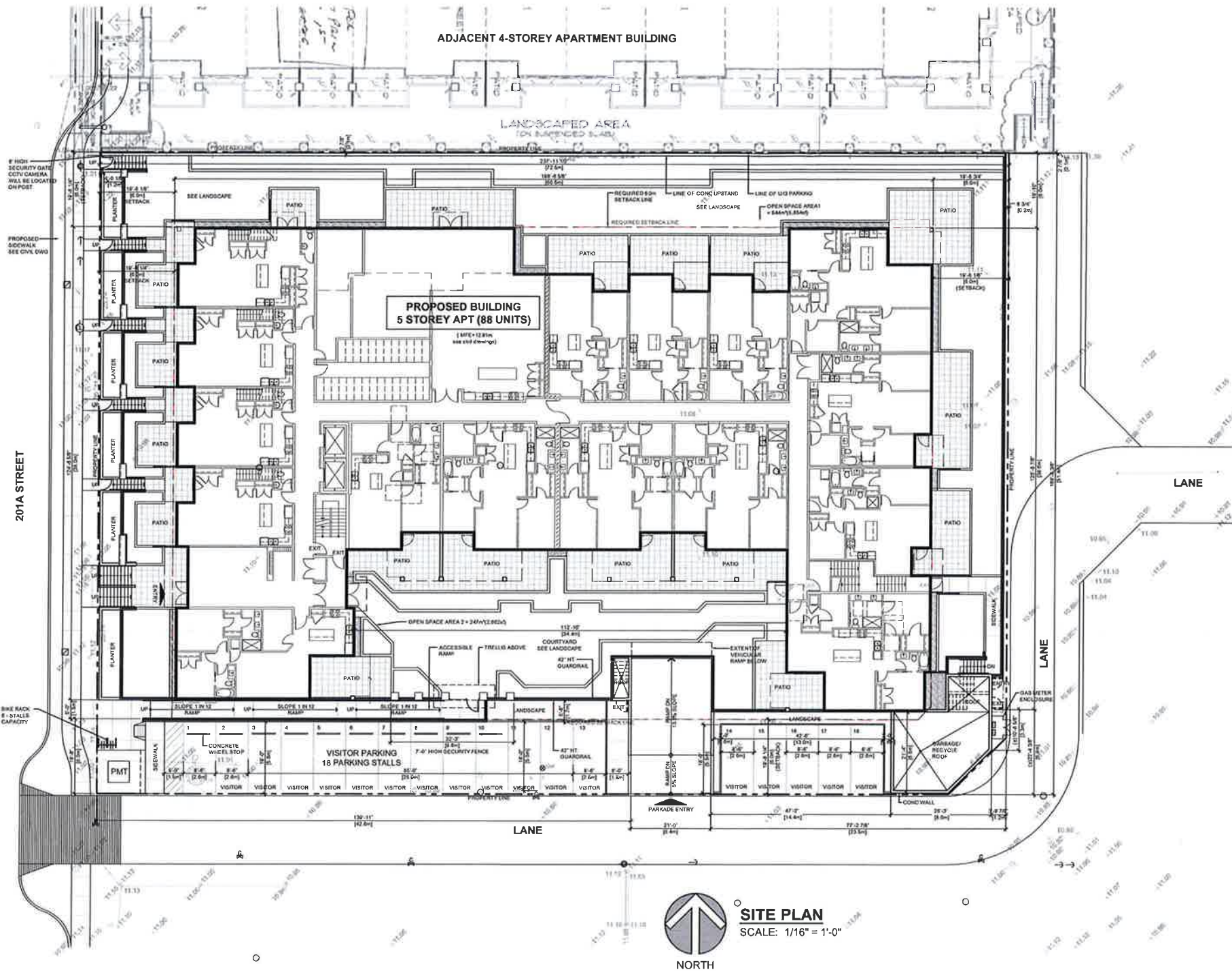
Certified Correct



0.00



SCALE: N.T.S.



FLOOR AREAS SUMMARY		
1st FLOOR	18,480 sq.ft.	16 UNITS
2nd FLOOR	17,710 sq.ft.	15 UNITS
3rd FLOOR	17,710 sq.ft.	19 UNITS
4th FLOOR	17,710 sq.ft.	19 UNITS
5th FLOOR	17,692 sq.ft.	19 UNITS
TOTAL FLOOR AREA	89,302 sq.ft.	88 UNITS
UNDERGROUND PARKADE	33,513 sq.ft.	

UNIT SUMMARY		
UNIT TYPE	NUMBER OF UNITS	RATIO
STUDIO	4	4.5%
1 BED	33	37.5%
2 BED	47	53.4%
TWO LEVEL UNIT - 2 BED	4	4.5%
TOTAL	88	

UNIT SUMMARY			
UNIT NAME	UNIT TYPE	UNIT AREA	NUMBER OF UNITS
A	STUDIO	448 sq.ft.	4
B	1 BED	673 sq.ft.	10
Ba	1 BED	664 sq.ft.	5
B1	1 BED	607 sq.ft.	9
B2	1 BED	764 sq.ft.	3
Bs	1 BED	778 sq.ft.	5
C	2 BED	982 sq.ft.	4
48	2 BED	982 sq.ft.	5

Ca	2 BED	977 sq.ft.	4
CaS	2 BED	977 sq.ft.	10
C1	2 BED	1,134 sq.ft.	5
C2	2 BED	915 sq.ft.	5
C3	2 BED	1,066 sq.ft.	5
C4	2 BED	999 sq.ft.	2
C4a	2 BED	1,017 sq.ft.	3
C5	2 BED	874 sq.ft.	3
C5a	2 BED	829 sq.ft.	1
C5b	2 BED	829 sq.ft.	1
D	2 BED	1,220 sq.ft.	3
D1	2 BED	1,525 sq.ft.	1
TOTAL			88

SITE RECONCILIATION

LEGAL DESCRIPTION:

LOTS 36 & 37 BOTH OF DISTRICT LOT 309 GROUP 2 NWD PLAN 28341
PID 002-692-104 & 004-622-430

CIVIC ADDRESS:

5630 & 5640 201A STREET, LANGLEY, BC V3A 1T1

ZONING INFORMATION:

ZONE:

EXISTING: RM-2 (MULTIPLE RES. LOW DENSITY)
PROPOSED: C1 (DOWNTOWN COMMERCIAL ZONE)

LOT AREA:

GROSS TOTAL: 3,725.4m² (40,100sf / 0.92ac / 0.373ha)

DENSITY:

ALLOWED: 371 UNITS/ha.
PROVIDED: 236 UNITS/ha. (88units / 0.373ac)

LOT COVERAGE:

ALLOWED: 95%
PROPOSED: 1,050m² / 3,725.4m² = 53%

GROSS FLOOR AREA:

MAIN FLOOR	18,480sf (1,716.8m ²)
LEVEL 2	17,710sf (1,645m ²)
LEVEL 3	17,710sf (1,645m ²)
LEVEL 4	17,710sf (1,645m ²)
LEVEL 5	17,692sf (1,643.6m ²)
TOTAL	89,302sf (8,295m ²)

MAXIMUM BUILDING HEIGHT:

ALLOWED: 46.0m
PROVIDED: 18m (59'-3") (5 STOREYS)

SETBACK (WHERE STOREYS ARE USED FOR RESIDENTIAL PURPOSES)

REQUIRED:	FRONT LOT LINE	6.0m
	REAR LOT LINE	6.0m
	INTERIOR SIDE LOT LINE	6.0m
	EXTERIOR SIDE LOT LINE	6.0m
PROVIDED:	FRONT LOT LINE (WEST)	6.0m
	REAR LOT LINE (EAST)	6.0m
	INTERIOR LOT LINE (NORTH)	6.0m
	EXTERIOR LOT LINE (SOUTH)	6.7m

OPEN AIR SPACE:

OPEN SPACE AREA 1 = 544m²
OPEN SPACE AREA 2 = 247m²
TOTAL = 791m² (21%)

PARKING:

REQUIRED:
MULTIPLE - UNIT RESIDENTIAL (C1):
STUDIO, 1 & 2 BED - 1.2 SPACE PER DWELLING UNIT

VISITOR PARKING SPACE PER UNIT - 0.2

RESIDENTS: 88 UNITS x 1.2 = 105.6 = 106 STALLS
VISITORS: 88 UNITS x 0.2 = 17.6 = 18 STALLS
TOTAL REQUIRED PARKING = 124 STALLS

PROVIDED:
UNDERGROUND PARKING = 107 STALLS (5 H/C)
VISITOR PARKING (AT GRADE) = 18 STALLS (1 H/C)
TOTAL PROVIDED = 125 STALLS

(MAXIMUM 40% SMALL CAR PARKING SPACES ALLOWED)
(22% SMALL CARS PROVIDED)
22 small cars - U/G PARKING
05 small cars - AT GRADE PARKING

02 MOTORCYCLE PARKING

BICYCLE PARKING:

REQUIRED:
MULTIPLE UNIT RESIDENTIAL = 0.5 SPACES PER UNIT

88 UNITS X 0.5 = 44 SPACES

VERTICAL PARKING ALLOWED 40% OF THE TOTAL
REQUIRED NUMBER OF STALLS.

44 SPACES X 0.4 = 18 STALLS

PROVIDED:
BIKE STORAGE LOCKERS = 26 SPACES
WALL RACKS = 20 SPACES
46 SPACES

CLASS II (VISITORS) REQUIRED = 8.0 SPACES PER BUILDING
PROVIDED = 6.0 SPACES

ACCESSIBLE PARKING:

REQUIRED:
5% OF TOTAL PARKING SPACES

PROVIDED:
125 x 0.05 = (6.25) 6
(5) AT PARKADE
(1) AT SURFACE

INDOOR AMENITY SPACE:

REQUIRED: 2.3m² PER DWELLING UNIT
(FOR ALL BUILDINGS CONTAINING MORE THAN 20 UNITS)

88 UNITS x 2.3m² = 202.4m² (2,179sf)

PROVIDED: 204m² (2,198sf)

ADAPTABLE UNITS:

PROVIDED:
UNIT B5 = 5 UNITS
UNIT C3 = 5 UNITS
TOTAL UNITS = 10 UNITS

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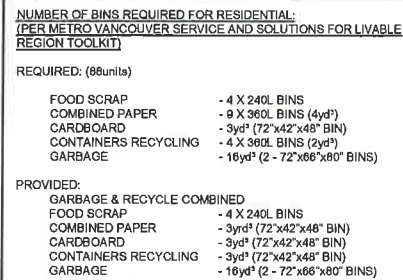
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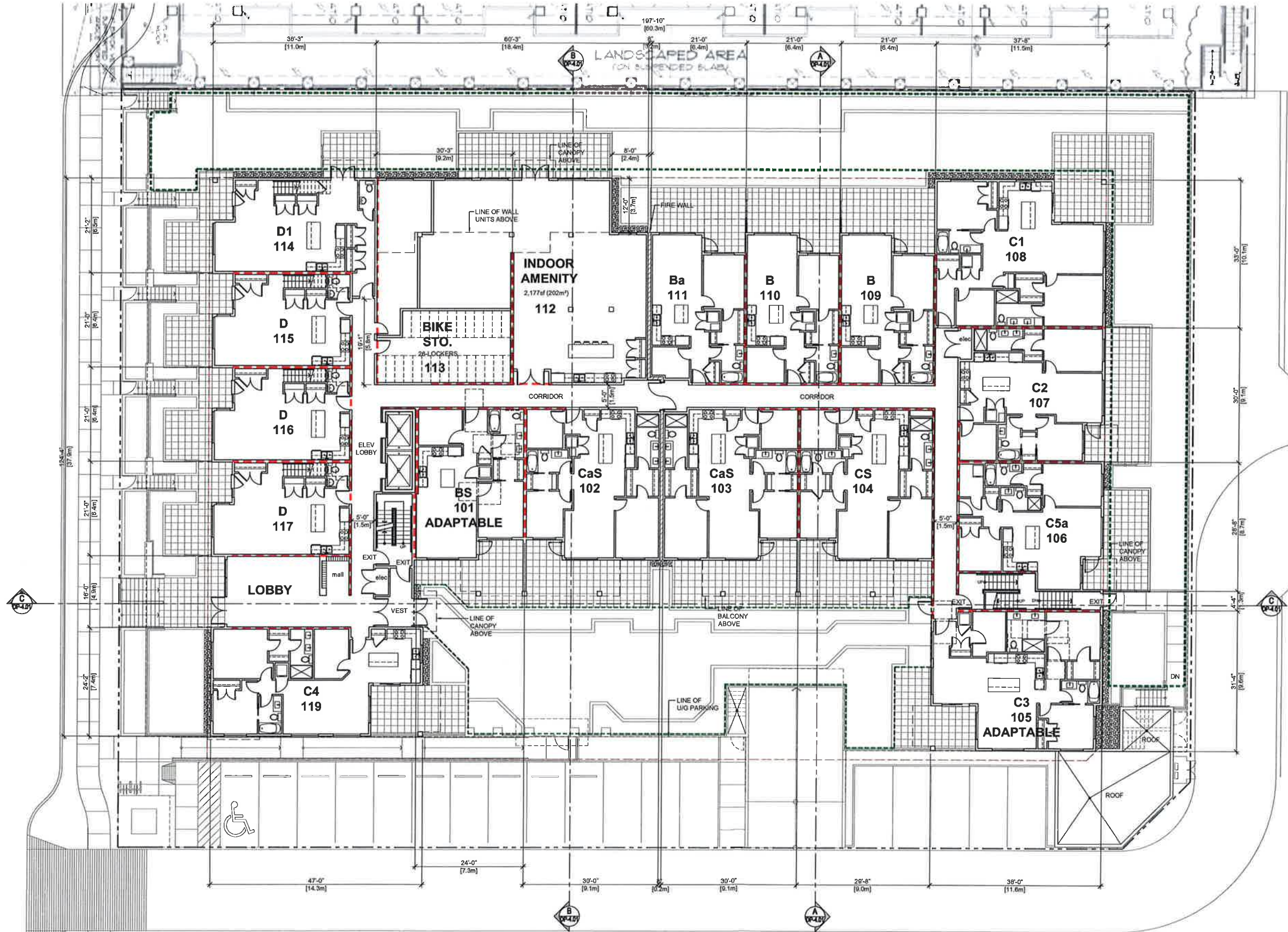
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SITE PLAN

DATE 2016.08.16 FILE NO.

OWN. lc
CHK. ch 1624





MAIN FLOOR PLAN
SCALE: 3/32" = 1'-0"

FLOOR AREA: 18,479sf / 1,716m²
UNITS: 16 + AMENITY & LOCKERS

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2017-02-27	DESIGN REVISIONS
2017-02-06	ISSUED FOR REZONING DP
2017-01-04	CLIENT REVISION
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2016-08-30	CLIENT REVIEW
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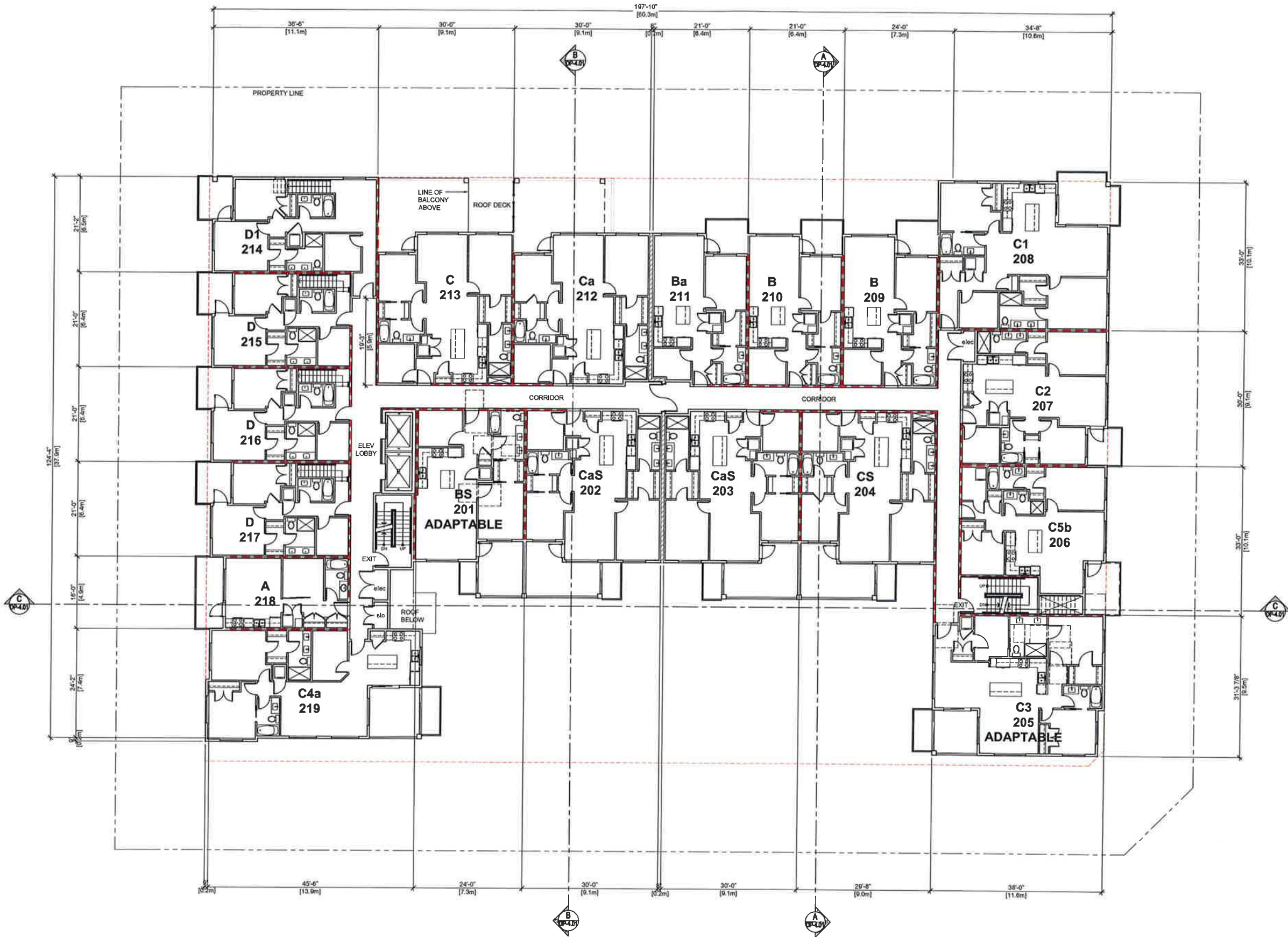
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CHK.	ch	

SEAL
SHEET NO.

DP-2.01

Project February 27, 2017 at 10:42:00 AM by Lina Chen
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Plot Date: 2016-06-15 10:42:00 AM
Scale: 3/32" = 1'-0"



2ND FLOOR PLAN
SCALE: 3/32" = 1'-0"

FLOOR AREA: 17,710sf / 1,645m²
UNITS: 15

2017-02-27	DESIGN REVISIONS
2017-02-06	ISSUED FOR REZONING OP
2017-01-04	CLIENT REVISION
2016-10-17	CLIENT REVIEW
2016-06-30	CLIENT REVIEW
2016-06-07	CLIENT REVIEW
2016-06-02	CLIENT REVIEW
2016-05-02	CLIENT REVIEW

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**2ND
FLOOR PLAN**

DATE 2016.06.15 FILE NO.

DWN. to

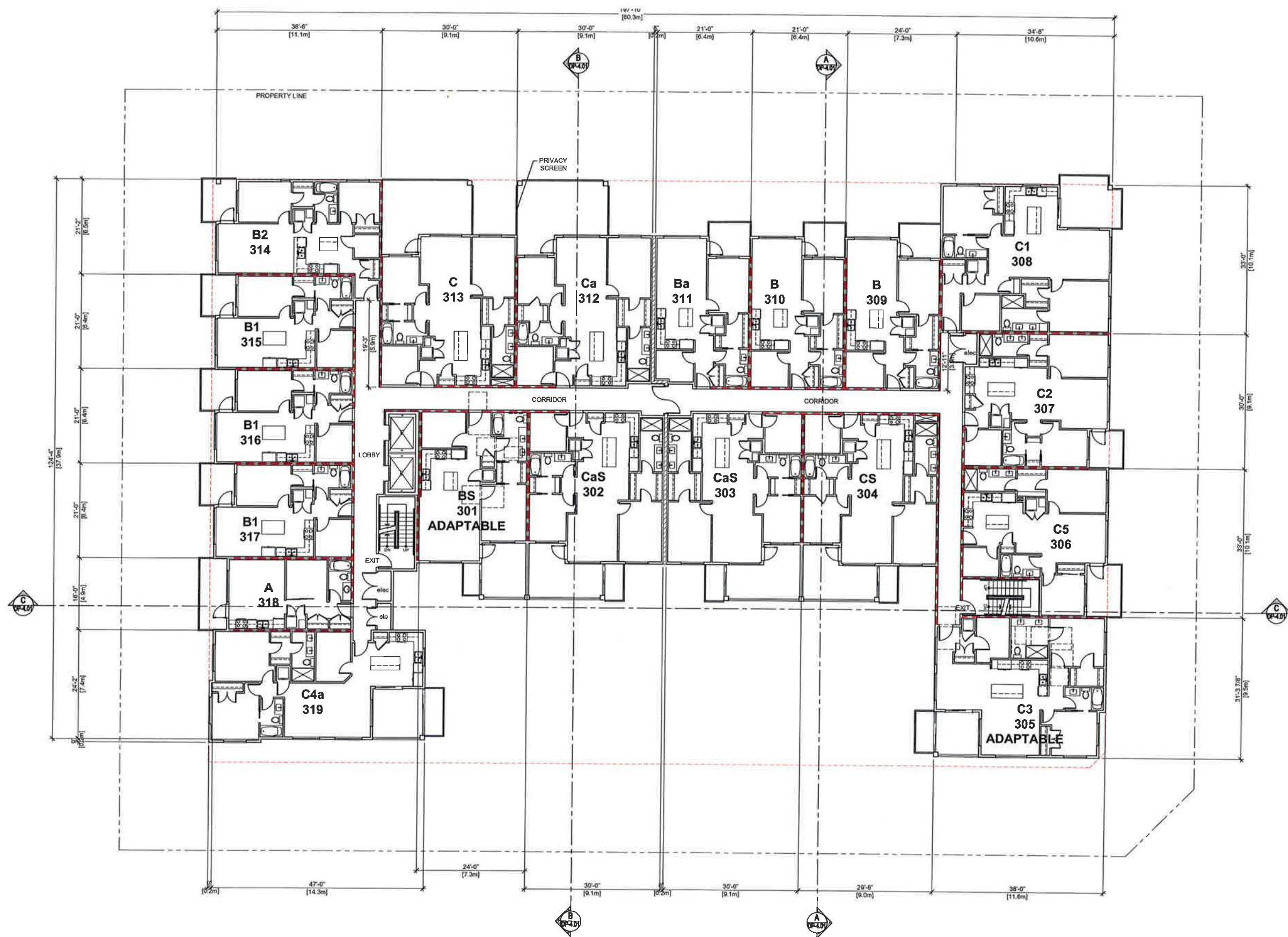
CHK. ch

1624

SEAL

SHEET NO.

DP-2.02



3RD FLOOR PLAN

SCALE: 3/32" = 1'-0"

FLOOR AREA: 17,710sf / 1,645m²

UNITS: 19

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DESIGN REVISIONS
2017-02-08
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2017-01-04
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2016-09-30
CLIENT REVIEW
2016-09-07
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2016-08-02
CLIENT REVIEW

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**3RD
FLOOR PLAN**

DATE: 2016.08.15 FILE NO.

DWN: to

CHK: ch

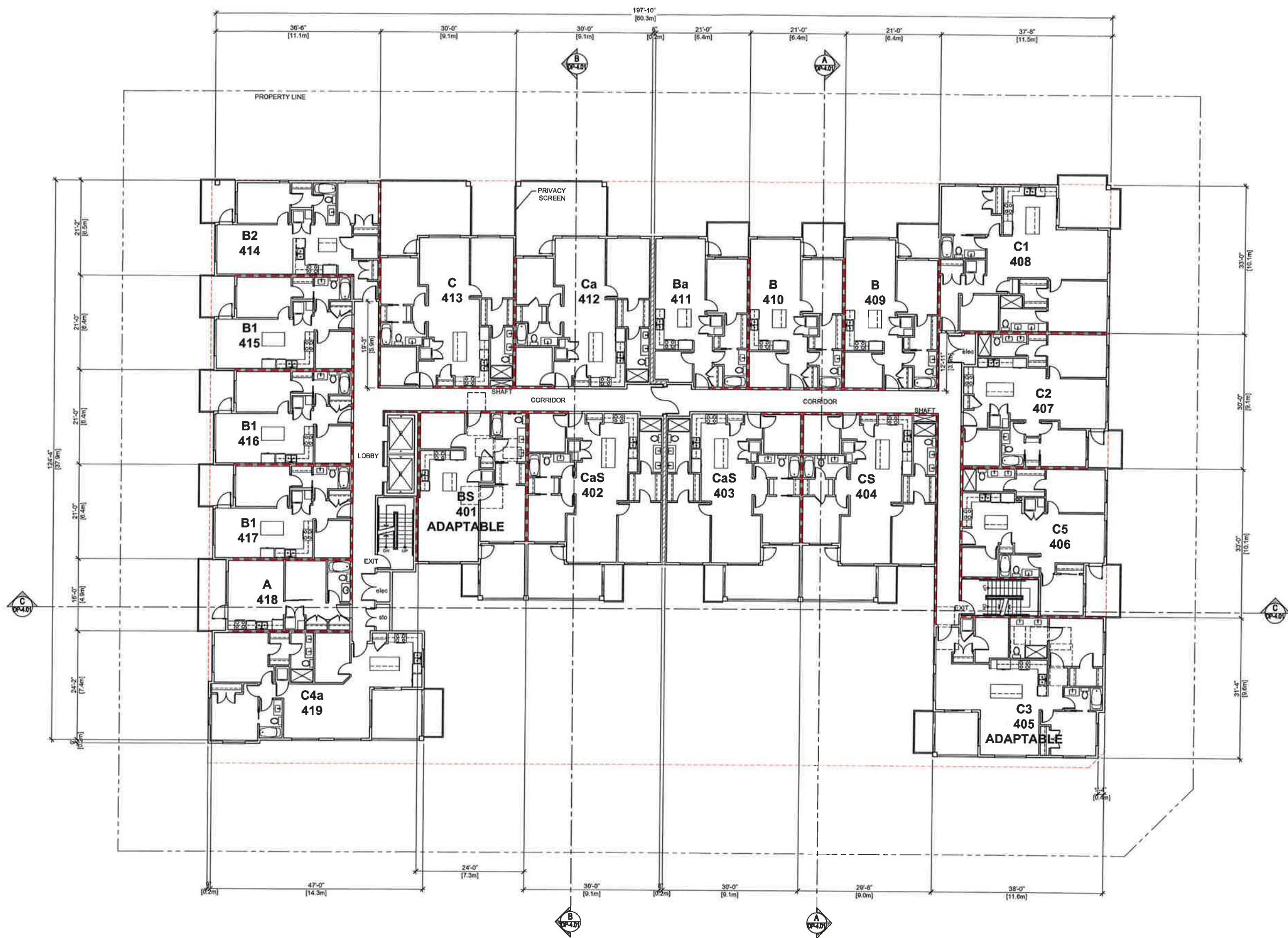
1624

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Client: CREDA HOLDINGS INC.
Date: 2016-08-15
Scale: 3/32" = 1'-0"
Units: 19
Sheet: 53
Drawing Title: 4TH FLOOR PLAN



4TH FLOOR PLAN

SCALE: 3/32" = 1'-0"

FLOOR AREA: 17,710sf / 1,645m²

UNITS: 19

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DESIGN REVISIONS
2017-02-06
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2016-10-17
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2016-09-30
CLIENT REVIEW
2016-09-07
CLIENT REVIEW
2016-09-02
CLIENT REVIEW
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PROJECT
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DRAWING TITLE

4TH
FLOOR PLAN

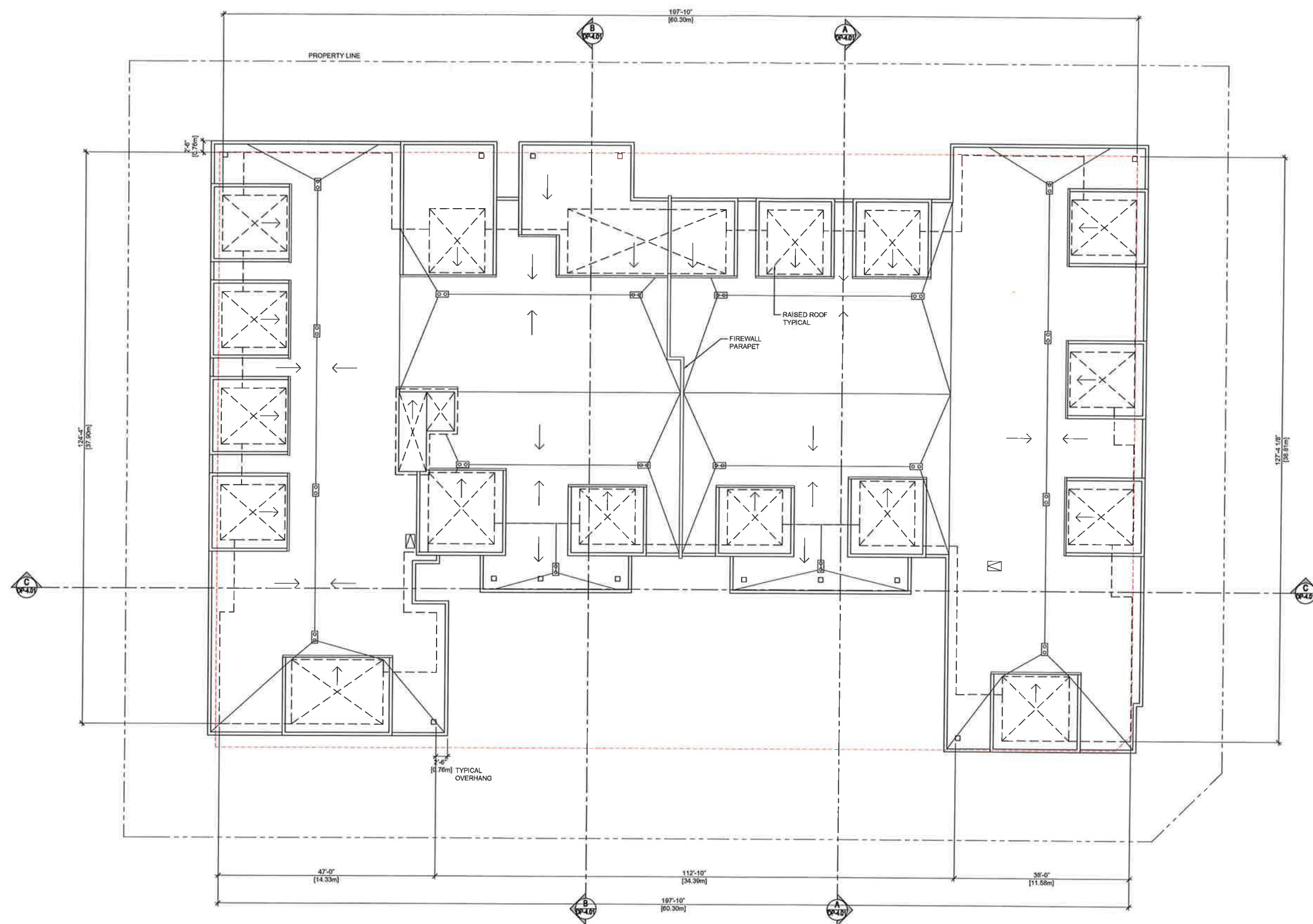
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CHK. ch 1624

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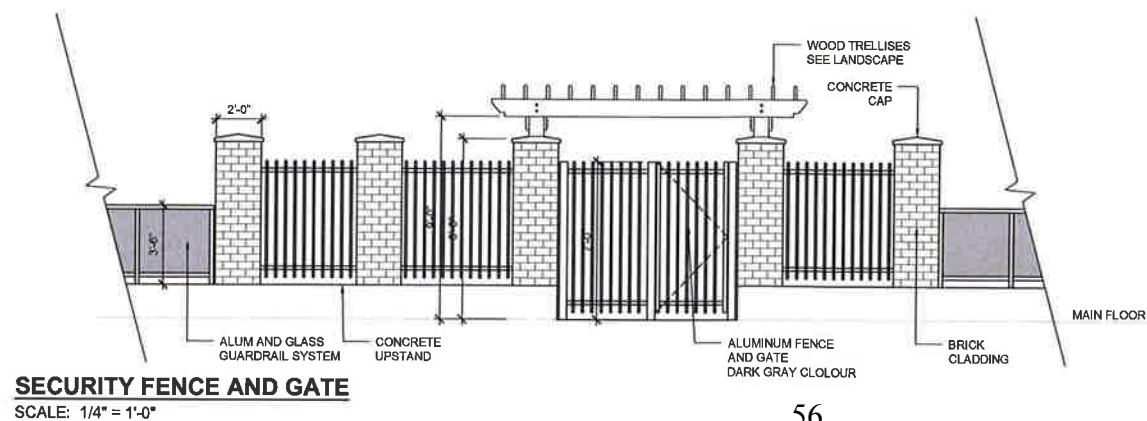
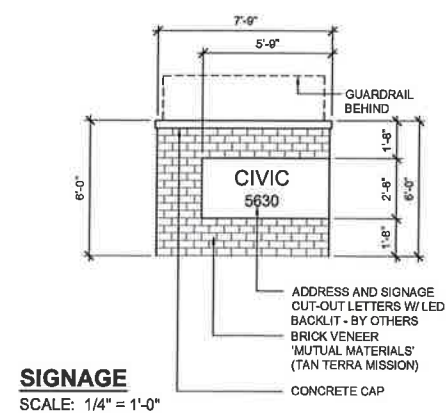
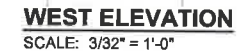
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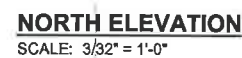
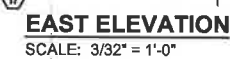


ROOF PLAN
SCALE: 3/32" = 1'-0"



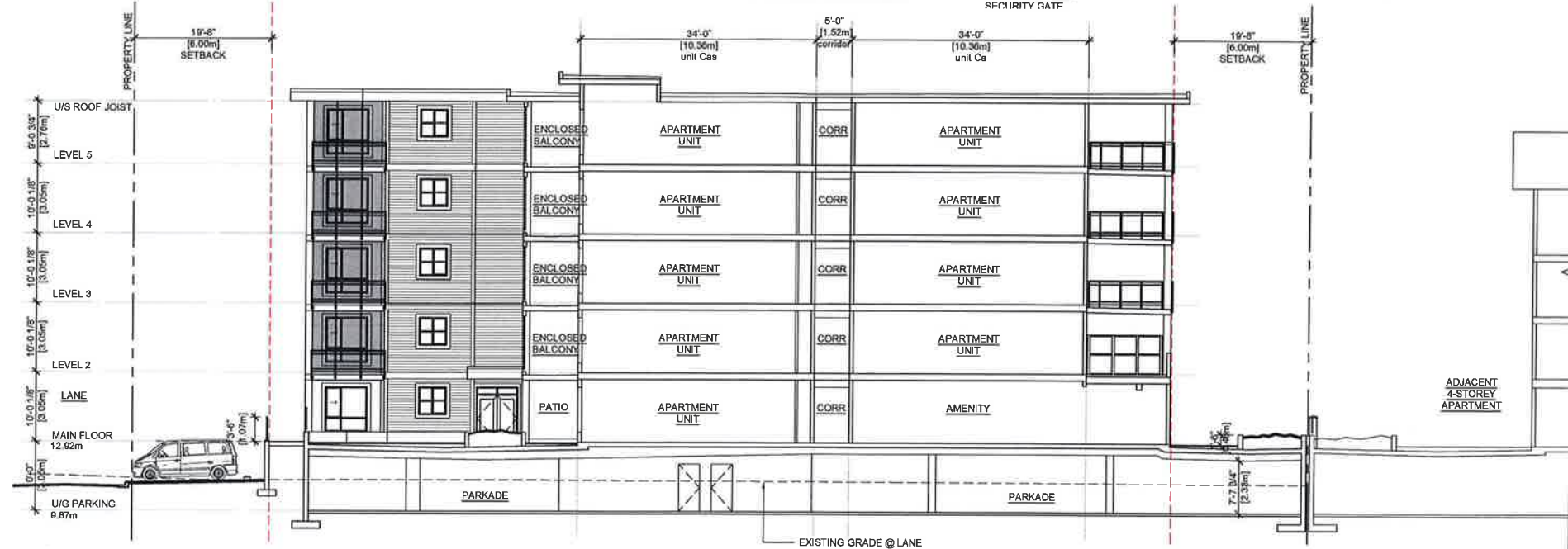
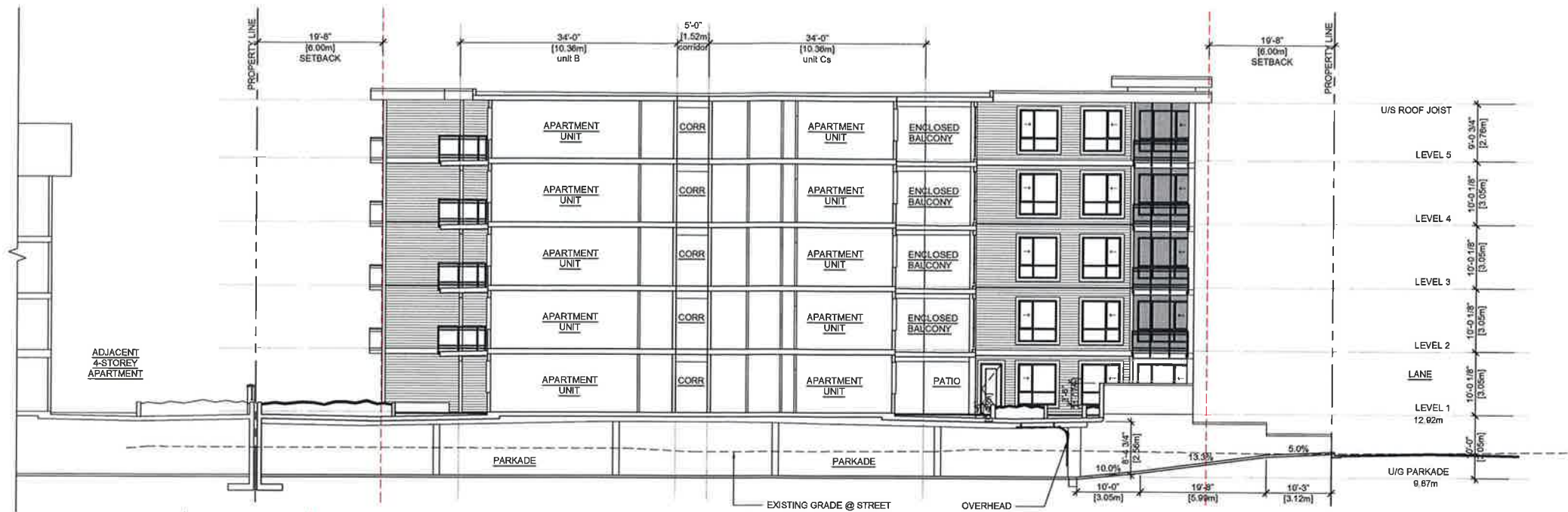
- ① HARDIE PANEL, FASCOA 'COBBLE STONE' COLOUR
- ② HARDIE LAP SIDING W/6" EXPOSURE, 'COBBLE STONE' COLOUR
- ③ HARDIE LAP SIDING W/6" EXPOSURE, 'IRON GRAY' COLOUR
- ④ HARDIE SMOOTH PANEL SIDING W/ REVEAL SYSTEM, 'COBBLE STONE' COLOUR
- ⑤ HARDIE SMOOTH PANEL SIDING W/ REVEAL SYSTEM, 'IRON GRAY' COLOUR
- ⑥ HARDIE TRIMS, TO MATCH SIDING COLOURS
- ⑦ ALUMINUM SOFFIT
- ⑧ BRICK VENEER, MUTUAL MATERIALS 'TAN TERRA MISSION' COLOUR
- ⑨ ALUMINUM AND GLASS GUARDRAIL SYSTEM, PRE-FINISHED DARK GREY
- ⑩ ALUMINUM GUARDRAIL SYSTEM, PRE-FINISHED DARK GREY W/ 4" ALUM STRIPS (LONGBOARD OR SIM) @ 5" O/C MOUNTED TO FACE 'DARK CHERRY' COLOUR
- ⑪ CANOPY, PAINTED BENJAMIN MOORE HC-166 'KENDALL CHARCOAL'
- ⑫ METAL FLASHING, PAINTED BENJAMIN MOORE HC-166 'KENDALL CHARCOAL'
- ⑬ ALUMINUM FRAME PRIVACY SCREEN W/ TEMPERED FROSTED GLASS
- ⑭ EXTERIOR WOOD DOOR W/ SIDELITE, PAINTED
- ⑮ SEALED DOUBLE GLAZED P.V.C. WINDOW, PREFINISHED DARK GREY
- ⑯ SEALED DOUBLE GLAZED PATIO DOOR, PREFINISHED DARK GREY
- ⑰ PAINTED CONCRETE WALL
- ⑱ CONCRETE LINTEL, SEALED
- ⑲ CONCRETE STAIRS
- ⑳ CONCRETE RAMP
- ㉑ ALUMINUM HANDRAIL, PRE-FINISHED 'DARK GREY'
- ㉒ ADDRESS/ SIGNAGE, BY OTHERS
- ㉓ ALUMINUM STOREFRONT, CLEAR ANODIZED FRAME AND CLEAR INSULATED GLAZING
- ㉔ METAL THROUGH-WALL FLASHING, PAINTED TO MATCH SIDING
- ㉕ OVERHEAD SECTIONAL STEEL DOOR
- ㉖ PAINTED CONCRETE WALL, TO MATCH HARDIE PANEL COLOUR - 'COBBLE STONE'
- ㉗ "LUMON" BALCONY ENCLOSURE SYSTEM
- ㉘ REMOTE CONTROLLED SECURITY GRILLE TO PARKADE
- ㉙ EXTERIOR STEEL DOOR W/ VIEW LITE, PAINTED
- ㉚ ALUMINUM GUARDRAIL SYSTEM WITH PICKETS, PRE-FINISHED DARK GREY

DP-3.01



DP-3.02

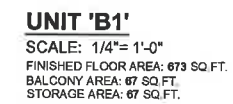
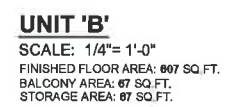
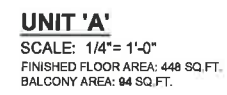
- 1 HARDIE PANEL FASCIA 'COBBLE STONE' COLOUR
- 2 HARDIE LAP SIDING W/8" EXPOSURE, 'COBBLE STONE' COLOUR
- 3 HARDIE LAP SIDING W/8" EXPOSURE, 'IRON GRAY' COLOUR
- 4 HARDIE SMOOTH PANEL SIDING W/ REVEAL SYSTEM, 'COBBLE STONE' COLOUR
- 5 HARDIE SMOOTH PANEL SIDING W/ REVEAL SYSTEM, 'IRON GRAY' COLOUR
- 6 HARDIE TRIMS, TO MATCH SIDING COLOURS
- 7 ALUMINUM SOFFIT
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- 10 ALUMINUM GUARDRAIL SYSTEM, PRE-FINISHED DARK GREY W/ 4" ALUM STRIPS (LONGBOARD OR SIM) @ 5" O/C MOUNTED TO FACE 'DARK CHERRY' COLOUR
- 11 CANOPY, PAINTED BENJAMIN MOORE HC-166 'KENDALL CHARCOAL'
- 12 METAL FLASHING, PAINTED BENJAMIN MOORE HC-166 'KENDALL CHARCOAL'
- 13 ALUMINUM FRAME PRIVACY SCREEN W/ TEMPERED FROSTED GLASS
- 14 EXTERIOR WOOD DOOR W/ SIDELITE, PAINTED
- 15 SEALED DOUBLE GLAZED P.V.C. WINDOW, PREFINISHED DARK GREY
- 16 SEALED DOUBLE GLAZED PATIO DOOR, PREFINISHED DARK GREY
- 17 PAINTED CONCRETE WALL
- 18 CONCRETE LINTEL, SEALED
- 19 CONCRETE STAIRS
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- 21 ALUMINUM HANDRAIL, PRE-FINISHED 'DARK GREY'
- 22 ADDRESS/ SIGNAGE, BY OTHERS
- 23 ALUMINUM STOREFRONT, CLEAR ANODIZED FRAME AND CLEAR INSULATED GLAZING
- 24 METAL THROUGH-WALL FLASHING, PAINTED TO MATCH SIDING
- 25 OVERHEAD SECTIONAL STEEL DOOR
- 26 PAINTED CONCRETE WALL, TO MATCH HARDIE PANEL COLOUR - 'COBBLE STONE'
- 27 "LUMON" BALCONY ENCLOSURE SYSTEM
- 28 REMOTE CONTROLLED SECURITY GRILLE TO PARKADE
- 29 EXTERIOR STEEL DOOR W/ VIEW LITE, PAINTED
- 30 ALUMINUM GUARDRAIL SYSTEM WITH PICKETS, PRE-FINISHED DARK GREY



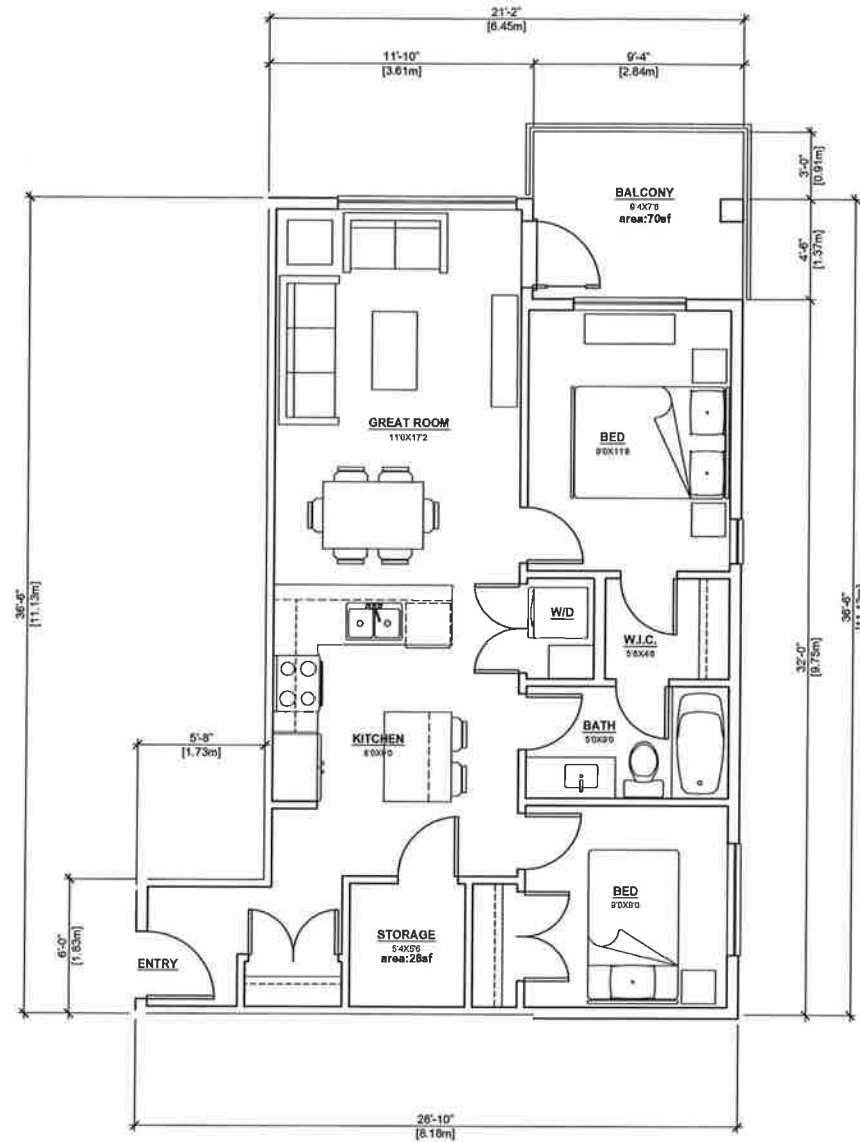
PROJECT
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Proposed Multi-Family
Project
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DATE	2016.08.15	FILE NO.
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CHK	ch	

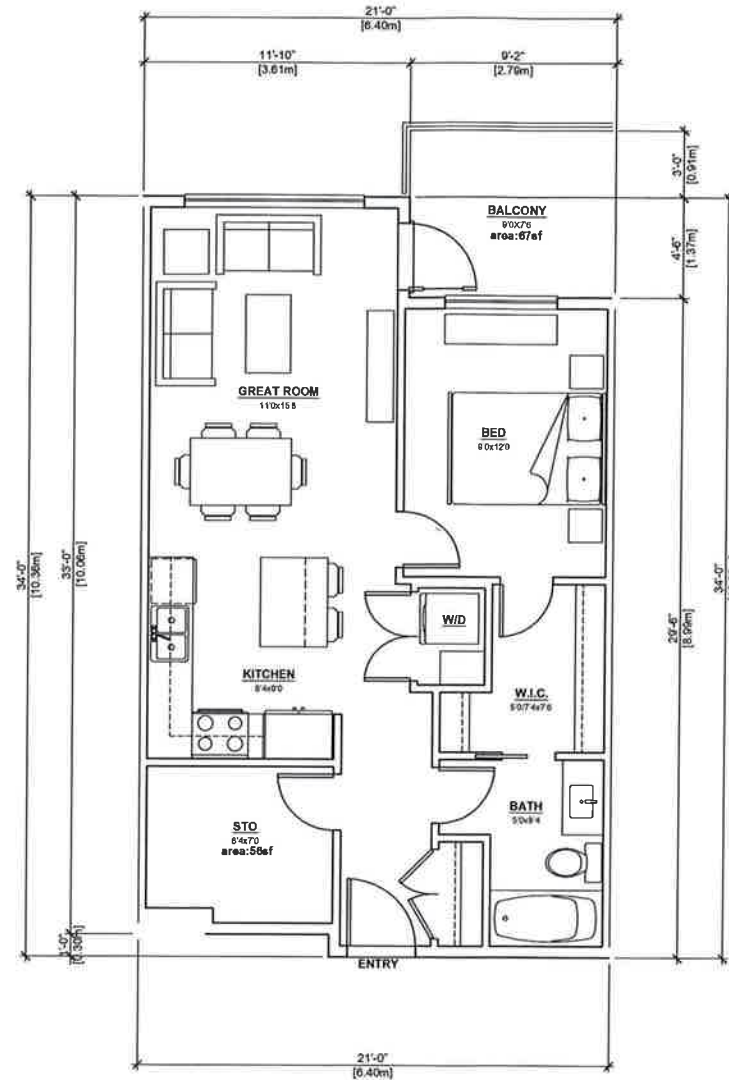
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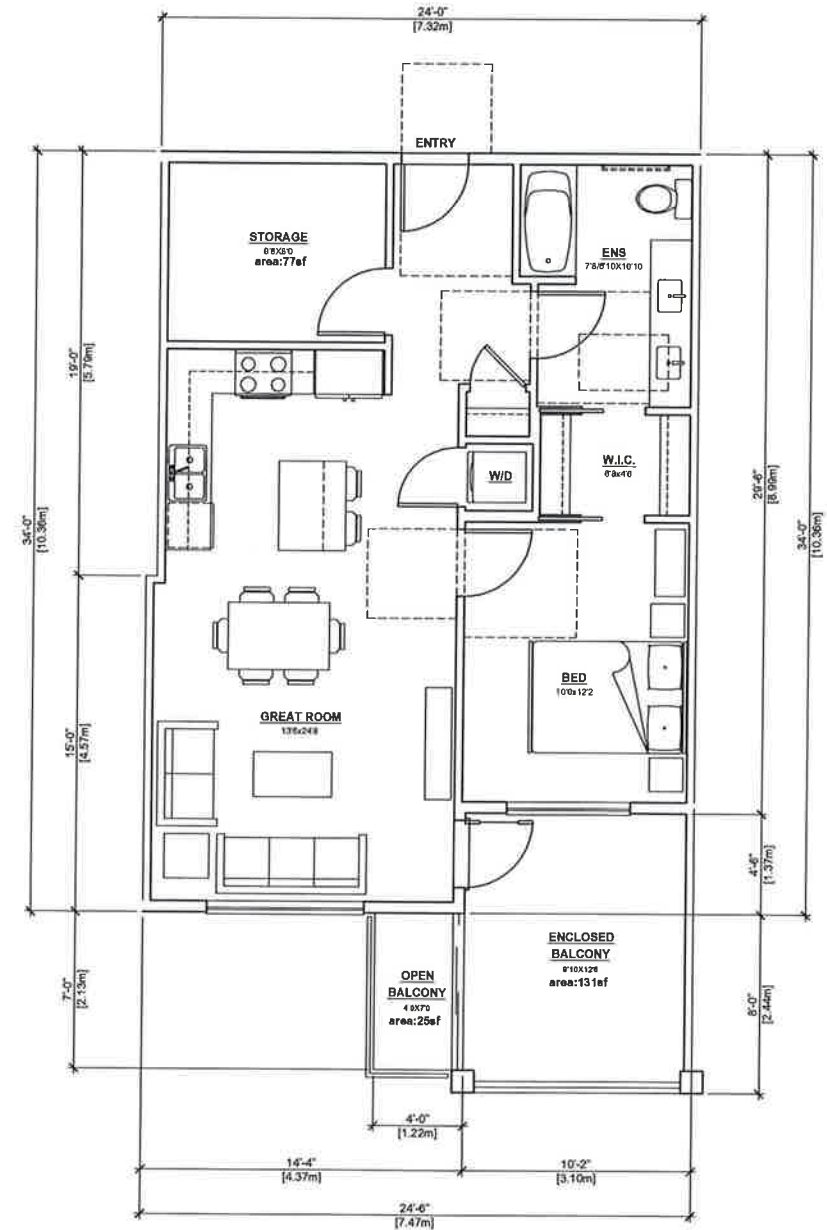
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File: 2-2019-projects\1624 - creada holdings inc. - 1624-5640-201A-1000\DWG\1624-5640-201A-1000.dwg - Layout 2019-02-27



UNIT 'B2'
SCALE: 1/4"= 1'-0"
FINISHED FLOOR AREA: 764 SQ. FT.
BALCONY AREA: 70 SQ. FT.
STORAGE AREA: 28 SQ. FT.



UNIT 'Ba'
SCALE: 1/4"= 1'-0"
FINISHED FLOOR AREA: 864 SQ. FT.
BALCONY AREA: 67 SQ. FT.
STORAGE AREA: 58 SQ. FT.



UNIT 'Bs'
SCALE: 1/4"= 1'-0"
FINISHED FLOOR AREA: 778 SQ. FT.
ENCLOSED BALCONY AREA: 131 SQ. FT.
OPEN BALCONY AREA: 24 SQ. FT.
STORAGE AREA: 77 SQ. FT.

NOTE: NO SOLARIUM ON MAIN FLOOR FOR UNIT 'Bs'

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2017-02-27
DESIGN REVISIONS
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CLIENT REVISION
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REVISIONS

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PROJECT
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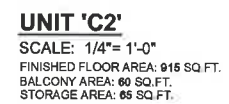
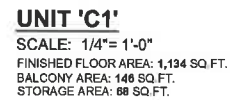
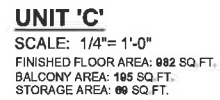
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UNIT PLANS**

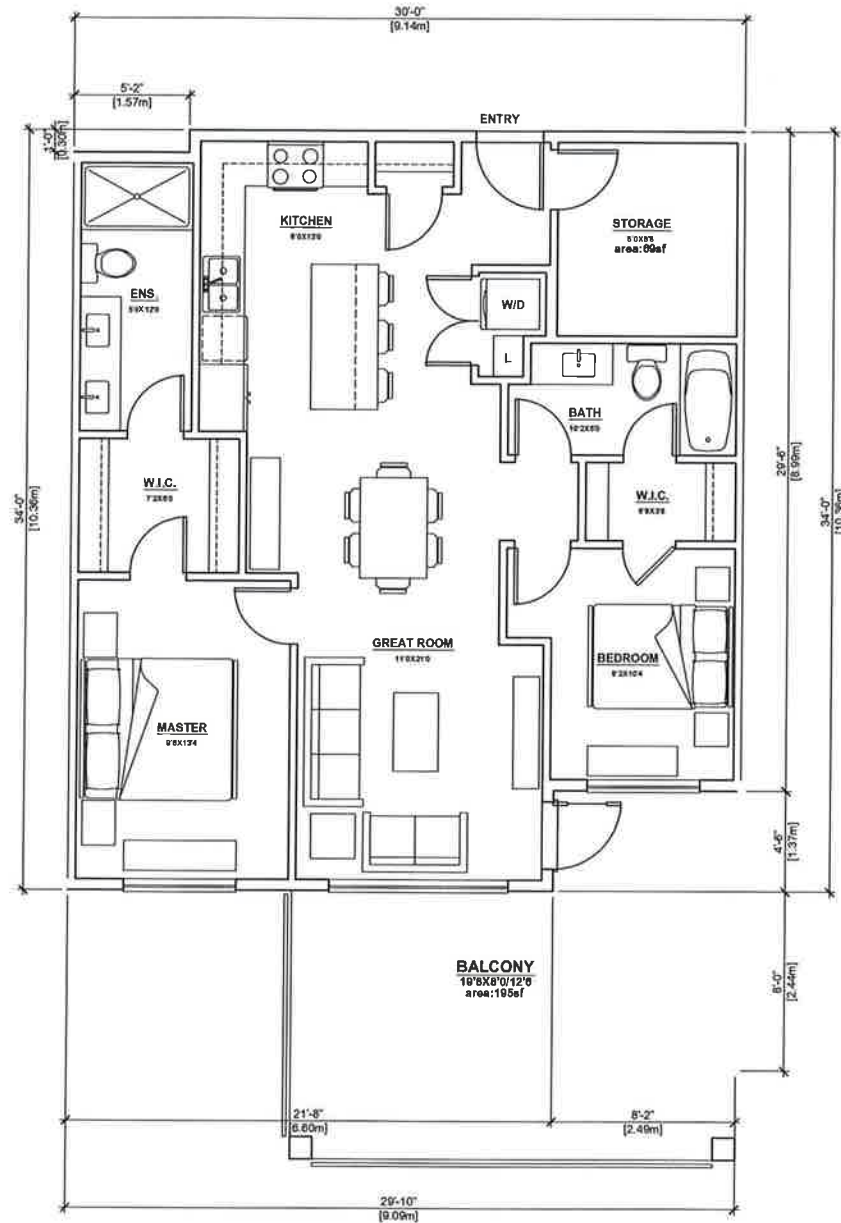
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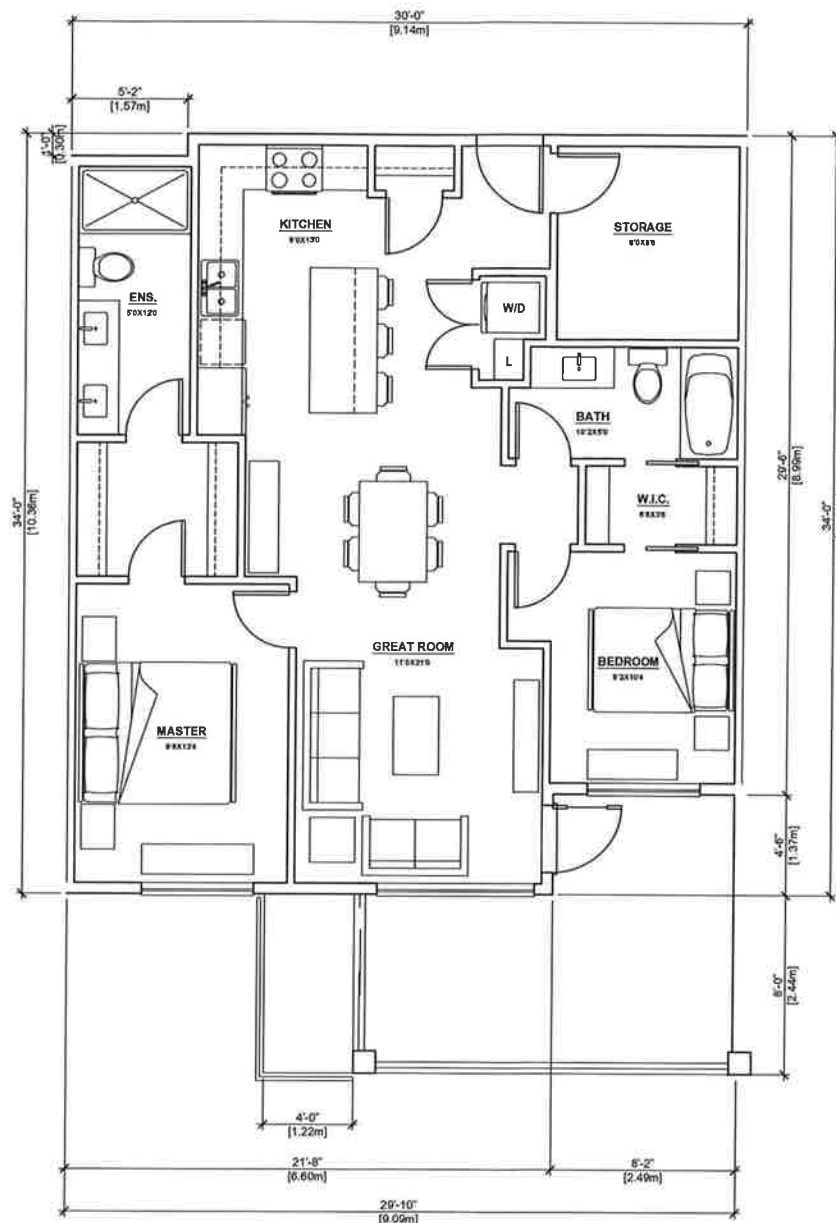
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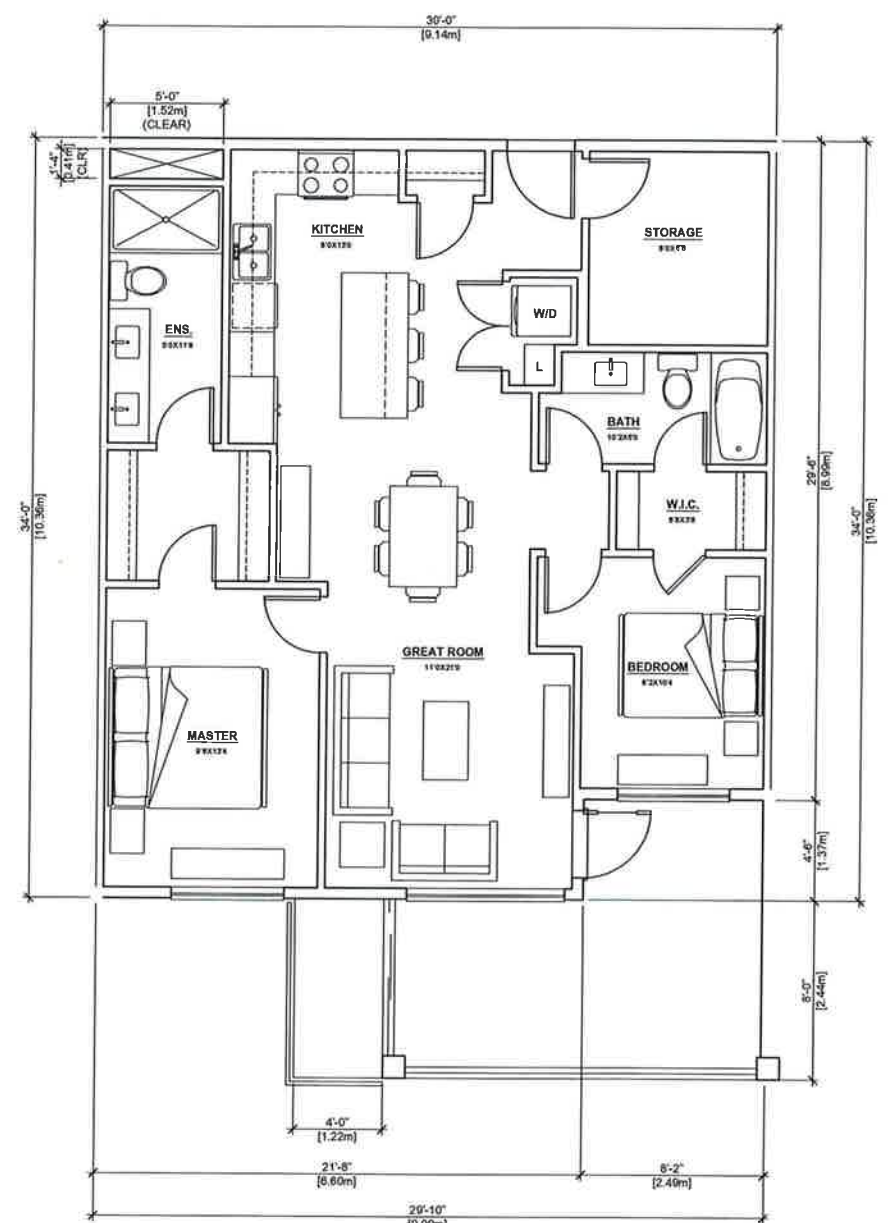




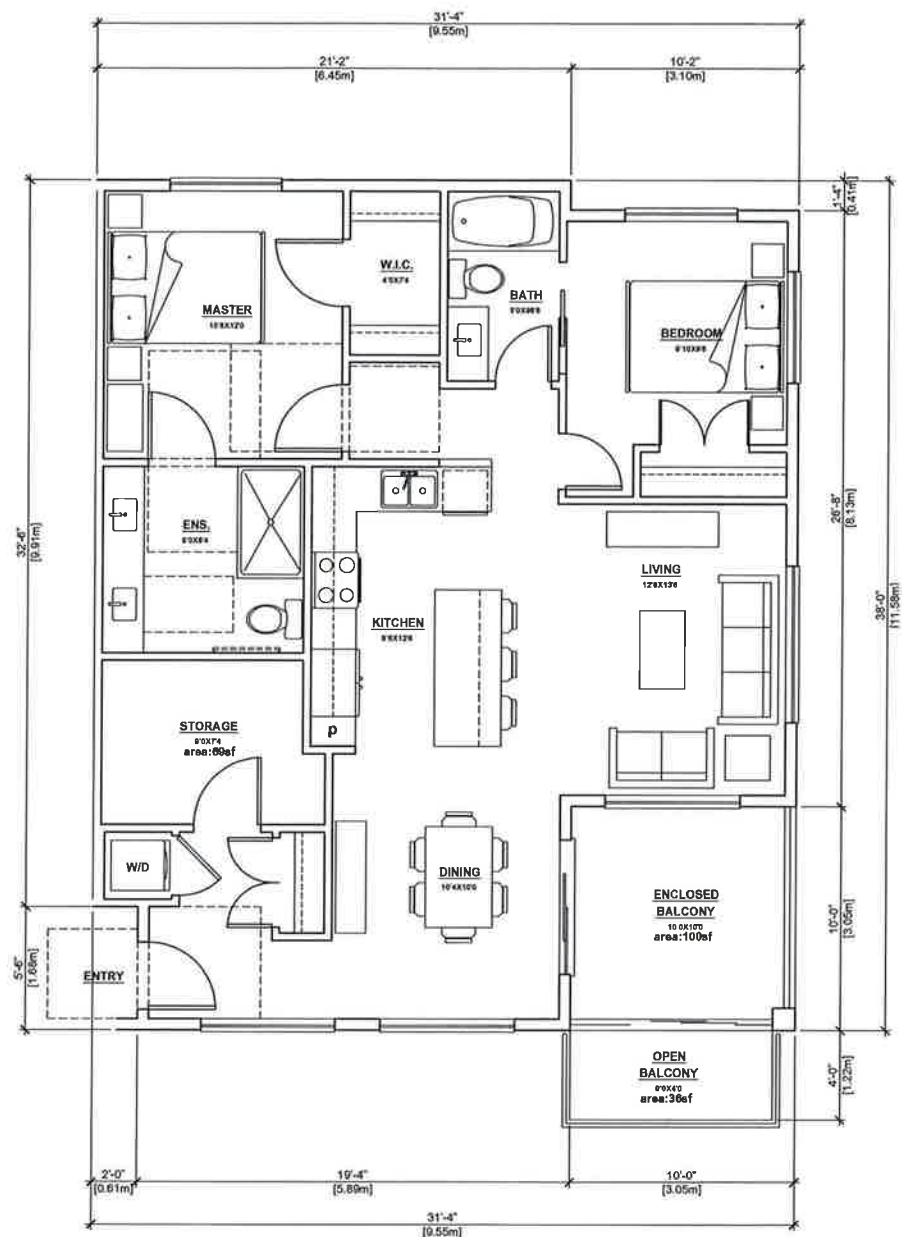
UNIT 'Ca'
SCALE: 1/4"= 1'-0"
FINISHED FLOOR AREA: 977 SQ. FT.
BALCONY AREA: 275 SQ. FT.
STORAGE AREA: 69 SQ. FT.



UNIT 'CaS'
SCALE: 1/4"= 1'-0"
FINISHED FLOOR AREA: 977 SQ.FT.
ENCLOSED BALCONY AREA: 175 SQ.FT.
OPEN BALCONY AREA: 32 SQ.FT.
STORAGE AREA: 69 SQ.FT.
NOTE: NO SOLARIUM ON MAIN FLOOR FOR UNIT CaS

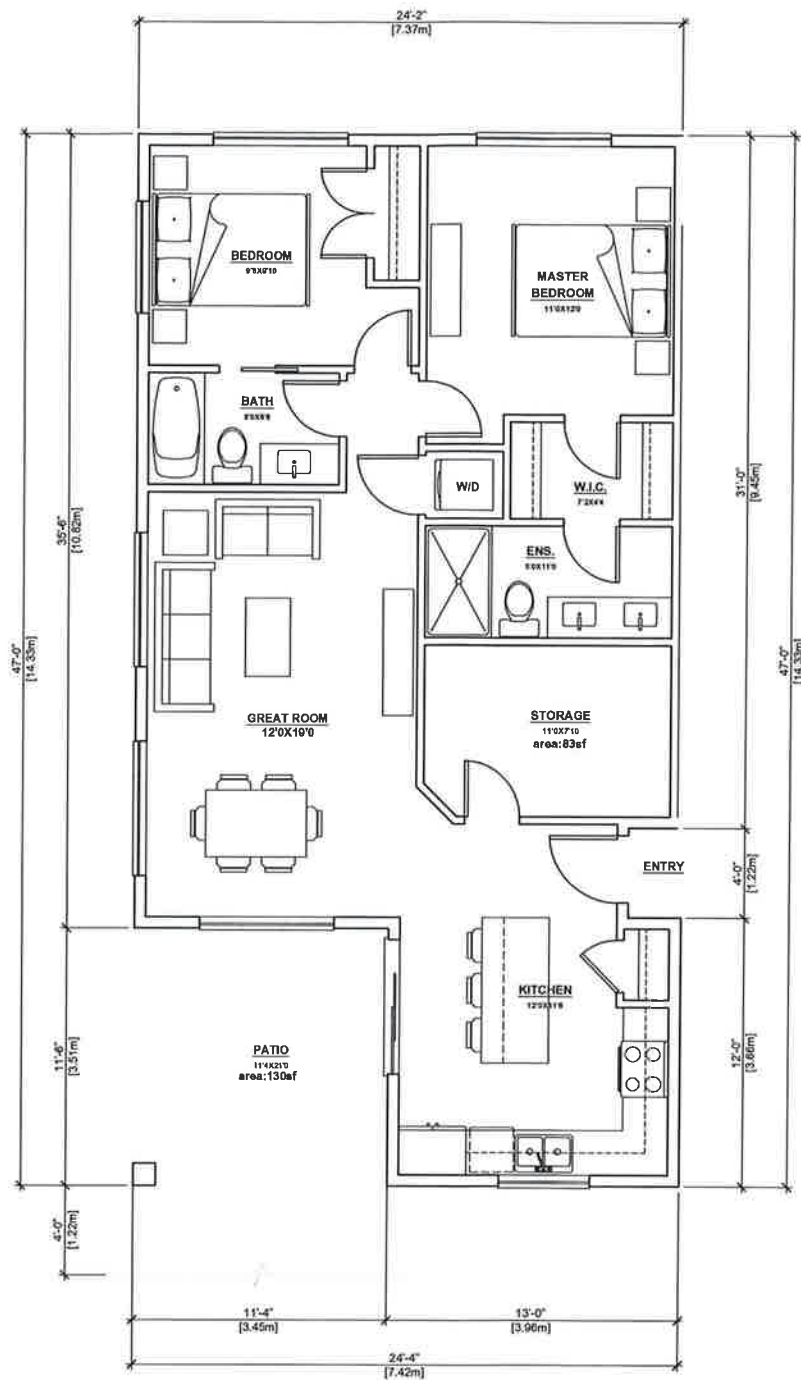


UNIT 'CS'
SCALE: 1/4"= 1'-0"
FINISHED FLOOR AREA: 973 SQ.FT.
ENCLOSED BALCONY AREA: 175 SQ.FT.
OPEN BALCONY AREA: 32 SQ.FT.
STORAGE AREA: 66 SQ.FT.
NOTE: NO SOLARIUM ON MAIN FLOOR FOR UNIT CS

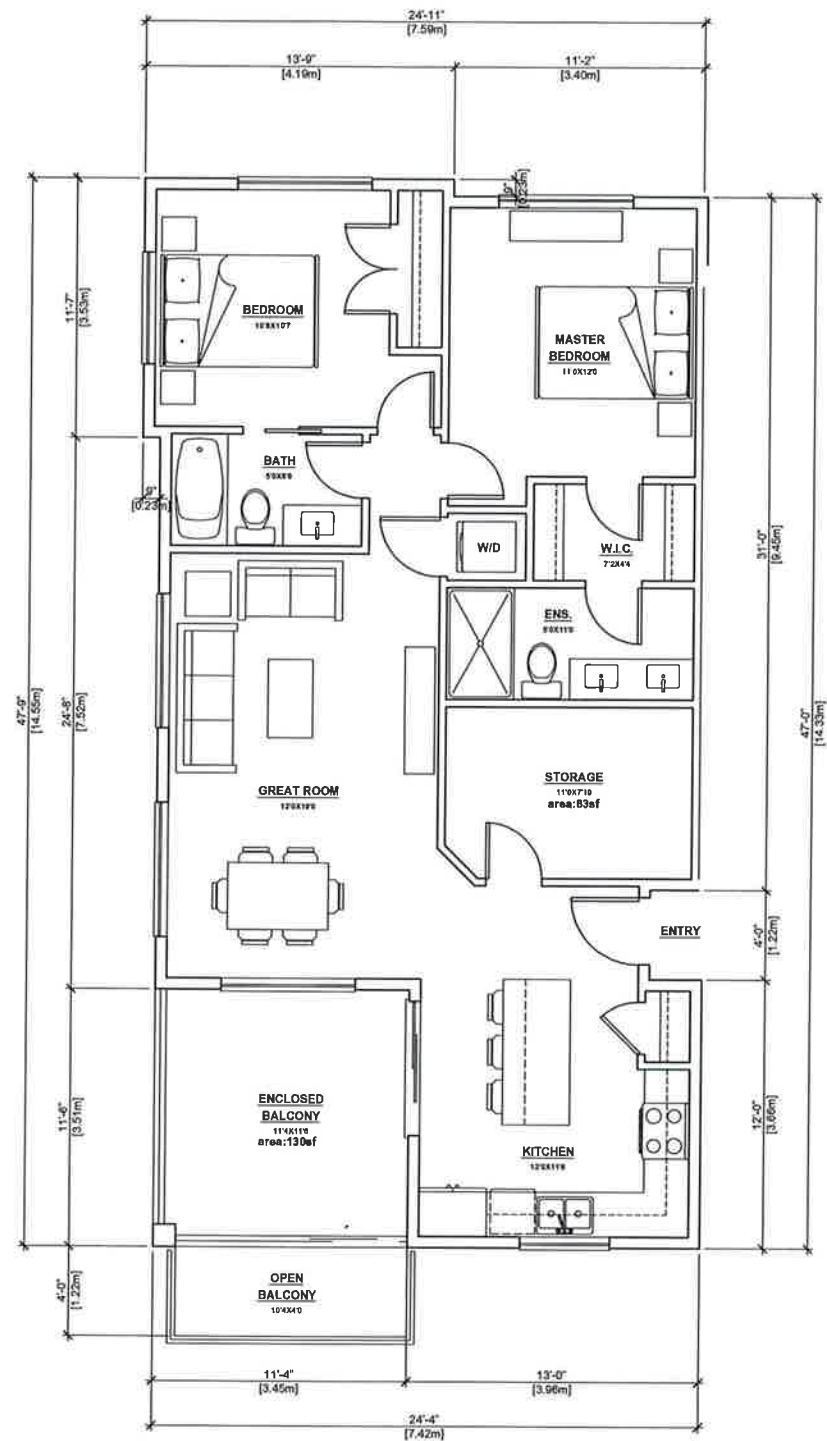


UNIT 'C3'
SCALE: 1/4" = 1'-0"
FINISHED FLOOR AREA: 1,000 SQ. FT.
ENCLOSED BALCONY: 100 SQ. FT.
OPEN BALCONY: 36 SQ. FT.
STORAGE AREA: 60 SQ. FT.

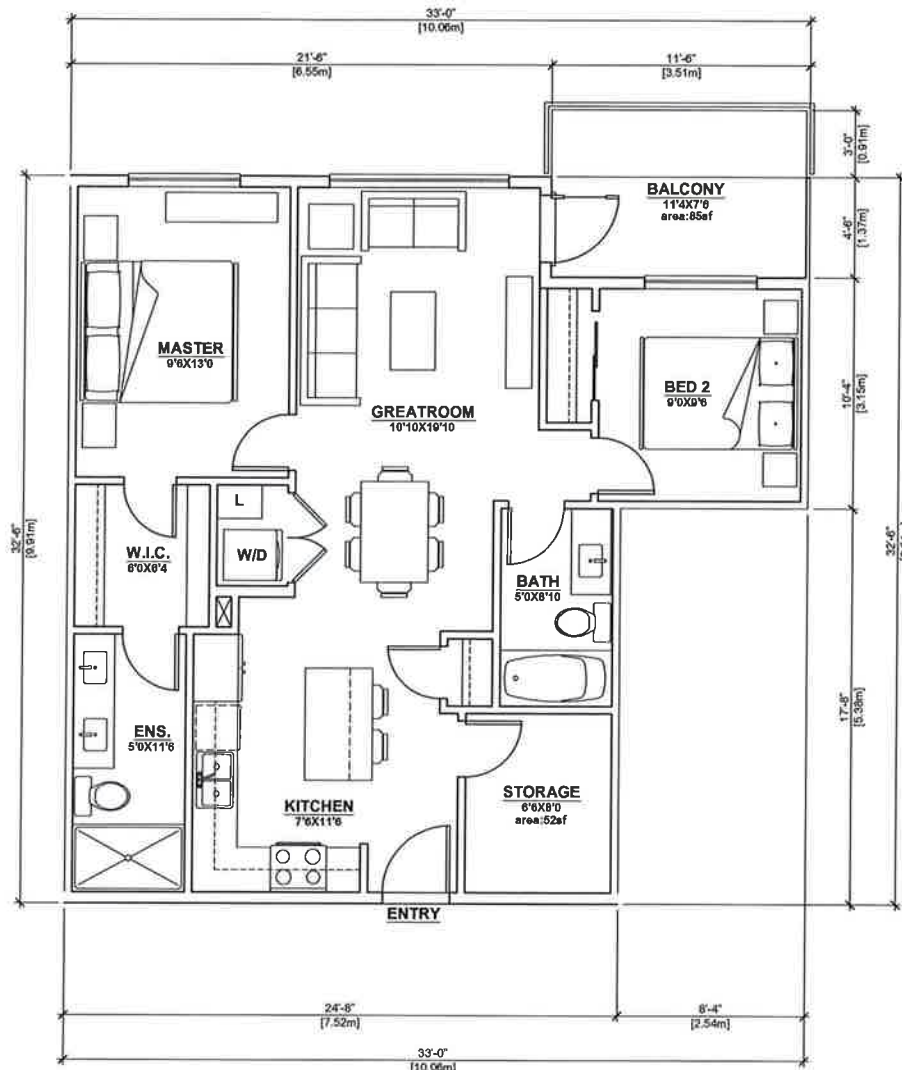
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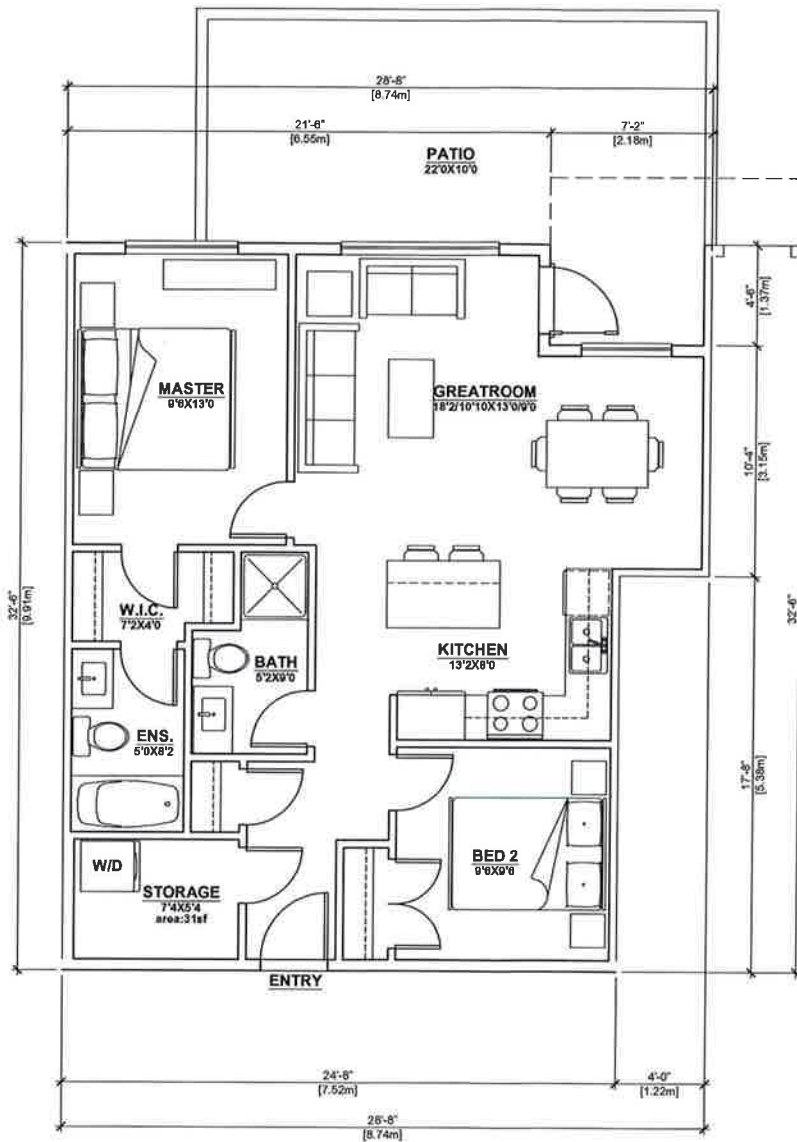
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ENCLOSED BALCONY: 130 SQ. FT.
OPEN BALCONY: ## SQ. FT.
STORAGE AREA: 83 SQ. FT.



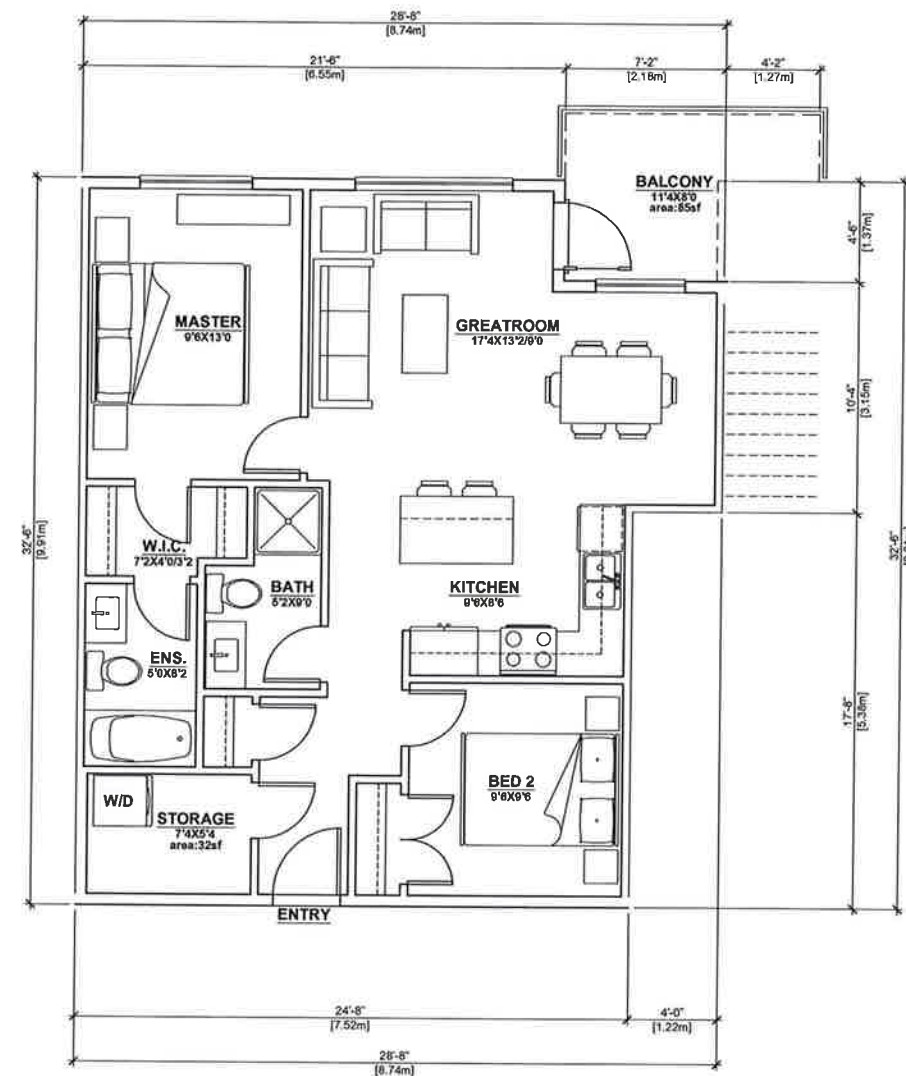
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FINISHED FLOOR AREA: 1017 SQ. FT.
ENCLOSED BALCONY: 130 SQ. FT.
OPEN BALCONY: 41 SQ. FT.
STORAGE AREA: 83 SQ. FT.



UNIT 'C5'
SCALE: 1/4"= 1'-0"
FINISHED FLOOR AREA: 874 SQ.FT.
BALCONY AREA: 85 SQ.FT.
STORAGE AREA: 52 SQ.FT.



UNIT 'C5a'
SCALE: 1/4"= 1'-0"
FINISHED FLOOR AREA: 829 SQ.FT.
PATIO AREA: 252 SQ.FT.
STORAGE AREA: 32 SQ.FT.



UNIT 'C5b'
SCALE: 1/4"= 1'-0"
FINISHED FLOOR AREA: 829 SQ.FT.
BALCONY AREA: 85 SQ.FT.
STORAGE AREA: 32 SQ.FT.

2017-02-27	DESIGN REVISIONS
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2017-01-04	CLIENT REVISION
2016-10-17	CLIENT REVIEW
2016-09-30	CLIENT REVIEW
2016-09-07	CLIENT REVIEW
2016-08-02	CLIENT REVIEW
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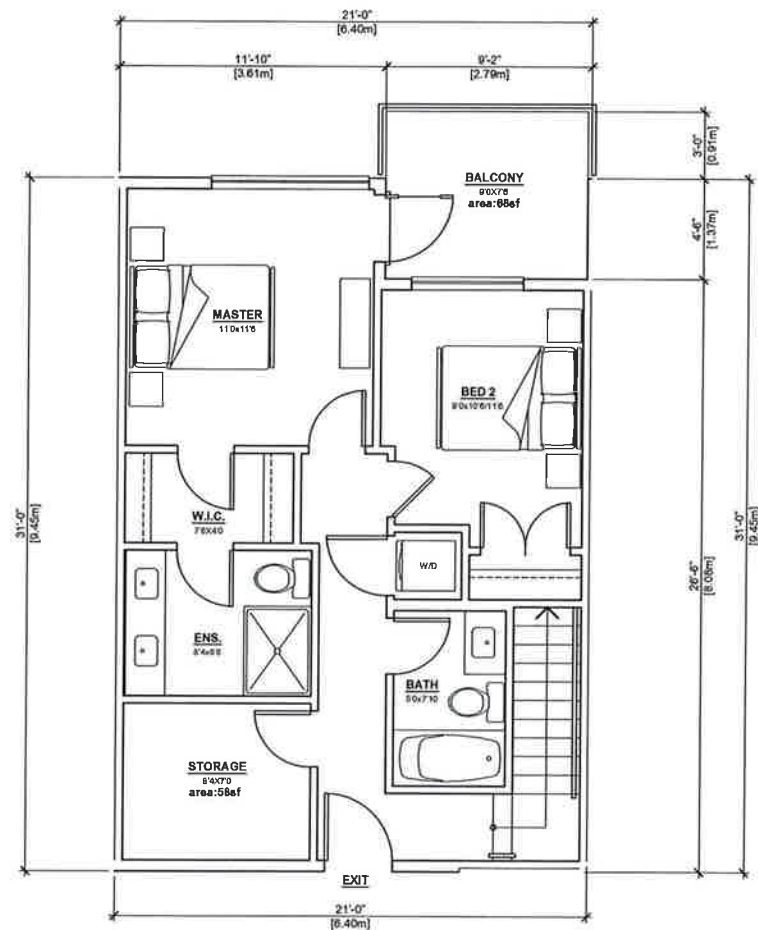
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**DETAILED
UNIT PLANS**

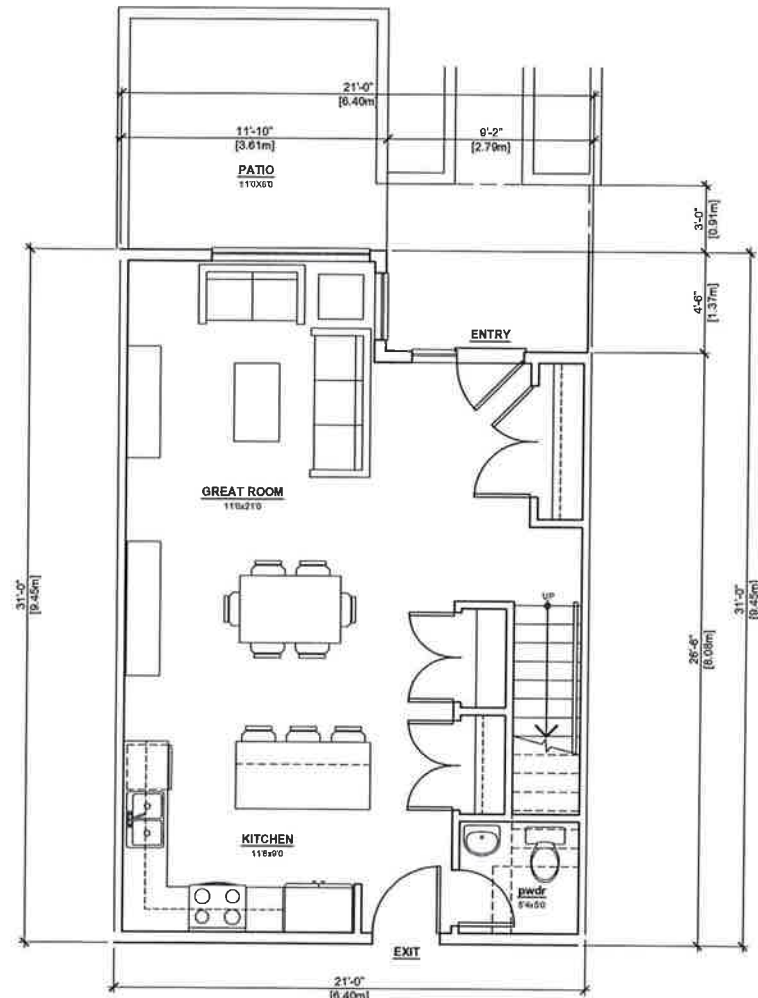
DATE	2018.08.15	FILE NO.
DWN	LC	1624
CHK	ch	

SEAL
SHEET NO.

DP-5.05



UNIT 'D'
UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"
FINISHED FLOOR AREA: 610 SQ. FT.
BALCONY AREA: 66 SQ. FT.
STORAGE AREA: 58 SQ. FT.



UNIT 'D'
LOWER FLOOR PLAN
SCALE: 1/4" = 1'-0"
FINISHED FLOOR AREA: 610 SQ. FT.
PATIO AREA: 88 SQ. FT.

2017-02-27
DESIGN REVISIONS
2017-02-08
ISSUED FOR REZONING/DP
2017-01-04
CLIENT REVISION
2016-10-17
CLIENT REVIEW
2016-09-30
CLIENT REVIEW
2016-08-07
CLIENT REVIEW
2016-09-02
CLIENT REVIEW

REVISIONS

CONSULTANT

CLIENT
CREADA HOLDINGS INC.

PROJECT
"CIVIC"
Proposed Multi-Family
Project
5830 & 5840 201A STREET,
LANGLEY BC, V3A 1T1

DRAWING TITLE

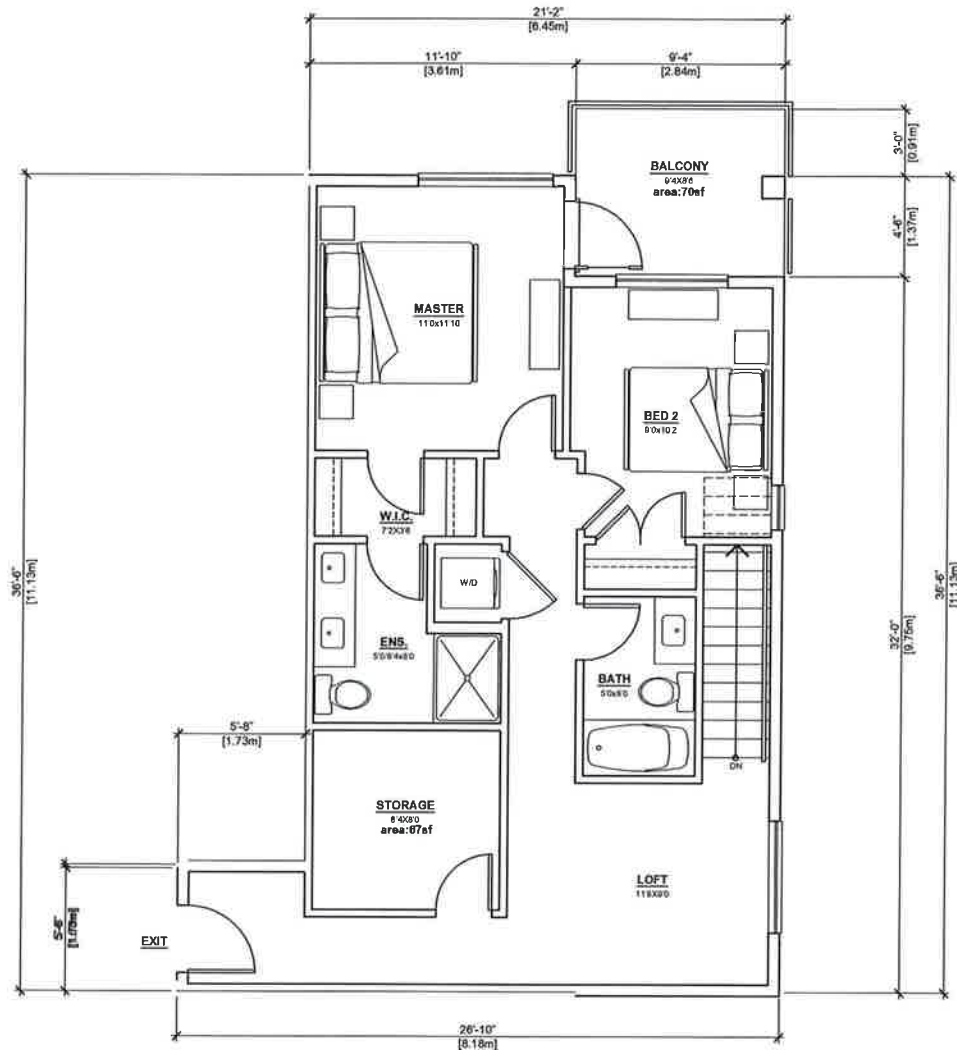
**DETAILED
UNIT PLANS**

DATE	2016.08.15	FILE NO.
DWN.	LC	
CHK.	ch	1624

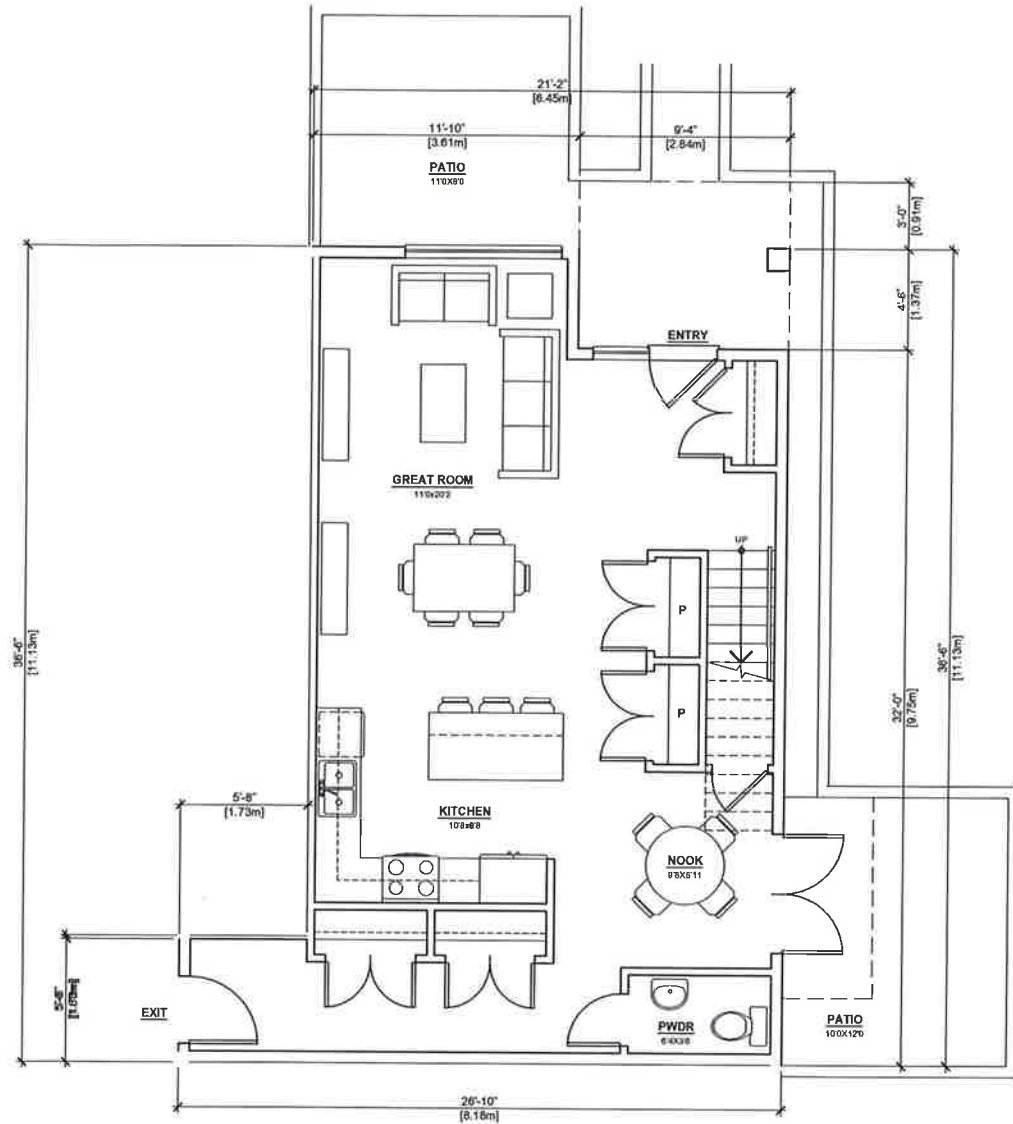
SEAL
SHEET NO.

DP-5.06

Printed: February 27, 2018 at 10:43:00am in: Layout: DP-5.06a
File: Z:\2016\projects\1624 - CREDA HOLDINGS INC. - 5630-5640 201A STREET\DWG\UNIT D1.dwg User: alex.sing Layout: DP-5.06a



UNIT 'D1'
UPPER FLOOR PLAN
SCALE: 1/4"= 1'-0"
FINISHED FLOOR AREA: 762 SQ. FT.
BALCONY AREA: 70 SQ. FT.
STORAGE AREA: 67 SQ. FT.



UNIT 'D1'
LOWER FLOOR PLAN
SCALE: 1/4"= 1'-0"
FINISHED FLOOR AREA: 763 SQ. FT.
PATIO AREA: 88 SQ. FT.

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FOCUS
ARCHITECTURE
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Suite 109 - 1528 McCallum Road
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1 804 853 5222
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2017-02-27	DESIGN REVISIONS
2017-02-08	ISSUED FOR REZONING DP
2017-01-04	CLIENT REVISION
2016-10-17	CLIENT REVIEW
2016-09-30	CLIENT REVIEW
2016-09-07	CLIENT REVIEW
2016-08-02	CLIENT REVIEW
REVISIONS	
CONSULTANT	

CLIENT
CREDA HOLDINGS INC.

PROJECT
"CIVIC"
Proposed Multi-Family Project
5630 & 5640 201A STREET,
LANGLEY BC, V3A 1T1

DRAWING TITLE

**DETAILED
UNIT PLANS**

DATE	2016.08.15	FILE NO.
DWN	LC	1624
CHK	ch	

SEAL
SHEET NO.

DP-5.06a

Proposed Multi-Family

Issued for Development Permit

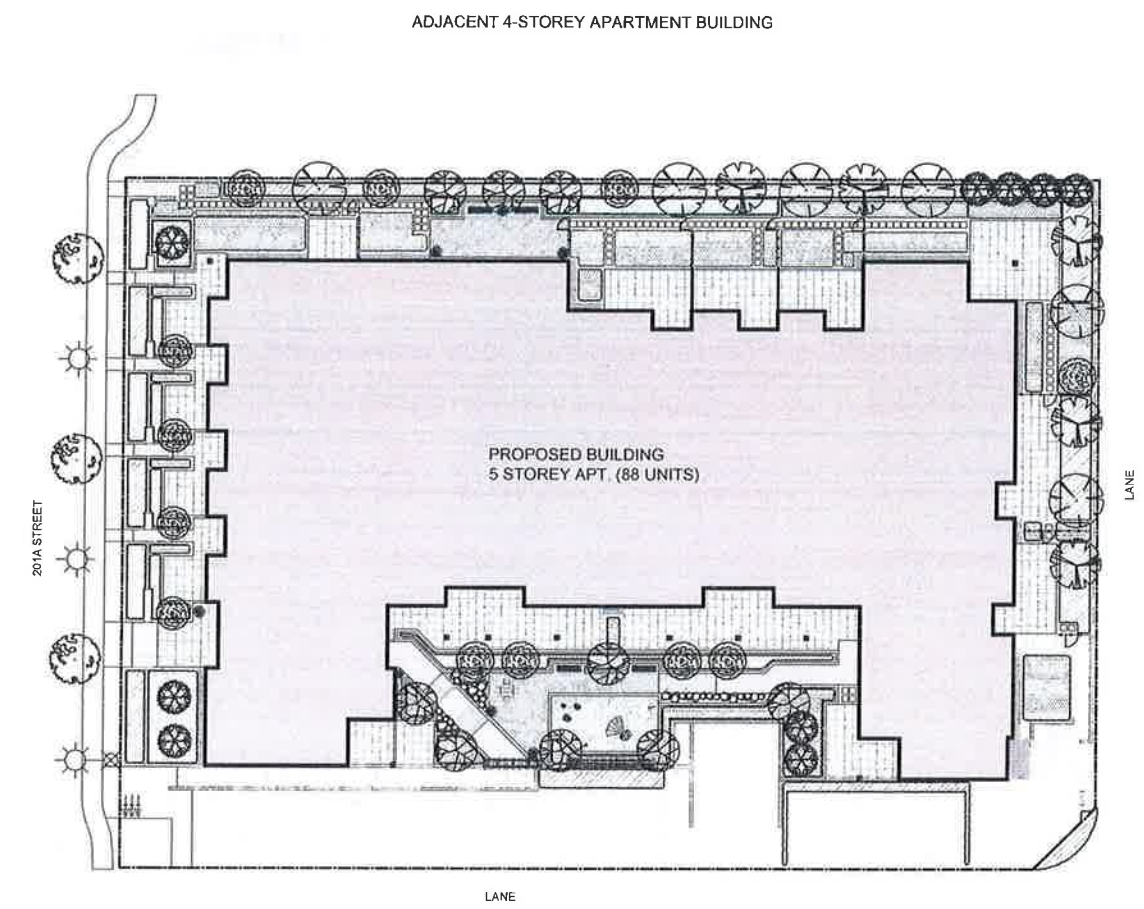
van der Zalm + associates inc.
Parks & Recreation • Civil Engineering
Urban Design • Landscape Architecture
Suite 1, 20177 97th Avenue
Langley, British Columbia
V1M 4B9
P 604.882.0024
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Contact Information	Other Key Contacts:	
van der Zalm + associates Inc. Project Landscape Architecture Suite 1 - 20177 97th Avenue Langley, British Columbia, V1M 4B9 t. 604 882 0024 f. 604 882 0042 Primary project contact: Stephen Heller Stephen@vzdl.ca 604 882 0024 x.27 Alternate contacts (in case away): Mark van der Zalm Principal Landscape Architect mark@vzdl.ca o. 604 882 0024 x.22	Creada Holdings Inc. Project Owner Linde Wu chwu@shaw.ca	Focus Architecture Inc. Project Building Architecture 109 - 1528 McCallum Road Abbotsford, BC, V2S 8A3 t. 604.853.4222 f. 604.853.5442 Primary contact: Louise Chua lchua@focusei.ca
Legal Address and Description:		
LOTS 36 & 37 BOTH OF DISTRICT LOT 309 GROUP 2 NWD PLAN 28341 PID 002-692-104 & 004-622-430 CIVIC ADDRESS: 5630 & 5640 201A STREET, LANGLEY, BC		

Sheet List Table

Sheet Number	Sheet Title
L-01	COVER SHEET
L-02	OVERALL SITE PLAN
L-03	EAST AND WEST LANDSCAPE PLANS
L-04	NORTH AND SOUTH LANDSCAPE PLANS
L-05	EAST AND WEST PLANTING PLANS
L-06	NORTH AND SOUTH PLANTING PLANS
LD-01	LANDSCAPE DETAILS
LD-02	LANDSCAPE DETAILS



1 SITE PLAN OVERVIEW
Scale 1:250



2 LOCATION MAP
NOT TO SCALE

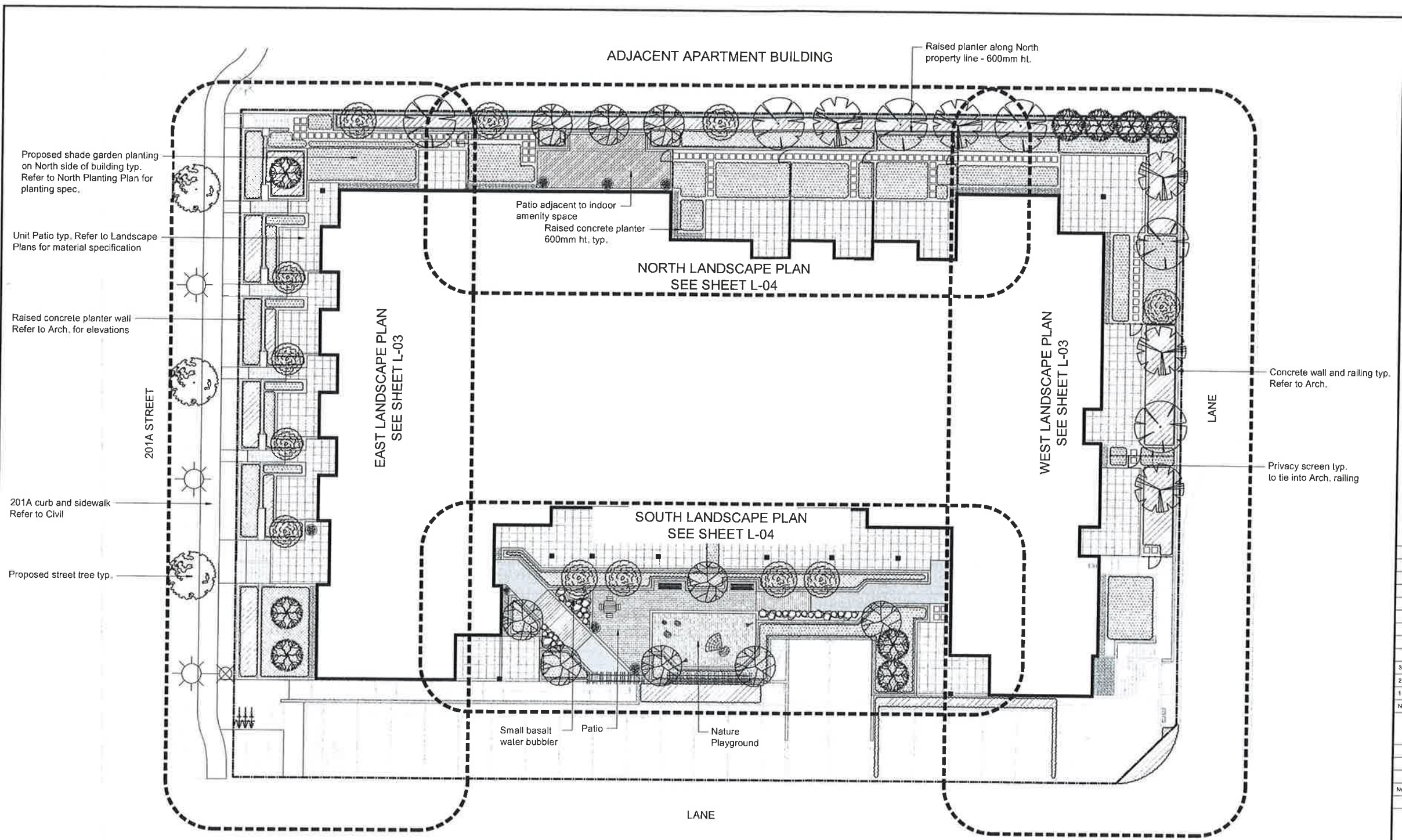
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Drawing Title: COVER SHEET

VDZ Project #: DP2016-61

Drawing #: L-01

W:\02-RECEIVED\PROJECTS\DEVELOPMENT PERMITS\ACTIVE\DP2016-61 5630 & 5640 201A STREET\WDSHEETS\L-01 COVER SHEET.DWG



1 OVERALL SITE PLAN
Scale 1:150

TREE LEGEND

AC	AG	CK	PO
STY	STREET TREE		

PROPOSED TREE SCHEDULE

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
DECIDUOUS TREES					
AC	5	Acer palmatum 'Sango Kaku'	Sango Kaku Japanese maple	B+B; 3.0m Ht.	Plant as shown
AG	9	Acer griseum	Paperbark maple	B+B; 6cm Cal.	Plant as shown
CK	6	Cornus kousa 'Starlight'	Starlight Dogwood	B+B; 6cm Cal.	Plant as shown
STY	12	Styrax japonicus	Japanese snowbell, white	B+B; 6cm Cal.	Plant as shown
CONIFEROUS TREES					
PO	9	Picea omorika	Serbian Spruce	B+B; 3.0m Ht.	Plant as shown

- PLANTING NOTES:
- ALL PLANT MATERIAL SHALL MEET OR EXCEED STANDARDS REQUIRED BY BCLMA OR BCSLA GUIDELINES.
 - TOPSOIL DEPTHS FOR PLANTING AS FOLLOWS:
 - GROUNDCOVERS: 300mm
 - SHRUBS: 450mm
 - TREE PITS: 1000mm WITH 300mm BELOW ROOT BALL
 - 1" MINUS COMPOST MULCH TO BE INSTALLED IN ALL SHRUB PLANTING AREAS.

No.	By	Description	Date
3	MR	Reissued for D.P.	February 27, 2017
2	MR	Issued for D.P.	February 3, 2017
1	SH	Issued for Client Review	January 11, 2017

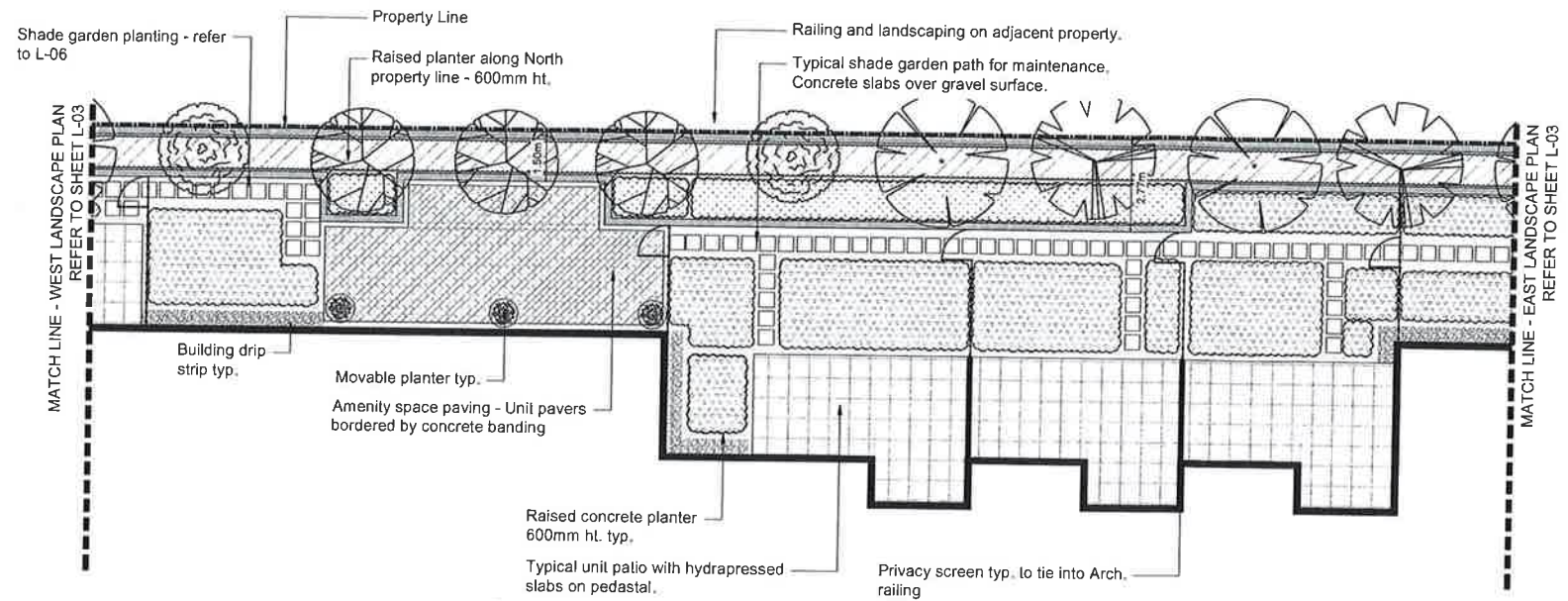
REVISIONS TABLE FOR DRAWINGS
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No.	By	Description	Date
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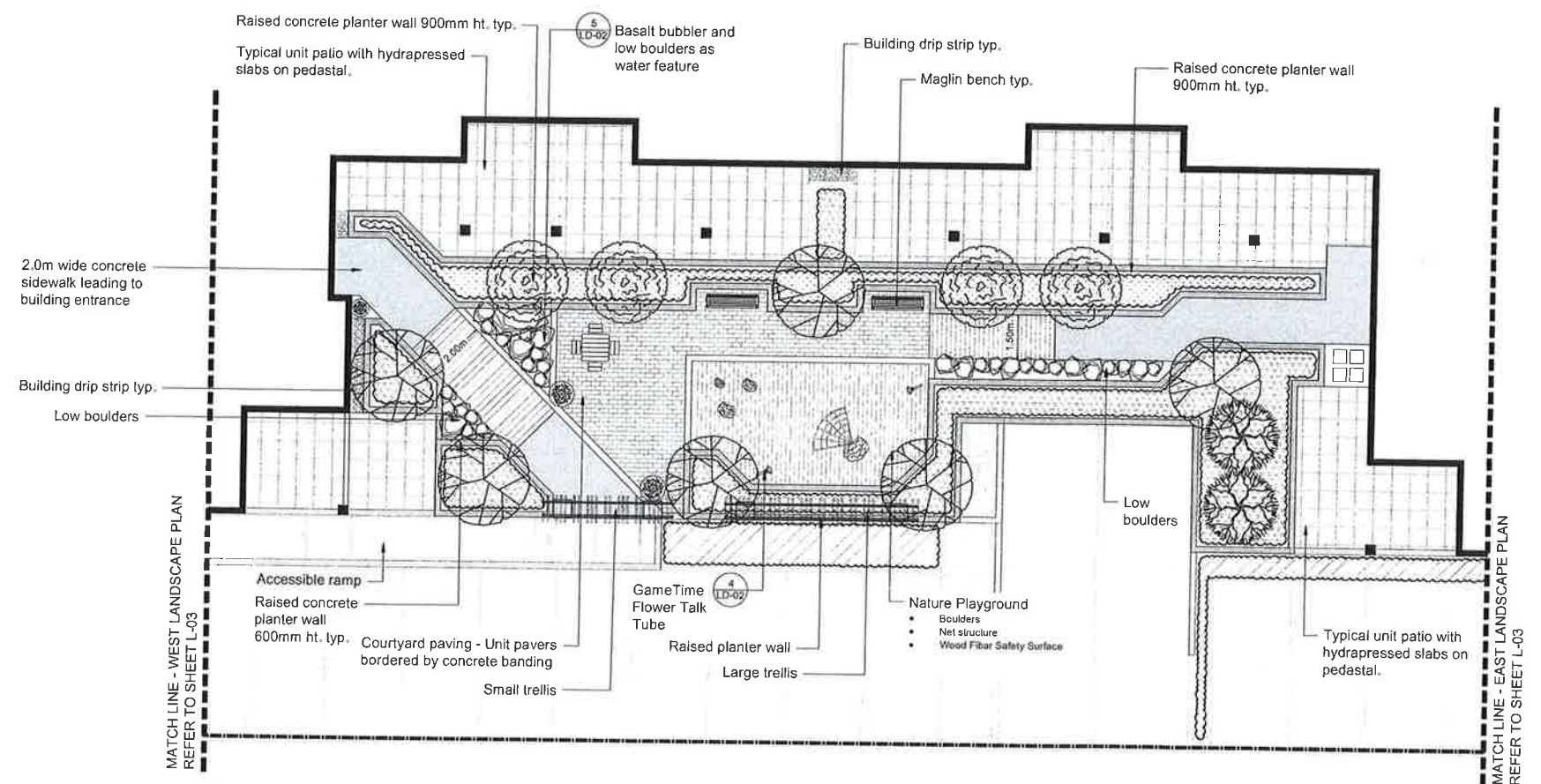
REVISIONS TABLE FOR SHEET

Project:
PROPOSED MULTI-FAMILY PROJECT
Location:
5630 & 5640 201A Street
Langley, BC, V3A 1T1

Drawn: SH MR	Stamp:
Checked: DJ	
Approved: MVDZ	Original Sheet Size: 24"x36"
Scale: 1:150	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS MUST BE APPROVED BY THE CONSULTANT. DIMENSIONS MUST NOT BE PLACED FOR CONSTRUCTION UNLESS LABELED FOR TENDER/CONSTRUCTION.



1 NORTH LANDSCAPE PLAN
Scale 1:100



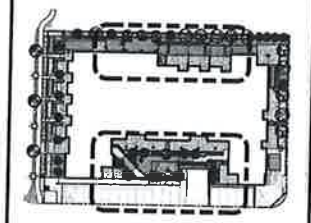
2 SOUTH LANDSCAPE PLAN (COURTYARD)
Scale 1:100

LANDSCAPE LEGEND

REF.	KEY	DESCRIPTION
2 LD-01		UNIT PAVERS Metropolitan Series Pavers Colour: Charcoal Supplier: Abbotsford Concrete Products
3 LD-01		PAVER SLABS Texada Hydrapressed Slabs Colour: Charcoal Supplier: Abbotsford Concrete Products
2 LD-01		UNIT PAVERS Bridgewood Series Concrete Slabs Colour: Cedar Brown Supplier: Barkman Concrete
1 LD-01		CONCRETE SIDEWALK Over Structural Slab
		RAILINGS Refer to Architects Drawings
1 LD-02		SHADE GARDEN PLANTING Refer to Planting Plan
1 LD-02		FEATURE SHRUB AND GROUND COVER PLANTING Refer to Planting Plan
1 LD-02		PERIMETER SCREEN PLANTING Refer to Planting Plan
		DECORATIVE POTS GRTS-077 by Baldevn Site Elements or approved equal. Contact: 604-424-4166 adrianne@baldevn.com
4 LD-01		ALLAN BLOCK RETAINING WALL 600mm Ht. raised planters (Typ.)
6 LD-01		BENCH Maglin MLB720-W
7 LD-01		TABLE Maglin MLPT400-S-W
8 LD-01		SHADE GARDEN PATH Hydrapressed slabs on compacted gravel base for maintenance access.
5 LD-02		BUILDING DRIP STRIP
		BIKE RACK Loopy Series L21-BR22 by Francis Andrew Site Furnishings Ltd Surface Mount
5 LD-01		WOOD FIBER PLAY SURFACE
7 LD-02		TIMBER STEP DOWN FENCE



Key Map (NTS)



No.	By	Description	Date
3	MR	Reissued for D.P.	February 27, 2017
2	MR	Issued for D.P.	February 3, 2017
1	SH	Issued for Client Review	January 11, 2017

REVISIONS TABLE FOR DRAWINGS
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No.	By	Description	Date

REVISIONS TABLE FOR SHEET

Project:
PROPOSED MULTI-FAMILY PROJECT

Location:
5630 & 5640 201A Street
Langley, BC, V3A 1T1

Drawn: SH MR	Stamp:
Checked: DJ	
Approved: MVDZ	Original Sheet Size: 24"x36"

Scale:
1:100

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS AND CHANGES TO THE DRAWINGS MUST NOT BE MADE FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.

Drawing Title:
NORTH AND SOUTH LANDSCAPE PLANS

VDZ Project #:
DP2016-61

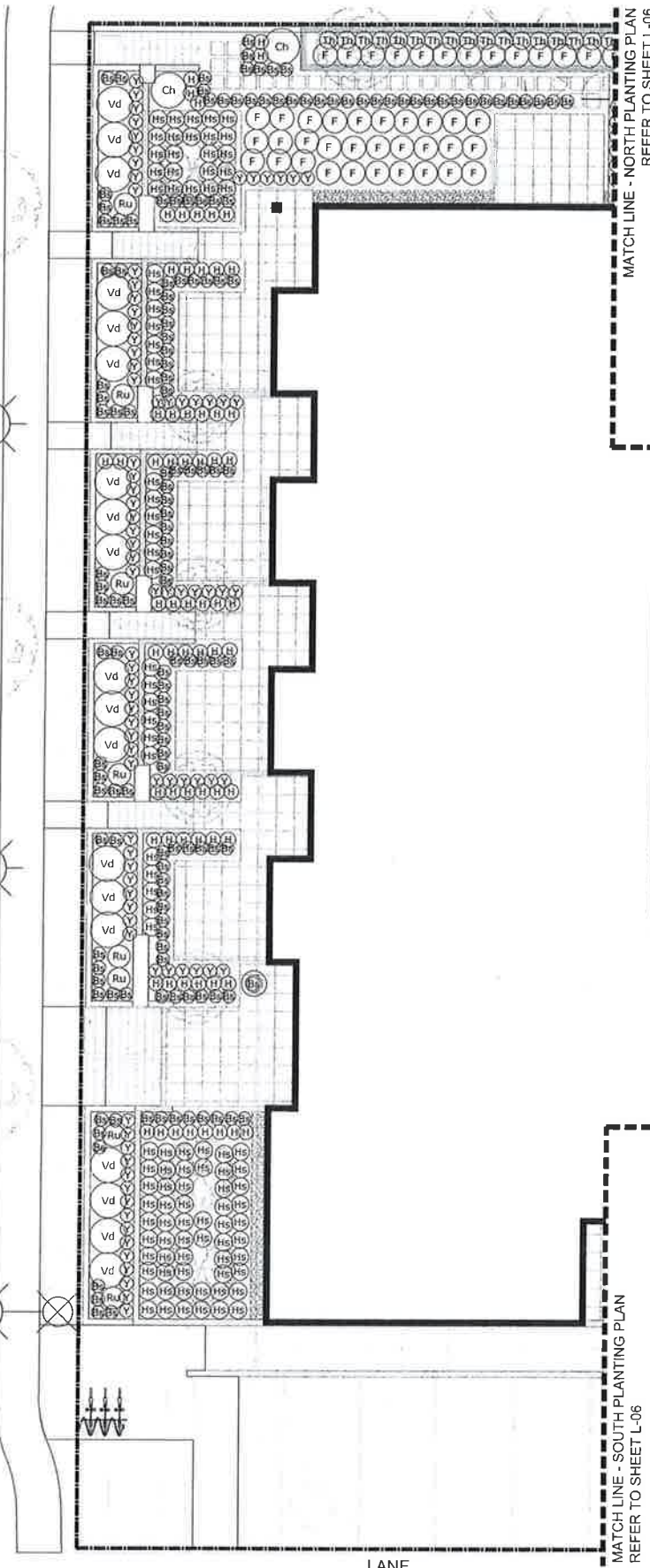
Drawing #:
L-04

W:\02-SEWER\PROJECTS\DEVELOPMENT PERMITS\ACTIVATION\2016-61 1600 & 5640 201A STREET\DWG\2016-61 EAST AND WEST PLANTING PLANS.DWG

201A STREET

1

WEST PLANTING PLAN
Scale 1:100



PROPOSED PLANTING SCHEDULE

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
SHRUBS					
Az	22	Azalea japonica 'Hino White'	Evergreen azalea; white	# 3 Pot	900mm O.C.
Ch	11	Choisya ternata 'Aztec Pearl'	Aztec Pearl Mock Orange	# 3 Pot	1200mm O.C.
Ham	2	Hamamelis mollis 'Arnold Promise'	Witch Hazel; yellow	# 3 Pot	2000mm O.C.
Hyd	4	Hydrangea semulata 'Bluebird'	Bluebird Hydrangea	# 3 Pot	1500mm O.C.
Vd	27	Viburnum davidii	David's Viburnum	# 2 Pot	1200mm O.C.
Vo	5	Vaccinium ovatum	Evergreen Huckleberry	# 2 Pot	1000mm O.C.
PERENNIALS AND GRASSES					
A	19	Allium sphaerocephalon	Ball headed onion	Plant as shown	
C	35	Campanula poscharskyana	Serbian bellflower; blue	# 1 Pot	500mm O.C.
	1196	Carex pensylvanica	Pennsylvania Sedge	10 cm Pot	300mm O.C.
H	77	Hemerocallis 'Stella de Oro'	Daylily; yellow	# 1 Pot	500mm O.C.
HS	187	Heliopsis scabra 'Autumn Fire'	Blue Oat Grass	# 1 Pot	600mm O.C.
P	141	Phlox divaricata 'Plum Perfect'	Woodland Phlox; Purple	10 cm Pot	450mm O.C.
Ru	17	Rudbeckia hirta 'Goldsturm'	Black Eyed Susan	# 1 Pot	750mm O.C.
S	22	Salvia nemorosa	Woodland Sage	# 1 Pot	750mm O.C.
Te	84	Tellima grandiflora	Fragrant Fringescup	# 1 Pot	600mm O.C.
HEDGING					
Bs	157	Buxus microphylla 'Winter Gem'	Edging Boxwood	# 2 Pot	500mm O.C.
Se	47	Sarcococca hookeriana 'humilis'	Himalayan Sweetbox	# 2 Pot	600mm O.C.
Th	217	Thuja occidentalis 'Smaragd'	Smaragd Cedar Hedge	1.8m ht. B&B	600mm O.C.
Y	277	Taxus x media 'Hicksii'	Hick's Yew	1.0m ht.	450mm O.C.
GROUND COVER					
L	79	Liriope muscari	Blue Lilyturf	10 cm Pot	450mm O.C.
F	231	Polystichum munitum	Western Sword Fern	# 1 Pot	800mm O.C.

- PLANTING NOTES:
1. ALL PLANT MATERIAL SHALL MEET OR EXCEED STANDARDS REQUIRED BY BCLNA OR BCLSA GUIDELINES.
 2. TOPSOIL DEPTHS FOR PLANTING AS FOLLOWS:
 - A. GROUNDCOVERS: 300mm
 - B. SHRUBS: 450mm
 - C. TREE PITS: 1000mm WITH 300mm BELOW ROOT BALL
 3. 1" MINUS COMPOST MULCH TO BE INSTALLED IN ALL SHRUB PLANTING AREAS.

1:100 0 1m 2 3 4 5 6 7 8 9 10 11 12 13 14 15

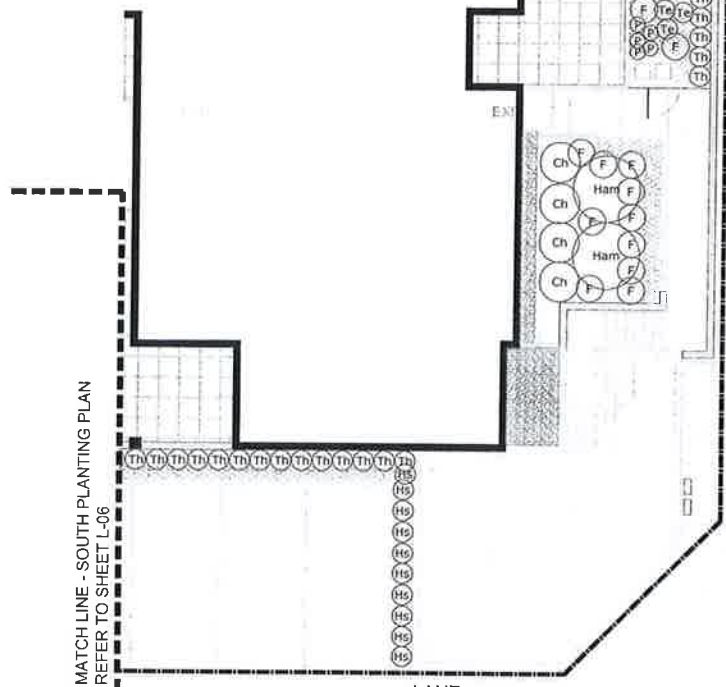
MATCH LINE - SOUTH PLANTING PLAN
REFER TO SHEET L-05

Raised planter along North property line - 600mm ht.
Typical shade garden path for maintenance. Concrete slabs over gravel surface.

MATCH LINE - NORTH PLANTING PLAN
REFER TO SHEET L-06

2

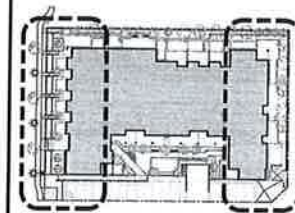
EAST PLANTING PLAN
Scale 1:100



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Key Map (NTS)



No.	By:	Description	Date
3	MR	Revised for D.P.	February 27, 2017
2	MR	Issued for D.P.	February 3, 2017
1	SH	Issued for Client Review	January 11, 2017

REVISIONS TABLE FOR DRAWINGS
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No.	By:	Description	Date
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REVISIONS TABLE FOR SHEET

Project:
PROPOSED MULTI-FAMILY PROJECT
Location:
5630 & 5640 201A Street
Langley, BC, V3A 1T1

Drawn: SH MR	Stamp:
Checked: DJ	
Approved: MVDZ	Original Sheet Size: 24"x36"
Scale: 1:100	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS TO THE DRAWINGS MUST NOT BE MADE FOR CONSTRUCTION UNLESS A WRITTEN ORDER FOR TENDER/CONSTRUCTION.

Drawing Title:
EAST AND WEST PLANTING PLANS

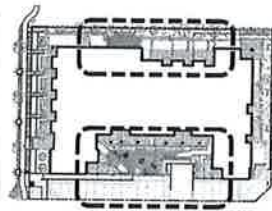


VDZ Project #:
DP2016-61

Drawing #:
L-05



Key Map (NTS)



3	MR	Revised for D.P.	February 27, 2017
2	MR	Issued for D.P.	February 3, 2017
1	SH	Issued for Client Review	January 11, 2017
No.	By:	Description	Date

REVISIONS TABLE FOR DRAWINGS
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No.	By:	Description	Date
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REVISIONS TABLE FOR SHEET

Project:
PROPOSED MULTI-FAMILY
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Location:
5630 & 5640 201A Street
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Drawn:

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THE WORK. ALL REVISIONS MUST BE PRECEDED BY
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RENDER/CONSTRUCTION

Drawing Title:



NORTH

VDZ Project #:

DP2016-61

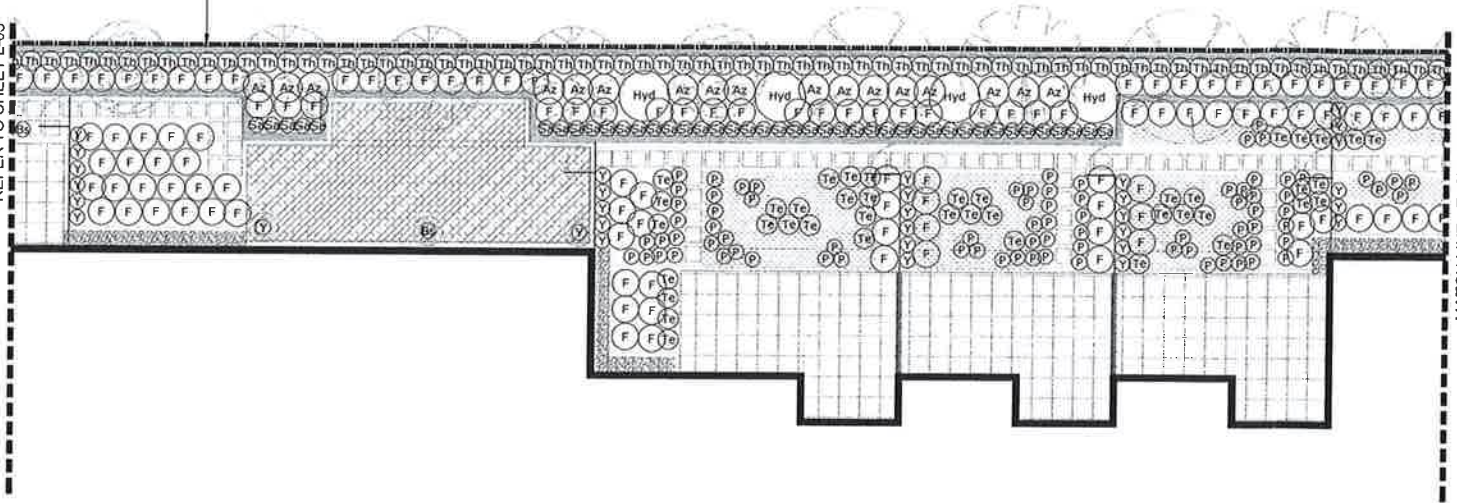
Drawing #:

L-06

NORTH AND SOUTH PLANTING PLANS

Property Line

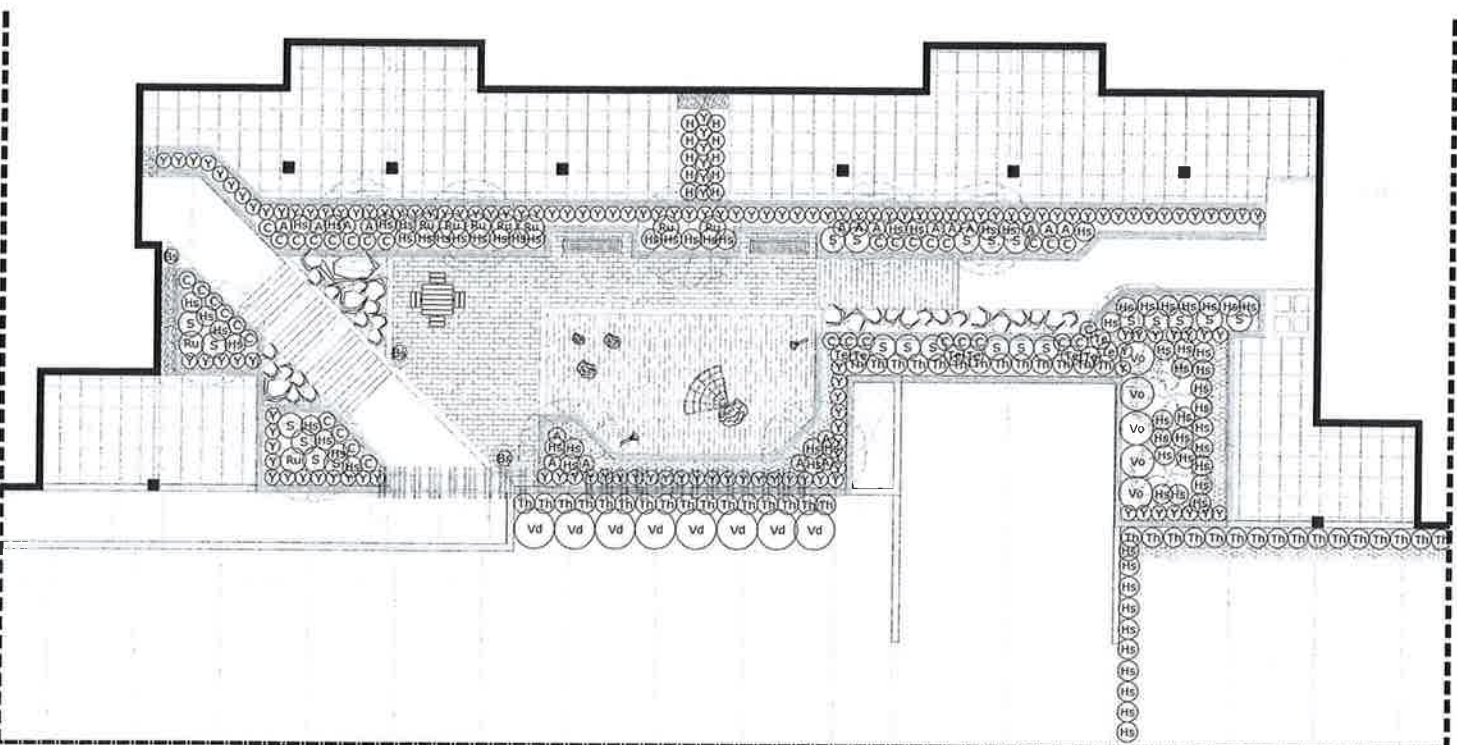
MATCH LINE - WEST PLANTING PLAN
REFER TO SHEET L-05



MATCH LINE - EAST PLANTING PLAN
REFER TO SHEET L-05

1 NORTH PLANTING PLAN
Scale 1:100

MATCH LINE - WEST PLANTING PLAN
REFER TO SHEET L-05



MATCH LINE - EAST PLANTING PLAN
REFER TO SHEET L-05

2 SOUTH PLANTING PLAN (COURTYARD)
Scale 1:100

PROPOSED PLANTING SCHEDULE

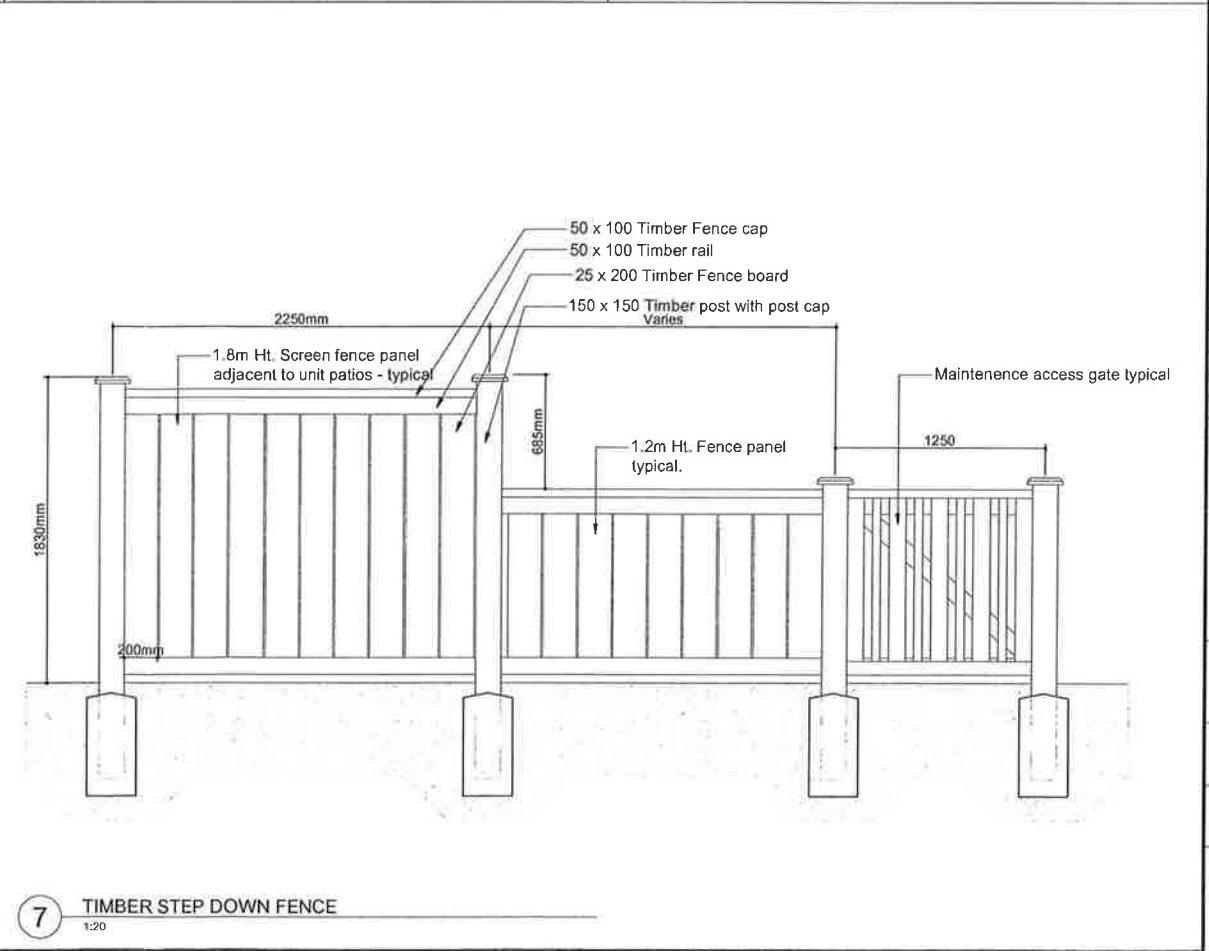
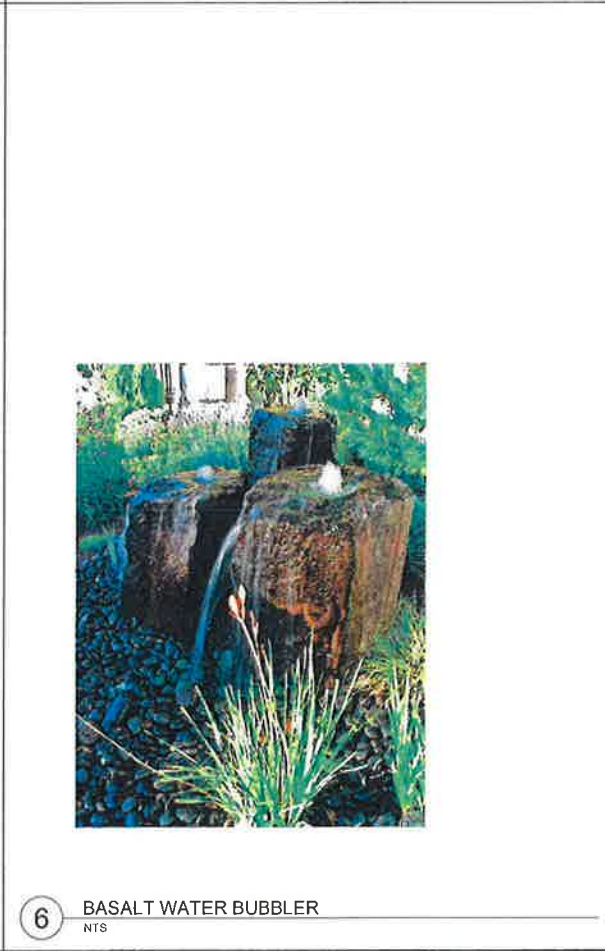
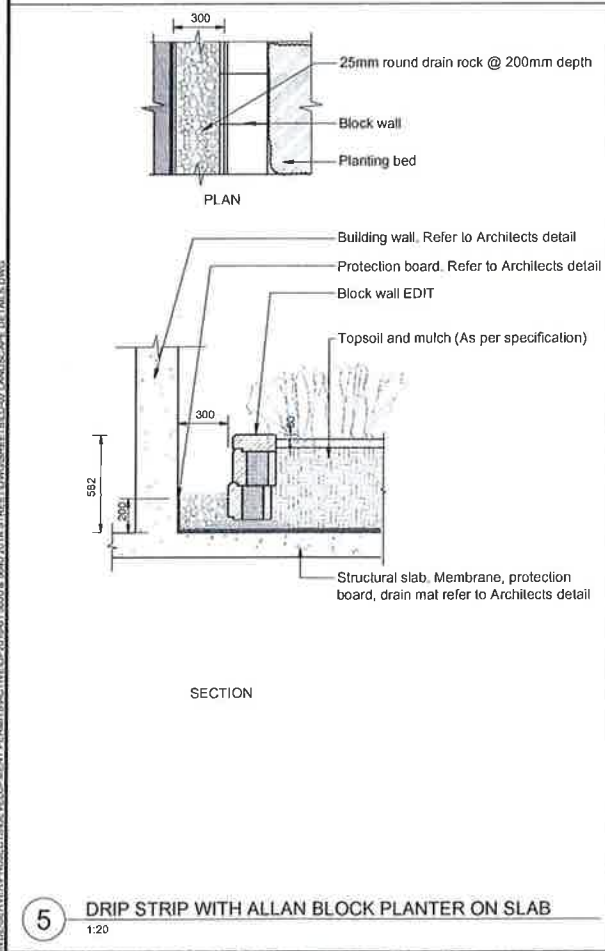
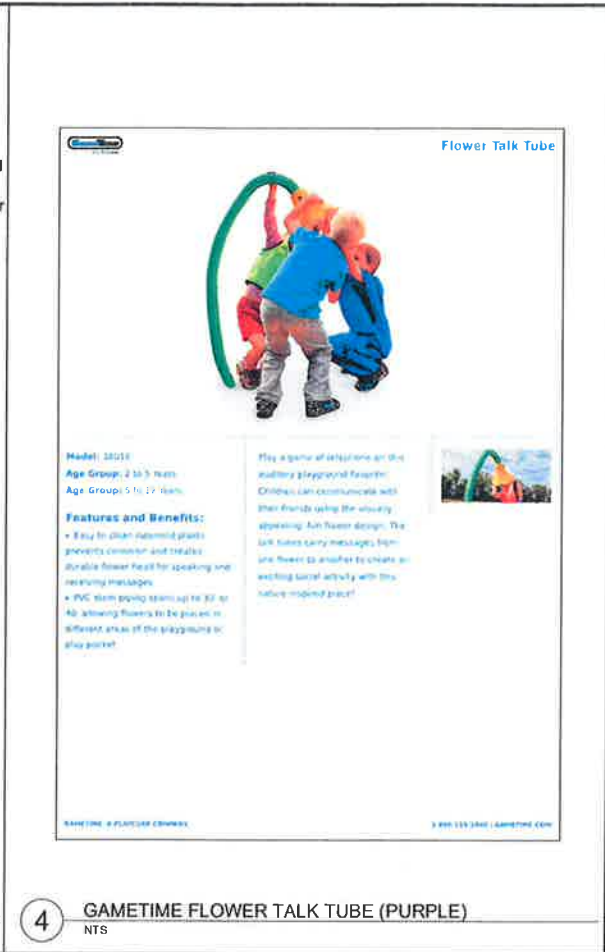
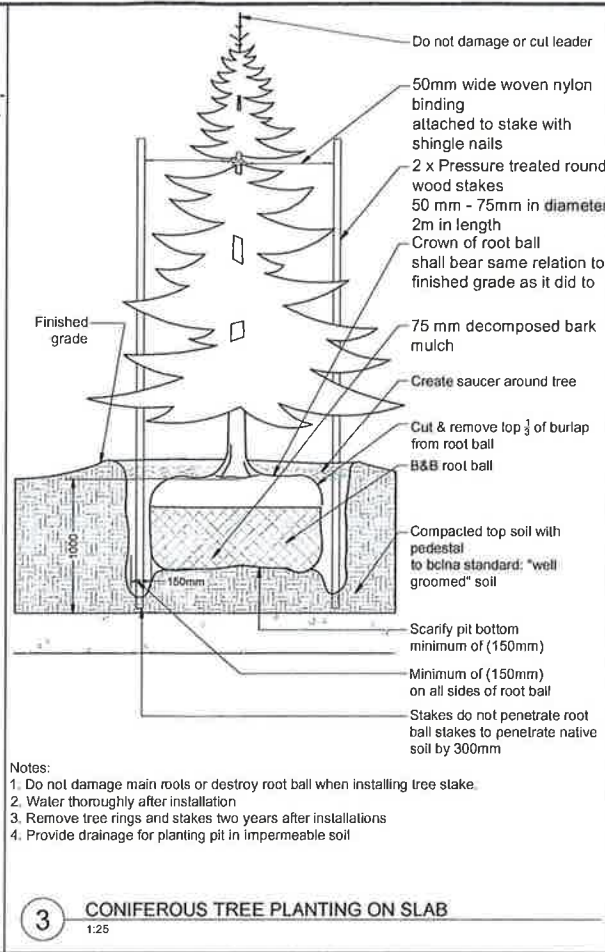
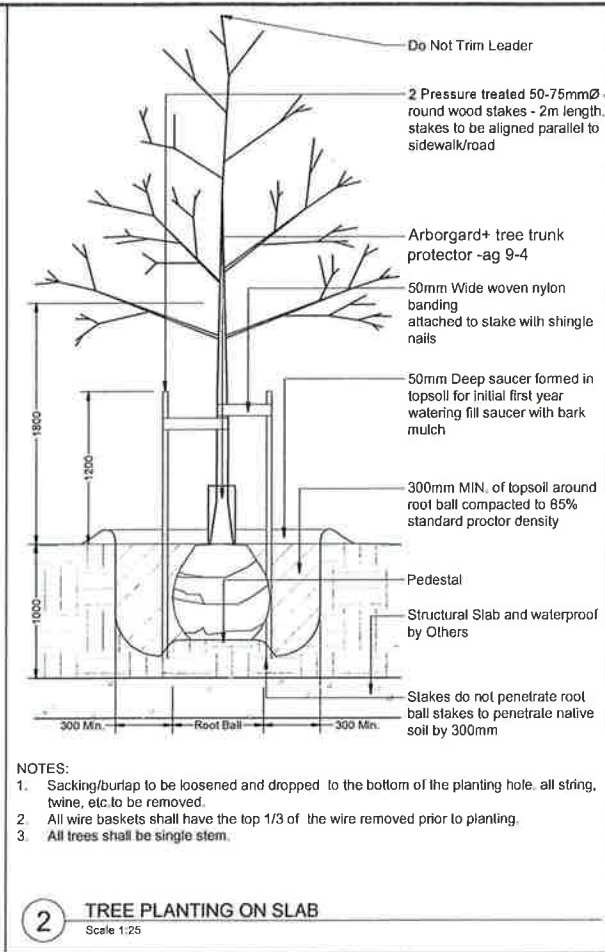
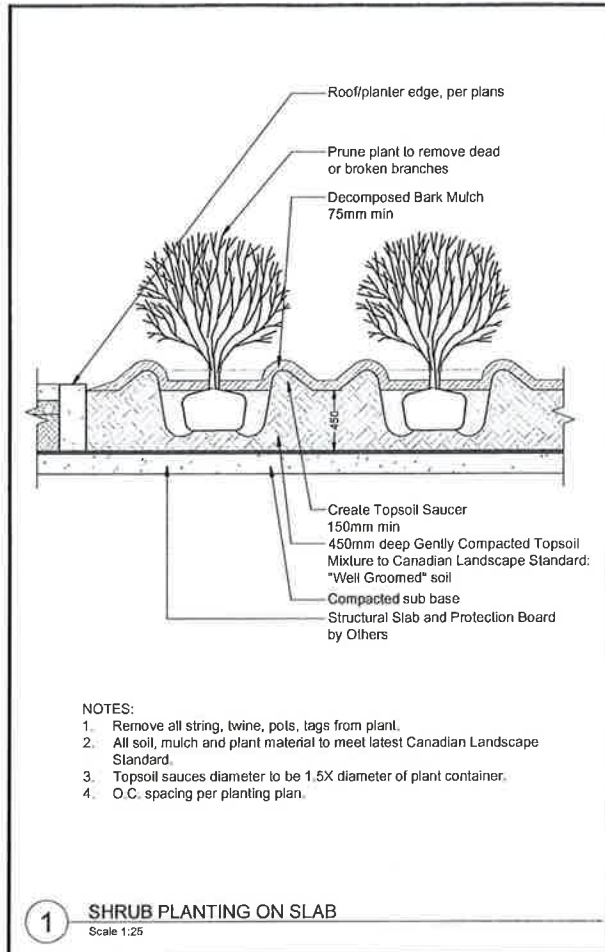
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
SHRUBS					
Az	22	Azalea japonica 'Hino White'	Evergreen azalea, white	# 3 Pot	900mm O.C.
Ch	11	Choisya ternata 'Aztec Pearl'	Aztec Pearl Mock Orange	# 3 Pot	1200mm O.C.
Ham	2	Hamamelis mollis 'Arnold Promise'	Witch Hazel, yellow	# 3 Pot	2000mm O.C.
Hyd	4	Hydrangea serrulata 'Bluebird'	Bluebird Hydrangea	# 2 Pot	1500mm O.C.
Vd	27	Viburnum davidii	David's Viburnum	# 2 Pot	1200mm O.C.
Vo	5	Vaccinium ovatum	Evergreen Huckleberry	# 2 Pot	1000mm O.C.
PERENNIALS AND GRASSES					
A	19	Allium sphaerocephalon	Ball headed onion	# 1 Pot	Plant as shown
C	35	Campanula poscharskyana	Serbian bellflower, blue	# 1 Pot	500mm O.C.
	1196	Carex pensylvanica	Pennsylvania Sedge	10 cm Pot	300mm O.C.
H	77	Heimerocallis 'Stella de Oro'	Daylily, yellow	# 1 Pot	500mm O.C.
Hs	187	Helictotrichon sempervirens	Blue Oat Grass	# 1 Pot	600mm O.C.
P	141	Phlox divaricata 'Plum Perfect'	Woodland Phlox, Purple	10 cm Pot	450mm O.C.
Ru	17	Rudbeckia fulgida var. 'Goldsturm'	Black Eyed Susan	# 1 Pot	750mm O.C.
S	22	Salvia nemorosa	Woodland Sage	# 1 Pot	750mm O.C.
Te	84	Tellima grandiflora	Fragrant Fritillary	# 1 Pot	600mm O.C.
HEDGING					
Bs	157	Buxus microphylla 'Winter Gem'	Edging Boxwood	# 2 Pot	500mm O.C.
Sa	47	Sarcococca hookeriana 'humilis'	Himalayan Sweetbox	# 2 Pot	600mm O.C.
Th	217	Thuja occidentalis 'Smaragd'	Smaragd Cedar Hedge	1.8m ht. B&B	600mm O.C.
Y	277	Taxus x media 'Hicksii'	Hick's Yew	1.0m ht.	450mm O.C.
GROUND COVER					
	79	Liriope muscari	Blue Lilyturf	10 cm Pot	450mm O.C.
F	231	Polystichum murinum	Western Sword Fern	# 1 Pot	800mm O.C.

- PLANTING NOTES:
- ALL PLANT MATERIAL SHALL MEET OR EXCEED STANDARDS REQUIRED BY BCLNA OR BCCLA GUIDELINES
 - TOPSOIL DEPTHS FOR PLANTING AS FOLLOWS:
 - A. GROUND COVERS: 300mm
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AS SHOWN



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Drawing Title: **LANDSCAPE DETAILS**
Drawing #: **LD-02**
VZ Project #: **DP2016-61**