



REGULAR COUNCIL MEETING AGENDA

Monday, September 11, 2017
7:00 P.M.
Council Chambers, Langley City Hall
20399 Douglas Crescent

	Pages
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2. <u>ADOPTION OF AGENDA</u>	
a. Adoption of the September 11, 2017 Regular Agenda	
3. <u>ADOPTION OF THE MINUTES</u>	
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a. Development Permit No. 07-17 20151 Fraser Highway	37
5. <u>MAYOR'S REPORT</u>	
a. Upcoming Meetings Regular Council Meeting – September 18, 2017 Regular Council Meeting – October 2, 2017	
b. Metro Vancouver Update - Councillor Storteboom	
c. Engineering Update - Rick Bomhof, Director of Engineering, Parks and Environment	
d. Recreation Update - Kim Hilton, Director of Recreation, Culture and Community Services	
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7. BYLAWS

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First, second and third reading of a bylaw to amend the Fire Protection and Safety Bylaw.

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- a. Flag Policy Amendment 73
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9. NEW AND UNFINISHED BUSINESS

- a. Motions/Notices of Motion
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10. ADJOURNMENT



ADVISORY PLANNING COMMISSION REPORT

To: **Advisory Planning Commission**

Subject **Development Permit Application DP 07-17**

From: Development Services & Economic Development
Department

File #: 6630.00

Doc #:

Date: July 18, 2017

COMMITTEE RECOMMENDATION:

That Development Permit Application DP 07-17 to accommodate the addition of a 372 m² (4,000 ft²) *Scotiabank* commercial building to an existing shopping centre at 20151 Fraser Highway be approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report.

PURPOSE OF REPORT:

To consider the addition of a 372 m² (4,000 ft²) *Scotiabank* commercial building to an existing shopping centre at 20151 Fraser Highway.

POLICY:

The subject property is currently zoned C1 Downtown Commercial Zone and designated Downtown Commercial in the Official Community Plan. As such, the application is subject to the Downtown Master Plan Design Guidelines.

COMMENTS/ANALYSIS:

Background Information:

Owner:	RMA Properties (Valley Centre Ltd.)
Civic Address:	20151 Fraser Highway
Legal Description:	Lots 1 and 2, District Lot 309, Group 2, New Westminster District, Plan 67569
Site Area:	2.013 Hectares (4.975 acres)
Gross Floor Area:	
Existing:	7,449 m ² (80,179 ft ²)
Proposed:	<u>372 m² (4,000 ft²)</u>
Total:	7,821 m ² (84,179 ft ²)
Lot Coverage:	38.8 %
Floor Area Ratio:	0.388
Parking Required:	257 spaces (includes 13 h/c)
Parking Provided:	361 spaces* (includes 13 h/c)
	*Total includes 68 spaces on Lot 3
Height:	5.6 m (18.4 feet)
Exterior Finishes:	Brick, composite tile, aluminum window frames
Current Zoning:	C1 Downtown Commercial Zone
OCP Designation:	Downtown Commercial (DC)
Downtown Master Plan:	Neighbourhood Shopping Centre
DCC's:	\$30,576 (City: \$27,332, GVSD: \$3,244)

Engineering Requirements:

Additional design changes may be required upon further investigation, site inspections and receipt of other supporting reports and documents. All work to be done to the City of Langley Subdivision and Development Bylaw, Standard Specifications & MMCD Standards.

A) The developer is responsible for the following work which shall be designed and approved by a Professional Engineer:

1. Implement erosion and sediment control measures designed and approved by a qualified professional in accordance with the City of Langley Watercourse Protection Bylaw #2518.
2. Conduct a water flow test and provide fire flow calculations by a Professional Engineer to determine if the existing water network is adequate for fire flows. Replacement of the existing watermain may be necessary to achieve the necessary pressure and flows to conform to Fire Underwriters Survey (FUS) "Water Supply for a Public Fire Protection, a Guide to Recommended Practice, 1995".
3. Fraser Highway and 201A St are classified in the Downtown Langley Master Plan as being within the Downtown Realm of Influence. Streetscape improvements, as per the Master Plan, are required along Fraser Highway and shall include replacement of post top lighting, new sidewalk, landscaping and undergrounding of overhead hydro and telephone. Street trees shall be assessed to determine whether they should be replaced or retained.
4. The condition of the existing pavement on Fraser Highway and 201A St. shall be assessed by a geotechnical engineer. Pavements shall be adequate for an expected road life of 20 years under the expected traffic conditions for the class of road. Road construction and asphalt overlay designs shall be based on the analysis of the results of Benkelman Beam tests and test holes carried out on the existing road which is to be upgraded. If the pavement is inadequate it shall be remediated, at developer's cost.
5. Installation of concrete median along Fraser Highway and entrance to development is required in order to prevent the restricted left-turn movement.
6. New water, sanitary and storm sewer service connections are required. The developer's engineer will determine the appropriate main tie in locations and size the connections for the necessary capacity. The capacity of the existing water and sewer mains should be assessed and any upgrades required to service the site shall be designed and installed at the Developer's expense. All existing services shall be capped at the main, at the Developer's expense.

7. A stormwater management plan for the site is required. Rainwater management measures used on site shall limit the release rate to mitigate flooding and environmental impacts as detailed in the Subdivision and Development Bylaw.
8. The site layout shall be designed by a civil engineer to ensure that the parking and access layout meets design standards, including setbacks from property lines. Appropriate turning templates should be used to prove parking stalls and drive-aisles are accessible by the design vehicle.
9. A traffic impact study shall be undertaken and all recommendations implemented at the developer's cost.

B) The developer is required to deposit the following bonding and connection fees:

1. A Security Deposit of 110% of the estimated offsite works construction costs of installing civil works, as approved by the Director of Engineering, Parks and Environment.
2. Inspection and administration fees in accordance to the Subdivision Bylaw based on a percentage of the estimated construction costs. (See Schedule A – General Requirement - GR5.1 for details).
3. A deposit for a storm, sanitary and water connection is required, which will be determined after detailed civil engineering drawings are submitted, sealed by a Professional Engineer.
4. A \$20,000 bond for the installation of a water meter to current standards

C) The developer is required to adhere to the following conditions:

1. Underground hydro and telephone, and cable services to the development site are required.
2. All survey costs and registration of documents with the Land Titles Office are the responsibility of the developer/owner.
3. A water meter is required to be installed outside in a vault away from any structures in accordance to the City's water meter specifications at the developer's cost. A double detector check valve assembly is required to be installed outside away from any structure in a vault as per the City's specifications.

4. An approved backflow prevention assembly must be installed on the domestic water connection immediately upon entering the building to provide premise isolation.
5. A "Stormceptor" or equivalent oil separator is required to treat site surface drainage.
6. A Grease interceptor will be required prior to discharging into sanitary sewer as per Metro Vancouver bylaw #268 (2012).
7. A complete set of "as-built" drawings sealed by a Professional Engineer shall be submitted to the City after completion of the works. Digital drawing files in .pdf and .dwg format shall also be submitted.
8. Stormwater run-off generated on the site shall not impact adjacent properties, or roadways.
9. Garbage and recycling enclosures shall be designed to meet Metro Vancouver's "Technical Specifications for Recycling and Garbage Amenities in Multi-family and Commercial Developments - June 2015 Update".

Development Services Comments:

The proposed development would add a 372 m² (4,000 ft²) free-standing *Scotiabank* commercial building along the Fraser Highway frontage of the Valley Centre shopping complex. The tenant of proposed Building "E" is *Scotiabank*. The single storey building is designed to complement the existing shopping centre and orients its unit entrances to the parking lot on the west building elevation. This is the first new building addition to the shopping centre since Building "D" (Starbuck's coffee shop and drive-through) in 2004. The proposed addition helps to frame the Fraser Highway frontage of the site, contributing a more urban streetscape along this gateway to the downtown core.

In addition to the new building, minor changes to parking lot layout and circulation are also proposed in accordance with the recommendations of a traffic impact study. The proposed changes reduce traffic conflicts and improve safety.

The applicant engaged a qualified CPTED (Crime Prevention Through Environmental Design) consultant to review the proposed development. The plans submitted reflect the recommendations of the CPTED report.

The proposed development complies with the C1 Downtown Commercial zoning and is generally consistent with the Downtown Master Plan (Neighbourhood Shopping Centre district).

Fire Department Comments:

Langley City Fire-Rescue Service has reviewed the attached plans and provided preliminary comments to the applicant. The department will review, and make further comment, as the project continues to the building permit design stage.

Advisory Planning Commission:

In accordance with Development Application Procedures Bylaw No. 2488, the subject applications will be reviewed by the Advisory Planning Commission at the August 9, 2017 meeting. A copy of the APC minutes will be presented to Langley City Council at the September 11, 2017 Regular Council meeting.

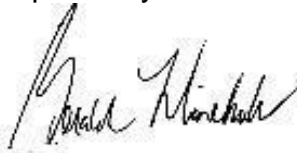
BUDGET IMPLICATIONS:

The proposed development would contribute \$27,332.00 to City Development Cost Charge accounts.

ALTERNATIVES:

1. Require changes to the applicant's proposal.

Prepared by:



Gerald Minchuk, MCIP, RPP
Director of Development Services & Economic Development

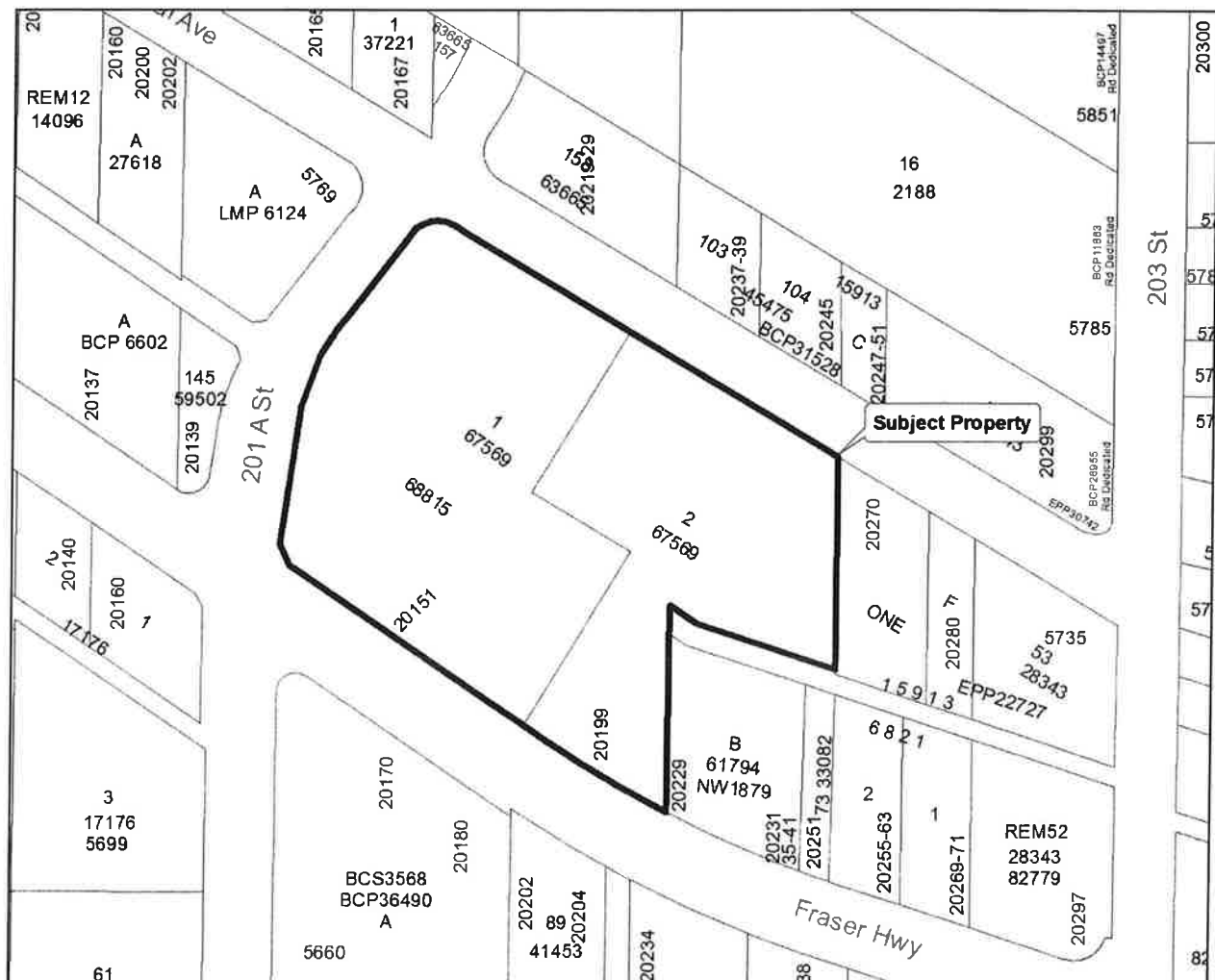
attachments

CITY OF LANGLEY



DEVELOPMENT PERMIT APPLICATION DP 07-17

Civic Address: 20151 Fraser Highway
Legal Description: Lots 1 and 2, District Lot 309, Group 2, New Westminster District, Plan 67569
Owner: RMA Properties (Valley Centre Ltd.)
Applicant: Urban Design Group Architects Ltd.





PROPOSED BUILDING E - VALLEY CENTRE

20151,20199 FRASER HWY., CITY OF LANGLEY, BC.
For HEADWATER PROJECTS

1	1/1/2017	COVER FOR SET
2	1/1/2017	COVER FOR SET
3	1/1/2017	COVER FOR SET
4	1/1/2017	COVER FOR SET
5	1/1/2017	COVER FOR SET
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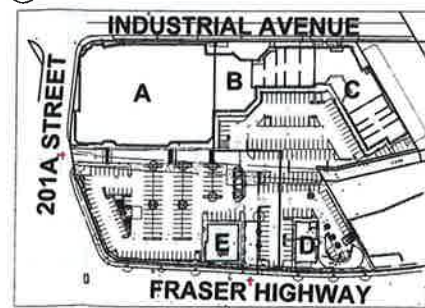


PROPOSED BUILDING E - VALLEY CENTRE
20151,20199 FRASER HWY., CITY OF LANGLEY, BC
For HEADWATER PROJECTS

SITE KEY PLAN & AERIAL MAP



AERIAL PLAN
SCALE: N.T.S.



SITE KEY PLAN
SCALE: N.T.S.

CONTACT LIST

OWNER	HEADWATER PROJECTS INC. 1500-1501 W. Highway 10 Vancouver, BC V6E 0C3 Phone: 604-895-3025 Fax: 604-895-3294 Email: mark@headwaterprojects.ca
ARCHITECT	URBAN DESIGN GROUP ARCHITECTS LTD. Fariba Gharaei, Architect A.D.C. Alicia Vandenbrouck, Project Manager 1500-1501 W. Highway 10 Vancouver, BC V6E 0C3 Phone: 604-895-3294 Fax: 604-895-3294 Email: fariba@udg.ca
LANDSCAPE ARCHITECT	EDWARD TUCKER & ASSOCIATES LANDSCAPE ARCHITECTS Garry Tucker, Principal 1650 West 2nd Avenue Vancouver, BC V6J 1A4 Phone: 604-683-1456 Fax: 604-683-1459 Email: gary@etla.ca
SECURITY CONSULTANT	LAURICA SECURITY CONSULTING INC. P.O. Box 88, 141 St. B.C. V6R 2P9 Phone: 780-743-8949 Fax: 780-743-8941 Email: laurica@lauricasecurity.ca
TRAFFIC CONSULTANT	CTS CREATIVE TRANSPORTATION SOLUTIONS LTD. Garry Vong, P.E.C., P.E.Ng. 844 Moody Street, Fort Moody, B.C. V5M 2P5 Phone: 604-536-6750 Fax: 604-536-6775 Email: gary@cts-cts.com

DRAWING LIST

ARCHITECTURAL	
A-0.0	COVER SHEET
A-1.1	OVERALL SITE PLAN
A-1.2	ENLARGED SITE PLAN
A-E-2.1	FLOOR & ROOF PLAN
A-E-3.1	EXTERIOR ELEVATIONS
A-E-3.2	COLOUR ELEVATIONS
A-E-3.3	RENDERINGS
A-E-3.4	MATERIALS AND FINISHES
A-E-3.5	EXIST. AND PROP. STREETScape
A-E-3.6	SIGNAGE
A-E-4.1	BUILDING SECTIONS
LANDSCAPE	
L-1.0	COVERSHEET
L-1.0	CONTEXT PLAN
L-2.0	LANDSCAPE SITE PLAN
L-3.0	LANDSCAPE DETAILS
CIVIL	
SW-G	SITE GRADING PLAN
SW-S	SERVICING PLAN

PROJECT INFORMATION

GENERAL NOTE:
All work shall conform with the BC Building Code 2012. It is the responsibility of the General Contractor to check and verify all dimensions and details before proceeding with construction. Discrepancies found on these plans should be brought to the attention of the Architect prior to work commencing.
CIVIC ADDRESS
20151, 20199 FRASER HWY, CITY OF LANGLEY, BC
LEGAL DESCRIPTION
LOT 1 AND 2 OF D.L. 300 GROUP 2, PLAN 67569 NWD
ZONING
C1 (DOWNTOWN COMMERCIAL ZONE)
DEVELOPMENT PERMIT APPLICATION FOR:
ONE-STOREY COMMERCIAL BUILDING AND SITEWORKS

urban design group
architects ltd
420-745 THURLOW ST
VANCOUVER, BC V6C 0S5
TELEPHONE: 604-687-2334

Project number: **4658**
Sheet title: **COVER SHEET**

Scale: **AS NOTED**
Drawn: **CCJ, J.B.**
Checked: **BLV**



1 WEST ELEVATION
A-E SCALE: 3/16" = 1'-0"



2 SOUTH ELEVATION
A-E SCALE: 3/16" = 1'-0"



4 NORTH ELEVATION
A-E SCALE: 3/16" = 1'-0"



3 EAST ELEVATION
A-E SCALE: 3/16" = 1'-0"

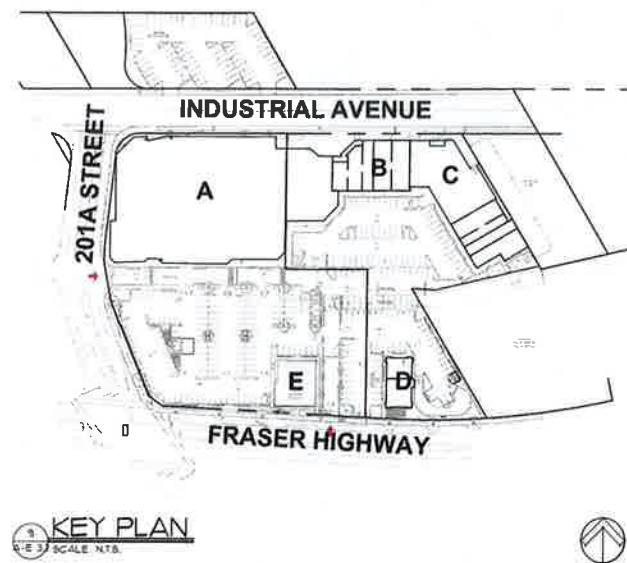
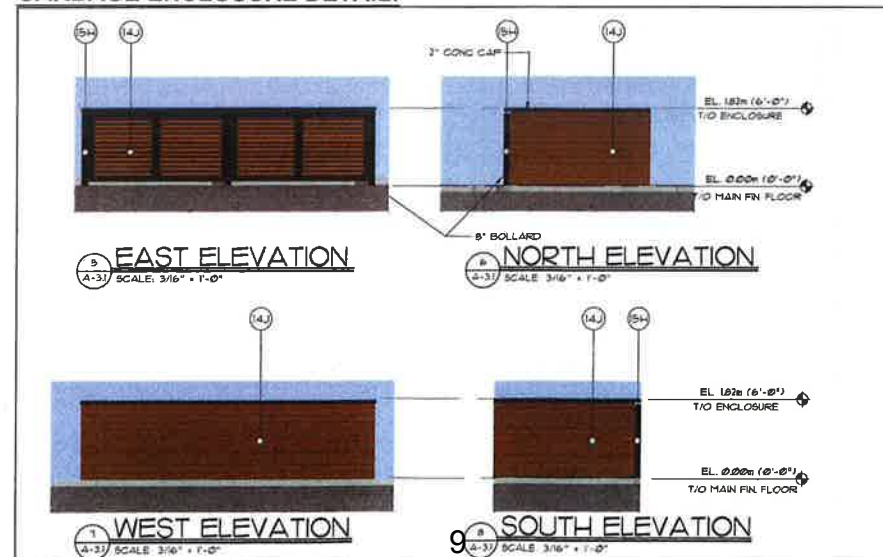
EXTERIOR MATERIALS:

1	ALUCOBOND COMPOSITE TILE MITSUBISHI CHEMICAL - POLISHED
2	ALUCOBOND COMPOSITE TILE ALPOLIC MITSUBISHI CHEMICAL
3	BRAMPTON BRICK - JUMBO METRIC
4	SHOULDICE DESIGNER STONE - TAPESTRY FINISH
5	GLAZE SPANDREL PANELS IN ALUMINUM FRAMING SHADED
6	FIXED, SEALED LOW-E DOUBLE GLAZED WINDOW WITH THERMALLY BROKEN ALUMINUM FRAMES
7	SHOULDICE DESIGNER STONE SUPER SILL #24 SLOPED - TAPESTRY FINISH
8	ILLUMINATED 8" LOGO
9	ILLUMINATED INDIVIDUAL LETTERS & LOGO
10	EIFS
11	PRE-FINISHED METAL FLASHING
12	FIXED, SEALED LOW-E DOUBLE GLAZED THERMALLY BROKEN STOREFRONT AND DOOR WITH ALUMINUM FRAME
13	BACK DOOR WITH GLAZE SPANDREL PANEL SHADED IN CLEAR ANODIZED ALUMINUM FRAMING
14	HARDIPLANK LAP SIDING
15	CONCRETE-FILLED STEEL PIPE BOLLARD

EXTERIOR COLOURS:

A	SCOTIA RED #48R35
B	PICA PNC #4PNC35
C	GRAY VELOUR
D	PEARL WHITE
E	ACTION GREY #P3-015P FROM PRELCO OFACI COAT - 300
F	BLACK
G	CLEAR GL-250
H	CLEAR ANODIZED ALUMINUM FRAME
I	2133-10 ONYX BENJAMIN MOORE
J	CHESTNUT BROWN

GARBAGE ENCLOSURE DETAIL:



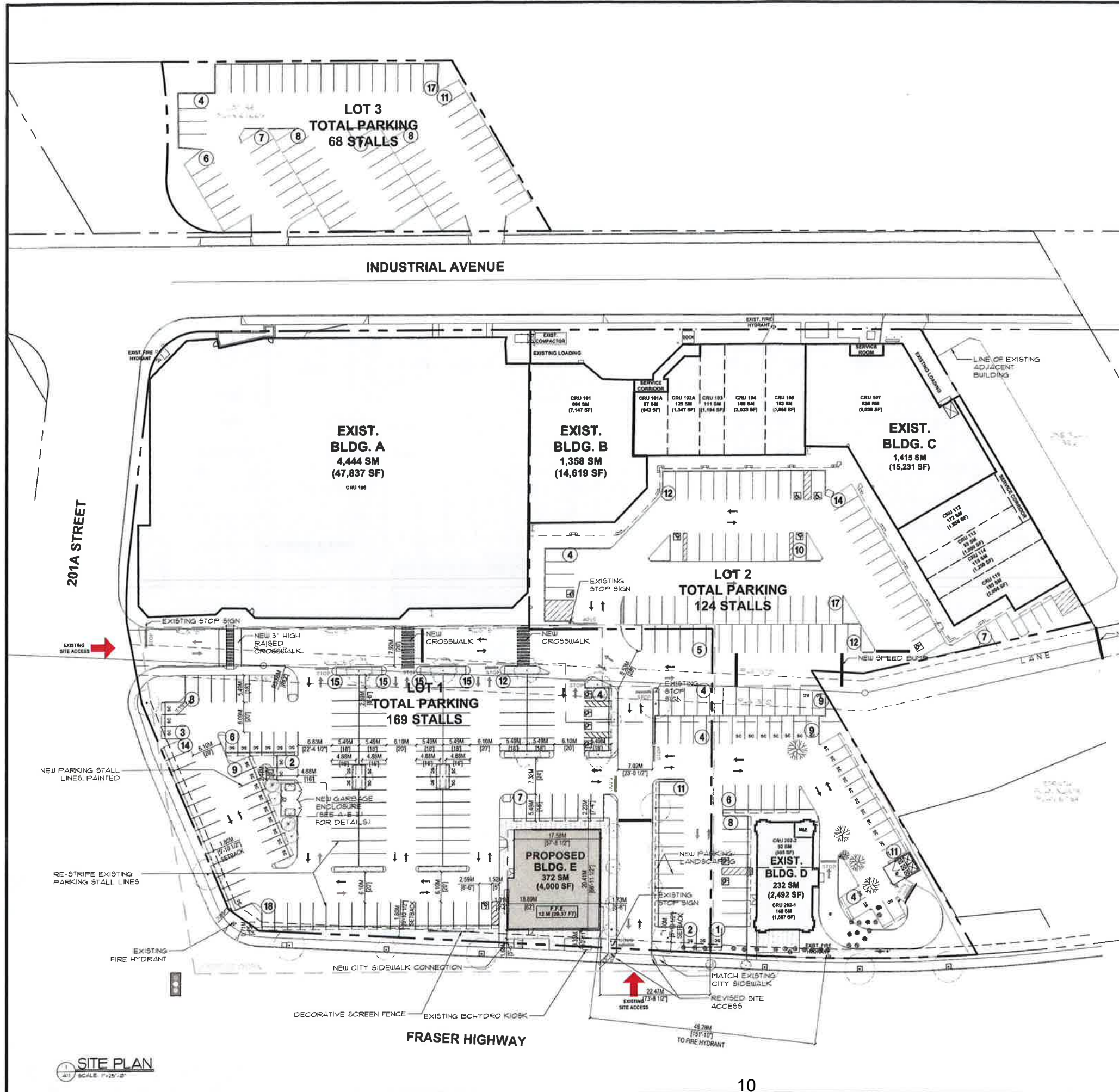
KEY PLAN
SCALE: N.T.S.

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REGISTERED ARCHITECT
FARIBA GHARAEI
JUL 14 2017
BRITISH COLUMBIA

PROPOSED BUILDING E-VALLEY CENTRE
20151, 20199 FRASER HWY., CITY OF LANGLEY, BC
For HEADWATER PROJECTS

urban design architects ltd
420-745 THURLOW ST
VANCOUVER, BC V6E 0J5
TELEPHONE 604-687-2334
Project Number: 40888
Sheet: 102
COLOUR ELEVATIONS
Scale: AS NOTED
Date: AUG 22
Author: NJS



AERIAL PLAN

SCALE: NTS

SITE INFORMATION:

LEGAL DESCRIPTION:	LOT 1 AND 2 OF D.L. 309 GROUP 2, PLAN 67569 NWD
CIVIC ADDRESS:	20151, 20199 FRASER HWY, CITY OF LANGLEY, BC
EXISTING ZONING:	C1 (DOWNTOWN COMMERCIAL ZONE)
LOT AREA (LOTS 1 & 2 ONLY):	20,133 SM
BUILDING AREA (G.F.A.):	7,821 SM
LOT COVERAGE (MAX 95%):	7,821 SM / 20,133 SM x 100 = 38.8%
FLOOR AREA RATIO:	7,821 SM / 20,133 SM = 0.388

GROSS FLOOR AREAS:

EXISTING BUILDING AREAS:	
BUILDING A (SAVE ON FOODS):	4,444 SM (47,837 SF)
BUILDING B (LIQUOR STORE & CRU'S):	1,358 SM (14,619 SF)
BUILDING C (SHOPPER'S DRUG MART & CRU'S):	1,415 SM (15,231 SF)
BUILDING D (STARBUCK'S & CASH MONEY):	232 SM (2,492 SF)
TOTAL EXISTING BUILDING AREA =	7,449 SM (80,179 SF)

PROPOSED BUILDING AREAS:	
BUILDING E (GENERAL/FINANCIAL SERVICE):	372 SM (4,000 SF)
TOTAL PROPOSED BUILDING AREA =	7,821 SM (84,179 SF)

PARKING REQUIREMENTS:

TOTAL PARKING REQUIRED:	257 STALLS
TOTAL PARKING PROVIDED:	
LOT 1 (ON SITE):	169 STALLS
LOT 2 (ON SITE):	124 STALLS
LOT 3 (OFF SITE):	68 STALLS
TOTAL PARKING:	361 STALLS
PARKING RATIO:	4.61 / 100 SM & 4.28 / 1,000 SF
PARKING PROVD BREAKDOWN:	
REGULAR STALLS	= 286
HANDICAPPED STALLS	= 13
SMALL CAR STALLS	= 56 (15.51%)
BICYCLE RACKS	= 4 (x5) = 20

PARKING REQUIREMENTS & CALCULATIONS:

RETAIL STORE, GENERAL SERVICES, EATING ESTABLISHMENT
= 3 PER 93 SM (1,001.07 SF) G.F.A.
*MUST ROUND UPWARDS.

REQUIRED: 7,821 SM / 93 SM x 3 = 252.29 - 253 STALLS (MIN 13 HC, MAX 102 SC)

BICYCLE REQUIREMENTS & CALCULATIONS:

RETAIL STORE, GENERAL SERVICES, EATING ESTABLISHMENT
= 1 PER 500 SM (5,381.36 SF) G.F.A.
*MUST ROUND UPWARDS.

REQUIRED: 7,821 SM / 500 SM x 1 = 15.64 - 16 BICYCLE PARKING STALLS

PARKING SIZES:

REGULAR CAR STALL	2.6m (8'-6") x 5.5m (18'-0")
HANDICAP CAR STALL (MIN. 5% OF REQ'D)	3.7m (12'-0") x 5.5m (18'-0")
SMALL CAR STALL (MAX 40% OF REQ'D)	2.5m (8'-0") x 4.9m (16'-0")
LOADING SPACE	3.0m (9'-10") x 9.0m (29'-5")
MANOEUVERING AISLE	6.0m (20'-0")

*ADD 0.6m (2'-0") TO ANY PARKING STALL ADJACENT TO A FENCE, WALL, STRUCTURE

SITE PLAN AVERAGE GRADE = 11.82M (38.78FT)

GENERAL NOTE:

BOUNDARIES SHOWN HEREON ARE DERIVED FROM EXISTING RECORDS AND MUST BE CONFIRMED BY SURVEY PRIOR TO THE DETERMINATION OF DIMENSIONS OR AREAS FOR DEVELOPMENT PURPOSES

REGISTERED ARCHITECT

FARIBA GHARAEI

JUL 14 2017

BRITISH COLUMBIA

PROPOSED BUILDING E - VALLEY CENTRE

20151, 20199 FRASER HWY., CITY OF LANGLEY, BC

For HEADWATER PROJECTS

urban

goose

architects ltd.

420 - 745 THURLOW ST
VANCOUVER, BC V6C 0S5
TELEPHONE: 604-667-2334

project number **4656**

sheet 106

OVERALL SITE PLAN

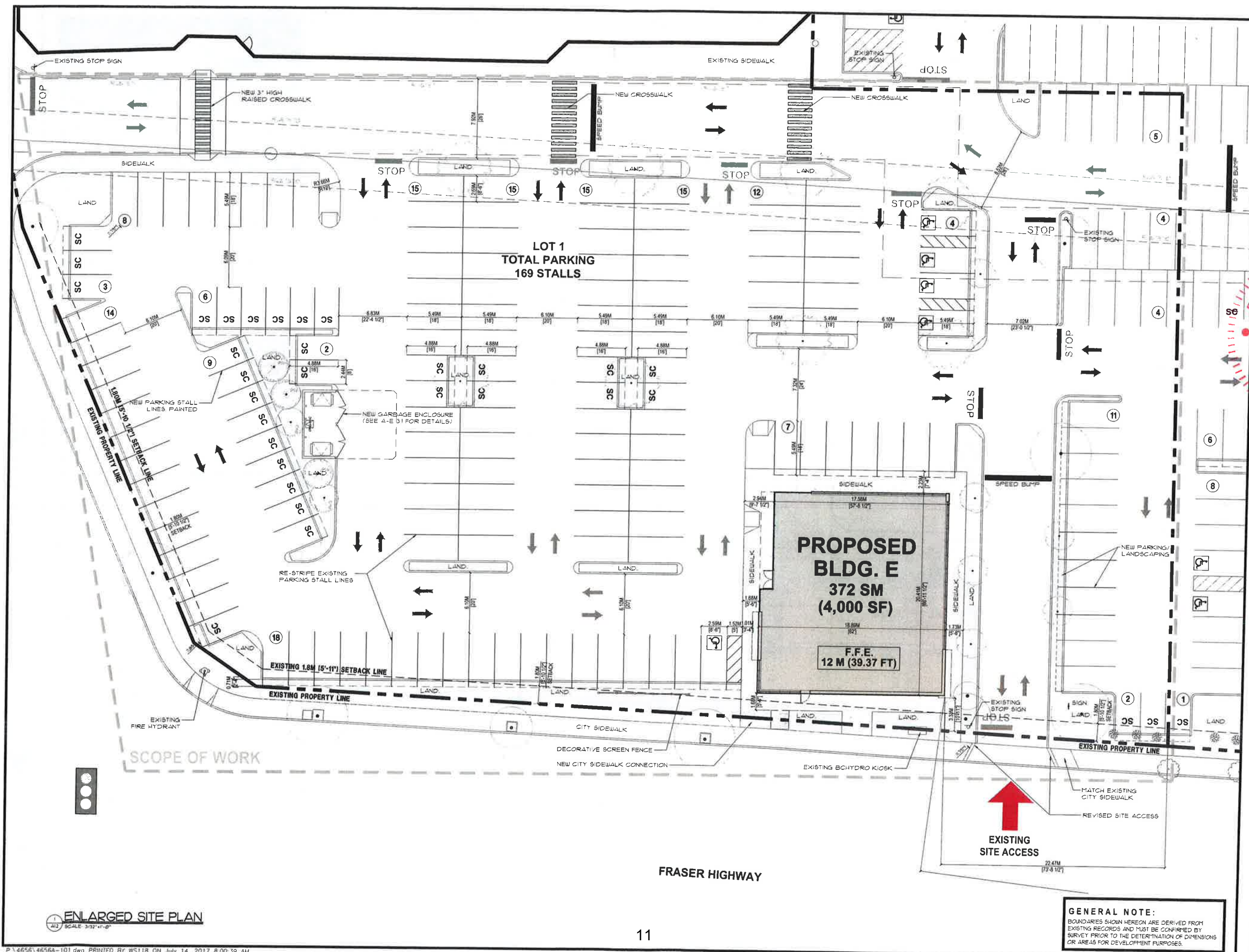
date 2017-04-29 sheet number

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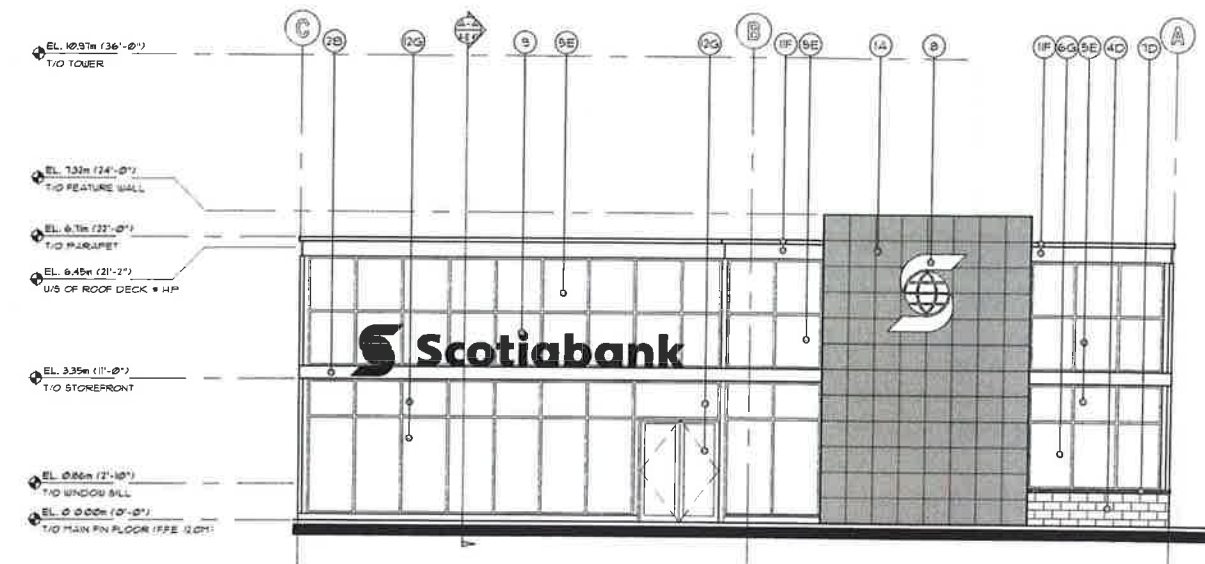
ENLARGED SITE PLAN
SCALE: 3/32" = 1'-0"

GENERAL NOTE:
BOUNDARIES SHOWN HEREON ARE DERIVED FROM EXISTING RECORDS AND MUST BE CONFIRMED BY SURVEY PRIOR TO THE DETERMINATION OF DIMENSIONS OR AREAS FOR DEVELOPMENT PURPOSES.

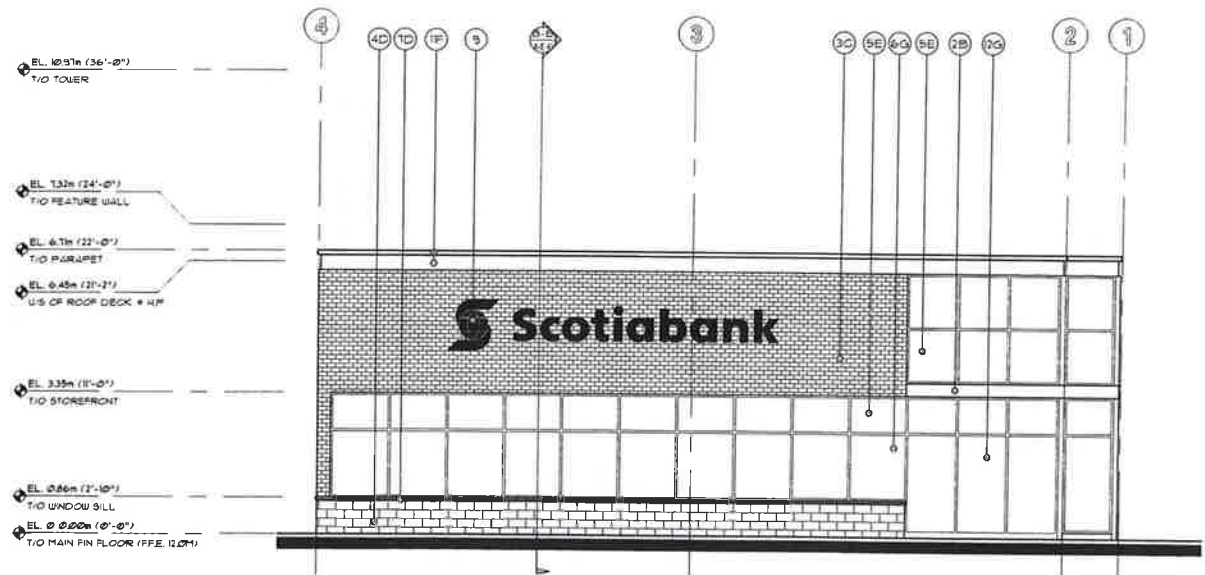
REGISTERED ARCHITECT
FARIBA GHARAEI
JUL 14 2017
BRITISH COLUMBIA

PROPOSED BUILDING E - VALLEY CENTRE
20151, 20199 FRASER HWY., CITY OF LANGLEY, BC
For HEADWATER PROJECTS

urban
design
architects ltd
420 - 745 THURLOW ST
VANCOUVER, BC V6C 0S5
TELEPHONE (604) 687-2334
project number **4056**
sheet title
ENLARGED SITE PLAN
date 2017-04-23 sheet number
title **AS NOTED**
scale **AS NOTED**
drawing **A1.2**
checked **W**



1 WEST ELEVATION
A-E SCALE 3/16" = 1'-0"



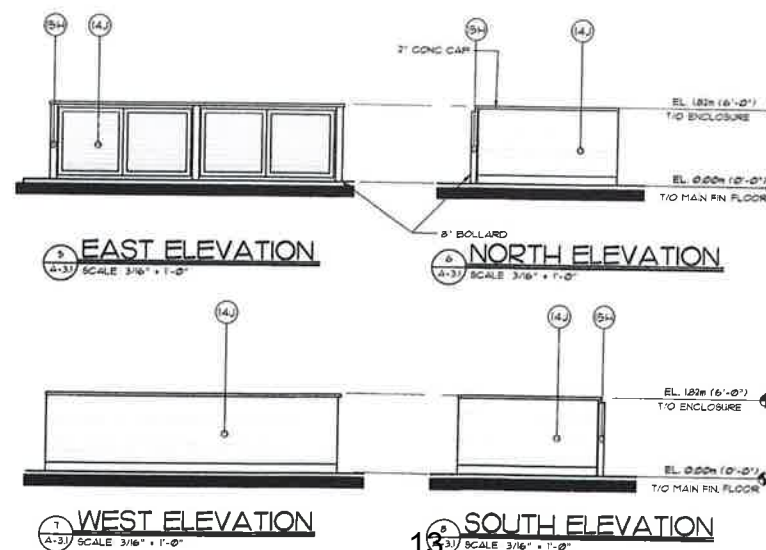
4 NORTH ELEVATION
A-E SCALE 3/16" = 1'-0"

EXTERIOR MATERIALS

1	ALUCOBOND COMPOSITE TILE MITSUBISHI CHEMICAL - POLISHED
2	ALUCOBOND COMPOSITE TILE ALPOLIC MITSUBISHI CHEMICAL
3	BRAMPTON BRICK - JUMBO METRIC
4	SHOULDICE DESIGNER STONE - TAPESTRY FINISH
5	GLAZE SPANDREL PANELS IN ALUMINUM FRAMING SHADED
6	FIXED SEALED LOW-E DOUBLE GLAZED WINDOW WITH THERMALLY BROKEN ALUMINUM FRAMES
7	SHOULDICE DESIGNER STONE SUPER SILL 824 SLOPED - TAPESTRY FINISH
8	ILLUMINATED 6" LOGO
9	ILLUMINATED INDIVIDUAL LETTERS & LOGO
10	EF5
11	PRE-FINISHED METAL FLASHING
12	FIXED SEALED LOW-E DOUBLE GLAZED THERMALLY BROKEN STOREFRONT AND DOOR WITH ALUMINUM FRAME
13	BLACK DOOR WITH GLAZE SPANDREL PANEL SHADED IN CLEAR ANODIZED ALUMINUM FRAMING
14	HARDPLANK LAP SIDING
15	CONCRETE-FILLED STEEL PIPE BOLLARD

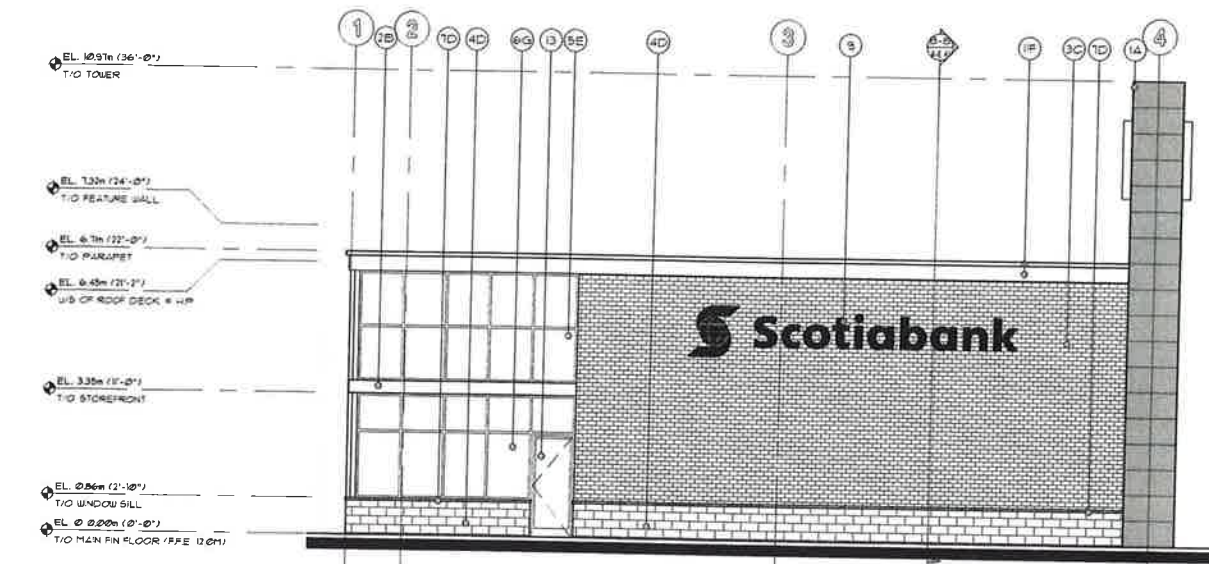
EXTERIOR COLOURS

A	SCOTIA RED MSTR35
B	MICA PINK M4N35
C	GRAY VELOUR
D	PEARL WHITE
E	ACTION GREY TP3-013P FROM PRELO OFACI COAT - 300
F	BLACK
G	CLEAR GLASS CLEAR ANODIZED ALUMINUM FRAME
H	213-10 ONYX BENJAMIN MOORE
J	CHESTNUT BROWN

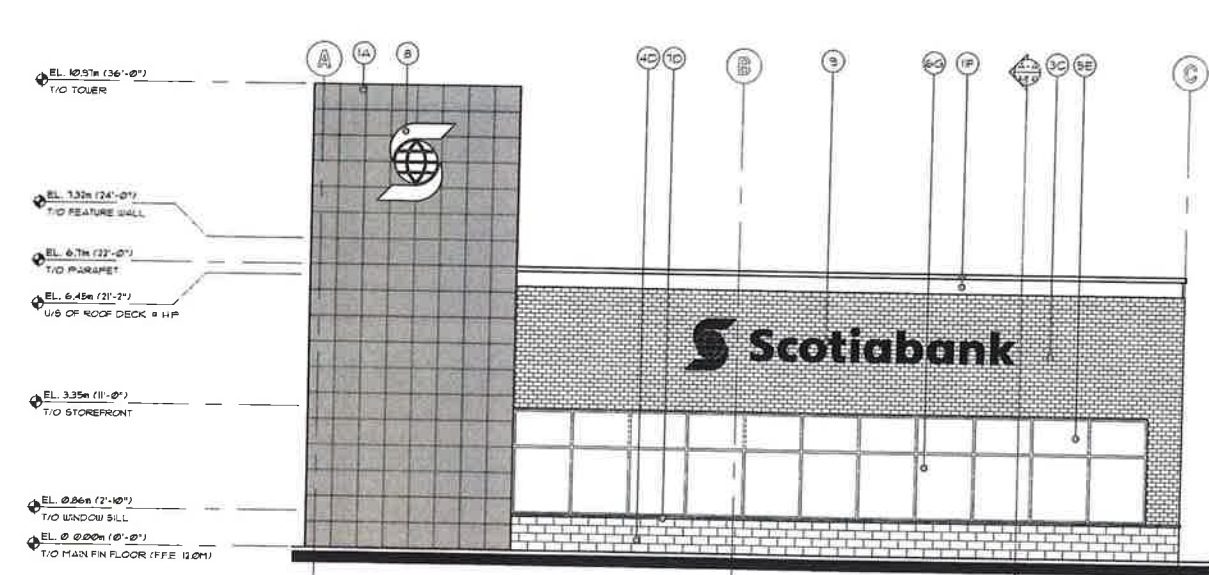


5 EAST ELEVATION
A-E SCALE 3/16" = 1'-0"

7 WEST ELEVATION
A-E SCALE 3/16" = 1'-0"



2 SOUTH ELEVATION
A-E SCALE 3/16" = 1'-0"



3 EAST ELEVATION
A-E SCALE 3/16" = 1'-0"

6 NORTH ELEVATION
A-E SCALE 3/16" = 1'-0"

13 SOUTH ELEVATION
A-E SCALE 3/16" = 1'-0"



KEY PLAN
SCALE NTS



PROPOSED BUILDING E - VALLEY CENTRE
2015/2019 FRASER HWY., CITY OF LANGLEY, BC
For HEADWATER PROJECTS

urban design group
architects ltd
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TELEPHONE (604) 687-2334

project number 4888
sheet title
EXTERIOR ELEVATIONS
scale 1/16" = 1'-0" sheet number
sheet 15 of 15
date 15 JUL 2017
drawn AS MCD
checked AE 31

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CLEAR ANODIZED ALUMINUM FRAME



ALUCOBOND COMPOSITE TILE
MITSUBISHI CHEMICAL • MICA MNC.



ALUCOBOND COMPOSITE TILE
MITSUBISHI CHEMICAL - SCOTIA RED,
POLISHED FINISH

CLEAR ANODIZED ALUMINUM FRAME



ALUCOBOND COMPOSITE TILE
MITSUBISHI CHEMICAL - MICA MNC



ALUCOBOND COMPOSITE TILE
MITSUBISHI CHEMICAL -SCOTIA RED,
POLISHED FINISH



VIEW #1



VIEW #2

SIGNAGE



BRAMPTON BRICK - JUMBO METRIC SIZE
GRAY VELOUR



SHOULDER DESIGNER STONE -
PEARL WHITE. TAPESTRY FINISH



PRE-FIN. METAL FLASHING, BLACK



BRAMPTON BRICK - JUMBO METRIC SIZE,
GRAY VELOUR



SHOULDICE DESIGNER STONE.
PEARL WHITE, TAPESTRY FINISH



PRE-FIN, METAL FLASHING, BLACK

SIGNAGE

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2014.01.14

PROPOSED BUILDING E- VALLEY CENTRE
20151, 20199 FRASER HWY., CITY OF LANGLEY, BC
For HEADWATER PROJECTS


 The logo for Urban Design Group, featuring the words "urban", "design", and "group" stacked vertically in a lowercase, sans-serif font. The letters are white and set against a dark, circular background.

architects ltd

420-745 THURLOW
VANCOUVER, BC V6E0
TELEPHONE (604) 822

TELEPHONE 604/667-23

project number 400

1000

MATERIALS AND METHODS

MATERIALS AND FINISHES

doi:10.1017/S0022292412001609

date	sheet number
scale	

AS NOTED	AF 34
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checked	10	11 12 13 14
	11/11	

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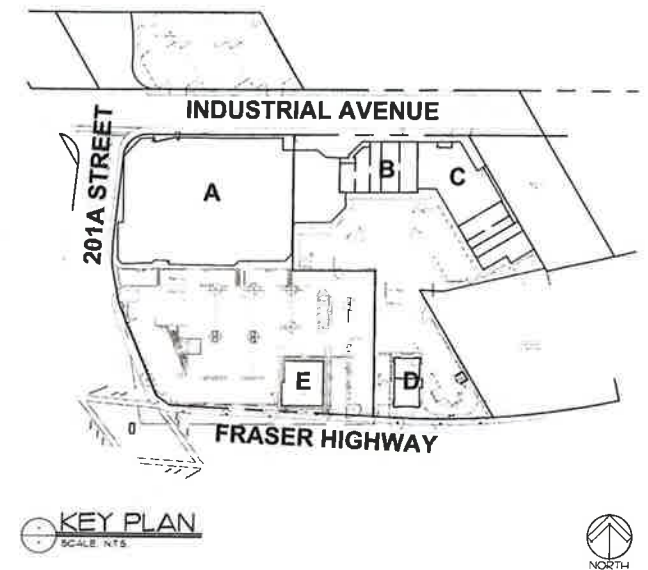
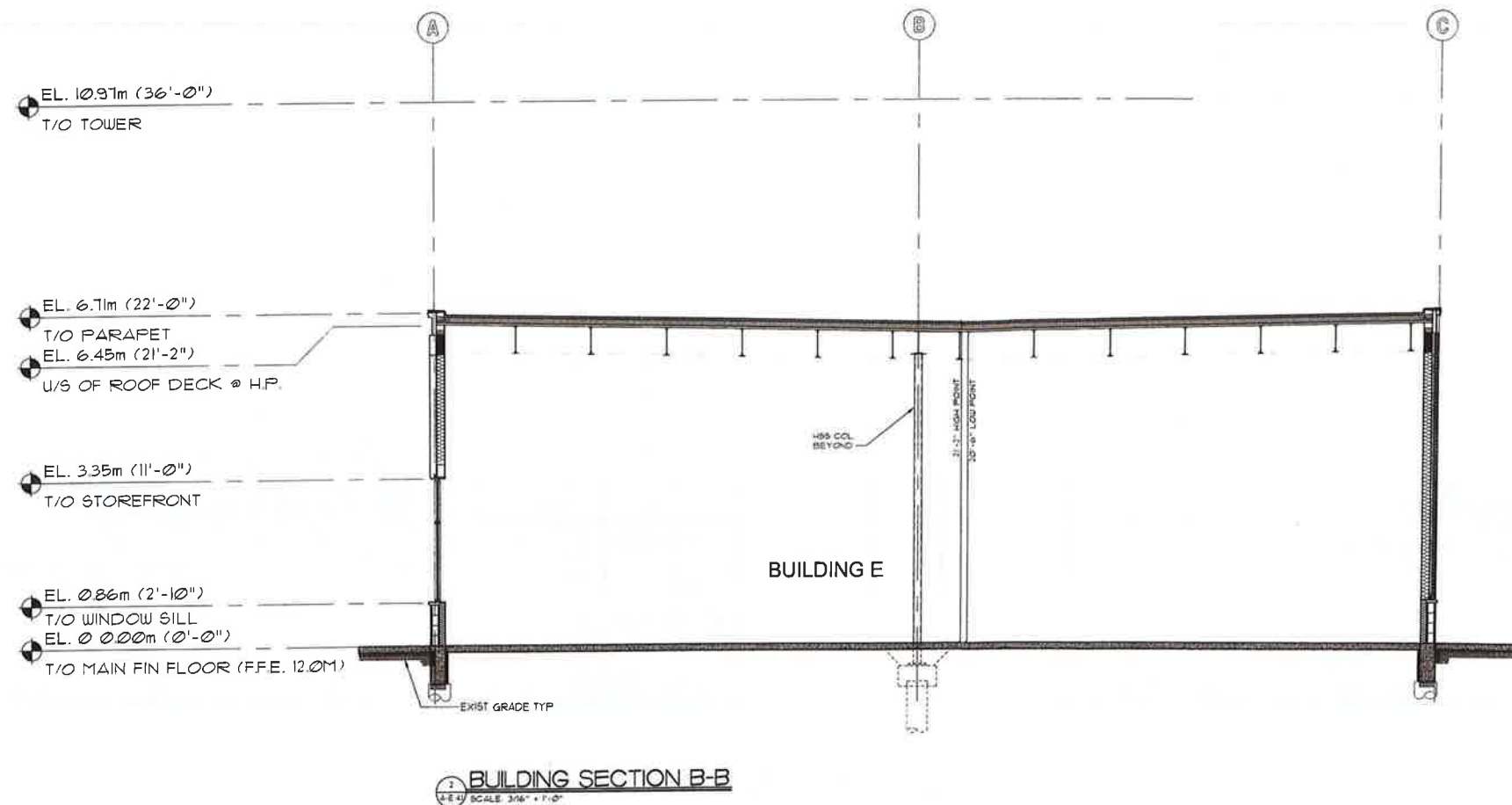
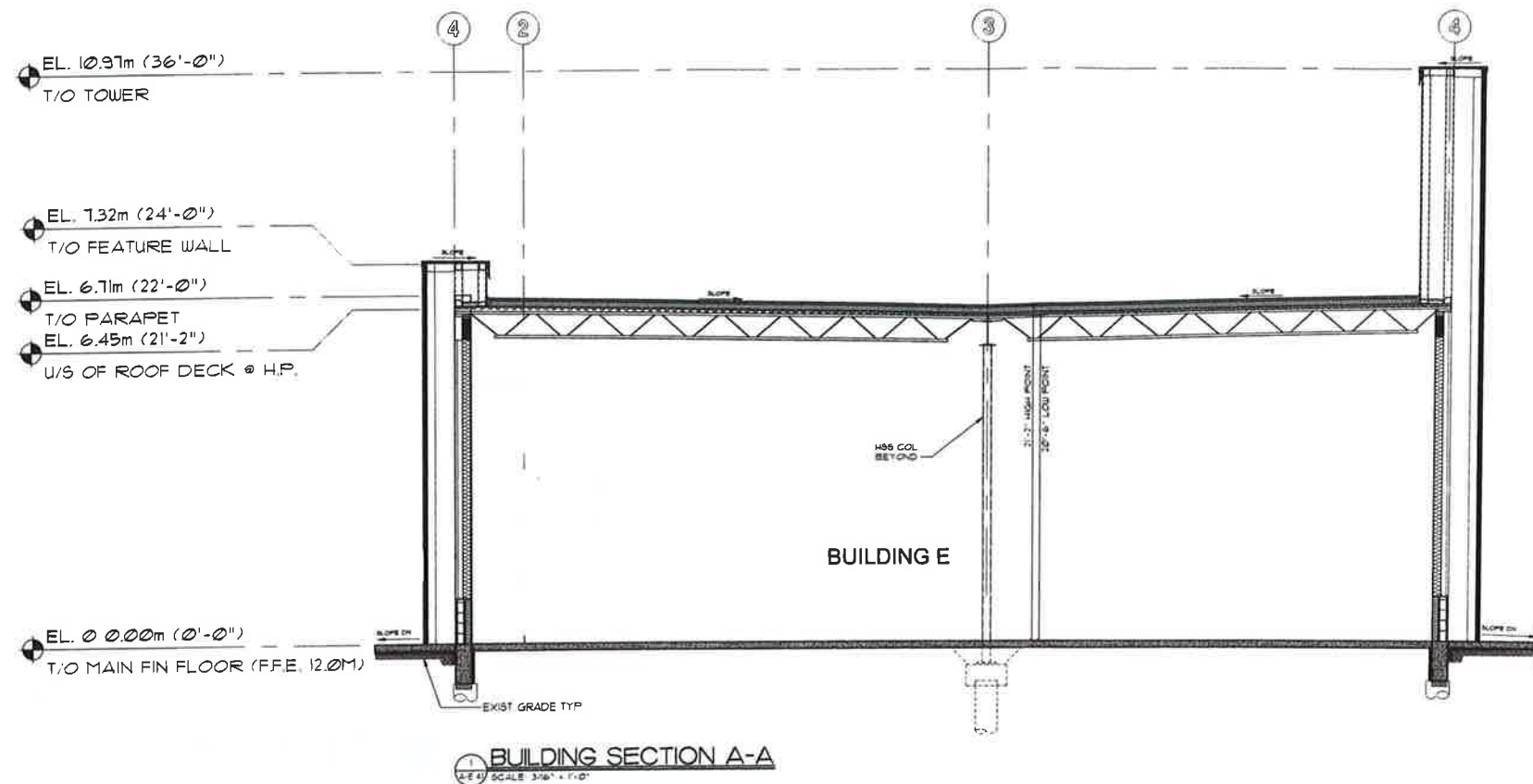


PROPOSED BUILDING E - VALLEY CENTRE
20151, 20199 FRASER HWY., CITY OF LANGLEY, BC
For HEADWATER PROJECTS



project number **4850**

date	sheet number
scale AS NOTED	A-E 35
drawn YG/BN	
checked BLW	



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PROPOSED BUILDING E - VALLEY CENTRE
20151, 20199 FRASER HWY., CITY OF LANGLEY, BC
For HEADWATER PROJECTS

urban design group architects ltd.

420 - 745 THURLOW ST
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TELEPHONE 604-687-2334

project number **4055**

sheet title

BUILDING SECTION

date 2017-08-09 sheet number

scale AS NOTED

drawn MS

checked MS/TC

A-E 4.1

ALL PLANTS TO BE NURSERY GROWN
ALL PLANT MATERIALS AND LABOUR TO CONFORM
TO THE CURRENT EDITION OF THE BCSLA/BCSNA STANDARDS.

ALL PLANT MATERIAL TO BE INSPECTED PRIOR TO DELIVERY ON SITE. CONTRACTOR
TO ARRANGE FOR INSPECTION AND MATERIAL TO ASSEMBLED IN ONE LOCATION
FOR REVIEW.

IMPORTED GROWING MEDIA SHALL BE A SANDY LOAM OR LOAMY
SAND TEXTURE (NO LESS THAN 50% SAND BY WEIGHT)
CONTAINING 4 AND 15% ORGANIC MATTER (DRY WEIGHT
BASIS).

GROWING MEDIA SHALL VIRTUALLY FREE FROM SUBSOIL,
WOOD INCLUDING WOODY PLANT PARTS, INVASIVE AND NOXIOUS PLANT AND THEIR
REPRODUCTION PARTS, PLANT PATHOGENIC ORGANISMS, ORGANIC OR INORGANIC
MATERIALS, TOXINS, STONES OVER 30mm (1 2"), ANY DEBRIS AND FOREIGN OBJECTS.

IMPORTED GROWING MEDIA SHALL CONFORM TO AND BE TREATED AS PER SECTION
6.2.3 TO 6.2.7 INCLUSIVE OF THE CURRENT EDITION BCSNA STANDARDS.

GROWING MEDIUM SHALL CONFORM TO LEVEL 1 "WELL-GROOMED" AREAS: LOW
TRAFFIC LAWN AREAS, TREES AND LARGE SHRUBS (1L IN TABLE T-6.3.5.1 OF THE
CURRENT EDITION OF THE BCSLA/BCSNA STANDARDS).
IT SHALL POSSESS THE FOLLOWING QUALITIES:

TEXTURE:-
COARSE GRAVEL (LARGER THAN 19mm AND SMALLER THAN 40mm): 0-1%
MEDIUM GRAVEL (LARGER THAN 2mm AND SMALLER THAN 40mm): 0-5%
FINE GRAVEL (LARGER THAN 0.05mm AND SMALLER
THAN 2mm): 50-70%
SILT (LARGER THAN 0.002mm AND SMALLER
THAN 0.05mm): 10-25%
CLAY (SMALLER THAN 0.002mm): 0-20%
CLAY AND SILT COMBINED: MAXIMUM 25%

ORGANIC CONTENT: 3-10%

Acidity (pH): 6.0-7.0

DRAINAGE: PERCOLATION SHALL BE SUCH THAT NO STANDING WATER IS VISIBLE 60
MINUTES AFTER AT LEAST 10 MINUTES OF MODERATE TO HEAVY RAIN OR IRRIGATION.

MINIMUM SOIL DEPTH TO BE AS PER TABLE T-6.3.5.5 OF THE CURRENT EDITION BCSNA
STANDARDS.

	Over prepared subgrade where the subsoil drains rapidly	Over structures or where the subsoil drains poorly
TREES (10m2 PER TREE)	24"	30"
LARGE SHRUBS	24"	24"
GROUNDCOVERS	12"	8"
LAWN-IRRIGATED	6"	6"
LAWN-NOT IRRIGATED	6"	6"

SOIL DEPTHS WILL BE CHECKED AT TIME OF SUBSTANTIAL COMPLETION REVIEW

SOIL FOR URBAN AGRICULTURE PLOTS IS TO BE URBAN GPO PROVIDED BY VERATEC,
OR APPROVED ALTERNATIVE. SOIL FOR URBAN AGRICULTURE AREAS IS TO MEET OR
EXCEED THE GUIDELINES FOR COMPOST QUALITY UNDER CANADIAN COUNCIL OF
MINISTERS OF THE ENVIRONMENT (CCME).

COMPOST IS TO BE TESTED AND RESULTS SUBMITTED TO CONSULTANT PRIOR TO
DELIVERY TO SITE.

BEDS TO HAVE 2" MULCH LAYER (after settling) CONSISTING OF ORGANIC COMPOSTED
BARK APPLIED.

CONTRACTOR TO PROVIDE MAINTENANCE FOR 1 YEAR FOLLOWING SUBSTANTIAL
COMPLETION.

CONTRACTOR TO PROVIDE WRITTEN 1 YEAR WARRANTY ON PLANT MATERIAL

CONTRACTOR TO PROVIDE COPY OF SOIL TEST TO LANDSCAPE CONSULTANT 3 WEEKS
PRIOR TO DELIVERY ON-SITE. TEST TO BE PERFORMED BY AN INDEPENDENT LAB AND
IS TO INCLUDE RECOMMENDATIONS FOR BOTH LAWN AND PLANTING BEDS

CONSULTANT TO APPROVE SOIL BEFORE INSTALLATION. THIS DOES NOT PRECLUDE
THE CONSULTANT FROM PERFORMING AN INDEPENDENT SOIL ANALYSIS AT TIME OF
SUBSTANTIAL COMPLETION. CONTRACTOR WILL BE RESPONSIBLE FOR REMOVAL AND
REPLACEMENT OF SOIL THAT DOES NOT MEET SPECIFICATIONS AT NO EXTRA COST TO
CLIENT

CONTRACTOR TO PROVIDE WRITTEN 1 YEAR WARRANTY ON SOIL SPECIFICATIONS.

AN INDEPENDENT SOIL TEST TO BE PROVIDED 1 WEEK PRIOR TO END OF 1 YEAR
WARRANTY PERIOD CONTRACTOR TO PROVIDE SOIL AMMENDMENTS TO BRING SOIL UP
TO QUALITY RECOMMENDED IN
SOILS REPORT

SITE INSPECTION
EXAMINE EXISTING SUBGRADE CONDITIONS AND SIGNIFY ACCEPTANCE IN WRITING TO
THE CONSULTANT

ASCERTAIN THE SIZE AND LOCATION OF ALL EXISTING SERVICES AND SUBGRADES
PRIOR TO THE WORK.

IMMEDIATELY REPAIR DAMAGE RESULTING FROM FAILURE TO EXERCISE SUCH
PRECAUTIONS AT NO COST TO THE OWNER

ALL PLANTING TO BE IN ACCORDANCE WITH THE BCNA/BCSLA STANDARDS CURRENT
EDITION

PLANT COUNTS
IN THE CASE OF ANY DISCREPANCY BETWEEN PLANT COUNTS ON PLANT LIST AND
PLANT SYMBOLS ON DRAWING, THE DRAWINGS TAKES PRECEDENT. THE CONTRACTOR
IS TO VERIFY ALL PLANT COUNTS AND NOTIFY CONSULTANT OF ANY DISCREPANCY.

SITE FURNISHINGS						
ID	DESCRIPTION	SIZE	MODEL	MANUFACTURER	COMMENT	COLOUR
1	BIKE RACK	5" x 4" x 34"	CAPITOL	Forms + Surfaces		Grey
MATERIALS						
ID	DESCRIPTION	SIZE	MODEL	MANUFACTURER	HIGHLIGHT	COLOUR
2	CONCRETE	4' x 4' sawcut		Custom	Broom finished, sawcut	Natural
NOTE: IN THE EVENT OF A DISCREPANCY BETWEEN THE SITE FURNISHINGS, MATERIALS, AND LIGHTING SCHEDULE QUANTITIES AND THE LANDSCAPE PLANS, THE LANDSCAPE PLANS TAKE PRECEDENCE						

PLANT LIST						
ID	QTY	LATIN NAME	COMMON NAME	SPACING	SCHEDULED SIZE	NOTES
TREES						
Ara	6	Acer x freemanii 'Armstrong'	freeman maple	as shown	6cm cal. B&B	2.0m standard, match crowns
Aro	8	Acer rubrum 'October Glory'	'October Glory' red maple	as shown	6cm Cal.	2m STD. B&B
Cnp	2	Chamaecyparis nootkatensis 'Pendula'	Weeping Cypress	as shown	3.0m ht/B&B	full/ bushy canopies
Pio	3	Picea omarika	Serbian Spruce	as shown	3.0m ht/B&B	full/ bushy plants
SHRUBS						
An	18	Anemone x hybrida 'Honorable Jobert'	Japanese anemone 'Honorable J	1.5 #1 cont.		full/ bushy plants
Azi	140	Azalea japonica 'Purple Splendor'	evergreen azalea	2.5 #2 cont.		full/ bushy plants
Auc	10	Arbutus unedo compacta	strawberry madrone	3.5 1mx 1m B&B		full/ bushy plants
Auu	367	Arctostaphylos uva-ursi	Bearberry, Kinnikinnick	1 #1 cont.		full/ bushy plants/ heavy
Ca	35	Carex albulu	frosty curls sedge	1.5 #2 cont.		full/ bushy plants
Cmv	54	Carex monnini 'variegata'	Variegated Japanese Sedge	0.833 #1 cont.		full/ bushy plants
Fen	54	Festuca elatior	blue fescue	0.833 #1 cont.		full/ bushy plants
Ga	172	Gaultheria shallon	salal	2 #2 cont.		full/ bushy plants
Hdc	71	Hosta x 'Blue Cadet'	Blue Cadet Plantain Lily	1.5 #2 cont.		full/ bushy plants
Lis	702	Liriodie spicata	Lilyturf	1 #1 cont.		full/ bushy plants
Mr	111	Mahonia repens	Creeeping Oregon grape	2 #3 cont.		full/ bushy plants
Pm	202	Polystichum munifolium	Sword Fern	2 #3 cont.		full/ bushy plants
Pl	71	Pachysandra terminalis	Japanese Spurge	0.833 4" pot.		
	0			0		
NOTES:						
1. ALL LANDSCAPE TO CONFORM TO THE CURRENT EDITION OF THE CANADIAN LANDSCAPE STANDARDS FOR LEVEL 2 'GROOMED' LANDSCAPE TREATMENT						
IN THE EVENT OF A DISCREPANCY BETWEEN THE PLANT LIST AND THE PLANTING PLAN, THE PLANTING PLAN TAKES PRECEDENCE						
2. SEARCH AREA TO INCLUDE BRITISH COLUMBIA, WASHINGTON, AND OREGON						

Proposed Building E - Valley Centre

for Headwater Projects

Civic Address: 20151, 20199 Fraser Hwy, City of Langley, BC
Legal Address: Lot 1 and 2 of D.L. 309 Group 2, Plan 67569 NWD



1690 West 2nd Avenue
Vancouver . BC . Canada . V6J 1H4
t | 604.683.1456 f | 604.683.1459 w | www.etal.ca

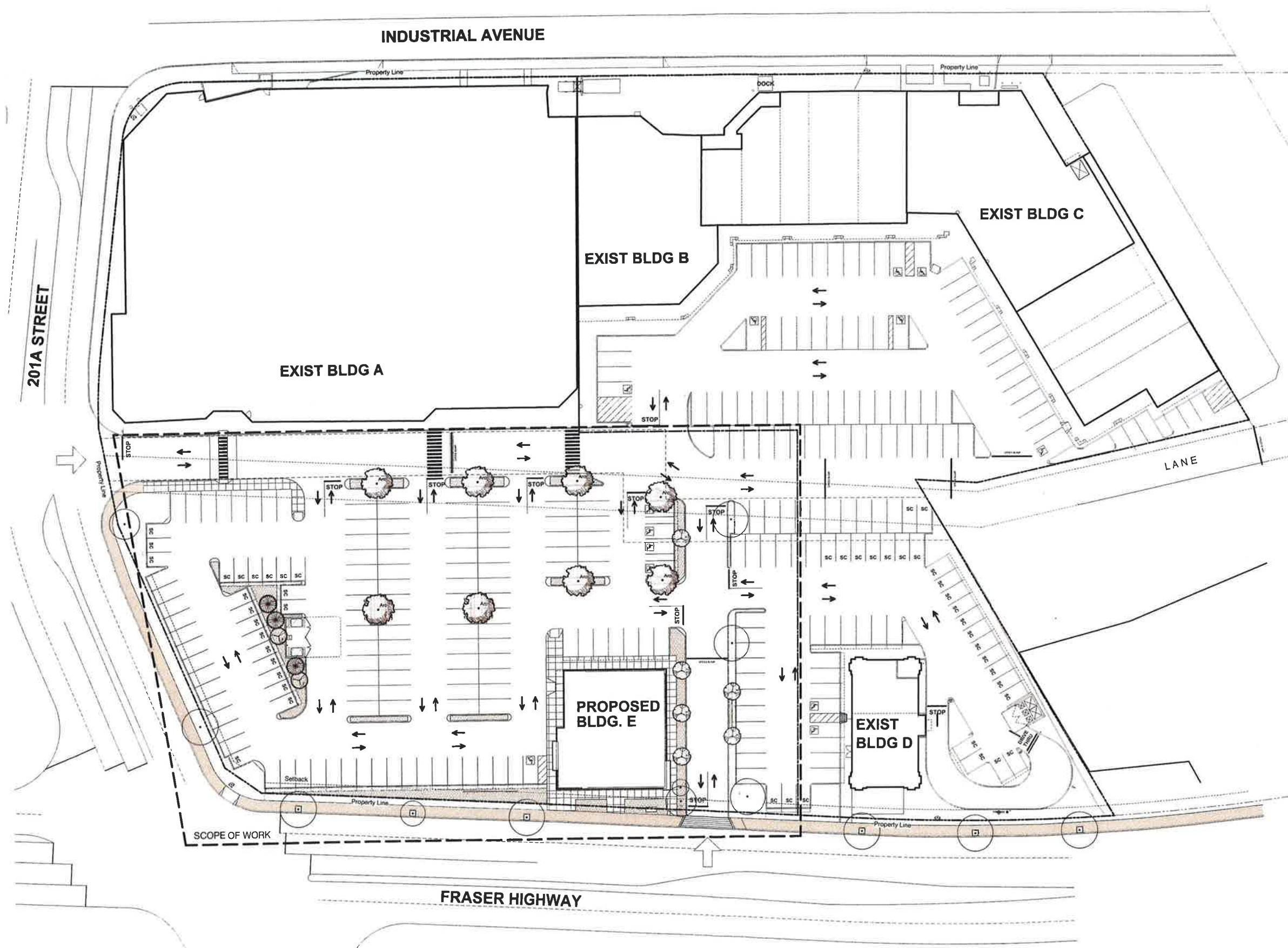
CONSULTANT TEAM

OWNER: Headwater Projects
ARCHITECT: UDG Architects Ltd.
LANDSCAPE: eta Landscape Architecture

ISSUED FOR DEVELOPMENT PERMIT JULY 14, 2017

DRAWING LIST

L1.0 Context Plan
L2.0 Landscape Site Plan
L3.0 Landscape Details



Revision		
No.	Date	Revision Notes

Issue		
No.	Date	Issue Notes
A	2017.07.12	Issued for Review
B	2017.07.14	Issued for DP

Professional Seal

eta LANDSCAPE ARCHITECTURE
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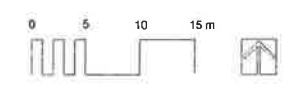
Project
**PROPOSED BUILDING E
 VALLEY CENTRE**
 20151, 20199 Fraser Hwy
 City of Langley, BC

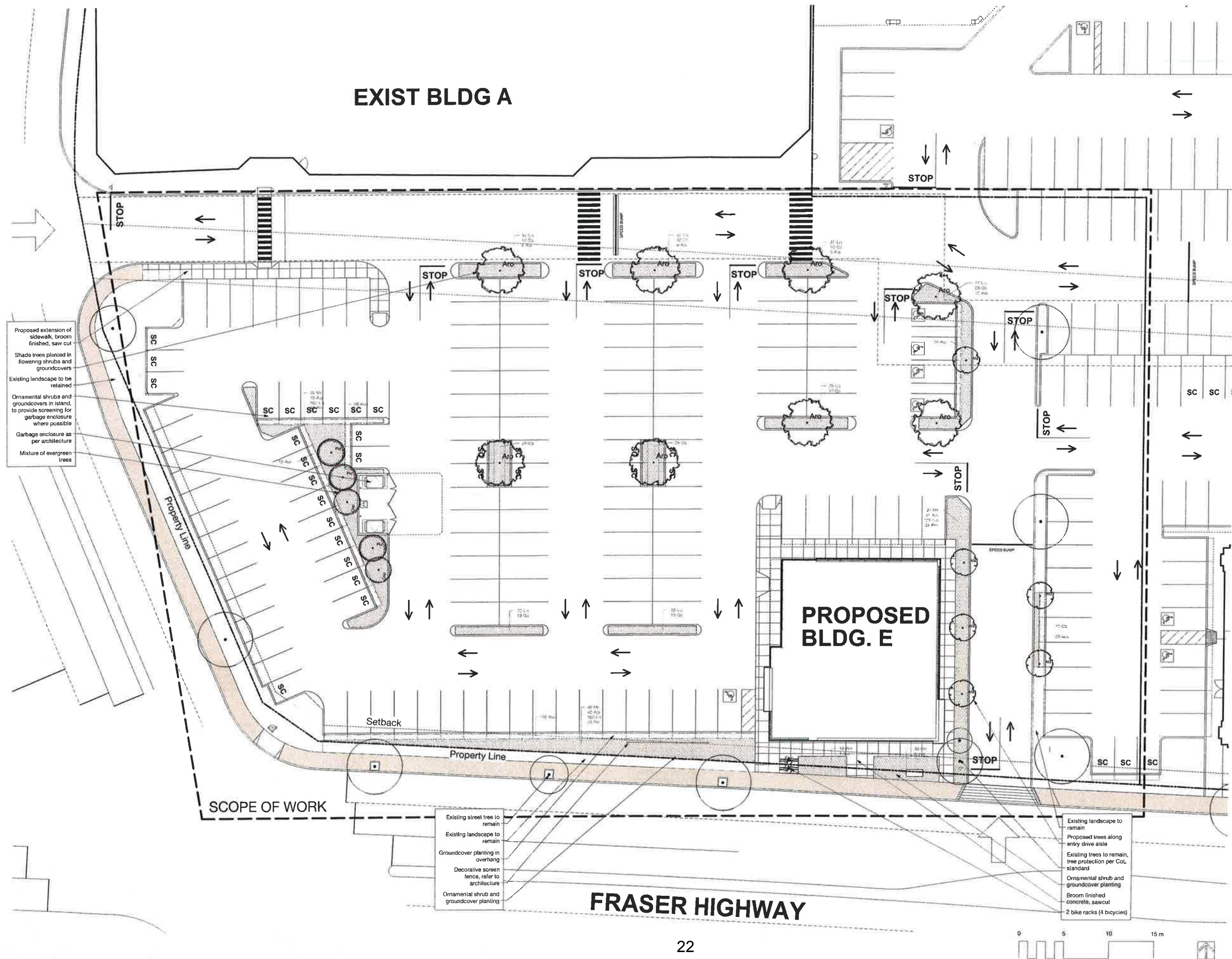
Drawing Title
Context Plan

Legal
 Lot 1 and 2 of D.L. 309
 Group 2, Plan 67589 NWD

Project Manager: MG	Project ID: 21626
Drawn By: MG	Scale: 1:250
Reviewed By: MG	Drawing No: L1.0
Date: 2017.07.12	Sheet: 3

Plot Date:
 2105 Valley Centre Urban over





Revision No.	Date	Revision Notes
A	2017 07 12	Issued for Review
B	2017 07 14	Issued for OP

Revision No.	Date	Revision Notes
A	2017 07 12	Issued for Review
B	2017 07 14	Issued for OP

Professional Seal

eta landscape architecture

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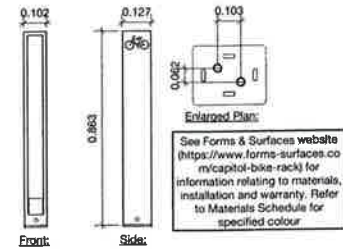
Project
**PROPOSED BUILDING E
VALLEY CENTRE**
20151, 20199 Fraser Hwy
City of Langley, BC

Drawing Title
Landscape Site Plan

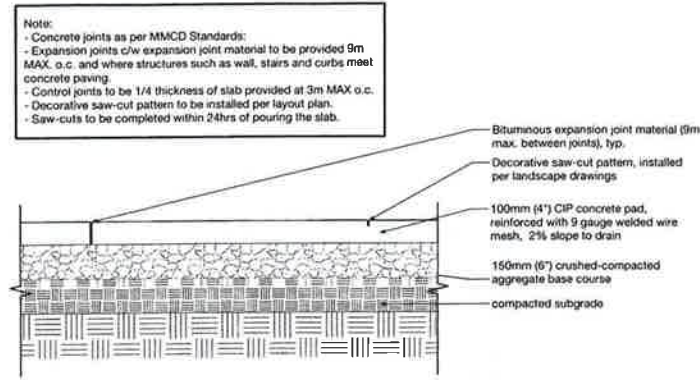
Legal
Lot 1 and 2 of D.L. 309
Group 2, Plan 67569 NWD

Project Manager MG	Project ID 21626
Drawn By MG	Scale 1:150
Reviewed By MG	Drawing No. L2.0
Date 2017.07.12	Sheet 3

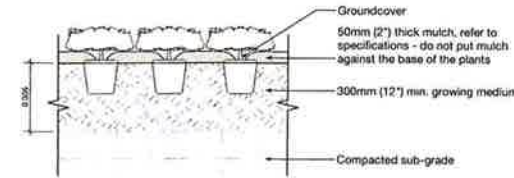
Plot Date:
12.7.23
eta valley Centre 130x100 mm



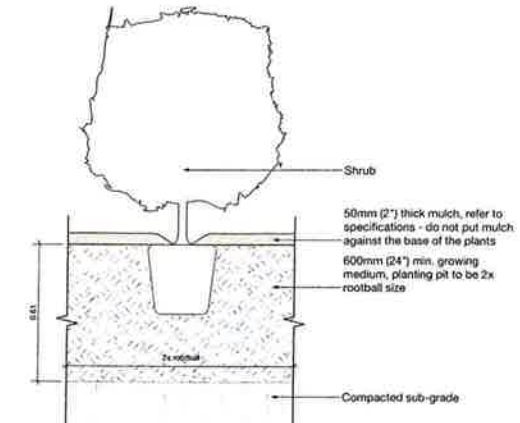
1 DETAIL: Bike Rack
Scale: 1" = 1'-0"



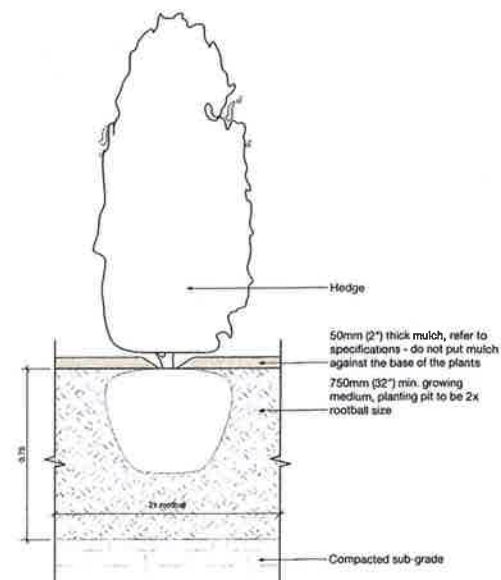
2 DETAIL: Pedestrian Concrete
Scale: 1" = 1'-0"



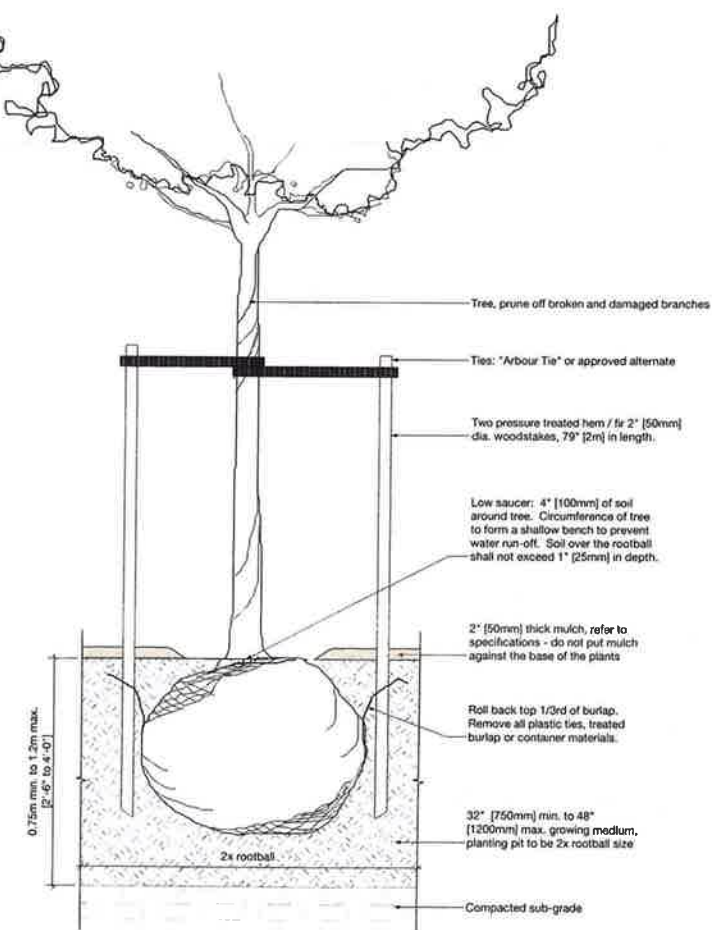
3 DETAIL: Groundcover Planting on Grade
Scale: 1" = 1'-0"



4 DETAIL: Shrub Planting on Grade
Scale: 1" = 1'-0"



5 DETAIL: Hedge Planting on Grade
Scale: 1" = 1'-0"



6 DETAIL: Tree Planting on Grade
Scale: 1" = 1'-0"

Revision	No.	Date	Revision Notes
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Issue No.	Date	Issue Notes
A	2017.07.12	Issued for Review
B	2017.07.14	Issued for GP

Professional Seal

eta landscape architecture

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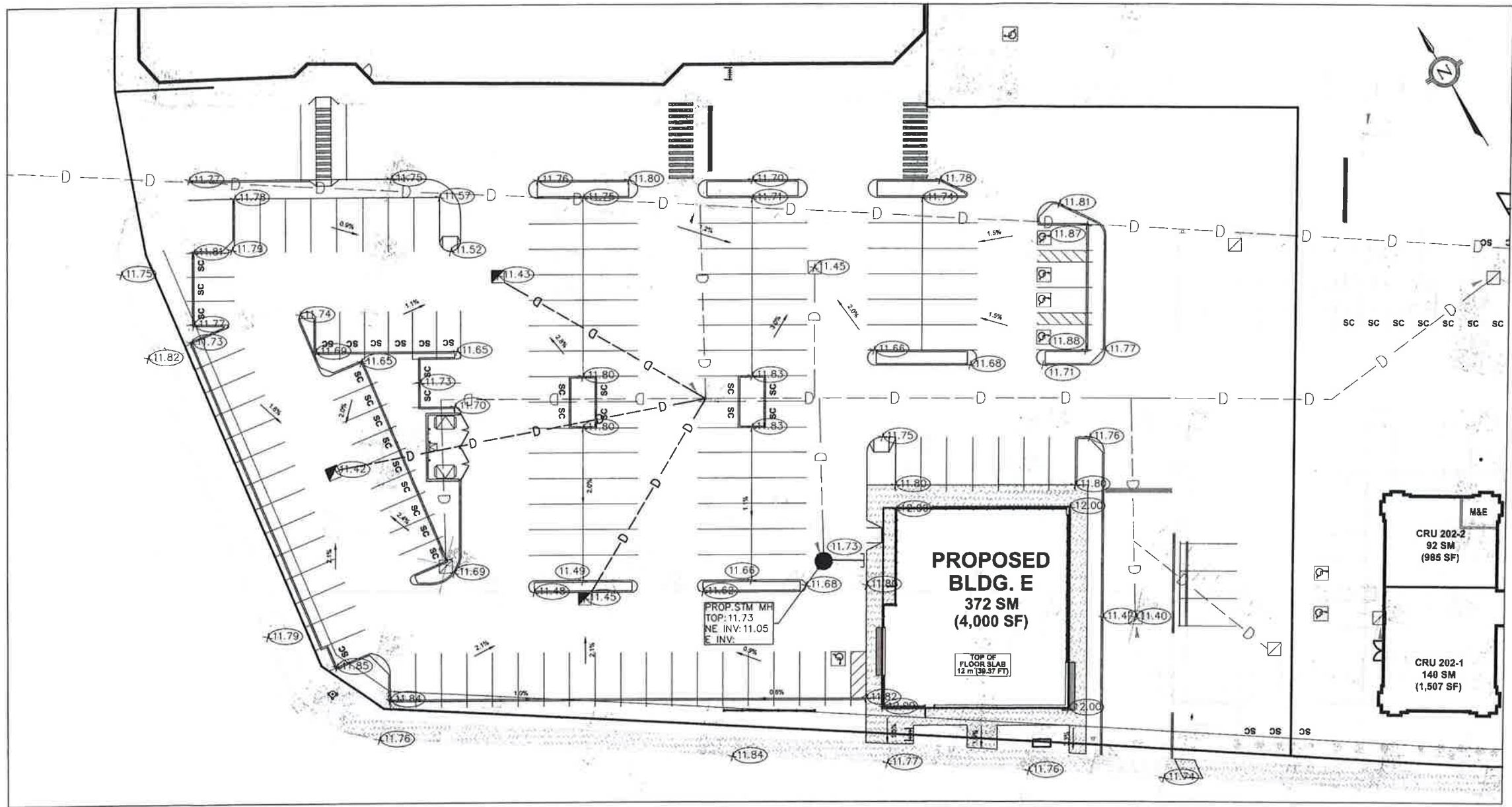
Project
**PROPOSED BUILDING E
VALLEY CENTRE**
20151, 20199 Fraser Hwy
City of Langley, BC

Drawing Title
Landscape Details

Legal
Lot 1 and 2 of D.L. 309
Group 2, Plan 67569 MWD

Project Manager MG	Project ID 21628
Drawn By MG	Scale as shown
Reviewed By MG	Drawing No. L3.0
Date 2017	Sheet 3

Plot Date:
11.7.17
[1622] Valley Centre MCDetail.dwg



GENERAL NOTES:

1. ALL WORK SHALL BE CARRIED OUT IN COMPLIANCE WITH THE APPLICABLE HEALTH AND SAFETY REGULATIONS FOR CONSTRUCTION.
2. ALL WORK, MATERIALS AND CONSTRUCTION METHODS TO CONFORM WITH THE CURRENT MASTER MUNICIPAL CONSTRUCTION DOCUMENTS (MMCD), THE BRITISH COLUMBIA BUILDING CODE (BCBC), THE MINISTRY OF ENVIRONMENT AND TOWNSHIP OF LANGLEY STANDARDS.
3. THE CONTRACTOR IS ADVISED THAT WORKS BY OTHERS MAY BE ONGOING DURING THE PERIOD OF THIS CONTRACT. THE CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES WITH ALL OTHER CONTRACTORS AND PREVENT CONSTRUCTION CONFLICTS.
4. THE INFORMATION SHOWN FOR EXISTING UTILITIES WAS PROVIDED BY OTHERS. THE INFORMATION IS SHOWN FOR GENERAL INFORMATION ONLY AND THE ACCURACY OR COMPLETION OF THE PROVIDED INFORMATION HAS NOT BEEN CONFIRMED BY COUNTERPOINT ENGINEERING. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION. ALL EXISTING UTILITIES MUST BE LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK. ANY VARIANCE IS TO BE IMMEDIATELY REPORTED TO THE ENGINEER. LOST TIME DUE TO FAILURE OF THE CONTRACTOR TO CONFIRM UTILITY LOCATIONS AND NOTIFY THE ENGINEER OF CONFLICTS PRIOR TO CONSTRUCTION WILL BE AT THE CONTRACTORS EXPENSE.
5. THIS PLAN SHOULD BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANTS PLANS. ANY DISCREPANCIES SHALL BE CLARIFIED PRIOR TO CONSTRUCTION. INFORMATION RELATED TO DIMENSIONS FOR PRIVATE ROAD, PARKING CURBING, BUILDING LOCATIONS AND SETBACKS SHALL BE TAKEN FROM THE SITE PLAN.
6. ALL EXISTING CURBS, ASPHALT, SIDEWALK, LANDSCAPING AND SOD DAMAGED AS A RESULT OF SERVICE AND SURFACE INSTALLATION SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE ENGINEER AND TOWNSHIP OF LANGLEY.
7. ALL DIMENSIONS AND ELEVATIONS SHALL BE VERIFIED PRIOR TO CONSTRUCTION AND ANY DISCREPANCIES FOUND SHALL BE CLARIFIED WITH THE ENGINEER. ALL UNSUITABLE SOIL IDENTIFIED BY THE GEOTECHNICAL ENGINEER OR SURPLUS MATERIAL GENERATED FROM EXCAVATIONS SHALL BE DISPOSED OF AT AN APPROVED DISPOSAL SITE.
8. ALL EXISTING SERVICES MUST BE CLEANED (IF NECESSARY) AND INSPECTED PRIOR TO CONSTRUCTION OF NEW SITE SERVICES.
9. TESTABLE DOUBLE ACTING BACKFLOW PREVENTERS FOR DOMESTIC, FIRE SPRINKLER AND IRRIGATION SYSTEMS SHALL BE LOCATED IN THE BUILDING.
10. ANY REVISIONS TO THESE DRAWINGS MUST BE APPROVED BY THE DESIGN ENGINEER, WHO SHALL REVIEW ANY CHANGES WITH THE MUNICIPAL ENGINEER.
11. W.C.B. IS TO BE NOTIFIED PRIOR TO THE START OF CONSTRUCTION.
12. EXISTING UNDERGROUND UTILITIES ARE TO BE LOCATED PRIOR TO INSTALLING ANY NEW UNDERGROUND SERVICES. ANY DISCREPANCY IN ELEVATION OR LOCATION IS TO BE REFERRED TO THE DESIGN ENGINEER.
13. RESIDENTS AFFECTED BY THE PROPOSED CONSTRUCTION ARE TO BE NOTIFIED BY THE CONTRACTOR IN WRITING 48 HOURS PRIOR TO THE START OF CONSTRUCTION AND PROVIDED WITH THE CONTRACTORS PHONE NUMBER AND SCHEDULE.
14. THE DEVELOPER AND CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE CAUSED TO EXISTING STREETS OR SERVICES BY CONSTRUCTION EQUIPMENT AND/OR TRUCKS HAULING MATERIALS TO THE SITE. THIS WILL INCLUDE DAILY CLEANING OR SWEEPING EXISTING ROADS OF DIRT AND DEBRIS CAUSED BY CONSTRUCTION ACTIVITY.
15. TRAFFIC CONTROL IS TO BE MAINTAINED AT ALL TIMES WHEN WORKING ON MUNICIPAL RIGHTS-OF-WAY (SIGNS, BARRICADES, FLAGPERSONS). A HIGHWAY USE PERMIT MUST BE OBTAINED FROM THE TOWNSHIP OF LANGLEY ENGINEERING DEPARTMENT PRIOR TO WORKS WITHIN THE MUNICIPAL RIGHT-OF-WAY.
16. LEGAL SURVEY POSTS MONUMENTS ARE TO BE REPLACED IF DESTROYED OR DAMAGED DURING CONSTRUCTION. THIS WORK IS TO BE UNDERTAKEN BY A B.C. LAND SURVEYOR.
17. TOWNSHIP OF LANGLEY'S SURVEY MONUMENTS ARE TO BE PROTECTED. SHOULD THEY REQUIRE RAISING OR RELOCATING, THE CONTRACTOR MUST NOTIFY THE BUILDING DEPARTMENT INSPECTOR AT LEAST 72 HOURS IN ADVANCE OF SCHEDULING WORK AFFECTING THEM.
18. MATERIAL SUPPLIED AND CONSTRUCTION PERFORMED ARE TO BE IN ACCORDANCE WITH THE TOWNSHIP OF LANGLEY SUBDIVISION & DEVELOPMENT CONTROL BYLAW AND MMS. SPECIFICATIONS AND APPLICABLE DESIGN CRITERIA AND SPECIFICATION STANDARD DRAWINGS.
19. THE TOWNSHIP HAS A LIST OF APPROVED MATERIALS AND PRODUCTS AS LISTED IN SCHEDULE H OF THE BYLAW. ONLY THOSE MATERIALS ON THE LIST OR SPECIFIED WITHIN THE MASTER SPECIFICATIONS MAY BE USED IN THE WORKS.
20. APPROVED PIT RUN MUST BE USED FOR BACKFILL IN TRENCHES WHEN INSIDE ROAD LIMITS. APPROVED NATIVE MATERIAL MAY BE USED AS DIRECTED BY THE OWNER'S ENGINEER.
21. REFER TO GEOTECHNICAL INVESTIGATION REPORT, "PROPOSED COMMERCIAL DEVELOPMENT 8900 BLOCK 202 STREET LANGLEY, B.C." PREPARED BY GEOPACIFIC CONSULTANTS LTD. DATED DECEMBER 15, 2016, FOR EXISTING SOIL CONDITIONS, GROUNDWATER CONDITIONS, SITE PREPARATION, UTILITY AND SERVICE INSTALLATION, PAVEMENT RECOMMENDATIONS ETC.
22. RECOMMENDED MINIMUM PAVEMENT STRUCTURE FOR ON-SITE PARKING FROM THE GEOTECHNICAL REPORT:
75mm : ASPHALTIC CONCRETE
100mm : BASE COURSE (19mm MINUS CRUSHED GRAVEL)
200mm : SUB-BASE COURSE (CLEAN AND GRAVEL WELL GRADED 100mm MINUS)

DRAWING LIMITATIONS:

1. THIS DRAWING HAS BEEN PREPARED FOR THE PURPOSE OF DEVELOPMENT PERMIT APPLICATION ONLY AND SHALL NOT BE USED FOR CONSTRUCTION
2. THE SERVICING INFORMATION SHOWN ON THIS DRAWING HAS BEEN PREPARED BASED ON VISUAL OBSERVATION ONLY AND INFORMATION PROVIDED BY OTHERS. PRIOR TO CONSTRUCTION ALL SERVICING INFORMATION SHALL BE VERIFIED BY SURVEY, UTILITY LOCATES AND IF REQUIRED SEWER VIDEO AND/OR EXCAVATION
3. PRIOR TO EXTENDING EXISTING SERVICES, THE CONDITION OF THE SERVICE MUST BE ASSESSED BY THE ENGINEER AND CONFIRMED THAT THE EXISTING SERVICE IS IN SUITABLE CONDITION TO CONTINUE TO SERVICE THE PROPERTY. IF IT IS DETERMINED THAT AN EXISTING SERVICE IS IN UNSUITABLE CONDITION FOR RE-USE IT SHALL BE REMOVED AND REPLACED OR ABANDONED AND A NEW SERVICE INSTALLED IN AN ALTERNATE LOCATION ACCEPTABLE TO THE TOWNSHIP OF LANGLEY.

LOT GRADING:

1. GRADING IS TO MEET EXISTING GROUND ELEVATIONS AT PROPERTY LINES COMMON WITH ADJOINING PROPERTIES UNLESS OTHERWISE NOTED.
2. MINIMUM BUILDING ELEVATIONS (M.B.E.) FOR LOTS ARE SET IN ACCORDANCE TO THE SUBDIVISION AND DEVELOPMENT CONTROL BYLAW.
3. ALL WORKS TO BE IN ACCORDANCE WITH APPROVED GEOTECHNICAL REPORT.

STORM WATER MANAGEMENT

- EXISTING DITCH
- PROPOSED DITCH
- SWALE BY OWNER'S CONTRACTOR TO TLD
- SWALE BY BUILDER
- DIRECTION OF FLOW FOR SURFACE RUNOFF
- FILL >0.45m
- FILL >1.0m
- MAJOR FLOW PATH (IN PIPE)
- MAJOR FLOW PATH (SURCHARGED PIPE)
- MAJOR FLOW PATH (OVERLAND)

M.B.E. 94.97

230

93.27

21.21

413

0.3

300mm

300mm

300mm

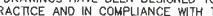
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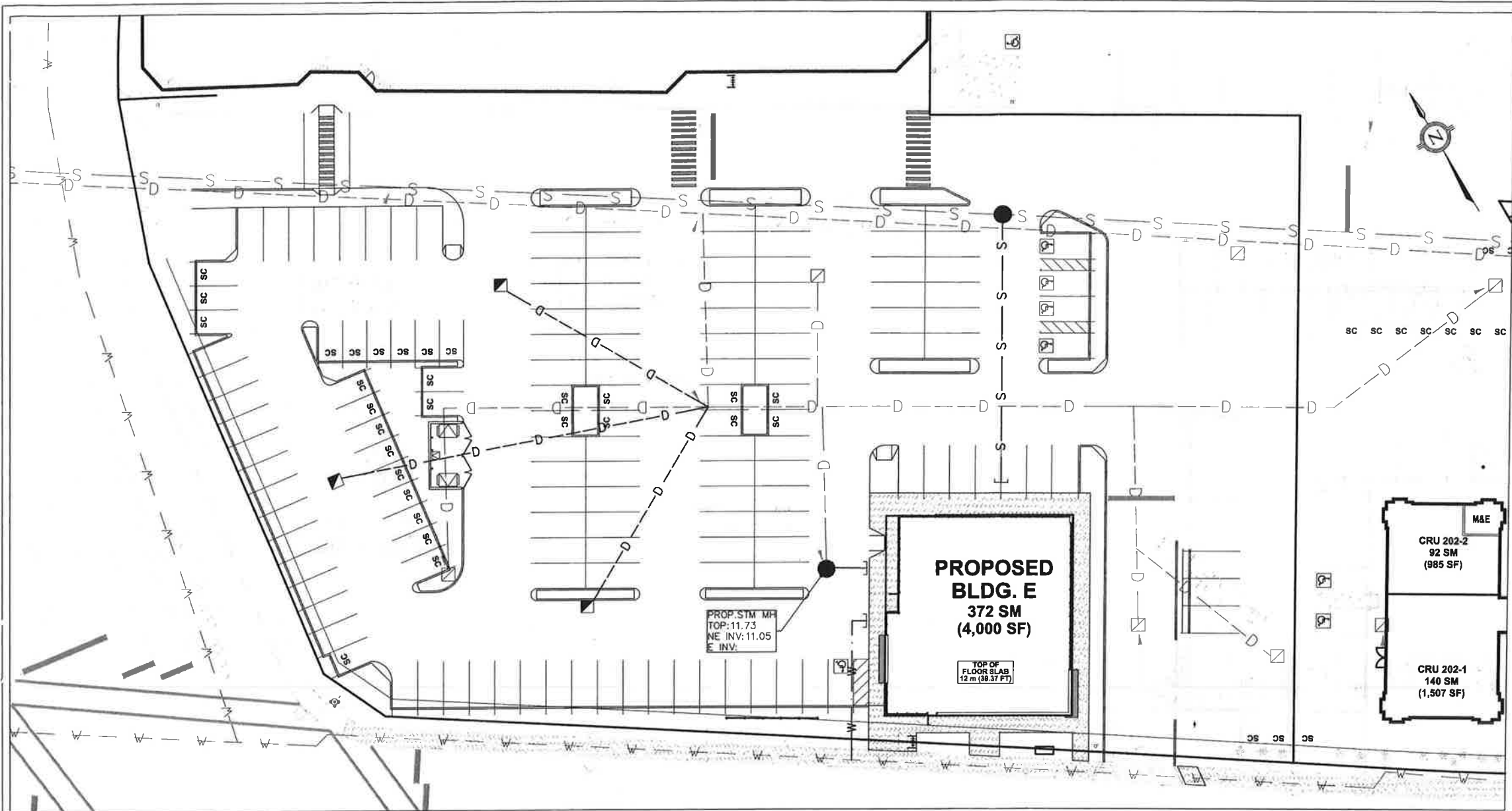
- MINIMUM BUILDING ELEVATION
- EXISTING GROUND CONTOUR
- LAWN BASIN
- EXISTING GRADE ELEVATION
- FINISHED GRADE ELEVATION
- LOT NUMBER
- MAX. FILL DEPTH WITHIN BUILDING ENVELOPE
- BUILDING ENVELOPE
- EXISTING CULVERT

PROPOSED CULVERT

PROPOSED ASPHALT PAVEMENT REFER TO GEOTECHNICAL REPORT

MATCH EXISTING ELEVATION

NOTES	NOTE	BENCHMARK	OWNER	ENGINEER	SEAL	No	Date	REVISIONS	DESIGN BY	PLAN	The Corporation of the Township of Langley		
CONTRACTOR TO CONTACT TELUS, BC HYDRO, FORTISBC AND BC ONE CALL PRIOR TO CONSTRUCTION TO CONFIRM LOCATIONS OF UTILITIES AND APPURTENANCES REQUIRING ADJUSTMENT.	ELEVATIONS SHOWN ARE IN METERS AND GEOMETRIC DATA (TSPS 2000)		URBAN DESIGN GROUP ARCHITECTS LTD. 600-1140 WEST PENDER STREET VANCOUVER, BRITISH COLUMBIA V6E 4G1 TEL: 604 687-2334 ext 111 FAX: 604 688 7481	 KWA SITE DEVELOPMENT CONSULTING INC. 3311 WESTMOUNT ROAD WEST VANCOUVER, BC V7V 3G8 CONTACT: ALEX KARAKOJ 604-684-8888 Burlington Woodstock Vancouver	I, _____, PROFESSIONAL ENGINEER, IN GOOD STANDING IN AND FOR THE PROVINCE OF BRITISH COLUMBIA, HEREBY CERTIFY THAT THE WORKS IN HEREIN SET OUT ON THE ATTACHED DRAWINGS HAVE BEEN DESIGNED TO GOOD ENGINEERING PRACTICE AND IN COMPLIANCE WITH THE TOWNSHIP OF LANGLEY SUBDIVISION AND DEVELOPMENT CONTROL BYLAW, EXCEPT AS NOTED BELOW. EXCEPTIONS: _____	1.	07/14/2017	ISSUED FOR DP	DESIGN BY: CHECKED BY: APPROVED BY: DATE: JULY 2017 SCALE: HORIZ. 1:500	PLAN No: SHEET No: REV	16246	SW-G	



GENERAL NOTES:

1. ALL WORK SHALL BE CARRIED OUT IN COMPLIANCE WITH THE APPLICABLE HEALTH AND SAFETY REGULATIONS FOR CONSTRUCTION.
2. ALL WORK, MATERIALS AND CONSTRUCTION METHODS TO CONFORM WITH THE CURRENT MASTER MUNICIPAL CONSTRUCTION DOCUMENTS (MMCD), THE BRITISH COLUMBIA BUILDING CODE (BCBC), THE THE MINISTRY OF ENVIRONMENT AND TOWNSHIP OF LANGLEY STANDARDS.
3. THE CONTRACTOR IS ADVISED THAT WORKS BY OTHERS MAY BE ONGOING DURING THE PERIOD OF THIS CONTRACT. THE CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES WITH ALL OTHER CONTRACTORS AND PREVENT CONSTRUCTION CONFLICTS.
4. THE INFORMATION SHOWN FOR EXISTING UTILITIES WAS PROVIDED BY OTHERS. THE INFORMATION IS SHOWN FOR GENERAL INFORMATION ONLY AND THE ACCURACY OR COMPLETION OF THE PROVIDED INFORMATION HAS NOT BEEN CONFIRMED BY COUNTERPOINT ENGINEERING. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION. ALL EXISTING UTILITIES MUST BE LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK. ANY VARIANCE IS TO BE IMMEDIATELY REPORTED TO THE ENGINEER. LOST TIME DUE TO FAILURE OF THE CONTRACTOR TO CONFIRM UTILITY LOCATIONS AND NOTIFY THE ENGINEER OF CONFLICTS PRIOR TO CONSTRUCTION WILL BE AT THE CONTRACTORS EXPENSE.
5. THIS PLAN SHOULD BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANTS PLANS. ANY DISCREPANCIES SHALL BE CLARIFIED PRIOR TO CONSTRUCTION. INFORMATION RELATED TO DIMENSIONS FOR PRIVATE ROAD, PARKING CURBING, BUILDING LOCATIONS AND SETBACKS SHALL BE TAKEN FROM THE SITE PLAN.
6. ALL EXISTING CURBS, ASPHALT, SIDEWALK, LANDSCAPING AND SOD DAMAGED AS A RESULT OF SERVICE AND SURFACE INSTALLATION SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE ENGINEER AND TOWNSHIP OF LANGLEY.
7. ALL DIMENSIONS AND ELEVATIONS SHALL BE VERIFIED PRIOR TO CONSTRUCTION AND ANY DISCREPANCIES FOUND SHALL BE CLARIFIED WITH THE ENGINEER. ALL UNSUITABLE SOIL IDENTIFIED BY THE GEOTECHNICAL ENGINEER OR SURPLUS MATERIAL GENERATED FROM EXCAVATIONS SHALL BE DISPOSED OF AT AN APPROVED DISPOSAL SITE.
8. ALL EXISTING SERVICES MUST BE CLEANED (IF NECESSARY) AND INSPECTED PRIOR TO CONSTRUCTION OF NEW SITE SERVICES.
9. TESTABLE DOUBLE ACTING BACKFLOW PREVENTERS FOR DOMESTIC, FIRE SPRINKLER AND IRRIGATION SYSTEMS SHALL BE LOCATED IN THE BUILDING.
10. ANY REVISIONS TO THESE DRAWINGS MUST BE APPROVED BY THE DESIGN ENGINEER, WHO SHALL REVIEW ANY CHANGES WITH THE MUNICIPAL ENGINEER.
11. W.C.B. IS TO BE NOTIFIED PRIOR TO THE START OF CONSTRUCTION.
12. EXISTING UNDERGROUND UTILITIES ARE TO BE LOCATED PRIOR TO INSTALLING ANY NEW UNDERGROUND SERVICES. ANY DISCREPANCY IN ELEVATION OR LOCATION IS TO BE REFERRED TO THE DESIGN ENGINEER.
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19. THE TOWNSHIP HAS A LIST OF APPROVED MATERIALS AND PRODUCTS AS LISTED IN SCHEDULE H OF THE BYLAW ONLY THOSE MATERIALS ON THE LIST OR SPECIFIED WITHIN THE MASTER SPECIFICATIONS MAY BE USED IN THE WORKS.
20. APPROVED PIT RUN MUST BE USED FOR BACKFILL IN TRENCHES WHEN INSIDE ROAD LIMITS, APPROVED NATIVE MATERIAL MAY BE USED AS DIRECTED BY THE OWNER'S ENGINEER.
21. REFER TO GEOTECHNICAL INVESTIGATION REPORT, "PROPOSED COMMERCIAL DEVELOPMENT 8800 BLOCK 202 STREET LANGLEY, B.C." PREPARED BY GEOPACIFIC CONSULTANTS LTD. DATED DECEMBER 15, 2016, FOR EXISTING SOIL CONDITIONS, GROUNDWATER CONDITIONS, SITE PREPARATION, UTILITY AND SERVICE INSTALLATION, PAVEMENT RECOMMENDATIONS ETC.
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75mm : ASPHALTIC CONCRETE
100mm : BASE COURSE (19mm MINUS CRUSHED GRAVEL)
200mm : SUB-BASE COURSE (CLEAN AND GRAVEL WELL GRADED 100mm MINUS)

STORM SEWERS:

1. STORM SEWER MATERIALS SHALL CONFORM TO THE MASTER MUNICIPAL SPECIFICATIONS (SECTION 02721) AND SCHEDULE "H" OF THE SUBDIVISION CONTROL BYLAW.
2. FOR TYPICAL TRENCH SECTION DETAILS SEE MMCD STANDARD DETAIL DRAWING G4.
3. SILTATION CONTROLS TO THE ACCEPTANCE OF THE TOWNSHIP ENGINEER MUST BE USED AT ALL DRAINAGE OUTLETS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AS REQUIRED.
4. FOR CATCH BASIN DETAILS AGAINST CURBS SEE MMCD STANDARD DETAIL DRAWING S11. ALL SINGLE CATCH BASIN LEADS ARE TO BE MINIMUM 200mm DIAMETER.
5. DIAMETER OF ALL STORM SEWER MANHOLES SHALL CONFORM TO THE MMCD STANDARD DETAIL DRAWINGS S1 UNLESS OTHERWISE NOTED.
6. MANUFACTURED WYES ARE TO BE USED ON STORM PIPE UNDER 450mm DIAMETER OR APPROVED ALTERNATIVE.

DRAWING LIMITATIONS:

1. THIS DRAWINGS HAS BEEN PREPARED FOR THE PURPOSE OF DEVELOPMENT PERMIT APPLICATION ONLY AND SHALL NOT BE USED FOR CONSTRUCTION
2. THE SERVICING INFORMATION SHOWN ON THIS DRAWING HAS BEEN PREPARED BASED ON VISUAL OBSERVATION ONLY AND INFORMATION PROVIDED BY OTHERS. PRIOR TO CONSTRUCTION ALL SERVICING INFORMATION SHALL BE VERIFIED BY SURVEY, UTILITY LOCATES AND IF REQUIRED SEWER VIDEO AND/OR EXCAVATION
3. PRIOR TO EXTENDING EXISTING SERVICES, THE CONDITION OF THE SERVICE MUST BE ASSESSED BY THE ENGINEER AND CONFIRMED THAT THE EXISTING SERVICE IS IN SUITABLE CONDITION TO CONTINUE TO SERVICE THE PROPERTY. IF IT IS DETERMINED THAT AN EXISTING SERVICE IS IN UNSUITABLE CONDITION FOR RE-USE IT SHALL BE REMOVED AND REPLACED OR ABANDONED AND A NEW SERVICE INSTALLED IN AN ALTERNATE LOCATION ACCEPTABLE TO THE TOWNSHIP OF LANGLEY.

SANITARY SEWERS:

1. SANITARY SEWER MATERIALS SHALL CONFORM TO THE MASTER MUNICIPAL SPECIFICATIONS (SECTION 02731) AND SCHEDULE "H" OF THE SUBDIVISION CONTROL BYLAW.
2. FOR MANHOLE DETAILS AND DIAMETERS SEE MMCD STANDARD DETAIL DRAWINGS S1.
3. FOR TYPICAL TRENCH SECTION DETAILS SEE MMCD STANDARD DETAIL DRAWING G4.
4. NEW SEWER LINES TIED INTO EXISTING LINES MUST BE PLUGGED UNTIL THEY ARE TESTED AND FLUSHED.

LEGEND

EXISTING	PROPOSED	
		SANITARY SEWER
		SANITARY SEWER SERVICE
		STORM SEWER
		CATCHBASIN - TOP INLET
		STORM SEWER SERVICE
		PROPERTY LINE
		EXISTING LIGHT STANDARD
		SIAMESE CONNECTION
		HYDRANT AND VALVE ASSEMBLY
		WATER VALVE
		PROPOSED REMOVAL ITEM
		PROPOSED PLUG

WATERWORKS:

1. FOR TYPICAL TRENCH SECTION DETAILS SEE MMCD STANDARD DETAIL DRAWING G4.
2. WATERMAIN MATERIALS SHALL CONFORM TO THE MASTER MUNICIPAL SPECIFICATIONS, (SECTION 02668) AND SCHEDULE "H" OF THE SUBDIVISION AND DEVELOPMENT CONTROL BYLAW.
3. THE MINIMUM VERTICAL CLEARANCE OF WATERMAINS FROM SANITARY AND STORM SEWERS SHALL BE 500mm; MINIMUM HORIZONTAL SEPARATION SHALL BE 3.0 WHERE THE SEPARATION IS LESS, THE WATERMAIN SHALL BE PROTECTED IN ACCORDANCE WITH THE MINISTRY OF HEALTH REGULATIONS.
4. MINIMUM GRADE ON WATERMAIN SHALL BE 0.10%.
5. PIPE JOINTS SHALL NOT BE DEFLECTED MORE THAN 1/2 OF THE MANUFACTURER'S RECOMMENDED DEFLECTION.
6. TIE-INS OF PROPOSED MAINS TO EXISTING WATERMAINS WILL PERFORMED BY THE TOWNSHIP AT THE DEVELOPERS EXPENSE, UNLESS DIRECTED OTHERWISE.
7. MINIMUM COVER ON WATERMAINS SHALL BE 1.2m
8. ALL EXISTING SERVICES MUST BE CLEANED (IF NECESSARY) AND INSPECTED PRIOR TO CONSTRUCTION OF NEW SITE SERVICES.
9. TESTABLE DOUBLE ACTING BACKFLOW PREVENTERS FOR DOMESTIC, FIRE SPRINKLER AND IRRIGATION SYSTEMS SHALL BE LOCATED IN THE BUILDING.
10. FOR VALVE-BOX DETAILS AND VALVE INSTALLATION DETAILS SEE MMCD STANDARD DRAWING W3.
11. THRUST BLOCKS AS SHOWN ON MMCD STANDARD DRAWING W1 ARE TO BE LOCATED AT ALL FITTING LOCATIONS, (REFER TO TOWNSHIP THRUST BLOCK CRITERIA SDW-3)
12. THE CONTRACTOR SHALL ENSURE THAT ALL SECTIONS OF LINES HAVE TEST POINTS AND TEMPORARY BLOW-OFFS SUITABLE TO ENSURE ADEQUATE PRESSURE TESTING, CHLORINATION AND FLUSHING. DISCHARGE OF CHLORINATED WATER IS NOT PERMITTED INTO DITCHES, STORM SEWERS OR WATERCOURSES
13. THE CONTRACTOR SHALL SUBMIT BACTERIOLOGICAL AND CHLORINATION TESTING OF ON-SITE WATER SYSTEM TO THE BUILDING DEPARTMENT. ALL AS WITNESSED BY THE OWNER'S ENGINEER OR INDEPENDENT TESTING AGENCY.

NOTES CONTRACTOR TO CONTACT TELUS, BC HYDRO, FORTISBC AND BC ONE CALL PRIOR TO CONSTRUCTION TO CONFIRM LOCATIONS OF UTILITIES AND APPURTENANCES REQUIRING ADJUSTMENT.		LEGAL	NOTE DIMENSIONS SHOWN ARE IN METERS AND DECIMAL FRACTIONS (ENR 3000)	BENCHMARK	OWNER URBAN DESIGN GROUP ARCHITECTS LTD. 600-1140 WEST PENDER STREET VANCOUVER, BRITISH COLUMBIA V5E 4G1 TEL: 604 687-2334 ext 111 FAX: 604 686 7481	ENGINEER KWA SITE DEVELOPMENT CONSULTING INC. 3111 WESTBROOK ROAD WEST VANCOUVER, BC V7V 3G5 CONTACT: ALEX KARADJOV (604) 941-6099 Burlington Woodstock Vancouver	SEAL 25	PROFESSIONAL ENGINEER, IN GOOD STANDING IN AND FOR THE PROVINCE OF BRITISH COLUMBIA, HEREBY CERTIFY THAT THE WORKS IN HEREIN SET OUT ON THE ATTACHED DRAWINGS HAVE BEEN DESIGNED TO GOOD ENGINEERING PRACTICE AND IN COMPLIANCE WITH THE TOWNSHIP OF LANGLEY SUBDIVISION AND DEVELOPMENT CONTROL BYLAW, EXCEPT AS NOTED BELOW. EXCEPTIONS:	No 1.	Date 07/14/2017	REVISIONS ISSUED FOR DP	PLAN DESIGN BY: DRAWN BY: APPROVED BY: DATE: SCALE: HORIZ: 1:500	The Corporation of the Township of Langley SERVICING PLAN DESIGN FILE No: 16246 PLAN No: AS BUILT No: SHEET NO: SW-S REV:
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**MINUTES OF THE
ADVISORY PLANNING COMMISSION MEETING**

**HELD IN LANGLEY CITY HALL
CKF COMMUNITY BOARDROOM**

**WEDNESDAY, AUGUST 9, 2017
7:00 PM**

Present: Councillor Paul Albrecht, Vice-Chairman
John Beimers
Trish Buhler
Shelley Coburn, School District No. 35
Hana Hutchinson
Esther Lindberg
Corp. Steve McKeddie, Langley RCMP
Dan Millsip

Staff: Gerald Minchuk, Director of Development Services & Economic
Development

Absent: Councillor Jack Arnold, Chairman
George Roman
Jamie Schreder

1) RECEIPT OF MINUTES

MOVED BY Commission Member Buhler
SECONDED BY Commission Member Hutchinson

THAT the minutes for the June 14, 2017 Advisory Planning Commission
meeting be received as amended.

CARRIED

2) **DEVELOPMENT PERMIT APPLICATION DP 07-17 -20151
FRASER HIGHWAY-URBAN DESIGN GROUP ARCHITECTS
LTD.**

The Director Development Services & Economic Development provided a brief overview of the planning context for the proposed application and introduced , Aaron Vornbrock, Urban Design Group Architects Ltd. Mr. Vornbrock presented the proposed development permit application. Following discussion on building form and character, on-site landscaping, handicap parking, bicycle rack installation, on-site pedestrian improvements, enhanced vehicular circulation, CPTED, it was:

MOVED BY Commission Member Millsip
SECONDED BY Commission Member Lindberg

That Development Permit Application DP 07-17 to accommodate a 372 m² (4,000 ft²) Scotiabank commercial building to the existing shopping centre located at 20151 Fraser Highway be approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report be approved.

CARRIED

4) **NEXT MEETING**

Wednesday, September 13th, 2017

5) **ADJOURNMENT**

MOVED BY Commission Member Coburn
SECONDED BY Commission Member Buhler

THAT the meeting adjourn at 8:00 P.M.

CARRIED



ADVISORY PLANNING COMMISSION VICE-CHAIRMAN



DIRECTOR OF DEVELOPMENT SERVICES & ECONOMIC DEVELOPMENT

Certified Correct

Paula Kusack

Subject: FW: NOTICE OF DEVELOPMENT PERMIT APPLICATION - CITY OF LANGLEY-
OPPORTUNITY FOR PUBLIC INPUT

From: christine salilig [<mailto:christinecookky@yahoo.com>]

Sent: September-01-17 2:14 PM

To: WebInfo

Subject: NOTICE OF DEVELOPMENT PERMIT APPLICATION - CITY OF LANGLEY- OPPORTUNITY FOR PUBLIC INPUT

Dear Sir/Madam ;

In reference to the letter as stated above, I agree to the proposal development of free standing *Scotiabank* commercial building. The convenience of having a bank accessibility to the public within the radius of the city center is very helpful.

Looking forward that in the near future there would be similar commercial banks that will rise and develop in this town like e.g CIBC, RBC, TD etc. considering this is the *Center of Langley City*. also, save us travel time and money going to a different township like the beautiful Walnut grove, Willowbrook & Willoughby areas just to access the bank.

Sincerely yours,

Christine S.

Marjury E.

(Paddington Station Residents/Owners)



MINUTES OF A REGULAR COUNCIL MEETING

Monday, July 24, 2017

7:00 p.m.

Council Chambers, Langley City Hall
20399 Douglas Crescent

Present: Mayor Schaffer
Councillor Arnold
Councillor Albrecht
Councillor Martin
Councillor Pachal
Councillor Storteboom
Councillor van den Broek

Staff Present: F. Cheung, Chief Administrative Officer
D. Leite, Director of Corporate Services
G. Minchuk, Director of Development Services and Economic Development
R. Bomhof, Director of Engineering, Parks and Environment
K. Hilton, Director of Recreation, Culture and Community Services
K. Kenney, Corporate Officer

1. **ADOPTION OF AGENDA**

- a. Adoption of the July 24, 2017 Regular Agenda

Motion #: 17/124

MOVED BY Councillor Martin

SECONDED BY Councillor van den Broek

THAT the July 24, 2017 agenda be adopted as amended to add Appointment of Corporate Officer under New/Unfinished Business as item number 6)a.1.

CARRIED

2. **ADOPTION OF THE MINUTES**

- a. Regular Meeting Minutes from July 10, 2017

Motion #: 17/125

MOVED BY Councillor Storteboom

SECONDED BY Councillor Albrecht

THAT the minutes of the regular meeting held on July 10, 2017 be adopted as circulated.

CARRIED

b. Public Hearing Minutes from July 10, 2017

Motion #: 17/126

MOVED BY Councillor Arnold

SECONDED BY Councillor Albrecht

THAT the minutes of the public hearing held on July 10, 2017 be adopted as circulated.

CARRIED

3. **MAYOR'S REPORT**

a. Upcoming Meetings

Regular Council Meeting – September 11, 2017

Regular Council Meeting – September 18, 2017

b. Metro Vancouver Update - Councillor Storteboom

Councillor Storteboom reported that there have been no meetings since the most recent regularly scheduled City Council Meeting however, he reported that the Dialogue on the Regional Prosperity Initiative planned for July 25 at the Langley Events Centre was cancelled, due to low registration.

He reminded Langley City residents of the current lawn sprinkling regulations, as posted on the Metro Vancouver and Langley City websites. Also, during this dry Summer weather, he encouraged residents to conserve water and be especially careful to prevent fires

c. Library Happenings - Councillor Martin

Library Renovations - Carpet replacement and shelving moves are scheduled to start Friday, July 21st, and will continue until the July 28, with painting, signage and furniture updates to come in August/September. The library will be open throughout.

Mad Science - Wednesday, August 2, 11:00 am – 11:45 am

Join the Mad Scientists and investigate the power of air with hot air balloons, vortex generators, and even a hovercraft. All ages welcome.

Critter Care Wildlife Society - Thursday, August 10, 3:00 – 4:00 pm

Learn about Critter Care Wildlife Society's competitive internship program and 30+ years of experience providing short and long-term care and rehabilitation to native mammals in need. Program open to all ages.

Kellie Haines - Monday, August 14, 11:00 am – 11:45 am

Ventriloquist Kellie Haines and her puppet friends Magrau the bird and Kamilla the frog. Enjoy stories, songs and dancing. All ages welcome.

Origami Workshop - Saturday, August 26, 1:30 pm – 2:30 pm

Learn the ancient paper folding art form, and create animals, lanterns and other shapes. Child-centred, but all ages are welcome.

4. BYLAWS

a. Bylaw 3023

Final reading of a bylaw to rezone the properties located at 5519-198th Street and 19782-55A Avenue from RS1 –Single Family Residential Zone to CD-48 Comprehensive Development Zone to accommodate a 17- unit townhouse development.

Motion #: 17/127

MOVED BY Councillor Martin

SECONDED BY Councillor Pachal

THAT the bylaw cited as "Zoning Bylaw 1996, No. 2100 Amendment No. 138, 2017, No. 3023" be read a final time.

CARRIED

1. Development Permit No. 06-17 - 5519 198th Street & 19782 55A Ave

Motion #: 17/128

MOVED BY Councillor Martin

SECONDED BY Councillor Storteboom

THAT Development Permit Application DP 06-17 to accommodate a 17-unit townhouse complex located at 19782-55A Avenue and 5519-198th Street be approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report.

CARRIED

b. Bylaw 3024

Final reading of a bylaw to authorize an Emergency Communication Services Agreement between The City of Langley and *Emergency Communications for British Columbia Incorporated*

Motion #: 17/128

MOVED BY Councillor Martin

SECONDED BY Councillor van den Broek

THAT the bylaw cited as "City of Langley Fire Rescue Service Emergency Communications Services Enabling Bylaw No. 3024" be read a final time.

CARRIED

5. ADMINISTRATIVE REPORTS

a. Travel & Expense Policy Amendment

Motion #: 17/129

MOVED BY Councillor Martin

SECONDED BY Councillor Storteboom

THAT City Council adopt the amended Travel and Expense Policy – GE-10.

CARRIED

b. Corporate Fitness Program

Motion #: 17/130

MOVED BY Councillor Albrecht

SECONDED BY Councillor Arnold

THAT City Council approve policy RE-18 Corporate Fitness Membership Program.

CARRIED

c. Community Grants

Motion #: 17/131

MOVED BY Councillor van den Broek

SECONDED BY Councillor Albrecht

THAT City Council endorse the recommendation of the Community Grant Committee to award community grants totalling \$21,658 to the following organizations;

Big Brothers Big Sisters of Langley	\$ 1,250.00
Boys and Girls Club of Langley	\$ 730.00
Children's Wish Foundation	\$ 1,000.00
Langley Animal Protection Society	\$ 3,500.00
Langley Baseball Association	\$ 5,000.00
Langley Community Services Society	\$ 1,378.00
Langley Division of Family Practise – Youth HUB	\$ 5,300.00
Langley School District Foundation – HD Stafford	\$ 2,200.00
Moving Forward Family Service	\$ 1,300.00
	\$ 21,658.00

CARRIED

6. NEW AND UNFINISHED BUSINESS

a. Motions/Notices of Motion

1. Appointment of Corporate Officer

Motion #: 17/132

MOVED BY Councillor Martin

SECONDED BY Councillor van den Broek

THAT the appointment of Carolyn Mushata (née Bonnick) as Corporate Officer and Head Coordinator, Freedom of Information and Protection of Privacy Act be rescinded;

AND THAT Kelly Kenney be appointed Corporate Officer and Head, Freedom of Information and Protection of Privacy Act.

CARRIED

b. Correspondence

c. New Business

7. ADJOURNMENT

MOVED BY Councillor Pachal

SECONDED BY Councillor van den Broek

THAT the meeting be adjourned at 7:12 pm.

CARRIED

MAYOR

CORPORATE OFFICER



MINUTES OF A SPECIAL COUNCIL MEETING

Thursday, August 10, 2017
5:00 p.m.
CKF Boardroom, Langley City Hall
20399 Douglas Crescent

Present: Mayor Schaffer
Councillor Arnold
Councillor Albrecht
Councillor Martin
Councillor Pachal
Councillor Storteboom

Staff Present: F. Cheung, Chief Administrative Officer
D. Leite, Director of Corporate Services
G. Minchuk, Director of Development Services and Economic Development

1. **ADOPTION OF AGENDA**

- a. Adoption of the August 10, 2017 Special Agenda

Motion #: 17/133

MOVED BY Councillor Arnold

SECONDED BY Councillor Storteboom

THAT the agenda of the August 10, 2017 Special Meeting be adopted.

CARRIED

2. **NEW AND UNFINISHED BUSINESS**

- a. Motions / Notices of Motion

1. FCM Resolution: Remediation Standards for Properties Used For Drug Related Activities

Motion #: 17/134

MOVED BY Councillor Pachal

SECONDED BY Councillor Albrecht

THAT the previously adopted motion from the December 5, 2016 regular council meeting:

WHEREAS, residential and commercial properties are being used for agricultural and drug manufacturing purposes,

WHEREAS, the aftermath of these activities can result in buildings that are not healthy for human habitation and uncertain for value,

WHEREAS, there is a need for health and safety standards to be established for former marijuana grow operations and clandestine drug laboratories in order for these properties to be restored to acceptable occupancy,

THEREFORE, BE IT RESOLVED THAT the Federation of Canadian Municipalities (FCM) petition the government of Canada to establish a comprehensive standard of remediation for residential and commercial properties affected by the cultivation of agriculture and/or the manufacture of drugs, whether legal or illegal, to acceptable health and safety standards for reoccupation by residents and the protection of investors and underwriters.

be amended by striking:

“the cultivation of agriculture and/or” from the fourth paragraph between “affected by” and “manufacture of drugs”.

BEFORE THE QUESTION WAS CALLED

Discussion ensued about the removal of ‘the cultivation of agriculture and/or’ from the resolution. Council believes that there are merits of keeping this in the resolution but they are willing to accept the change to move this resolution forward to the FCM for consideration.

THE QUESTION WAS CALLED and same was

CARRIED

3. **ADJOURNMENT**

MOVED BY Councillor Storteboom

SECONDED BY Councillor Arnold

THAT the meeting adjourn at 5:20pm

CARRIED

MAYOR

CHIEF ADMINISTRATIVE OFFICER



CITY OF LANGLEY
"The Place to Be!"

MOTION

THAT Development Permit Application DP 07-17 to accommodate the addition of a 372 m² (4,000 ft²) *Scotiabank* commercial building to an existing shopping centre at 20151 Fraser Highway be approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report.



ADVISORY PLANNING COMMISSION REPORT

To: **Advisory Planning Commission**

Subject **Development Permit Application DP 07-17**

From: Development Services & Economic Development
Department

File #: 6630.00

Doc #:

Date: July 18, 2017

COMMITTEE RECOMMENDATION:

That Development Permit Application DP 07-17 to accommodate the addition of a 372 m² (4,000 ft²) *Scotiabank* commercial building to an existing shopping centre at 20151 Fraser Highway be approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report.

PURPOSE OF REPORT:

To consider the addition of a 372 m² (4,000 ft²) *Scotiabank* commercial building to an existing shopping centre at 20151 Fraser Highway.

POLICY:

The subject property is currently zoned C1 Downtown Commercial Zone and designated Downtown Commercial in the Official Community Plan. As such, the application is subject to the Downtown Master Plan Design Guidelines.

COMMENTS/ANALYSIS:

Background Information:

Owner:	RMA Properties (Valley Centre Ltd.)
Civic Address:	20151 Fraser Highway
Legal Description:	Lots 1 and 2, District Lot 309, Group 2, New Westminster District, Plan 67569
Site Area:	2.013 Hectares (4.975 acres)
Gross Floor Area:	
Existing:	7,449 m ² (80,179 ft ²)
Proposed:	372 m ² (4,000 ft ²)
Total:	7,821 m ² (84,179 ft ²)
Lot Coverage:	38.8 %
Floor Area Ratio:	0.388
Parking Required:	257 spaces (includes 13 h/c)
Parking Provided:	361 spaces* (includes 13 h/c) *Total includes 68 spaces on Lot 3
Height:	5.6 m (18.4 feet)
Exterior Finishes:	Brick, composite tile, aluminum window frames
Current Zoning:	C1 Downtown Commercial Zone
OCP Designation:	Downtown Commercial (DC)
Downtown Master Plan:	Neighbourhood Shopping Centre
DCC's:	\$30,576 (City: \$27,332, GVSD: \$3,244)

Engineering Requirements:

Additional design changes may be required upon further investigation, site inspections and receipt of other supporting reports and documents. All work to be done to the City of Langley Subdivision and Development Bylaw, Standard Specifications & MMCD Standards.

A) The developer is responsible for the following work which shall be designed and approved by a Professional Engineer:

1. Implement erosion and sediment control measures designed and approved by a qualified professional in accordance with the City of Langley Watercourse Protection Bylaw #2518.
2. Conduct a water flow test and provide fire flow calculations by a Professional Engineer to determine if the existing water network is adequate for fire flows. Replacement of the existing watermain may be necessary to achieve the necessary pressure and flows to conform to Fire Underwriters Survey (FUS) "Water Supply for a Public Fire Protection, a Guide to Recommended Practice, 1995".
3. Fraser Highway and 201A St are classified in the Downtown Langley Master Plan as being within the Downtown Realm of Influence. Streetscape improvements, as per the Master Plan, are required along Fraser Highway and shall include replacement of post top lighting, new sidewalk, landscaping and undergrounding of overhead hydro and telephone. Street trees shall be assessed to determine whether they should be replaced or retained.
4. The condition of the existing pavement on Fraser Highway and 201A St. shall be assessed by a geotechnical engineer. Pavements shall be adequate for an expected road life of 20 years under the expected traffic conditions for the class of road. Road construction and asphalt overlay designs shall be based on the analysis of the results of Benkelman Beam tests and test holes carried out on the existing road which is to be upgraded. If the pavement is inadequate it shall be remediated, at developer's cost.
5. Installation of concrete median along Fraser Highway and entrance to development is required in order to prevent the restricted left-turn movement.
6. New water, sanitary and storm sewer service connections are required. The developer's engineer will determine the appropriate main tie in locations and size the connections for the necessary capacity. The capacity of the existing water and sewer mains should be assessed and any upgrades required to service the site shall be designed and installed at the Developer's expense. All existing services shall be capped at the main, at the Developer's expense.
7. A stormwater management plan for the site is required. Rainwater management measures used on site shall limit the release rate to mitigate flooding and environmental impacts as detailed in the Subdivision and Development Bylaw.

8. The site layout shall be designed by a civil engineer to ensure that the parking and access layout meets design standards, including setbacks from property lines. Appropriate turning templates should be used to prove parking stalls and drive-aisles are accessible by the design vehicle.
9. A traffic impact study shall be undertaken and all recommendations implemented at the developer's cost.

B) The developer is required to deposit the following bonding and connection fees:

1. A Security Deposit of 110% of the estimated offsite works construction costs of installing civil works, as approved by the Director of Engineering, Parks and Environment.
2. Inspection and administration fees in accordance to the Subdivision Bylaw based on a percentage of the estimated construction costs. (See Schedule A – General Requirement - GR5.1 for details).
3. A deposit for a storm, sanitary and water connection is required, which will be determined after detailed civil engineering drawings are submitted, sealed by a Professional Engineer.
4. A \$20,000 bond for the installation of a water meter to current standards

C) The developer is required to adhere to the following conditions:

1. Underground hydro and telephone, and cable services to the development site are required.
2. All survey costs and registration of documents with the Land Titles Office are the responsibility of the developer/owner.
3. A water meter is required to be installed outside in a vault away from any structures in accordance to the City's water meter specifications at the developer's cost. A double detector check valve assembly is required to be installed outside away from any structure in a vault as per the City's specifications.
4. An approved backflow prevention assembly must be installed on the domestic water connection immediately upon entering the building to provide premise isolation.
5. A "Stormceptor" or equivalent oil separator is required to treat site surface drainage.
6. A Grease interceptor will be required prior to discharging into sanitary sewer as per Metro Vancouver bylaw #268 (2012).

7. A complete set of “as-built” drawings sealed by a Professional Engineer shall be submitted to the City after completion of the works. Digital drawing files in .pdf and .dwg format shall also be submitted.
8. Stormwater run-off generated on the site shall not impact adjacent properties, or roadways.
9. Garbage and recycling enclosures shall be designed to meet Metro Vancouver’s “Technical Specifications for Recycling and Garbage Amenities in Multi-family and Commercial Developments - June 2015 Update”.

Development Services Comments:

The proposed development would add a 372 m² (4,000 ft²) free-standing *Scotiabank* commercial building along the Fraser Highway frontage of the Valley Centre shopping complex. The tenant of proposed Building “E” is *Scotiabank*. The single storey building is designed to complement the existing shopping centre and orients its unit entrances to the parking lot on the west building elevation. This is the first new building addition to the shopping centre since Building “D” (Starbuck’s coffee shop and drive-through) in 2004. The proposed addition helps to frame the Fraser Highway frontage of the site, contributing a more urban streetscape along this gateway to the downtown core.

In addition to the new building, minor changes to parking lot layout and circulation are also proposed in accordance with the recommendations of a traffic impact study. The proposed changes reduce traffic conflicts and improve safety.

The applicant engaged a qualified CPTED (Crime Prevention Through Environmental Design) consultant to review the proposed development. The plans submitted reflect the recommendations of the CPTED report.

The proposed development complies with the C1 Downtown Commercial zoning and is generally consistent with the Downtown Master Plan (Neighbourhood Shopping Centre district).

Fire Department Comments:

Langley City Fire-Rescue Service has reviewed the attached plans and provided preliminary comments to the applicant. The department will review, and make further comment, as the project continues to the building permit design stage.

Advisory Planning Commission:

In accordance with Development Application Procedures Bylaw No. 2488, the subject applications will be reviewed by the Advisory Planning Commission at the August 9, 2017 meeting. A copy of the APC minutes will be presented to Langley City Council at the September 11, 2017 Regular Council meeting.

BUDGET IMPLICATIONS:

The proposed development would contribute \$27,332.00 to City Development Cost Charge accounts.

ALTERNATIVES:

1. Require changes to the applicant's proposal.

Prepared by:

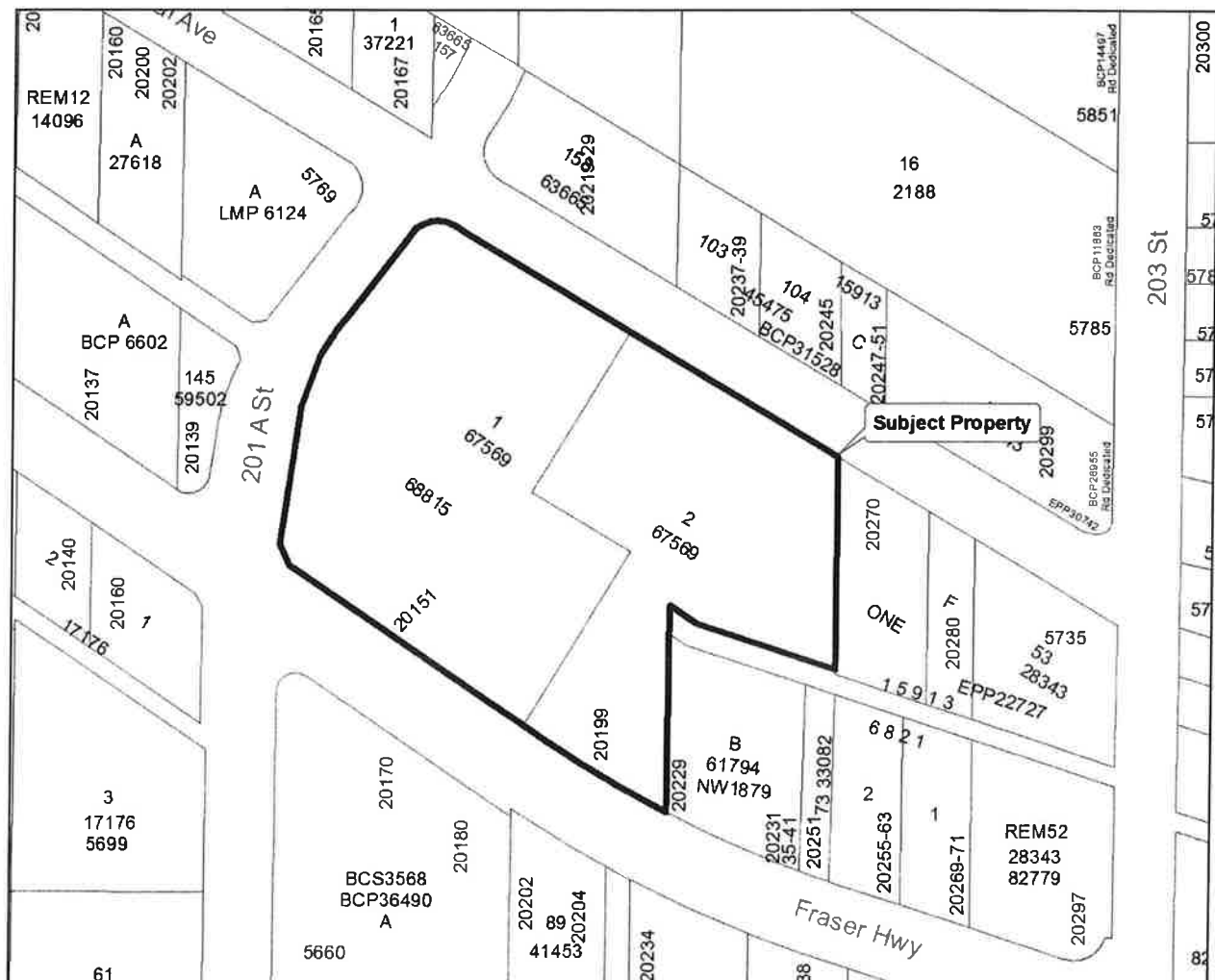


Gerald Minchuk, MCIP, RPP
Director of Development Services & Economic Development

attachments



Civic Address: 20151 Fraser Highway
Legal Description: Lots 1 and 2, District Lot 309, Group 2, New Westminster District, Plan 67569
Owner: RMA Properties (Valley Centre Ltd.)
Applicant: Urban Design Group Architects Ltd.





PROPOSED BUILDING E - VALLEY CENTRE

20151,20199 FRASER HWY., CITY OF LANGLEY, BC.
For HEADWATER PROJECTS

1	1/1/2017	COVER FOR SET
2	1/1/2017	COVER FOR SET
3	1/1/2017	COVER FOR SET
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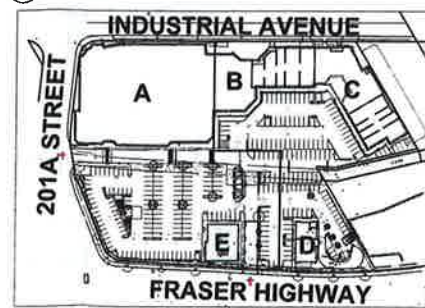


PROPOSED BUILDING E - VALLEY CENTRE
20151,20199 FRASER HWY., CITY OF LANGLEY, BC
For HEADWATER PROJECTS

SITE KEY PLAN & AERIAL MAP



AERIAL PLAN
SCALE: N.T.S.



SITE KEY PLAN
SCALE: N.T.S.

CONTACT LIST

OWNER	HEADWATER PROJECTS INC. 1150-1201 W. Highway 10 Vancouver, BC V6E 0C3 Phone: 604-895-3020 Fax: 604-895-3294 Email: mark@headwaterprojects.ca
ARCHITECT	URBAN DESIGN GROUP ARCHITECTS LTD. P. Fariba Gharaei, Architect A.C.C. Alicia Vandenbrouck, Project Mgr. 1150-1201 W. Highway 10 Vancouver, BC V6E 0C3 Phone: 604-895-3294 Fax: 604-895-3294 Email: fariba@urban-design.ca
LANDSCAPE ARCHITECT	EDWARD TUCKER & ASSOCIATES LANDSCAPE ARCHITECTS INC. Garry Tucker, Principal 1150 West 2nd Avenue Vancouver, BC V6B 1A4 Phone: 604-683-1456 Fax: 604-683-1459 Email: gary@etucker.ca
SECURITY CONSULTANT	LAURICA SECURITY CONSULTING INC. P.O. Box 88, 141 St. B.C. V6R 2P9 Phone: 780-743-8949 Fax: 780-743-8949 Email: laurica@lauricasecurity.com
TRAFFIC CONSULTANT	CTS CREATIVE TRANSPORTATION SOLUTIONS LTD. Garry Vong, P.E.C., P.E.Ng. 844 Moody Street, Fort Moody, B.C. V5M 2P5 Phone: 604-536-6750 Fax: 604-536-6775 Email: gary@cts-cts.com

DRAWING LIST

ARCHITECTURAL	
A-0.0	COVER SHEET
A-1.1	OVERALL SITE PLAN
A-1.2	ENLARGED SITE PLAN
A-E-2.1	FLOOR & ROOF PLAN
A-E-3.1	EXTERIOR ELEVATIONS
A-E-3.2	COLOUR ELEVATIONS
A-E-3.3	RENDERINGS
A-E-3.4	MATERIALS AND FINISHES
A-E-3.5	EXIST. AND PROP. STREETScape
A-E-3.6	SIGNAGE
A-E-4.1	BUILDING SECTIONS
LANDSCAPE	
L-1.0	COVERSHEET
L-1.0	CONTEXT PLAN
L-2.0	LANDSCAPE SITE PLAN
L-3.0	LANDSCAPE DETAILS
CIVIL	
SW-G	SITE GRADING PLAN
SW-S	SERVICING PLAN

PROJECT INFORMATION

GENERAL NOTE:
All work shall conform with the BC Building Code 2012. It is the responsibility of the General Contractor to check and verify all dimensions and details before proceeding with construction. Discrepancies found on these plans should be brought to the attention of the Architect prior to work commencing.
CIVIC ADDRESS
20151, 20199 FRASER HWY, CITY OF LANGLEY, BC
LEGAL DESCRIPTION
LOT 1 AND 2 OF D.L. 300 GROUP 2, PLAN 67569 NWD
ZONING
C1 (DOWNTOWN COMMERCIAL ZONE)
DEVELOPMENT PERMIT APPLICATION FOR:
ONE-STORY COMMERCIAL BUILDING AND SITEWORKS

urban design group
architects ltd
420-745 THURLOW ST
VANCOUVER, BC V6C 0S5
TELEPHONE: 604-687-2334

Project number: **4658**
Sheet title: **COVER SHEET**

Scale: **AS NOTED**
Drawn: **CC, J.B.**
Checked: **U.A.**



1 WEST ELEVATION
A-E SCALE: 3/16" = 1'-0"



2 SOUTH ELEVATION
A-E SCALE: 3/16" = 1'-0"



4 NORTH ELEVATION
A-E SCALE: 3/16" = 1'-0"



3 EAST ELEVATION
A-E SCALE: 3/16" = 1'-0"

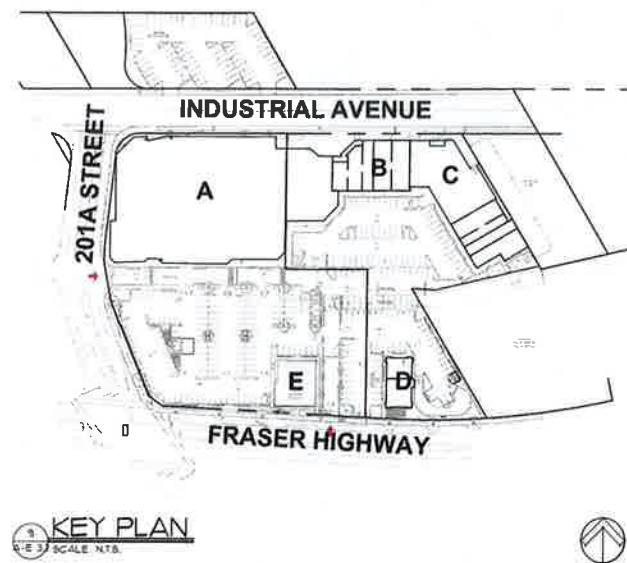
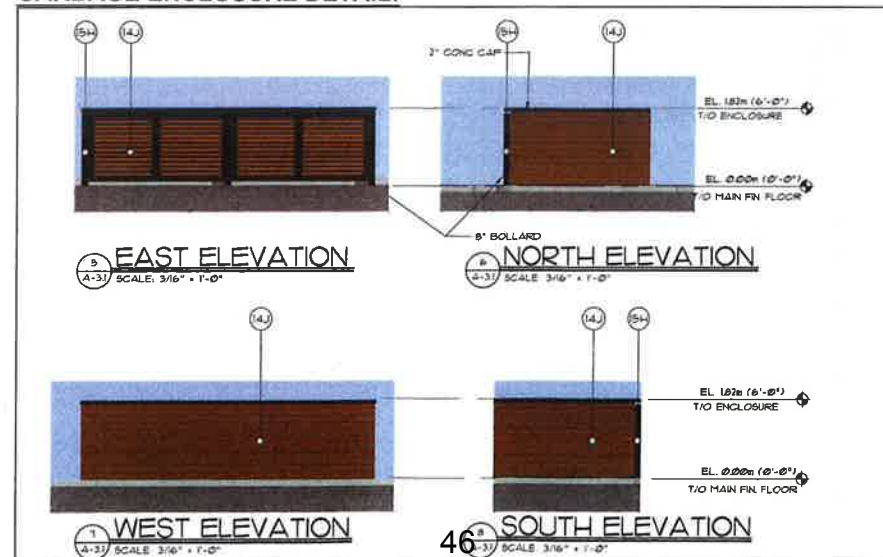
EXTERIOR MATERIALS:

1	ALUCOBOND COMPOSITE TILE MITSUBISHI CHEMICAL - POLISHED
2	ALUCOBOND COMPOSITE TILE ALPOLIC MITSUBISHI CHEMICAL
3	BRAMPTON BRICK - JUMBO METRIC
4	SHOULDICE DESIGNER STONE - TAPESTRY FINISH
5	GLAZE SPANDREL PANELS IN ALUMINUM FRAMING SHADED
6	FIXED, SEALED LOW-E DOUBLE GLAZED WINDOW WITH THERMALLY BROKEN ALUMINUM FRAMES
7	SHOULDICE DESIGNER STONE SUPER SILL 874 SLOPED - TAPESTRY FINISH
8	ILLUMINATED 8" LOGO
9	ILLUMINATED INDIVIDUAL LETTERS & LOGO
10	EIFS
11	PRE-FINISHED METAL FLASHING
12	FIXED, SEALED LOW-E DOUBLE GLAZED THERMALLY BROKEN STOREFRONT AND DOOR WITH ALUMINUM FRAME
13	BACK DOOR WITH GLAZE SPANDREL PANEL SHADED IN CLEAR ANODIZED ALUMINUM FRAMING
14	HARDPLANK LAP SIDING
15	CONCRETE-FILLED STEEL PIPE BOLLARD

EXTERIOR COLOURS:

A	SCOTIA RED #48R35
B	PICA PNC #4PNC35
C	GRAY VELOUR
D	PEARL WHITE
E	ACTION GREY #P3-015P FROM PRELCO OFACI COAT - 300
F	BLACK
G	CLEAR GL-250
H	CLEAR ANODIZED ALUMINUM FRAME
I	2133-10 ONT-X BENJAMIN MOORE
J	CHESTNUT BROWN

GARBAGE ENCLOSURE DETAIL:

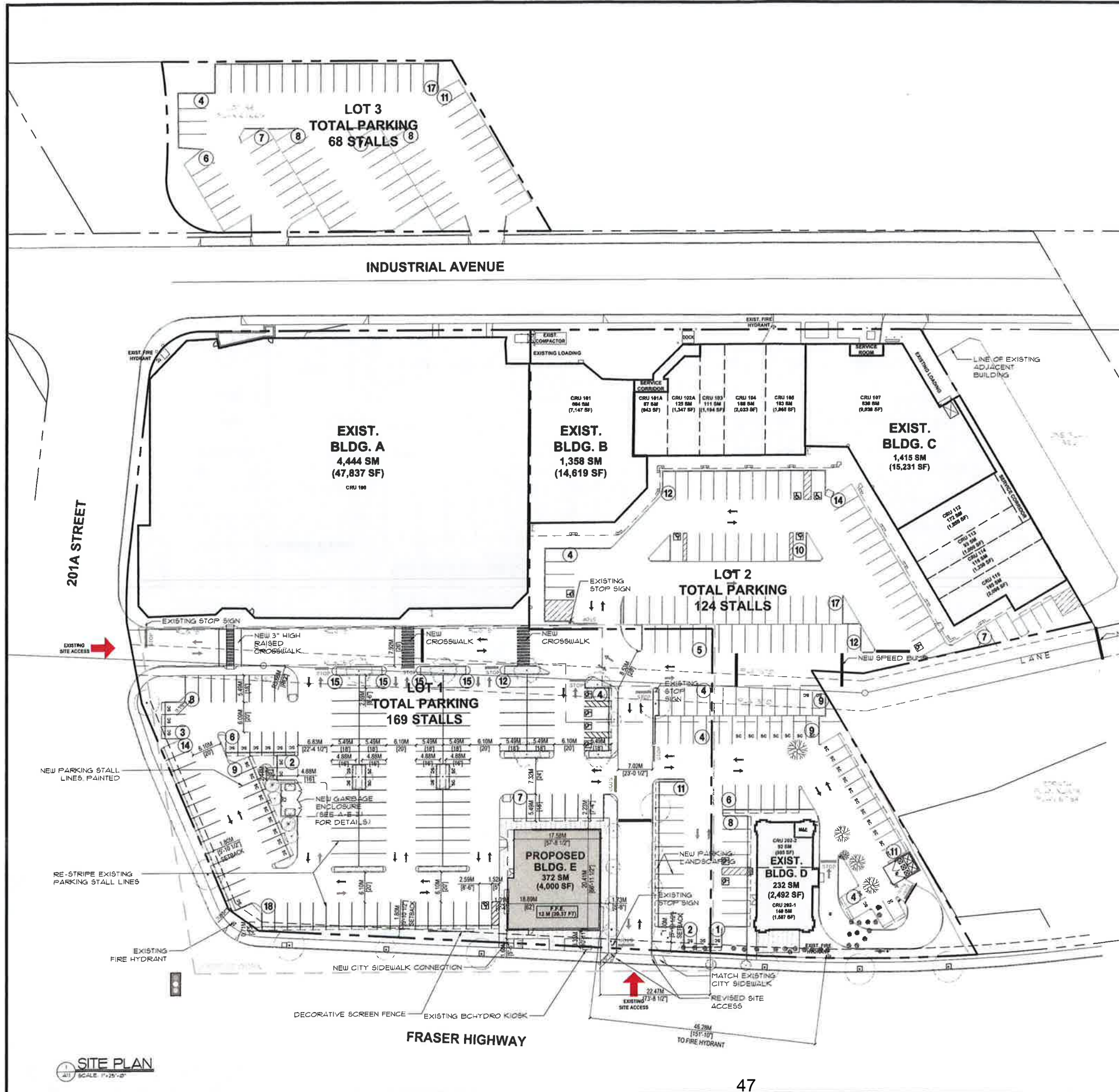


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REGISTERED ARCHITECT
FARIBA GHARAEI
JUL 14 2017
BRITISH COLUMBIA

PROPOSED BUILDING E-VALLEY CENTRE
20151, 20199 FRASER HWY., CITY OF LANGLEY, BC
For HEADWATER PROJECTS

urban design architects ltd
420-745 THURLOW ST
VANCOUVER, BC V6E 0J5
TELEPHONE 604-687-2334
Project Number: 40888
Sheet: 102
COLOUR ELEVATIONS
Scale: AS NOTED
Date: 07/14/2017
Author: JFG
Checker: JFG



AERIAL PLAN
SCALE: NTS

SITE INFORMATION:

LEGAL DESCRIPTION:	LOT 1 AND 2 OF D.L. 309 GROUP 2, PLAN 67569 NWD
CIVIC ADDRESS:	20151, 20199 FRASER HWY., CITY OF LANGLEY, BC
EXISTING ZONING:	C1 (DOWNTOWN COMMERCIAL ZONE)
LOT AREA (LOTS 1 & 2 ONLY):	20,133 SM
BUILDING AREA (G.F.A.):	7,821 SM
LOT COVERAGE (MAX 95%):	7,821 SM / 20,133 SM x 100 = 38.8%
FLOOR AREA RATIO:	7,821 SM / 20,133 SM = 0.388

GROSS FLOOR AREAS:

EXISTING BUILDING AREAS:	
BUILDING A (SAVE ON FOODS):	4,444 SM (47,837 SF)
BUILDING B (LIQUOR STORE & CRU'S):	1,358 SM (14,619 SF)
BUILDING C (SHOPPER'S DRUG MART & CRU'S):	1,415 SM (15,231 SF)
BUILDING D (STARBUCK'S & CASH MONEY):	232 SM (2,492 SF)
TOTAL EXISTING BUILDING AREA =	7,449 SM (80,179 SF)

PROPOSED BUILDING AREAS:	
BUILDING E (GENERAL/FINANCIAL SERVICE):	372 SM (4,000 SF)
TOTAL PROPOSED BUILDING AREA =	7,821 SM (84,179 SF)

PARKING REQUIREMENTS:

TOTAL PARKING REQUIRED:	257 STALLS
TOTAL PARKING PROVIDED:	
LOT 1 (ON SITE):	169 STALLS
LOT 2 (ON SITE):	124 STALLS
LOT 3 (OFF SITE):	68 STALLS
TOTAL PARKING:	361 STALLS
PARKING RATIO:	4.61 / 100 SM & 4.28 / 1,000 SF
PARKING PROVD BREAKDOWN:	
REGULAR STALLS	= 286
HANDICAPPED STALLS	= 13
SMALL CAR STALLS	= 56 (15.51%)
BICYCLE RACKS	= 4 (x5) = 20

PARKING REQUIREMENTS & CALCULATIONS:

RETAIL STORE, GENERAL SERVICES, EATING ESTABLISHMENT
= 3 PER 93 SM (1,001.07 SF) G.F.A.
*MUST ROUND UPWARDS.
REQUIRED: 7,821 SM / 93 SM x 3 = 252.29 - 253 STALLS (MIN 13 HC, MAX 102 SC)

BICYCLE REQUIREMENTS & CALCULATIONS:

RETAIL STORE, GENERAL SERVICES, EATING ESTABLISHMENT
= 1 PER 500 SM (5,381.36 SF) G.F.A.
*MUST ROUND UPWARDS.
REQUIRED: 7,821 SM / 500 SM x 1 = 15.64 - 16 BICYCLE PARKING STALLS

PARKING SIZES:

REGULAR CAR STALL	2.6m (8'-6") x 5.5m (18'-0")
HANDICAP CAR STALL (MIN. 5% OF REQ'D)	3.7m (12'-0") x 5.5m (18'-0")
SMALL CAR STALL (MAX 40% OF REQ'D)	2.5m (8'-0") x 4.9m (16'-0")
LOADING SPACE	3.0m (9'-10") x 9.0m (29'-5")
MANOEUVERING AISLE	6.0m (20'-0")

*ADD 0.6m (2'-0") TO ANY PARKING STALL ADJACENT TO A FENCE, WALL, STRUCTURE

SITE PLAN AVERAGE GRADE = 11.82M (38.78FT)

GENERAL NOTE:

BOUNDARIES SHOWN HEREON ARE DERIVED FROM EXISTING RECORDS AND MUST BE CONFIRMED BY SURVEY PRIOR TO THE DETERMINATION OF DIMENSIONS OR AREAS FOR DEVELOPMENT PURPOSES



PROPOSED BUILDING E - VALLEY CENTRE
20151, 20199 FRASER HWY., CITY OF LANGLEY, BC
For HEADWATER PROJECTS



420 - 745 THURLOW ST
VANCOUVER, BC V6C 0S5
TELEPHONE: 604-667-2334

project number **4656**

sheet 106

OVERALL SITE PLAN

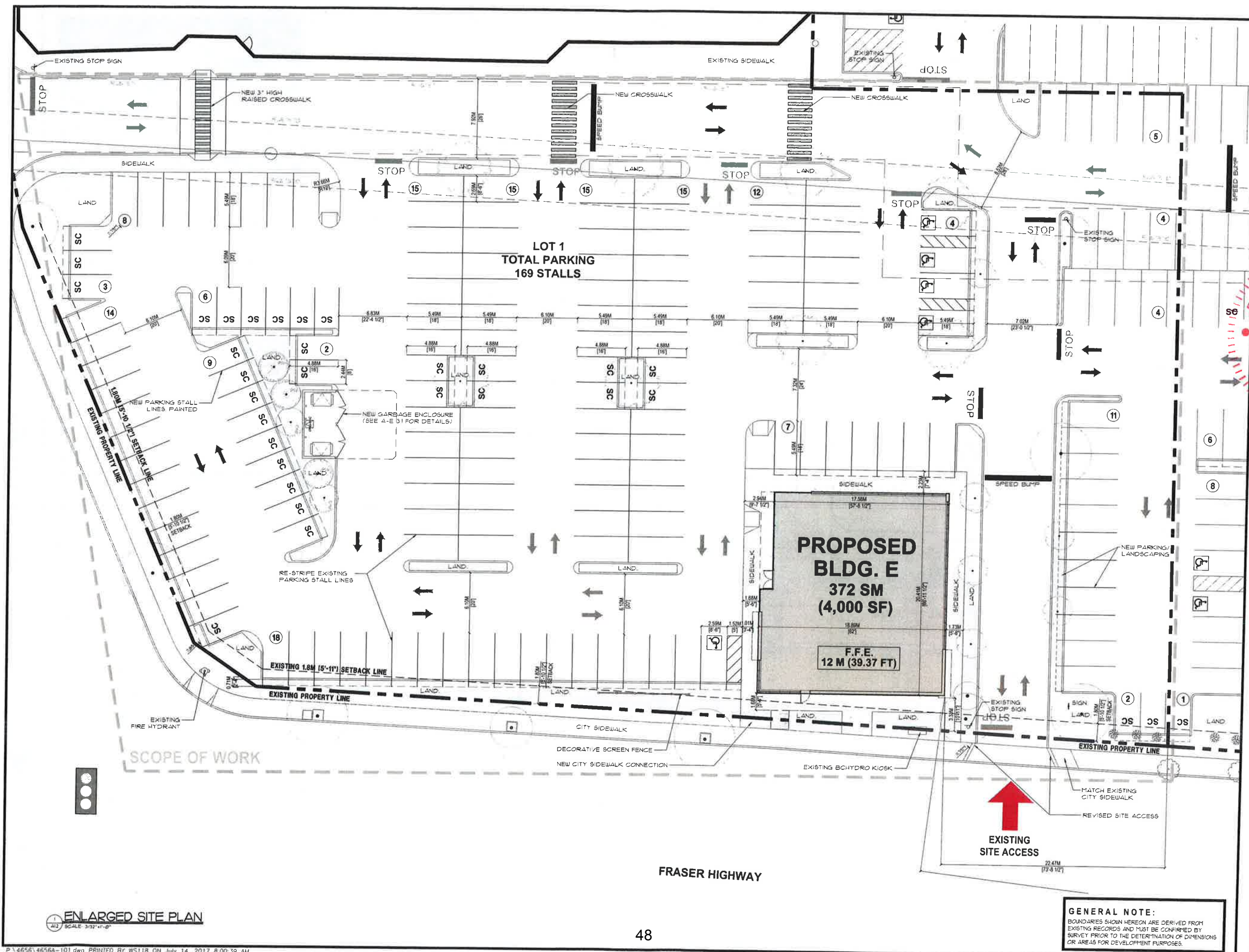
date 2017-04-29 sheet number

scale AS NOTED

drawn M.DOC/M

checked M

A1.1



ENLARGED SITE PLAN
SCALE: 3/32" = 1'-0"

GENERAL NOTE:
BOUNDARIES SHOWN HEREON ARE DERIVED FROM EXISTING RECORDS AND MUST BE CONFIRMED BY SURVEY PRIOR TO THE DETERMINATION OF DIMENSIONS OR AREAS FOR DEVELOPMENT PURPOSES.

REGISTERED ARCHITECT
FARIBA GHARAEI
JUL 14 2017
BRITISH COLUMBIA

PROPOSED BUILDING E - VALLEY CENTRE
20151, 20199 FRASER HWY., CITY OF LANGLEY, BC
For HEADWATER PROJECTS

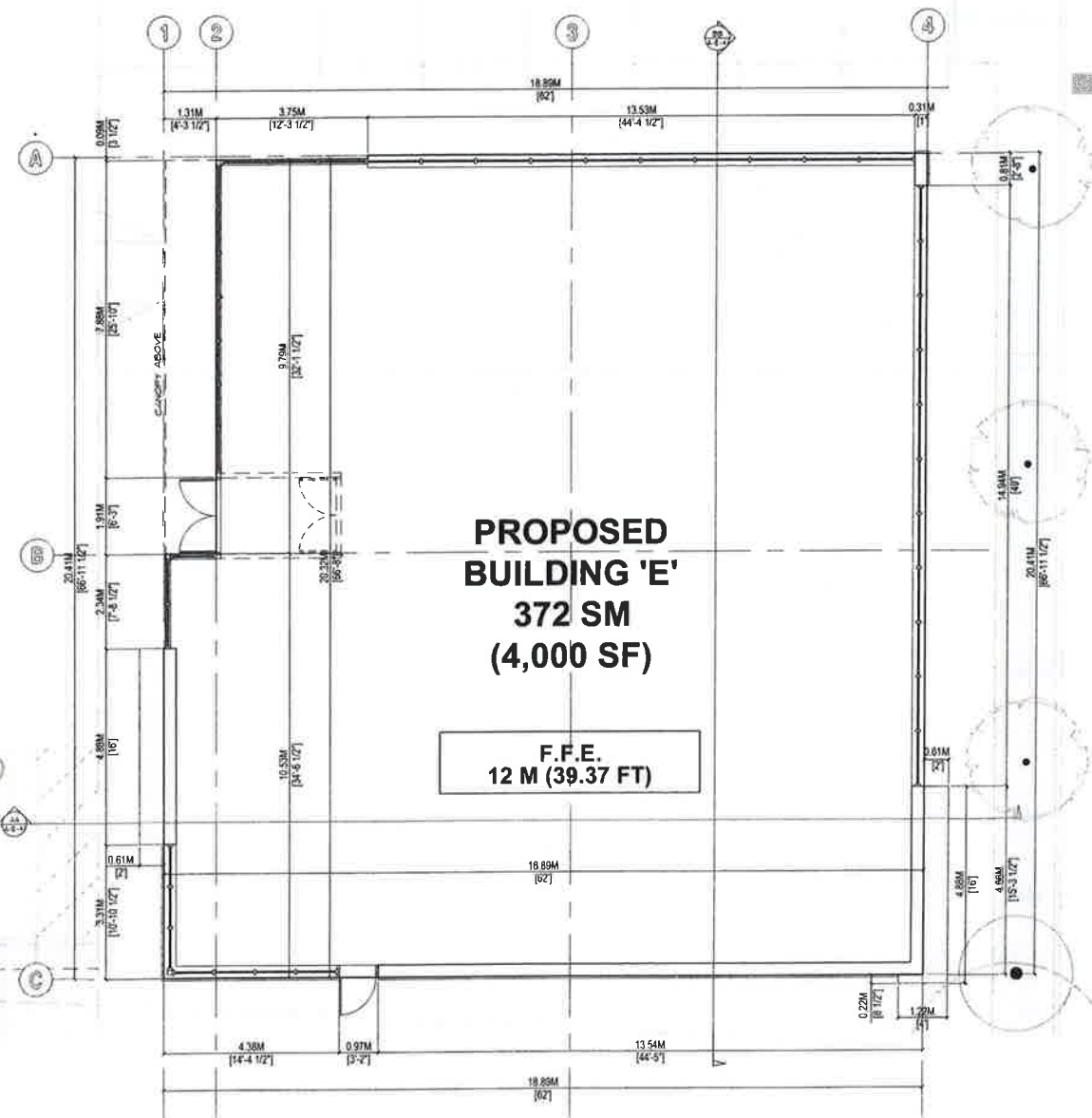
urban
design
goop
architects ltd.

420 - 745 THURLOW ST
VANCOUVER, BC V6C 0C5
TELEPHONE (604) 687-2334

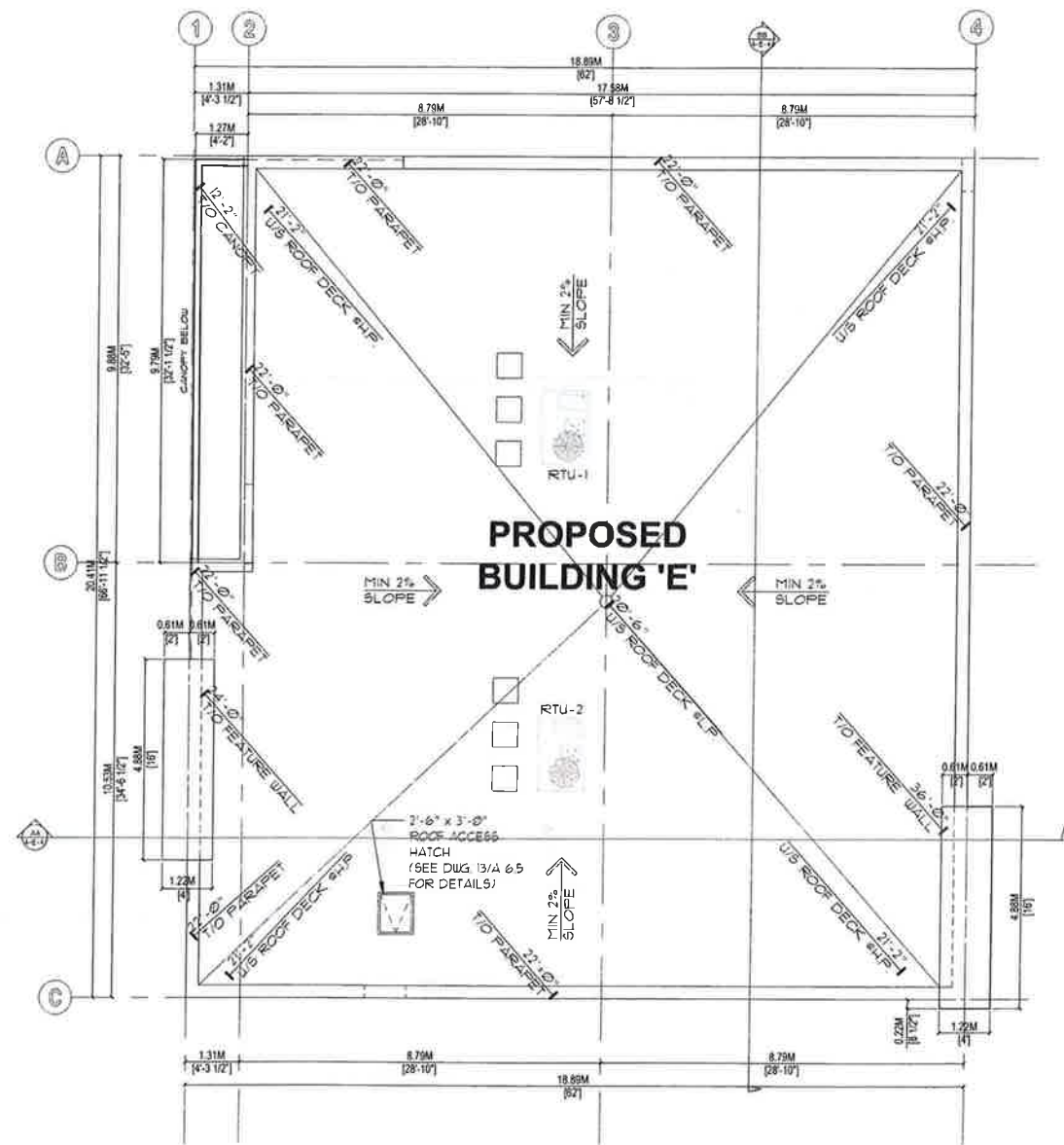
project number **4056**

Sheet No. **ENLARGED SITE PLAN**

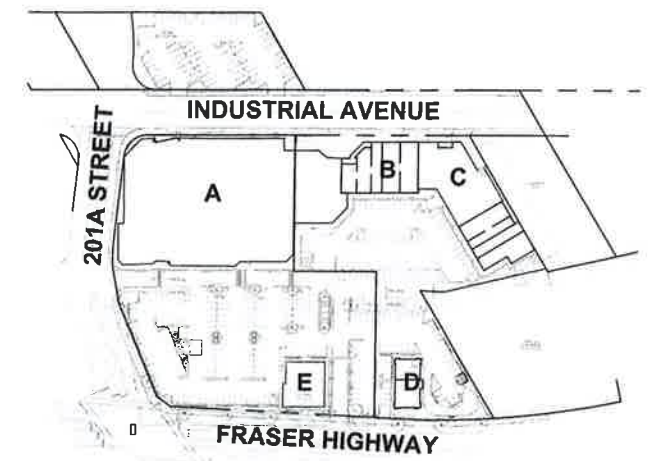
date 2017-04-21 sheet number
title AS NOTED
size 11x17.5
drawing **A1.2**



FLOOR PLAN
421 SCALE 3/16" = 1'-0"



ROOF PLAN
422 SCALE 3/16" = 1'-0"



PROPOSED BUILDING E - VALLEY CENTRE
20151, 20199 FRASER HWY., CITY OF LANGLEY, BC
For HEADWATER PROJECTS

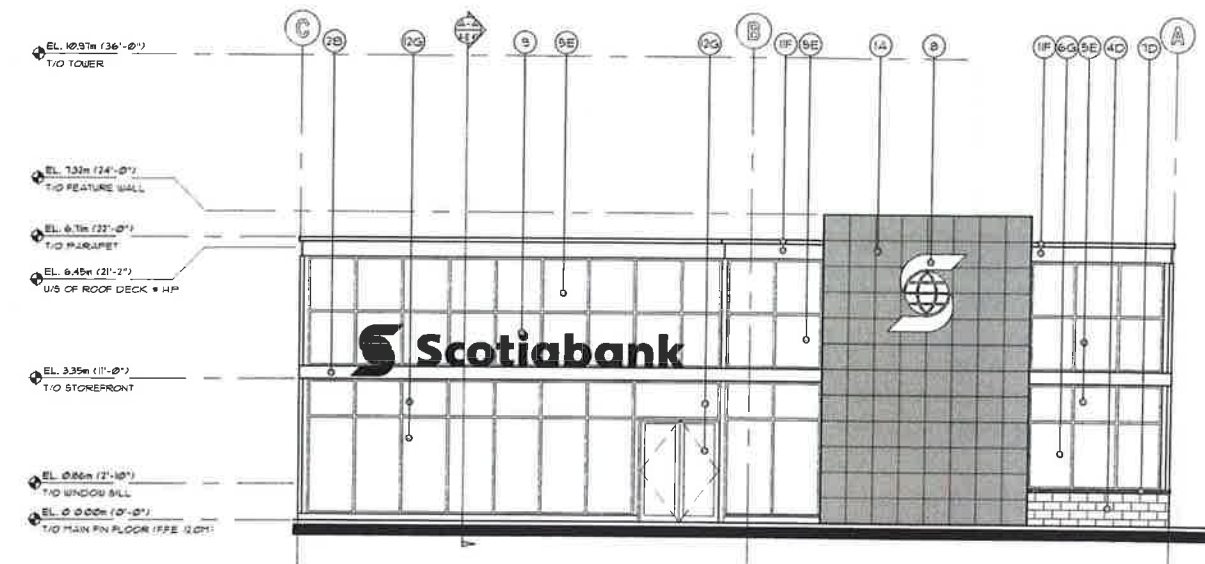


420-745 THURLOW ST
VANCOUVER, BC V6E0S5
TELEPHONE 604-687-2394

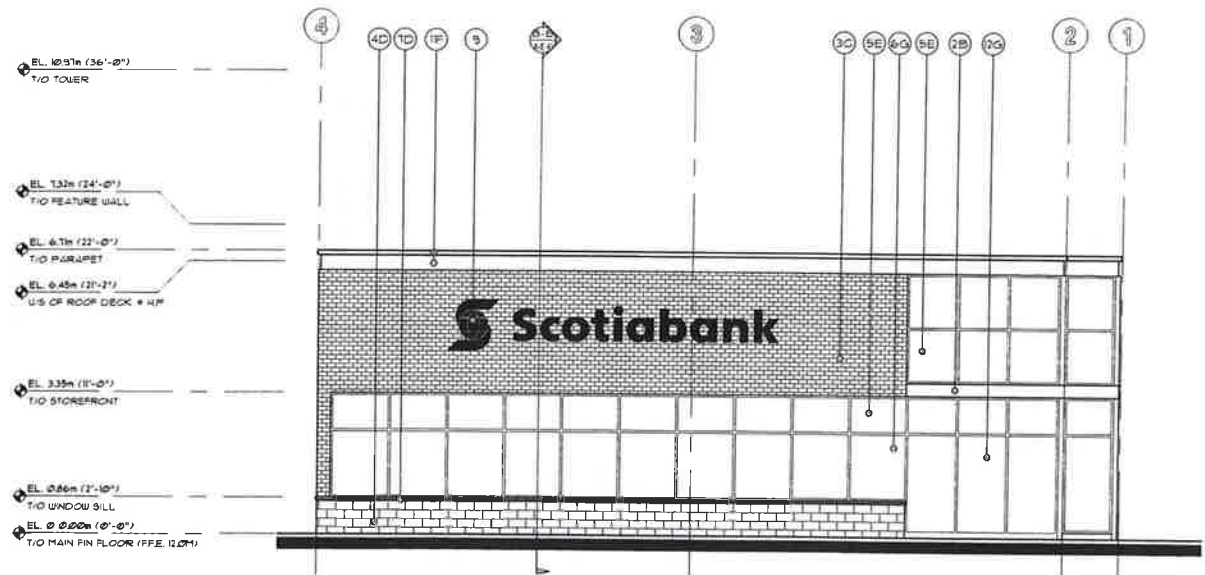
Project Number **4055**
Sheet Title

FLOOR & ROOF PLAN

REV	DATE	BY	CHKD	APP'D	DESCRIPTION
001	11/11/17	AL	AL	AL	ISSUED FOR PERMIT
002	11/11/17	AL	AL	AL	ISSUED FOR PERMIT
003	11/11/17	AL	AL	AL	ISSUED FOR PERMIT
004	11/11/17	AL	AL	AL	ISSUED FOR PERMIT
005	11/11/17	AL	AL	AL	ISSUED FOR PERMIT



1 WEST ELEVATION
A-E SCALE 3/16" = 1'-0"



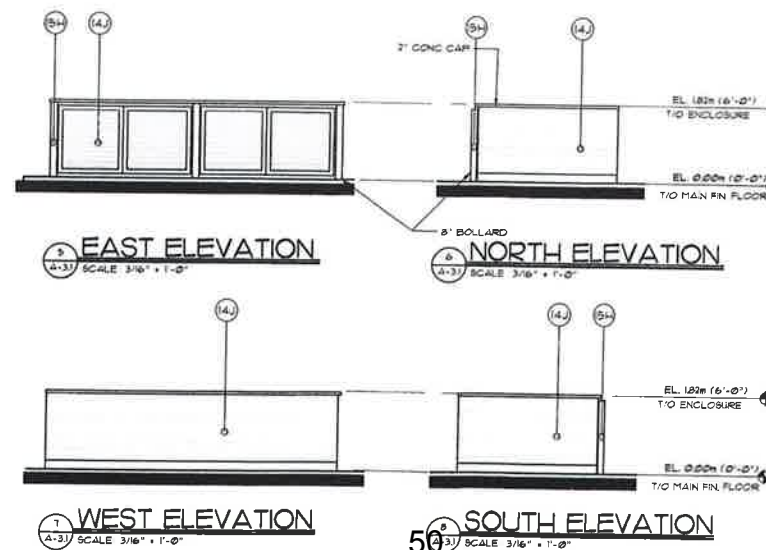
4 NORTH ELEVATION
A-E SCALE 3/16" = 1'-0"

EXTERIOR MATERIALS

1	ALUCOBOND COMPOSITE TILE MITSUBISHI CHEMICAL - POLISHED
2	ALUCOBOND COMPOSITE TILE ALPOLIC MITSUBISHI CHEMICAL
3	BRAMPTON BRICK - JUMBO METRIC
4	SHOULDICE DESIGNER STONE - TAPESTRY FINISH
5	GLAZE SPANDREL PANELS IN ALUMINUM FRAMING SHADED
6	FIXED SEALED LOW-E DOUBLE GLAZED WINDOW WITH THERMALLY BROKEN ALUMINUM FRAMES
7	SHOULDICE DESIGNER STONE SUPER SILL 824 SLOPED - TAPESTRY FINISH
8	ILLUMINATED 6" LOGO
9	ILLUMINATED INDIVIDUAL LETTERS & LOGO
10	EF5
11	PRE-FINISHED METAL FLASHING
12	FIXED SEALED LOW-E DOUBLE GLAZED THERMALLY BROKEN STOREFRONT AND DOOR WITH ALUMINUM FRAME
13	BLACK DOOR WITH GLAZE SPANDREL PANEL SHADED IN CLEAR ANODIZED ALUMINUM FRAMING
14	HARDPLANK LAP SIDING
15	CONCRETE-FILLED STEEL PIPE BOLLARD

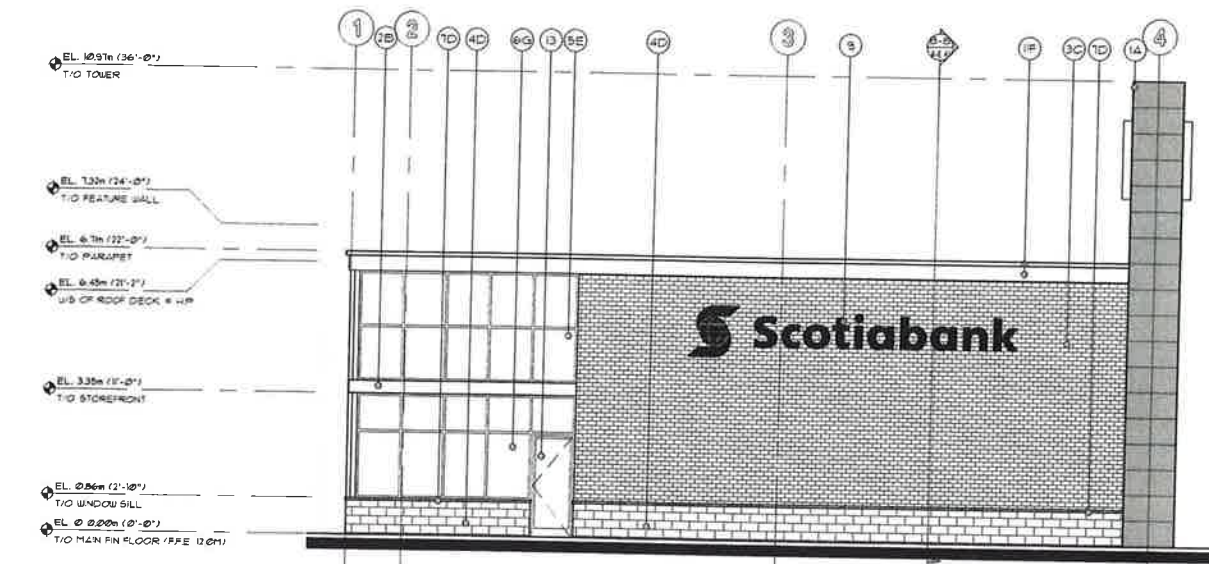
EXTERIOR COLOURS

A	SCOTIA RED MSTR35
B	MICA PINK M4M35
C	GRAY VELOUR
D	PEARL WHITE
E	ACTION GREY TP3-013P FROM PRELO OFACI COAT - 300
F	BLACK
G	CLEAR GLASS CLEAR ANODIZED ALUMINUM FRAME
H	213-10 ONYX BENJAMIN MOORE
J	CHESTNUT BROWN

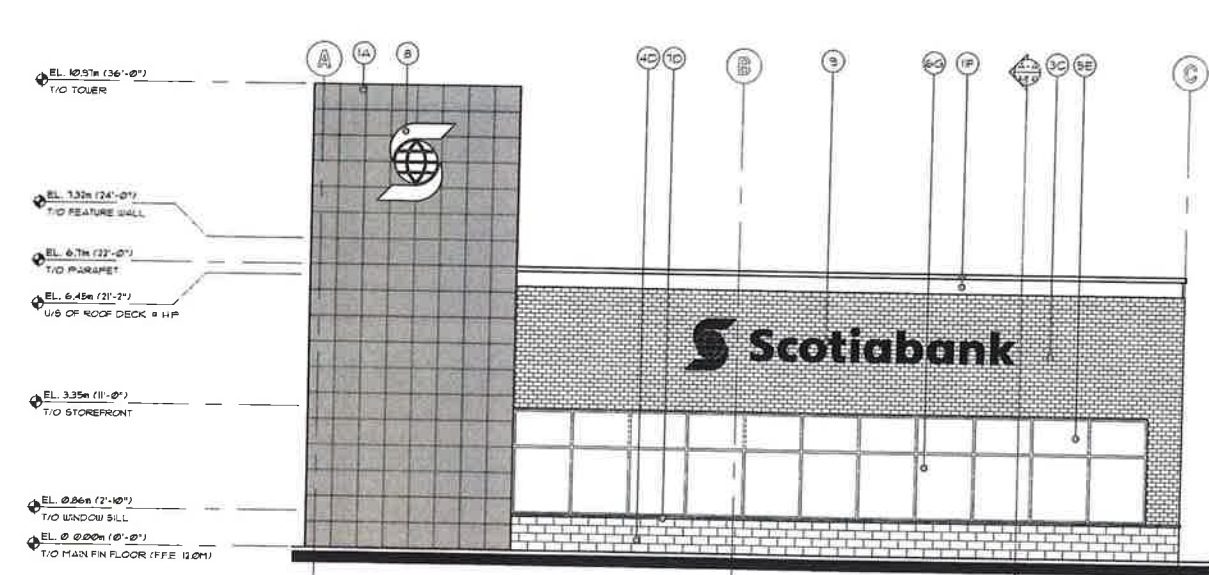


5 EAST ELEVATION
A-E SCALE 3/16" = 1'-0"

7 WEST ELEVATION
A-E SCALE 3/16" = 1'-0"



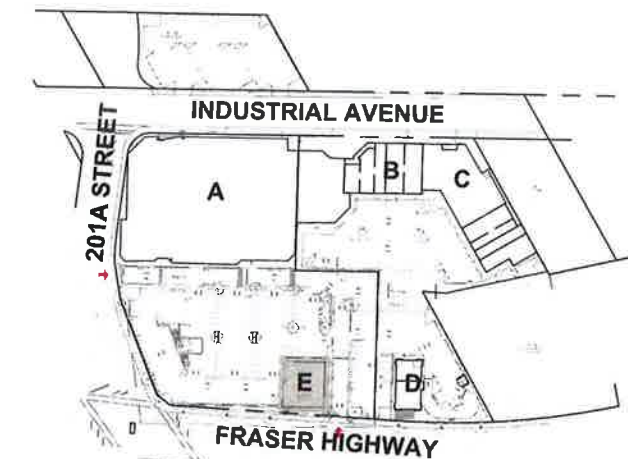
2 SOUTH ELEVATION
A-E SCALE 3/16" = 1'-0"



3 EAST ELEVATION
A-E SCALE 3/16" = 1'-0"

6 NORTH ELEVATION
A-E SCALE 3/16" = 1'-0"

8 SOUTH ELEVATION
A-E SCALE 3/16" = 1'-0"



KEY PLAN
SCALE NTS



PROPOSED BUILDING E - VALLEY CENTRE
2015/2019 FRASER HWY., CITY OF LANGLEY, BC
For HEADWATER PROJECTS

urban design group
architects ltd
420-745 THURLOW ST
VANCOUVER, BC V6C 0S5
TELEPHONE 604-687-2334

project number 4888
sheet title
EXTERIOR ELEVATIONS
scale 1/16" = 1'-0" sheet number
sheet 15 of 15
date 15-06-17
drawn AS 1002
checked AE 31



NORTH-WEST VIEW



2 SOUTH-EAST VIEW
A33 SCALE: NTS

[illegible]

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REGISTERED

PAG 6

4. RIBA

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SHCO

11/11/2011

WS

Risks

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2024/05/24



ALUCOBOND COMPOSITE TILE
MITSUBISHI CHEMICAL -SCOTIA RED,
POLISHED FINISH



VIEW #2

SIGNAGE



PRE-FIN. METAL FLASHING, BLACK

PROPOSED BUILDING E - VALLEY CENTRE
20151, 20199 FRASER HWY., CITY OF LANGLEY, BC
For HEADWATER PROJECTS



urban
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group
architects ltd

420-745 THURLOW ST
VANCOUVER, BC V6E0C5
TELEPHONE (604) 687-2334

Project number **4080**

MATERIALS AND FINISHES

date	sheet number
scale	A-E 3.4
drawn	
checked	

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PROPOSED BUILDING E - VALLEY CENTRE
20151, 20199 FRASER HWY., CITY OF LANGLEY, BC
For HEADWATER PROJECTS



project number **4850**

date	sheet number
scale AS NOTED	A-E 35
drawn YG/BN	
checked BAW	



Example A
Individual channel letters/logo on
rail at corrugated vertical metal cladding

5 SIGNAGE DETAIL
A-E 30 SCALE NTS

6 SIGNAGE DETAIL
4-E 3/8 SCALE N.T.S.



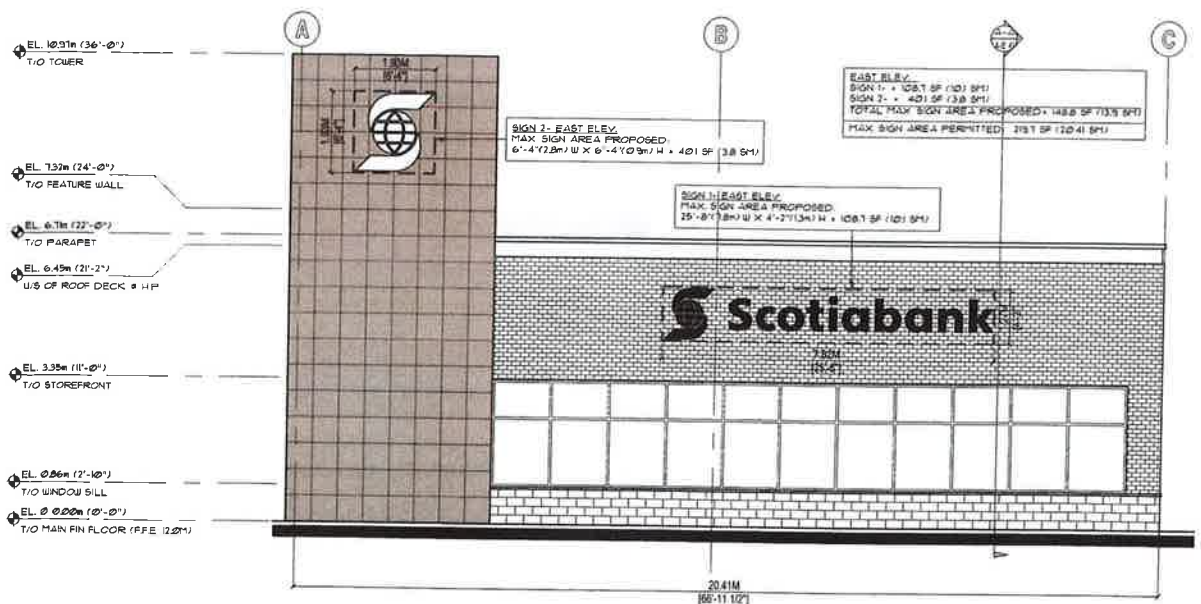
WEST ELEVATION



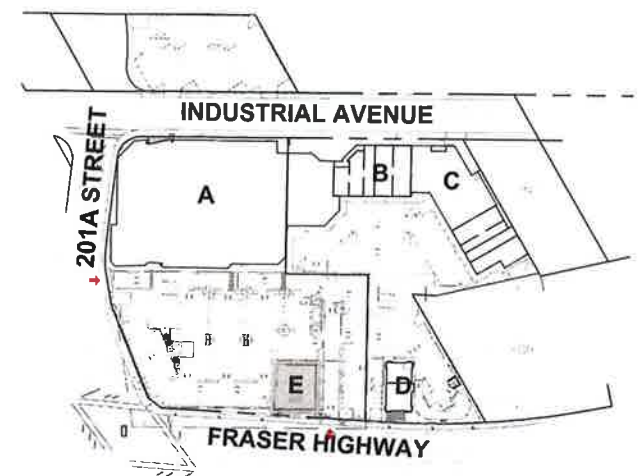
4 NORTH ELEVATION
4-E 3A SCALE 3/8" = 1'-0"



2 SOUTH ELEVATION



3 EAST ELEVATION



KEY PLAN
SCALE N.T.S.



PROPOSED BUILDING E - VALLEY CENTRE
20151, 20199 FRASER HWY., CITY OF LANGLEY, BC
For HEADWATER PROJECTS

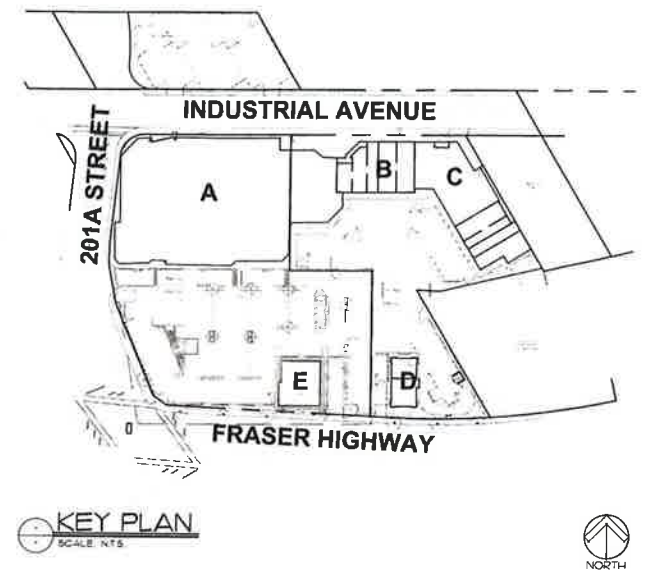
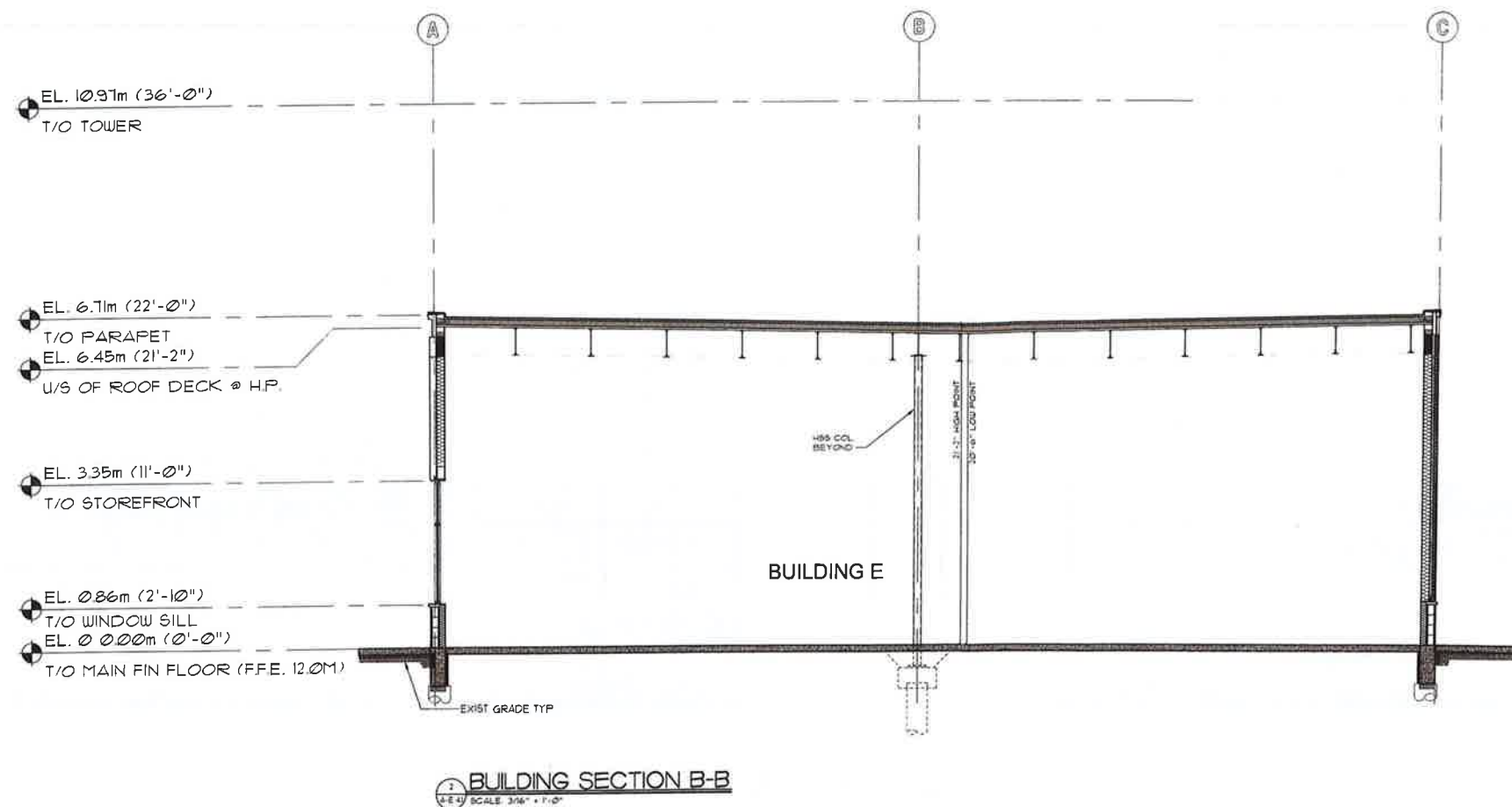
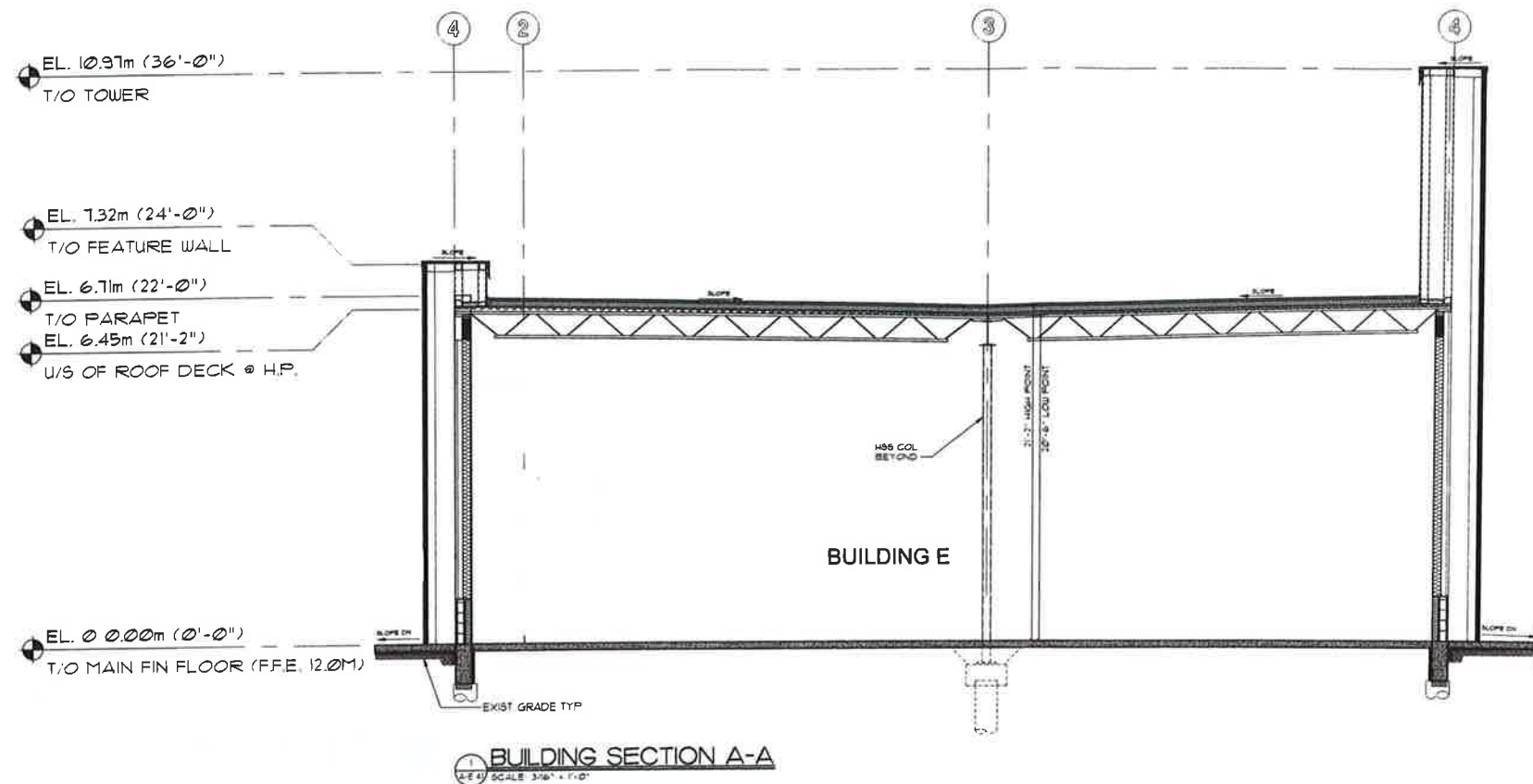


architects ltd.
120-745 THURLOW ST
VANCOUVER, BC V6E 0G5
TELEPHONE (604) 687-2334

Project number 4656

SIGNAGES

File	rrrs-uu-00	sheet number
File	AS NOTED	A-E 36
Item	MS	
Checked	AVFC	



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PROPOSED BUILDING E - VALLEY CENTRE
20151, 20199 FRASER HWY., CITY OF LANGLEY, BC
For HEADWATER PROJECTS

urban design group architects ltd.
420 - 745 THURLOW ST
VANCOUVER, BC V6C 0G5
TELEPHONE 604-687-2334

project number: **4055**
sheet title: **BUILDING SECTION**

date	rev	by	check	scale	sheet number
				AS NOTED	A-E 4.1
drawn	MS				
checked	MS				

ALL PLANTS TO BE NURSERY GROWN
ALL PLANT MATERIALS AND LABOUR TO CONFORM
TO THE CURRENT EDITION OF THE BCSLA/BCSNA STANDARDS.

ALL PLANT MATERIAL TO BE INSPECTED PRIOR TO DELIVERY ON SITE. CONTRACTOR
TO ARRANGE FOR INSPECTION AND MATERIAL TO ASSEMBLED IN ONE LOCATION
FOR REVIEW.

IMPORTED GROWING MEDIA SHALL BE A SANDY LOAM OR LOAMY
SAND TEXTURE (NO LESS THAN 50% SAND BY WEIGHT)
CONTAINING 4 AND 15% ORGANIC MATTER (DRY WEIGHT
BASIS).

GROWING MEDIA SHALL VIRTUALLY FREE FROM SUBSOIL,
WOOD INCLUDING WOODY PLANT PARTS, INVASIVE AND NOXIOUS PLANT AND THEIR
REPRODUCTIBLE PARTS, PLANT PATHOGENIC ORGANISMS, ORGANIC OR INORGANIC
MATERIALS, TOXINS, STONES OVER 30mm (1 2"), ANY DEBRIS AND FOREIGN OBJECTS.

IMPORTED GROWING MEDIA SHALL CONFORM TO AND BE TREATED AS PER SECTION
6.2.3 TO 6.2.7 INCLUSIVE OF THE CURRENT EDITION BCSNA STANDARDS.

GROWING MEDIUM SHALL CONFORM TO LEVEL 1 "WELL-GROOMED" AREAS: LOW
TRAFFIC LAWN AREAS, TREES AND LARGE SHRUBS (1L IN TABLE T-6.3.5.1 OF THE
CURRENT EDITION OF THE BCSLA/BCSNA STANDARDS).
IT SHALL POSSESS THE FOLLOWING QUALITIES:

TEXTURE:-
COARSE GRAVEL (LARGER THAN 19mm AND SMALLER THAN 40mm): 0-1%
MEDIUM GRAVEL (LARGER THAN 2mm AND SMALLER THAN 40mm): 0-5%
FINE GRAVEL (LARGER THAN 0.05mm AND SMALLER
THAN 2mm): 50-70%
SILT (LARGER THAN 0.002mm AND SMALLER
THAN 0.05mm): 10-25%
CLAY (SMALLER THAN 0.002mm): 0-20%
CLAY AND SILT COMBINED: MAXIMUM 25%

ORGANIC CONTENT: 3-10%

Acidity (pH): 6.0-7.0

DRAINAGE: PERCOLATION SHALL BE SUCH THAT NO STANDING WATER IS VISIBLE 60
MINUTES AFTER AT LEAST 10 MINUTES OF MODERATE TO HEAVY RAIN OR IRRIGATION.

MINIMUM SOIL DEPTH TO BE AS PER TABLE 6.3.5.5 OF THE CURRENT EDITION BCSNA
STANDARDS.

	Over prepared subgrade where the subsoil drains rapidly	Over structures or where the subsoil drains poorly
TREES (10m2 PER TREE)	24"	30"
LARGE SHRUBS	24"	24"
GROUNDCOVERS	12"	8"
LAWN-IRRIGATED	6"	6"
LAWN-NOT IRRIGATED	6"	6"

SOIL DEPTHS WILL BE CHECKED AT TIME OF SUBSTANTIAL COMPLETION REVIEW

SOIL FOR URBAN AGRICULTURE PLOTS IS TO BE URBAN GPO PROVIDED BY VERATEC,
OR APPROVED ALTERNATIVE. SOIL FOR URBAN AGRICULTURE AREAS IS TO MEET OR
EXCEED THE GUIDELINES FOR COMPOST QUALITY UNDER CANADIAN COUNCIL OF
MINISTERS OF THE ENVIRONMENT (CCME).

COMPOST IS TO BE TESTED AND RESULTS SUBMITTED TO CONSULTANT PRIOR TO
DELIVERY TO SITE.

BEDS TO HAVE 2" MULCH LAYER (after settling) CONSISTING OF ORGANIC COMPOSTED
BARK APPLIED.

CONTRACTOR TO PROVIDE MAINTENANCE FOR 1 YEAR FOLLOWING SUBSTANTIAL
COMPLETION.

CONTRACTOR TO PROVIDE WRITTEN 1 YEAR WARRANTY ON PLANT MATERIAL

CONTRACTOR TO PROVIDE COPY OF SOIL TEST TO LANDSCAPE CONSULTANT 3 WEEKS
PRIOR TO DELIVERY ON-SITE. TEST TO BE PERFORMED BY AN INDEPENDENT LAB AND
IS TO INCLUDE RECOMMENDATIONS FOR BOTH LAWN AND PLANTING BEDS

CONSULTANT TO APPROVE SOIL BEFORE INSTALLATION. THIS DOES NOT PRECLUDE
THE CONSULTANT FROM PERFORMING AN INDEPENDENT SOIL ANALYSIS AT TIME OF
SUBSTANTIAL COMPLETION. CONTRACTOR WILL BE RESPONSIBLE FOR REMOVAL AND
REPLACEMENT OF SOIL THAT DOES NOT MEET SPECIFICATIONS AT NO EXTRA COST TO
CLIENT

CONTRACTOR TO PROVIDE WRITTEN 1 YEAR WARRANTY ON SOIL SPECIFICATIONS.

AN INDEPENDENT SOIL TEST TO BE PROVIDED 1 WEEK PRIOR TO END OF 1 YEAR
WARRANTY PERIOD CONTRACTOR TO PROVIDE SOIL AMMENDMENTS TO BRING SOIL UP
TO QUALITY RECOMMENDED IN
SOILS REPORT

SITE INSPECTION
EXAMINE EXISTING SUBGRADE CONDITIONS AND SIGNIFY ACCEPTANCE IN WRITING TO
THE CONSULTANT

ASCERTAIN THE SIZE AND LOCATION OF ALL EXISTING SERVICES AND SUBGRADES
PRIOR TO THE WORK.

IMMEDIATELY REPAIR DAMAGE RESULTING FROM FAILURE TO EXERCISE SUCH
PRECAUTIONS AT NO COST TO THE OWNER

ALL PLANTING TO BE IN ACCORDANCE WITH THE BCNA/BCSLA STANDARDS CURRENT
EDITION

PLANT COUNTS
IN THE CASE OF ANY DISCREPANCY BETWEEN PLANT COUNTS ON PLANT LIST AND
PLANT SYMBOLS ON DRAWING, THE DRAWINGS TAKES PRECEDENT. THE CONTRACTOR
IS TO VERIFY ALL PLANT COUNTS AND NOTIFY CONSULTANT OF ANY DISCREPANCY.

SITE FURNISHINGS						
ID	DESCRIPTION	SIZE	MODEL	MANUFACTURER	COMMENT	COLOUR
1	BIKE RACK	5" x 4" x 34"	CAPITOL	Forms + Surfaces		Grey
MATERIALS						
ID	DESCRIPTION	SIZE	MODEL	MANUFACTURER	HIGHLIGHT	COLOUR
2	CONCRETE	4' x 4' sawcut		Custom	Broom finished, sawcut	Natural
NOTE: IN THE EVENT OF A DISCREPANCY BETWEEN THE SITE FURNISHINGS, MATERIALS, AND LIGHTING SCHEDULE QUANTITIES AND THE LANDSCAPE PLANS, THE LANDSCAPE PLANS TAKE PRECEDENCE						

PLANT LIST						
ID	QTY	LATIN NAME	COMMON NAME	SPACING	SCHEDULED SIZE	NOTES
TREES						
Afa	6	Acer x freemanii 'Armstrong'	freeman maple	as shown	6cm cal. B&B	2.0m standard, match crowns
Aro	8	Acer rubrum 'October Glory'	'October Glory' red maple	as shown	6cm Cal.	2m STD. B&B
Cnp	2	Chamaecyparis nootkatensis 'Pendula'	Weeping Cypress	as shown	3.0m ht/B&B	full/ bushy canopies
Pio	3	Picea omarika	Serbian Spruce	as shown	3.0m ht/B&B	full/ bushy plants
SHRUBS						
An	18	Anemone x hybrida 'Honorable Jobert'	Japanese anemone 'Honorable J	1.5 #1 cont.		full/ bushy plants
Azi	140	Azalea japonica 'Purple Splendor'	evergreen azalea	2.5 #2 cont.		full/ bushy plants
Auc	10	Arbutus unedo compacta	strawberry madrone	3.5 1mx 1m B&B		full/ bushy plants
Auu	367	Arctostaphylos uva-ursi	Bearberry, Kinnikinnick	1 #1 cont.		full/ bushy plants/ heavy
Ca	35	Carex albulu	frosty curls sedge	1.5 #2 cont.		full/ bushy plants
Cmv	54	Carex monnini 'variegata'	Variegated Japanese Sedge	0.833 #1 cont.		full/ bushy plants
Fen	54	Festuca glauca	blue fescue	0.833 #1 cont.		full/ bushy plants
Ga	172	Gaultheria shallon	salal	2 #2 cont.		full/ bushy plants
Hdc	71	Hosta x 'Blue Cadet'	Blue Cadet Plantain Lily	1.5 #2 cont.		full/ bushy plants
Lis	702	Liriodie spicata	Lilyturf	1 #1 cont.		full/ bushy plants
Mr	111	Mahonia repens	Creeeping Oregon grape	2 #3 cont.		full/ bushy plants
Pm	202	Polystichum munifolium	Sword Fern	2 #3 cont.		full/ bushy plants
Pl	71	Pachysandra terminalis	Japanese Spurge	0.833 4" pot.		
	0			0		
NOTES:						
1. ALL LANDSCAPE TO CONFORM TO THE CURRENT EDITION OF THE CANADIAN LANDSCAPE STANDARDS FOR LEVEL 2 'GROOMED' LANDSCAPE TREATMENT						
IN THE EVENT OF A DISCREPANCY BETWEEN THE PLANT LIST AND THE PLANTING PLAN, THE PLANTING PLAN TAKES PRECEDENCE						
2. SEARCH AREA TO INCLUDE BRITISH COLUMBIA, WASHINGTON, AND OREGON						

Proposed Building E - Valley Centre for Headwater Projects

Civic Address: 20151, 20199 Fraser Hwy, City of Langley, BC
Legal Address: Lot 1 and 2 of D.L. 309 Group 2, Plan 67569 NWD



1690 West 2nd Avenue
Vancouver . BC . Canada . V6J 1H4
t | 604.683.1456 f | 604.683.1459 w | www.etal.ca

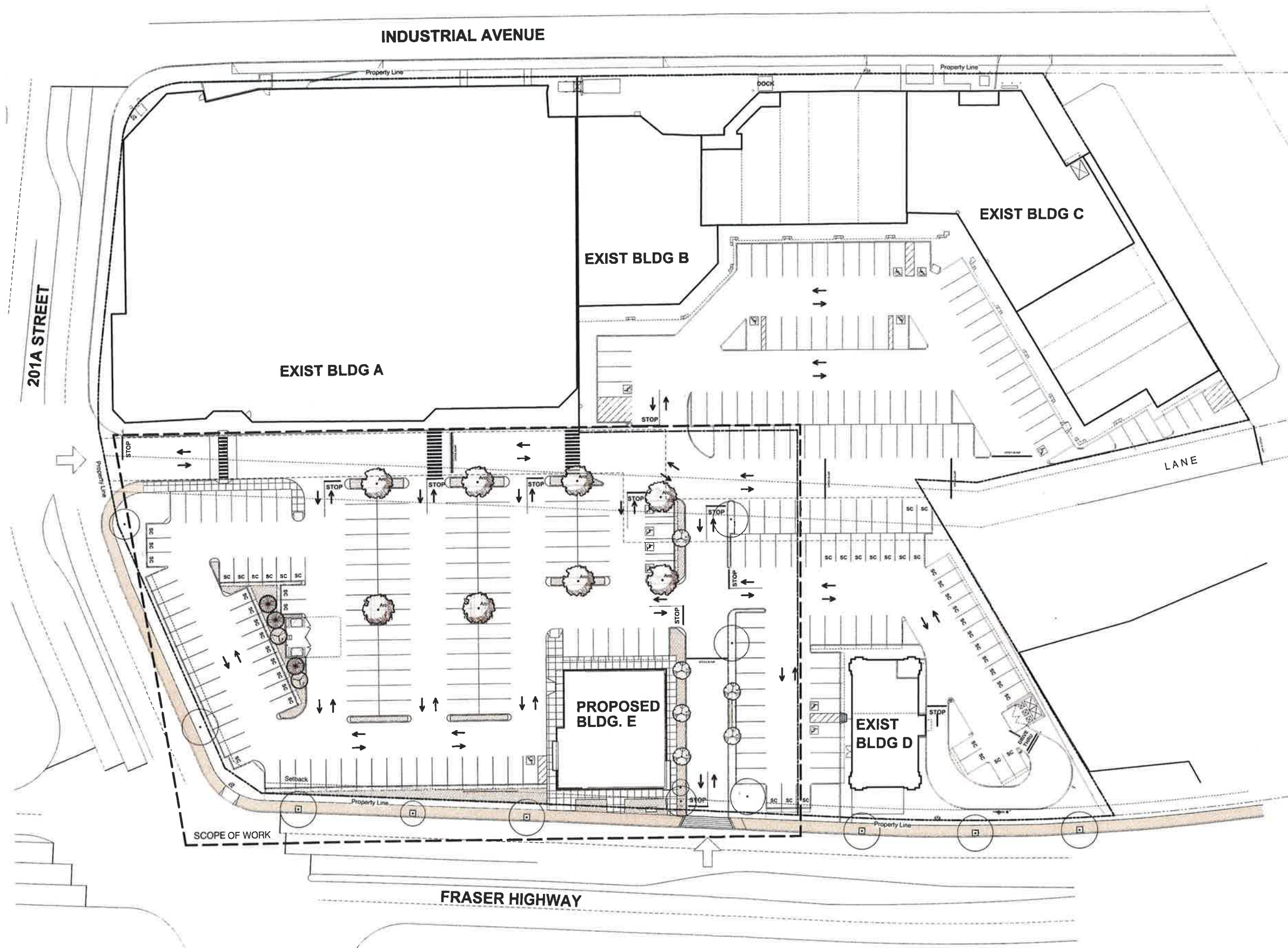
CONSULTANT TEAM

OWNER: Headwater Projects
ARCHITECT: UDG Architects Ltd.
LANDSCAPE: eta Landscape Architecture

ISSUED FOR DEVELOPMENT PERMIT JULY 14, 2017

DRAWING LIST

L1.0 Context Plan
L2.0 Landscape Site Plan
L3.0 Landscape Details



Revision		
No.	Date	Revision Notes
A	2017.07.12	Issued for Review
B	2017.07.14	Issued for DP

Issue		
No.	Date	Issue Notes
A	2017.07.12	Issued for Review
B	2017.07.14	Issued for DP

Professional Seal

eta LANDSCAPE ARCHITECTURE
1690 West 2nd Avenue
Vancouver, BC Canada V6J 1H4
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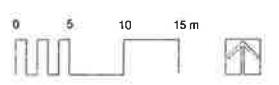
Project
**PROPOSED BUILDING E
VALLEY CENTRE**
20151, 20199 Fraser Hwy
City of Langley, BC

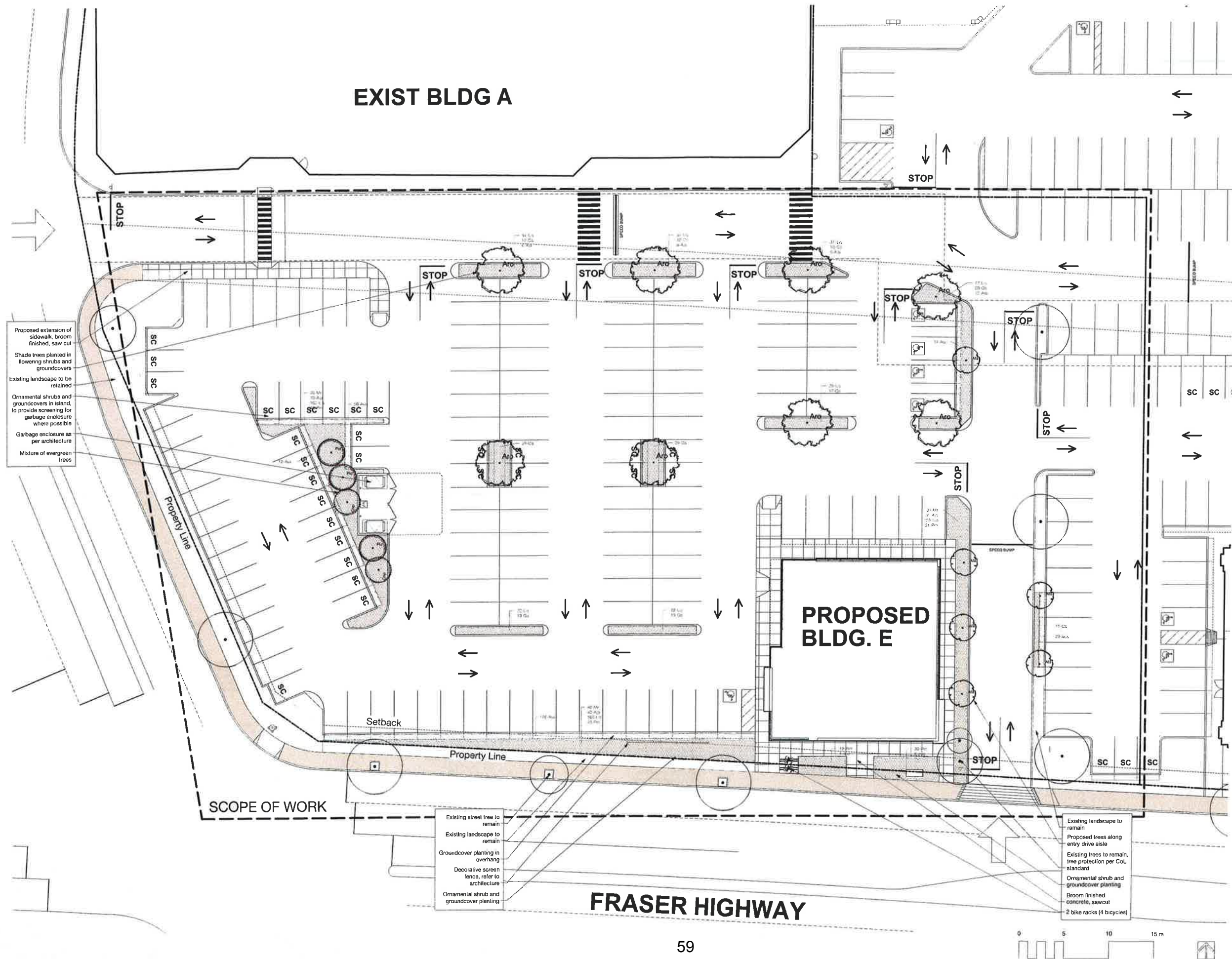
Drawing Title
Context Plan

Legal
Lot 1 and 2 of D.L. 309
Group 2, Plan 67589 NWD

Project Manager: MG	Project ID: 21626
Drawn By: MG	Scale: 1:250
Reviewed By: MG	Drawing No: L1.0
Date: 2017 07 12	Sheet: 3

Plot Date:
21626 Valley Centre Urban over





Revision No.	Date	Revision Notes
A	2017 07 12	Issued for Review
B	2017 07 14	Issued for OP

Revision No.	Date	Revision Notes
A	2017 07 12	Issued for Review
B	2017 07 14	Issued for OP

Professional Seal

eta landscape architecture
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 w | www.eta.ca

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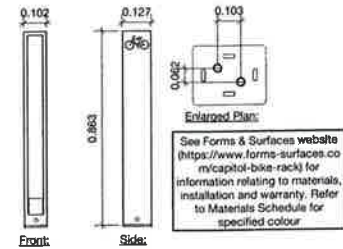
Project
**PROPOSED BUILDING E
 VALLEY CENTRE**
 20151, 20199 Fraser Hwy
 City of Langley, BC

Drawing Title
Landscape Site Plan

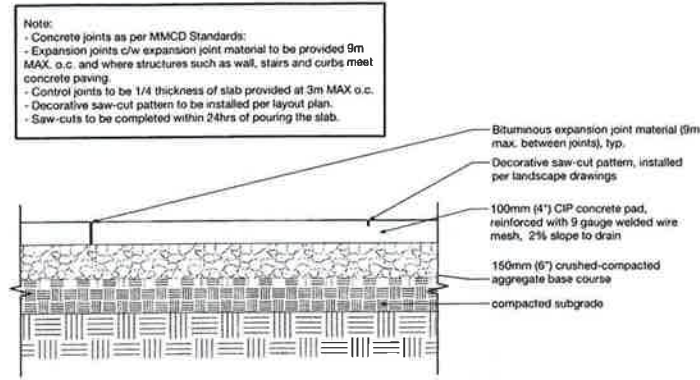
Legal
 Lot 1 and 2 of D.L. 309
 Group 2, Plan 67569 NWD

Project Manager MG	Project ID 21626
Drawn By MG	Scale 1:150
Reviewed By MG	Drawing No. L2.0
Date 2017.07.12	Sheet 3

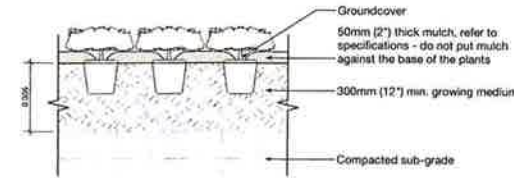
Plot Date:
 12.7.23
 eta valley Centre 130x100 mm



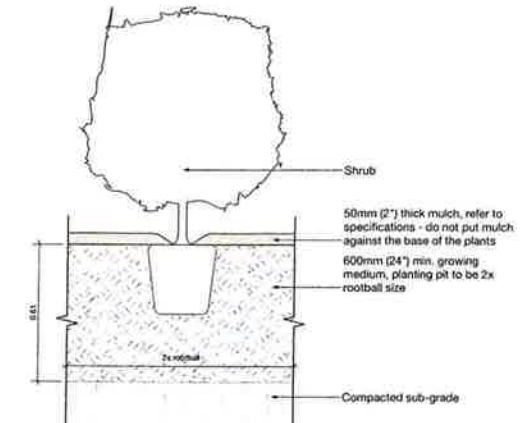
1 DETAIL: Bike Rack
Scale: 1" = 1'-0"



2 DETAIL: Pedestrian Concrete
Scale: 1" = 1'-0"



3 DETAIL: Groundcover Planting on Grade
Scale: 1" = 1'-0"



4 DETAIL: Shrub Planting on Grade
Scale: 1" = 1'-0"

Revision No.	Date	Revision Notes
--------------	------	----------------

Issue No.	Date	Issue Notes
A	2017.07.12	Issued for Review
B	2017.07.14	Issued for GP

Professional Seal

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F | 604.683.1459
W | www.etalandscape.ca

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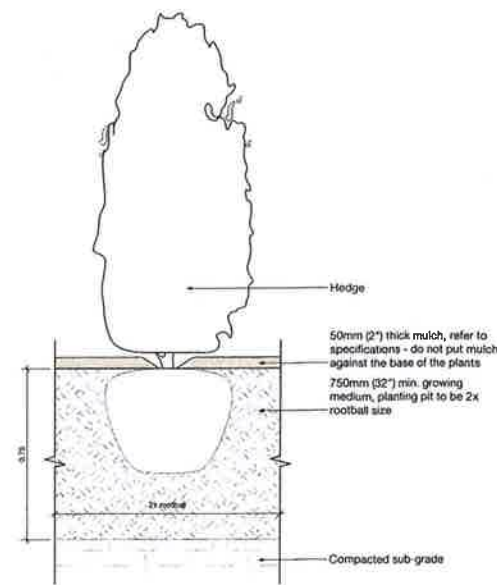
Project
**PROPOSED BUILDING E
VALLEY CENTRE**
20151, 20199 Fraser Hwy
City of Langley, BC

Drawing Title
Landscape Details

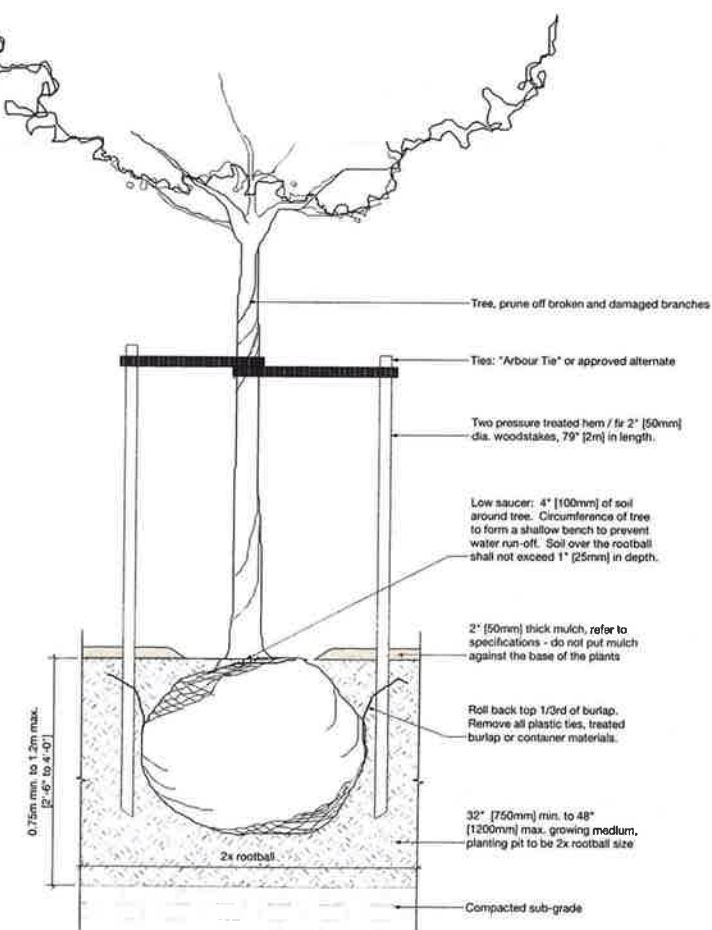
Legal
Lot 1 and 2 of D.L. 309
Group 2, Plan 67569 MWD

Project Manager MG	Project ID 21628
Drawn By MG	Scale as shown
Reviewed By MG	Drawing No. L3.0
Date 2017	Sheet 3

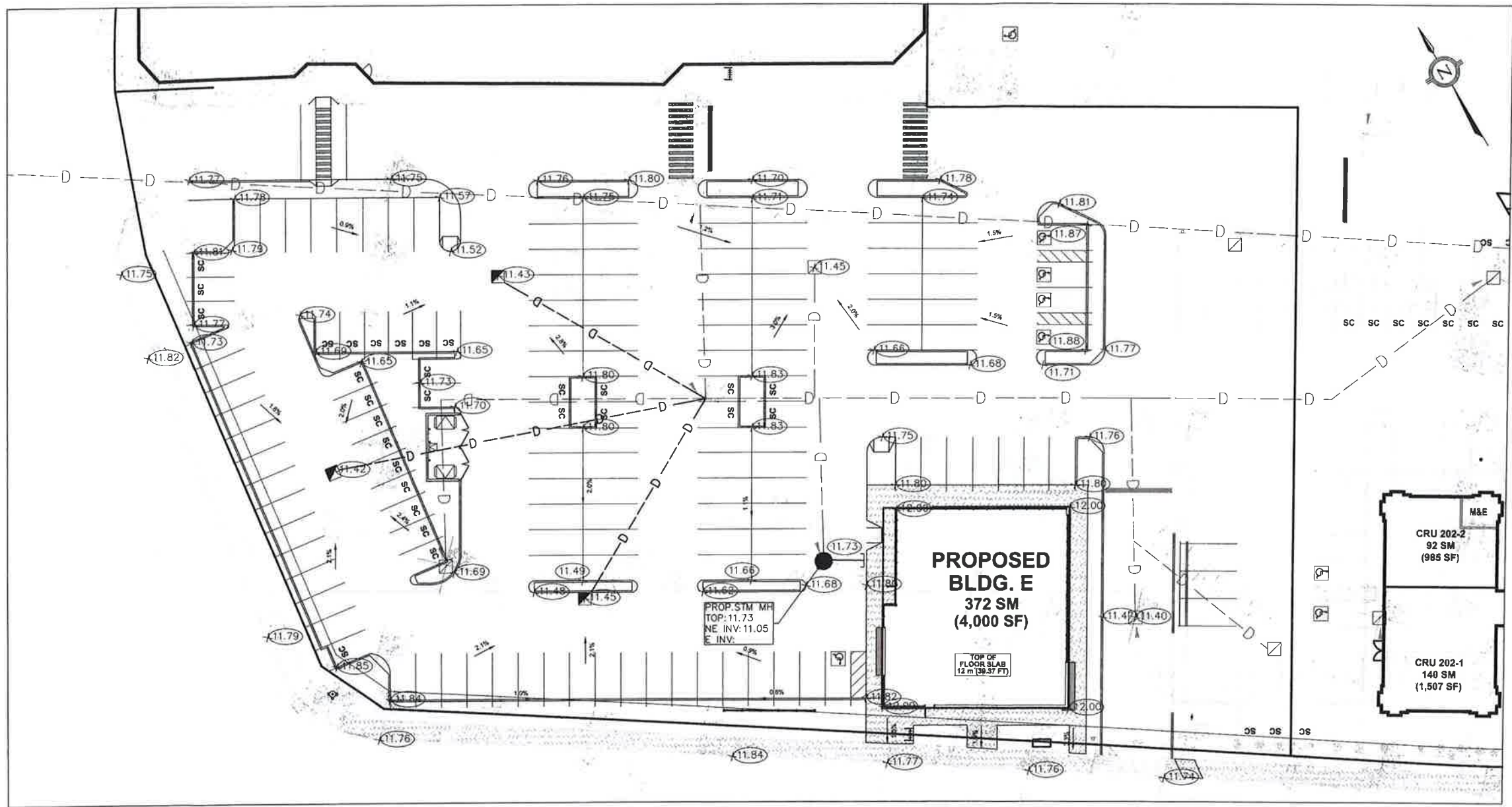
Plot Date:
11.7.17
[1622] Valley Centre MCDetail.dwg



5 DETAIL: Hedge Planting on Grade
Scale: 1" = 1'-0"



6 DETAIL: Tree Planting on Grade
Scale: 1" = 1'-0"



GENERAL NOTES:

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20. APPROVED PIT RUN MUST BE USED FOR BACKFILL IN TRENCHES WHEN INSIDE ROAD LIMITS, APPROVED NATIVE MATERIAL MAY BE USED AS DIRECTED BY THE OWNER'S ENGINEER.
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LOT GRADING:

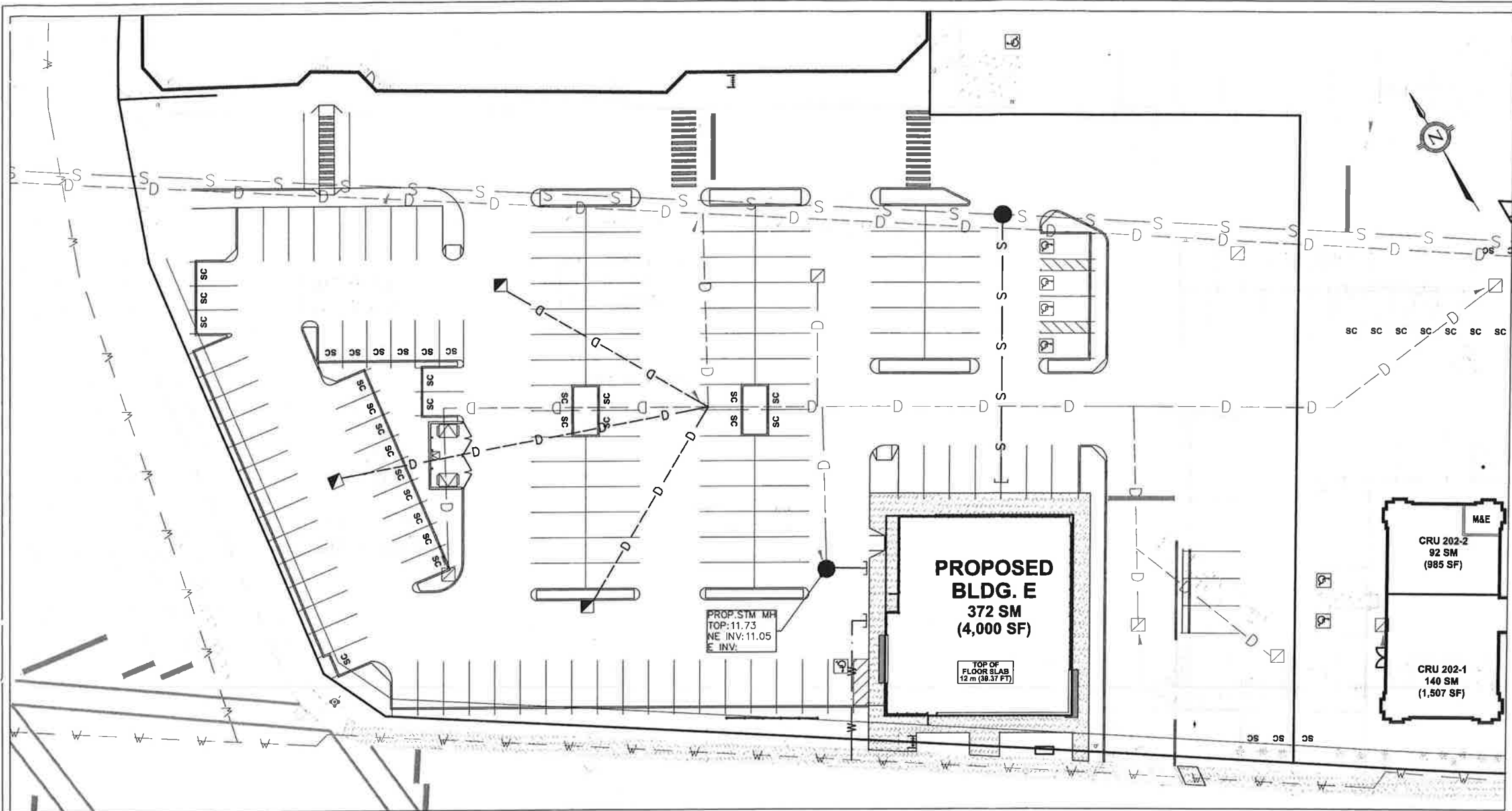
1. GRADING IS TO MEET EXISTING GROUND ELEVATIONS AT PROPERTY LINES COMMON WITH ADJOINING PROPERTIES UNLESS OTHERWISE NOTED.
2. MINIMUM BUILDING ELEVATIONS (M.B.E.) FOR LOTS ARE SET IN ACCORDANCE TO THE SUBDIVISION AND DEVELOPMENT CONTROL BYLAW.
3. ALL WORKS TO BE IN ACCORDANCE WITH APPROVED GEOTECHNICAL REPORT.

STORM WATER MANAGEMENT

- EXISTING DITCH
- PROPOSED DITCH
- SWALE BY OWNER'S CONTRACTOR TO TLD
- SWALE BY BUILDER
- DIRECTION OF FLOW FOR SURFACE RUNOFF
- FILL >0.45m
- FILL >1.0m
- MAJOR FLOW PATH (IN PIPE)
- MAJOR FLOW PATH (SURCHARGED PIPE)
- MAJOR FLOW PATH (OVERLAND)

- M.B.E. 94.97
- 230
- 93.27
- 21.21
- 413
- 0.3
- 300mm
- 300mm
- 21.21 M
- PROPOSED CULVERT
- PROPOSED ASPHALT PAVEMENT REFER TO GEOTECHNICAL REPORT
- MATCH EXISTING ELEVATION

NOTES		NOTE	BENCHMARK	OWNER	ENGINEER	SEAL	No	Date	REVISIONS		DESIGN BY	The Corporation of the Township of Langley	
CONTRACTOR TO CONTACT TELUS, BC HYDRO, FORTISBC AND BC ONE CALL PRIOR TO CONSTRUCTION TO CONFIRM LOCATIONS OF UTILITIES AND APPURTENANCES REQUIRING ADJUSTMENT.		ELEVATIONS SHOWN ARE IN METERS AND GEOMETRIC DATA (TSPS 2000)		URBAN DESIGN GROUP ARCHITECTS LTD. 600-1140 WEST PENDER STREET VANCOUVER, BRITISH COLUMBIA V6E 4G1 TEL: 604 687-2334 ext 111 FAX: 604 688-7481	KWA STEVEN KAWANAKA Burlington Woodstock Vancouver		1.	07/14/2017	ISSUED FOR DP		DESIGN BY: CHECKED BY: APPROVED BY: DATE: JULY 2017 SCALE: HORIZ. 1:500	SITE GRADING PLAN	
												DESIGN FILE No: 16246	PLAN No:
												AS BUILT No:	SHEET NO: SW-G
													REV



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100mm : BASE COURSE (19mm MINUS CRUSHED GRAVEL)
200mm : SUB-BASE COURSE (CLEAN AND GRAVEL WELL GRADED 100mm MINUS)

STORM SEWERS:

1. STORM SEWER MATERIALS SHALL CONFORM TO THE MASTER MUNICIPAL SPECIFICATIONS (SECTION 02721) AND SCHEDULE "H" OF THE SUBDIVISION CONTROL BYLAW.
2. FOR TYPICAL TRENCH SECTION DETAILS SEE MMCD STANDARD DETAIL DRAWING G4.
3. SILTATION CONTROLS TO THE ACCEPTANCE OF THE TOWNSHIP ENGINEER MUST BE USED AT ALL DRAINAGE OUTLETS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AS REQUIRED.
4. FOR CATCH BASIN DETAILS AGAINST CURBS SEE MMCD STANDARD DETAIL DRAWING S11. ALL SINGLE CATCH BASIN LEADS ARE TO BE MINIMUM 200mm DIAMETER.
5. DIAMETER OF ALL STORM SEWER MANHOLES SHALL CONFORM TO THE MMCD STANDARD DETAIL DRAWINGS S1 UNLESS OTHERWISE NOTED.
6. MANUFACTURED WYES ARE TO BE USED ON STORM PIPE UNDER 450mm DIAMETER OR APPROVED ALTERNATIVE.

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SANITARY SEWERS:

1. SANITARY SEWER MATERIALS SHALL CONFORM TO THE MASTER MUNICIPAL SPECIFICATIONS (SECTION 02731) AND SCHEDULE "H" OF THE SUBDIVISION CONTROL BYLAW.
2. FOR MANHOLE DETAILS AND DIAMETERS SEE MMCD STANDARD DETAIL DRAWINGS S1.
3. FOR TYPICAL TRENCH SECTION DETAILS SEE MMCD STANDARD DETAIL DRAWING G4.
4. NEW SEWER LINES TIED INTO EXISTING LINES MUST BE PLUGGED UNTIL THEY ARE TESTED AND FLUSHED.

LEGEND

EXISTING	PROPOSED	
		SANITARY SEWER
		SANITARY SEWER SERVICE
		STORM SEWER
		CATCHBASIN - TOP INLET
		STORM SEWER SERVICE
		PROPERTY LINE
		EXISTING LIGHT STANDARD
		SIAMESE CONNECTION
		HYDRANT AND VALVE ASSEMBLY
		WATER VALVE
		PROPOSED REMOVAL ITEM
		PROPOSED PLUG

WATERWORKS:

1. FOR TYPICAL TRENCH SECTION DETAILS SEE MMCD STANDARD DETAIL DRAWING G4.
2. WATERMAIN MATERIALS SHALL CONFORM TO THE MASTER MUNICIPAL SPECIFICATIONS, (SECTION 02668) AND SCHEDULE "H" OF THE SUBDIVISION AND DEVELOPMENT CONTROL BYLAW.
3. THE MINIMUM VERTICAL CLEARANCE OF WATERMAINS FROM SANITARY AND STORM SEWERS SHALL BE 500mm; MINIMUM HORIZONTAL SEPARATION SHALL BE 3.0 WHERE THE SEPARATION IS LESS, THE WATERMAIN SHALL BE PROTECTED IN ACCORDANCE WITH THE MINISTRY OF HEALTH REGULATIONS.
4. MINIMUM GRADE ON WATERMAIN SHALL BE 0.10%.
5. PIPE JOINTS SHALL NOT BE DEFLECTED MORE THAN 1/2 OF THE MANUFACTURER'S RECOMMENDED DEFLECTION.
6. TIE-INS OF PROPOSED MAINS TO EXISTING WATERMAINS WILL PERFORMED BY THE TOWNSHIP AT THE DEVELOPERS EXPENSE, UNLESS DIRECTED OTHERWISE.
7. MINIMUM COVER ON WATERMAINS SHALL BE 1.2m
8. ALL EXISTING SERVICES MUST BE CLEANED (IF NECESSARY) AND INSPECTED PRIOR TO CONSTRUCTION OF NEW SITE SERVICES.
9. TESTABLE DOUBLE ACTING BACKFLOW PREVENTERS FOR DOMESTIC, FIRE SPRINKLER AND IRRIGATION SYSTEMS SHALL BE LOCATED IN THE BUILDING.
10. FOR VALVE-BOX DETAILS AND VALVE INSTALLATION DETAILS SEE MMCD STANDARD DRAWING W3.
11. THRUST BLOCKS AS SHOWN ON MMCD STANDARD DRAWING W1 ARE TO BE LOCATED AT ALL FITTING LOCATIONS, (REFER TO TOWNSHIP THRUST BLOCK CRITERIA SDW-3)
12. THE CONTRACTOR SHALL ENSURE THAT ALL SECTIONS OF LINES HAVE TEST POINTS AND TEMPORARY BLOW-OFFS SUITABLE TO ENSURE ADEQUATE PRESSURE TESTING, CHLORINATION AND FLUSHING. DISCHARGE OF CHLORINATED WATER IS NOT PERMITTED INTO DITCHES, STORM SEWERS OR WATERCOURSES
13. THE CONTRACTOR SHALL SUBMIT BACTERIOLOGICAL AND CHLORINATION TESTING OF ON-SITE WATER SYSTEM TO THE BUILDING DEPARTMENT. ALL AS WITNESSED BY THE OWNER'S ENGINEER OR INDEPENDENT TESTING AGENCY.

NOTES CONTRACTOR TO CONTACT TELUS, BC HYDRO, FORTISBC AND BC ONE CALL PRIOR TO CONSTRUCTION TO CONFIRM LOCATIONS OF UTILITIES AND APPURTENANCES REQUIRING ADJUSTMENT.		LEGAL	NOTE DIMENSIONS SHOWN ARE IN METERS AND DECIMAL FRACTIONS (CENTS 2020)	BENCHMARK	OWNER URBAN DESIGN GROUP ARCHITECTS LTD. 600-1140 WEST PENDER STREET VANCOUVER, BRITISH COLUMBIA V5E 4G1 TEL: 604 687-2334 ext 111 FAX: 604 686 7481	ENGINEER KWA SITE DEVELOPMENT CONSULTING INC. 3111 WESTBROOK ROAD WEST VANCOUVER, BC V7V 3G5 CONTACT: ALEX KARADJOV (604) 941-6099 Burlington Woodstock Vancouver	SEAL 62	PROFESSIONAL ENGINEER, IN GOOD STANDING IN AND FOR THE PROVINCE OF BRITISH COLUMBIA, HEREBY CERTIFY THAT THE WORKS IN HEREIN SET OUT ON THE ATTACHED DRAWINGS HAVE BEEN DESIGNED TO GOOD ENGINEERING PRACTICE AND IN COMPLIANCE WITH THE TOWNSHIP OF LANGLEY SUBDIVISION AND DEVELOPMENT CONTROL BYLAW, EXCEPT AS NOTED BELOW. EXCEPTIONS:	No 1.	Date 07/14/2017	REVISIONS ISSUED FOR DP	PLAN DESIGN BY: DRAWN BY: APPROVED BY: DATE: SCALE: HORIZ: 1:500	The Corporation of the Township of Langley SERVICING PLAN DESIGN FILE No: 16246 PLAN No: AS BUILT No: SHEET NO: SW-S REV:		
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**MINUTES OF THE
ADVISORY PLANNING COMMISSION MEETING**

**HELD IN LANGLEY CITY HALL
CKF COMMUNITY BOARDROOM**

**WEDNESDAY, AUGUST 9, 2017
7:00 PM**

Present: Councillor Paul Albrecht, Vice-Chairman
John Beimers
Trish Buhler
Shelley Coburn, School District No. 35
Hana Hutchinson
Esther Lindberg
Corp. Steve McKeddie, Langley RCMP
Dan Millsip

Staff: Gerald Minchuk, Director of Development Services & Economic
Development

Absent: Councillor Jack Arnold, Chairman
George Roman
Jamie Schreder

1) RECEIPT OF MINUTES

MOVED BY Commission Member Buhler
SECONDED BY Commission Member Hutchinson

THAT the minutes for the June 14, 2017 Advisory Planning Commission
meeting be received as amended.

CARRIED

2) **DEVELOPMENT PERMIT APPLICATION DP 07-17 -20151
FRASER HIGHWAY-URBAN DESIGN GROUP ARCHITECTS
LTD.**

The Director Development Services & Economic Development provided a brief overview of the planning context for the proposed application and introduced , Aaron Vornbrock, Urban Design Group Architects Ltd. Mr. Vornbrock presented the proposed development permit application. Following discussion on building form and character, on-site landscaping, handicap parking, bicycle rack installation, on-site pedestrian improvements, enhanced vehicular circulation, CPTED, it was:

MOVED BY Commission Member Millsip
SECONDED BY Commission Member Lindberg

That Development Permit Application DP 07-17 to accommodate a 372 m² (4,000 ft²) Scotiabank commercial building to the existing shopping centre located at 20151 Fraser Highway be approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report be approved.

CARRIED

4) **NEXT MEETING**

Wednesday, September 13th, 2017

5) **ADJOURNMENT**

MOVED BY Commission Member Coburn
SECONDED BY Commission Member Buhler

THAT the meeting adjourn at 8:00 P.M.

CARRIED



ADVISORY PLANNING COMMISSION VICE-CHAIRMAN



DIRECTOR OF DEVELOPMENT SERVICES & ECONOMIC DEVELOPMENT

Certified Correct

Paula Kusack

Subject: FW: NOTICE OF DEVELOPMENT PERMIT APPLICATION - CITY OF LANGLEY-
OPPORTUNITY FOR PUBLIC INPUT

From: christine salilig [<mailto:christinecookyy@yahoo.com>]

Sent: September-01-17 2:14 PM

To: WebInfo

Subject: NOTICE OF DEVELOPMENT PERMIT APPLICATION - CITY OF LANGLEY- OPPORTUNITY FOR PUBLIC INPUT

Dear Sir/Madam ;

In reference to the letter as stated above, I agree to the proposal development of free standing *Scotiabank* commercial building. The convenience of having a bank accessibility to the public within the radius of the city center is very helpful.

Looking forward that in the near future there would be similar commercial banks that will rise and develop in this town like e.g CIBC, RBC, TD etc. considering this is the *Center of Langley City*. also, save us travel time and money going to a different township like the beautiful Walnut grove, Willowbrook & Willoughby areas just to access the bank.

Sincerely yours,

Christine S.

Marjury E.

(Paddington Station Residents/Owners)



CRIME PREVENTION TASK GROUP REPORT

To: **Mayor Schaffer and Councillors**

Subject **Crime Prevention Program Recommendations
and Funding Request**

From: Crime Prevention Task Group

File #: 17-043

Doc #:

Date: August 18, 2017

COMMITTEE RECOMMENDATION A:

- 1) THAT Council direct staff to work with local media to participate in and follow the steps to set up an actual Block Watch program.
- 2) THAT Council direct staff to create a major social media campaign to promote Block Watch, Business Watch, and CPTED review programs.
- 3) THAT Council direct staff to work with the RCMP, Chamber of Commerce and Downtown Langley Business Association to promote Block Watch, Business Watch and CPTED review programs.
- 4) THAT Council direct staff to identify a local supplier who may be able to partner with the City on motion sensor lights that may be supplied to businesses and residences at discounted prices.

SUMMARY:

On July 27, 2017, the Crime Prevention Task Group discussed the promotion of Crime Prevention programs through various communications and partnerships. This included local media shadowing staff to document what setting up a Block Watch Program involves (recommendation (A) 1). Further discussion revolved around staff working with different groups on educating the public and offering incentives to businesses to implement Crime Prevention Thorough Environmental Design (CPTED) recommendations.

COMMITTEE RECOMMENDATION B:

THAT the Task Group request that Council approve funding from the City's RCMP Detachment Operating Account to a maximum of \$1,200.00 for the purpose of purchasing up to 5,000 fridge magnets to promote reporting of suspicious activities to the RCMP Non-Emergency number.

SUMMARY:

Recommendation B is a request for funding to purchase fridge magnets. This was intended to improve the reporting of non-emergency calls to the RCMP. Some concern was raised from members of the committee that fridge magnets would be discarded in the trash as most people use cell phones now. It was noted that the original idea of a magnet was somewhat directed at senior citizens who are less connected electronically.



EXPLANATORY NOTE

OFFICER ESTABLISHMENT BYLAW 2855, AMENDMENT BYLAW No. 3, 2017 No. 3026

The purpose of this amendment is to update the title of the position responsible for corporate administration for the City per Section 148 of the *Community Charter* from Manager of Legislative Services to Corporate Officer.



**OFFICER ESTABLISHMENT BYLAW 2855,
AMENDMENT BYLAW No. 3, 2017
No. 3026**

A Bylaw to amend the Officer Establishment bylaw.

1. Title

(1) This bylaw shall be cited as the “Officer Establishment Bylaw, 2011, No. 2855, Amendment Bylaw No. 3, 2017, No. 3026.”

2. Amendments

- (a) That Section 3(1)(c) be amended by striking out the title “Manager of Legislative Services” and replacing it with the title “Corporate Officer”; and
- (b) That Section 4(3) be amended by striking out the title “Manager of Legislative Services” and replacing it with the title “Corporate Officer”.

READ A FIRST, SECOND AND THIRD TIME this day of , 2017.

ADOPTED this day of , 2017.

MAYOR

CORPORATE OFFICER



EXPLANATORY MEMO

FIRE PROTECTION AND SAFETY BYLAW NO. 2784, AMENDMENT NO 2 BYLAW, 2017 No. 3028

The purpose of the bylaw amendment is to allow the use of outdoor propane or natural gas fireplaces or fire pits.

Currently all open burning is banned in the City with the exception of grills and barbeques used for the purpose of cooking food that utilize natural gas, propane or briquettes as a fuel source; or fires for the purpose of fire training. Notwithstanding the current bylaw, there are some restaurants in the City who have installed propane or natural gas fueled fireplaces for aesthetic appeal. These are contrary to the City's Fire Protection and Safety Bylaw.

There have been regular requests by the public for the allowance of ornamental fireplaces or fire pits utilizing propane or natural gas. These would be typically located on backyard patios.

The following metro-Vancouver municipalities allow outdoor fireplaces or fire pits fueled by propane or natural gas.

- Langley Township
- North Vancouver District
- Pitt Meadows
- Port Moody
- Richmond
- Surrey
- Vancouver
- West Vancouver
- White Rock



**FIRE PROTECTION AND SAFETY BYLAW 2009,
AMENDMENT No 2 BYLAW, 2017
No. 3028**

A Bylaw to amend the Fire Protection and Safety Bylaw.

1. Title

(1) This bylaw shall be cited as the “Fire Protection and Safety Bylaw, 2009, No. 2784, Amendment No. 2 Bylaw, 2017, No. .3028.”

2. Amendments

(a) Fire Protection and Safety Bylaw, 2009, No. 2784 is hereby amended by:

- (i) Deleting section 16(3)(a); and
- (ii) Inserting a new section 16(3)(a) as follows

*charcoal, natural gas or propane fires contained within ULC/CSA
approved appliances for that particular product; or*

READ A FIRST, SECOND AND THIRD TIME this -- day of --, 2017.

ADOPTED this -- day of --, 2017.

MAYOR

CORPORATE OFFICER



REPORT TO COUNCIL

To: **Mayor Schaffer and Councillors**

Subject **Proposed Amendments to Flag Raising Policy**

Report #: 17-042

From: Administration Department

File #: 3900.00

Doc #:

Date: August 15, 2017

RECOMMENDATION:

THAT City Council adopt the revised Flag Raising Policy No. CO – 33.

PURPOSE:

To propose amendments to Flag Raising Policy CO-33 with respect to provisions for half-masting of flags.

POLICY:

The City's current half-masting protocols in its Flag Raising Policy are based on federal half-masting rules for half-masting the national flag of Canada.

Excerpt from Government of Canada Rules for half-masting the National Flag (the Flag) of Canada:

10. Half-Masting Initiated by a Province or Territory

When a Province or Territory Half-masts its provincial or territorial flag for a reason other than one provided for in the Rules, the Flag will be Half-masted within that Province or Territory, except on the Peace Tower in the Province of Ontario, to the same geographical extent and for the same duration as the Province or Territory Half-masts its flag.

COMMENTS/ANALYSIS:

As an exception to the protocol that all flags be half-masted together, it is proposed that the policy be amended to provide discretion for the Mayor to direct that only the municipal flag be half-masted for certain local occasions that do not have provincial or federal significance. It is also proposed that the policy be amended to provide for the half-masting of flags upon the death of former members of Council and individuals granted Freedom of the City, as the current policy does not include these provisions. Several housekeeping amendments are also proposed for clarity.

BUDGET IMPLICATIONS:

None.

ALTERNATIVES:

Maintain some or all of the current provisions of the policy.

Respectfully Submitted,



Kelly Kenney, Corporate Officer

Attachment(s):


1. Proposed amended Flag Raising Policy No. CO – 33
2. Red-line version of current Flag Raising Policy No. CO – 33 indicating proposed changes
3. Example of only municipal flag at half-mast

CHIEF ADMINISTRATIVE OFFICER'S COMMENTS:

I support the recommendation.



Francis Cheung, P. Eng.
Chief Administrative Officer

	Title: Flag Raising Policy	Policy No: CO - 33
	Category: Council Policy	Classification: n/a

1. Purpose:

To ensure that all flags at City Hall and other City of Langley operated municipal properties and buildings are flown and displayed in a consistent and appropriate manner.

2. Scope:

The jurisdiction of flags in the City of Langley falls under the directive of the Mayor's Office, acting through the Chief Administrative Officer.

3. Flag Raisings:

The City of Langley normally flies the Canadian Flag, the Province of British Columbia Flag and the City of Langley Flag on designated poles at various buildings or properties throughout the City of Langley, including City Hall.

4. Courtesy Flags:

The City does not have a pole designated for use strictly as a courtesy pole. However, to occasionally accommodate community or civic requests, the courtesy flag will be flown on the City of Langley flag pole at City Hall directly below the City of Langley flag.

The intent of the courtesy flag pole is to recognize visiting dignitaries, City challenges, and civic events and to allow not-for-profit community groups to promote local events.

Community requests to use the flag pole must be in writing to the Office of the Mayor 30 days prior to the requested date. If more than one flag raising request is received and the requests meet the eligibility and assessment criteria, then each flag will be flown for an equal percentage of the available time. The City will endeavor to fly courtesy flags as scheduled; however, no courtesy flags will be flown during times of half-masting. Civic uses (visiting dignitaries, civic events) and emergencies will also take precedence.

Courtesy Flag Requirements:

- 1) Courtesy flags must be in excellent condition and not exceed three feet by six feet in size.
- 2) If approved, the flag must be delivered to the Administration Office a minimum of one week in advance of the flag being flown and picked up no later than one week after the flag has been lowered.
- 3) Events will not be commercially oriented and must be of general interest to the community at large
- 4) The flag must reflect the event only and not recognize any sponsors outside the official name of the event (ie. CIBC Run for the Cure).
- 5) The City reserves the right to reject any application and/or flag that does not comply with the City of Langley policies or bylaw; espouse racism, personal discrimination, violence

or hatred. Flags shall not promote a point of view or organization of a political, ethical, religious nature or directly encourage, or exhibit obvious indifference to unlawful behavior.

Permitting a courtesy flag does not constitute an endorsement from the City of Langley or its employees. It is forbidden to give the impression that an event, service or product is endorsed or associated with the City in any way if such endorsement has not been given in writing.

The City will make every effort to accommodate flag-raising ceremonies based on availability and operational feasibility, but cannot guarantee a ceremony for each courtesy flag event.

5. Half-Masted Flags:

Flags are flown at half-mast as a sign of mourning. Flags to be flown at half-mast include all flags at City Hall and all flags on City-operated properties (property owned by the City but operated by a third party is excluded from this policy) that are capable of half-masting. Half-masting can occur simultaneously at all identified City-operated municipal facilities or at just one specific civic location depending on circumstances. Unless otherwise directed by the Mayor, when one flag is half-masted, all flags flown together should also be half-masted.

Unless otherwise directed by the Mayor, flags may be half-masted from time of notification of death until sunset on the day of the funeral OR from time of notification of death until sunset on the following day and from sunrise to sunset on the day of the funeral OR only from sunrise to sunset on the day of the funeral.

In exceptional circumstances, and on the advice of the Chief Administrative Officer, the Mayor can approve the half-masting of flags not provided for. The Mayor should seek a Council resolution when possible.

The following are occasions for half-masting flags at City of Langley facilities.

<i>Occasion</i>	<i>Conditions</i>
<i>FEDERAL</i>	
Upon the death of:	
Immediate member of the Royal Family; current Governor General or Prime Minister	Half-masting will occur
Current Langley Member of Parliament	Half-masting will occur
Current Senator residing in Langley	Half-masting will occur
Canadian Forces member residing in or from Langley (in the line of duty)	Half-masting will occur
<i>PROVINCIAL</i>	
Upon the death of:	
Current Langley Member of Provincial Legislature	Half-masting will occur
Worker's Mourning Day (April 28)	Half-masting will occur on day observed by the City
Remembrance Day (November 11)	Half-masting will occur when operationally feasible
<i>MUNICIPAL</i>	
Upon the death of:	
Mayor of City of Langley (in office and former)	Half-masting will occur

Member of City of Langley Council (in office and former)	Half-masting will occur
City of Langley employee or member of the Langley RCMP Detachment (in a work related accident)	Half-masting will occur

6. RCMP Detachment

The RCMP station facilities manager is responsible for the maintenance, security and raising or lowering of all flags located at the RCMP detachment and the Community Police Office.

7. Rainbow Flag

Supplemental to section 4, City Council may direct a Rainbow Flag be flown for a period of seven (7) days to coincide with the beginning of the Vancouver annual Pride Week. The City will not be responsible for providing the flag. In the event the Rainbow Flag cannot be flown due to a half-masting requirement, the Rainbow Flag will be flown for 7 days immediately following the half-masting.

References

Policy Number:	CO-33
Policy Owner:	Administration
Endorsed by:	Senior Management Team
Final Approval:	Council
Date Approved:	April 23, 2012
Revision Date:	December 12, 2016
Amendments:	Section 5
Related Policies:	n/a
Related Publications:	n/a

Contact Person:

Contact Person: Kelly Kenney
Phone: 604-514-4591

Corporate Officer
Email: kkenney@langleycity.ca

	Title: Flag Raising Policy	Policy No: CO - 33
	Category: Council Policy	Classification: n/a

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Final Approval:	Council
Date Approved:	April 23, 2012
Revision Date:	December 12, 2016
Amendments:	Add s. 7Section 5
Related Policies:	n/a
Related Publications:	n/a

Contact Person:

Contact Person: Kelly Kenney Carolyn Bonnick
Position: Corporate Officer Manager of Legislative Services
Phone: 604-514-4591 Email:
ebonnickkenney@langleycity.ca

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REPORT TO COUNCIL

To: **Mayor Schaffer and Councillors**

Subject **Community Amenity Contributions**

Report #: 17-044

File #: 4500.00

From: Development Services & Economic Development
Department

Doc #:

Date: August 29, 2017

RECOMMENDATION:

That the City of Langley increase the amount of “Community Amenity Contributions” from \$1,000 per multiple family residential unit to \$2,000 per multiple family residential unit approved.

PURPOSE:

To increase the amount of “Community Amenity Contributions” for multiple family residential development.

POLICY:

Section 904 of the *Local Government Act* allows municipalities to establish bylaws with different density regulations (effectively bonus density) as well as conditions relating to the provision of amenities and affordable housing.

COMMENTS/ANALYSIS:

Municipalities are interested in using these tools as a means to fund growth. The names of these programs vary by municipality, but are generally known as “Community Amenity Contributions/CAC’s” or Bonus Density. These are separate from Development Cost Charges or DCC’s.

In 2008, Langley City Council implemented (by Council Resolution) a “Community Amenity Contribution” fee in amount of \$500 per multiple family unit, as part of a comprehensive Multiple Family Residential Densification Review conducted by Colliers International Realty Advisors. The CAC charge provides an additional

funding mechanism that the City can utilize to reinvest where amenities are needed most; recognizing that with increased density comes increased demand for amenities and more intensive use of existing services.

Subsequently in 2013, City Council increased the CAC charge from \$500 per multiple family unit to \$1,000 per multiple family unit.

The City has collected \$ 782,500 of Community Amenity Contributions (CAC's) since 2008. Currently, we have \$420,360 in the Community Amenity Contributions fund, of which \$89,975 is allocated to fund various 2017 Capital Improvement Plan projects. These contributions by developers have been allocated in a Reserve Account and can be used by the City to pay for amenities such as: civic facilities, public art, recreational and cultural amenities, way-finding signage, etc.

Staff are now recommending that an increase in the CAC charge from \$1,000 to 2,000 per unit to reflect a meaningful amount of income and will allow for an additional financing component for the construction of various amenities in the City, and is low enough to ensure that the City's fee structure is not detrimental to the development economics.

In spite of an additional cost to development, the overall DCC and CAC rates would continue to be amongst the lowest of the surveyed municipalities. Thus maintaining the City's position as one of the most competitive municipalities for investment. Due to their similar nature and for ease of administration purposes, CAC's would continue to be payable with Development Cost Charges (DCC's).

Most municipalities in Metro Vancouver currently have through their bylaws or through other means requirements for community amenities/benefits (in kind or cash) provided by the developer to the municipality as part of the development rezoning process. These amenities help mitigate the impacts of the development and are funded through extracting part of the rezoning land value increase.

Following is a cursory summary of other CAC requirements of various municipalities within the Lower Mainland. Based on this review, it is clear that there are several different methodologies in determining CAC's, their application and structure. Some CAC requirements are only applicable to additional density granted to a specific development calculated utilizing a specific formula. Other CAC requirements are applicable irrespective of density or the overall number of units within a development.

Municipality	CAC
Abbotsford	Small Voluntary contribution for public art; In process of determining Flat Rate CAC's
Burnaby	\$ per sq. ft (buildable) Bonus Density based on current market values
Coquitlam	\$3/sq. ft. new multifamily residential floorspace up to 2.5 FAR; \$4,800 - \$5,500 for one-family lots
Langley City	\$1,000/unit
Maple Ridge	\$5,100 per one-family lot; \$4,100 per townhouse dwelling unit; \$3,100 per apartment dwelling unit; Bonus density \$3,100 per multifamily unit or additional lot
New Westminister	ad hoc through negotiation
North Vancouver City	ad hoc through negotiation
North Vancouver District	Where case by case negotiations occur, the target is to capture 50% to 75% of value of land lift attributed to rezoning.
Pitt Meadows	Single Family \$2,100/unit Townhouse \$2,800/unit Low Rise \$2,400/unit Mixed Use \$2,400/unit
Port Coquitlam	100% in RA1 (low-rise apartment) zone, otherwise negotiated
Port Moody	In Process of determine Flat Rate CACs
Richmond	\$2/sq.ft. buildable for single family; \$4/sq.ft. buildable for townhouse; \$6/sq.ft. buildable for apartments <81 units; 5% residential area for Affordable Housing for apartments >80 units
Surrey	Capital cost of NCP amenities determined by City in NCP areas
Township of Langley	In Process of determining Flat Rate CACs
Vancouver	\$55/sq.ft. bonus area in Cambie Corridor; ad hoc through negotiation elsewhere
West Vancouver	ad hoc through negotiation
White Rock	\$30/sq.ft. over 1.75 FAR in Town Centre; Ad hock through negotiation outside

August 29, 2017

BUDGET IMPLICATIONS:

The proposed Community Amenity Contribution increase will allow the City to collect an additional \$1,000 per dwelling unit.

ALTERNATIVES:

1. Maintain the current Community Amenity Contribution amount of \$1,000 per dwelling unit.
2. Amend the current Community Amenity Contribution amount to an alternative amount to \$2,000 per dwelling unit.

Respectfully Submitted,



Gerald Minchuk, MCIP, RPP
Director of Development Services & Economic Development

CHIEF ADMINISTRATIVE OFFICER'S COMMENTS:

I support the recommendation.



Francis Cheung, P. Eng.
Chief Administrative Officer