

#### PUBLIC HEARING AGENDA

#### Monday, March 5, 2018 7:00 P.M. Council Chambers, Langley City Hall 20399 Douglas Crescent

**Pages** 

#### 1. CALL TO ORDER

Mayor Schaffer calls the Public Hearing to order.

Mayor Schaffer reads a statement regarding the procedure to be followed for the Public Hearing.

The Corporate Officer advises how this Hearing has been publicized and of any correspondence received.

#### 2. BUSINESS

a. Bylaw 3053 - Discharge Land Use Contract No. 23-73 To authorize the discharge of Land Use Contract No. 23-73 from the property located at 20217 44 Avenue to facilitate application for a secondary suite.

The Mayor invites Gerald Minchuk, Director of Development Services to speak to the proposed bylaw.

The Mayor invites those in attendance who deem their interest in property affected by the proposed bylaw and development permit to present their comments.

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#### b. Bylaw 3050 - Zoning Amendment

To amend the Zoning Bylaw, 1996, No. 2100 to rezone the properties located at 5453-198th Street, 19728, 19738, 19752, 19762, 19770, and 19780 55 Avenue from RM1 Multiple Residential Low Density Zone and RS 1 Single Family Residential Zone to CD53 - Comprehensive Development Zone to accommodate a 3-storey 64 unit townhouse complex.

The Mayor invites Brian Shigetomi, Atelier Pacific Architecture Inc. to speak to the proposed bylaw and development permit.

The Mayor invites those in attendance who deem their interest in property affected by the proposed bylaw and development permit to present their comments.

#### c. Bylaw 3049 - Zoning Amendment

To amend the Zoning Bylaw, 1996, No. 2100 to rezone the properties located at 19608, 19618, 19630, 19642 56th Avenue from RS-1 – Single Family Residential Zone to CD52 - Comprehensive Development Zone to accommodate a 26 unit 3-storey townhouse development.

The Mayor invites Fred Adab, Fred Adab Architecture to speak to the proposed bylaw and development permit.

The Mayor invites those in attendance who deem their interest in property affected by the proposed bylaw and development permit to present their comments.

#### 3. MOTION TO CLOSE PUBLIC HEARING

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#### EXPLANATORY MEMO

# DISCHARGE OF LAND USE CONTACT NO. 23-73 BYLAW NO. 3053

The purpose of Bylaw No. 3053 is to authorize the discharge of Land Use Contract No. 23-73 from the property located at 20217 – 44 Avenue.

The owner has applied to have Land Use Contract No. 23-73 discharged from the title of the property to facilitate a Building Permit application for a secondary suite.

City Council has the authority to discharge a land use contract pursuant to Section 546 of the *Local Government Act*.

The City amended Zoning Bylaw 1996, No. 2100 in December 2006 to allow secondary suites. Current records indicate that 268 suites have been approved or are in the building permit application process for approval. In the same timeframe, 671 property owners discharged the land use contracts affecting their single family residential lots. There are 477 single family residential lots still affected by land use contracts in the City.



# No. 23-73 Bylaw No. 3053

A Bylaw to authorize the discharge of Land Use Contract No. 23-73 from the specified property.

**WHEREAS** Land Use Contract No. 23-73 is registered against titles legally described in Schedule "A".

**AND WHEREAS** the registered owners of the Lands have applied to have Land Use Contract No. 23-73 discharged from title to the Lands.

**AND WHEREAS** Council has the authority to discharge a land use contract pursuant to section 546 of the *Local Government Act*,

**NOW THEREFORE**, the Council of the City of Langley, in open meeting assembled, enacts as follows:

- 1. The Land Use Contract registered in the Land Title Office under L80942 is hereby discharged against the title legally described in Schedule "A" which is attached and forms part of this bylaw.
- 2. The Mayor and Corporate Officer of the City of Langley are authorized to execute such documents on behalf of the City as may be necessary for the purpose aforesaid.

3. This Bylaw may be cited for all purposes as "Discharge of Land Use Contract No. 23-73 Bylaw, 2018, No. 3053".

**READ A FIRST AND SECOND TIME** this nineteenth day of February, 2018.

**A PUBLIC HEARING**, pursuant to Section 464 of the "Local Government Act" was held this -- day of --, 2018.

**READ A THIRD TIME** this -- day of --, 2018..

FINALLY ADOPTED this -- of --, 2018.

MAYOR
CORPORATE OFFICER

#### **BYLAW 3053**

#### **SCHEDULE "A"**

Civic Address: 20217 – 44 Avenue

Legal Description: Lot 278, Section 35, Township 7, New Westminster District,

Plan 49277

PID: 006-381-570 Applicant: A. Bains

Owner: A. Bains; R. Bains





### ZONING BYLAW, 1996, NO. 2100 AMENDMENT NO. 144, 2018, BYLAW NO. 3050 DEVELOPMENT PERMIT APPLICATION DP 01-18

To consider a Rezoning Application and Development Permit Application by Atelier Pacific Architecture Inc. to accommodate a 3-storey, 64-unit townhouse development.

The subject property is currently zoned RM1 Multiple Residential Low Density Zone and RS1 Single Family Residential Zone in Zoning Bylaw No. 2100 and designated "Medium Density Residential" in the Official Community Plan. All lands designated "Medium Density Residential" are subject to a Development Permit to address building form and character.

#### **Background Information:**

**Applicant:** Atelier Pacific Architecture Inc.

**Owner:** 1103300 BC Ltd. and Provincial Rental

**Housing Corporation** 

**Civic Addresses:** 19728, 19738, 19752, 19762, 19770, 19780,

55 Avenue and -5453-198<sup>th</sup> Street

**Legal Description:** Lots 4, 5, and 6, Section 3, Township 8, New

Westminster District, Plan 19625; Lots 5, 6, 7,

and 8, Section 3, Township 8, New Westminster District, Pan 12439

**Site Area:** 1.92 Acres (.78 Hectares)

Lot Coverage: 46.9%

**Total Parking Required:** 145 spaces (including 17 designated visitor

spaces)

**Total Parking Provided:** 145 spaces (including 17 designated visitor

spaces)

**Existing Zoning:** RS1 Single Family Residential Zone and RM1

Multiple Residential Low Density Zone

**Proposed Zoning:** CD53-Comprehensive Development Zone

**OCP Designation:** Medium Density Residential

Variances Requested: None Community Amenity Charges: \$128,000 Bylaw No. 3050



#### ZONING BYLAW, 1996, No. 2100 AMENDMENT No. 144

#### **BYLAW NO. 3050**

A Bylaw to amend City of Langley Zoning Bylaw, 1996, No. 2100 to add a new Comprehensive Development Zone (CD53) and to rezone the property located at 19728, 19738, 19752, 19762, 19770, 19780-55 Avenue and 5453-198<sup>th</sup> Street to the new zone.

WHEREAS the *Local Government Act* authorizes a local government to zone areas of a municipality and to make regulations pursuant to zoning;

NOW THEREFORE the Council of the City of Langley, in open meeting assembled, enacts as follows:

#### 1. Title

This bylaw shall be cited as the "Zoning Bylaw 1996, No. 2100 Amendment No. 144, 2018, No. 3050".

#### 2. Amendment

(1) Bylaw No. 2100, cited as the "Zoning Bylaw, 1996, No. 2100" is hereby amended by adding in Part VII Comprehensive Development Zones the following as the new Zone classification of Comprehensive Development – 53 (CD53) Zone: immediately after Comprehensive Development -52 (CD52) Zone:

#### "XX. CD53 COMPREHENSIVE DEVELOPMENT ZONE

#### 1. Intent

This Zone is intended to accommodate and regulate a 3-storey, 64-unit townhouse development.

#### 2. Permitted Uses

The Land, buildings and structures shall only be used for the following uses only:

(a) Multiple-Unit Residential; and

Bylaw No. 3050

- (b) Accessory uses limited to the following:
  - (i) *Home Occupations* excluding bed and breakfast and *child care* centre.

#### 3. Site Dimensions

The following lot shall form the site and shall be zoned CD 53 Comprehensive Development Zone on the Zoning Map, City of Langley Zoning Bylaw, 1996, No. 2100, Schedule "A":

- (a) PID: 002-170-396 Lot 4, Section 3, Township 8, New Westminster District Plan 19625
- (b) PID: 000-558-303 Lot 5, Section 3, Township 8, New Westminster District Plan 19625
- (c) PID: 010-523-707 Lot 6, Section 3, Township 8, New Westminster District Plan 19625
- (d) PID: 009-702-687 Lot 5, Section 3, Township 8, New Westminster District Plan 12439
- (e) PID: 009-702-695 Lot 6, Section 3, Township 8, New Westminster District Plan 12439
- (f) PID: 005-770-904 Lot 7, Section 3, Township 8, New Westminster District Plan 12439
- (g) PID: 002-844-532 Lot 8, Section 3, Township 8, New Westminster District Plan 12439

#### (c) Siting and Size of Buildings and Structures and Site Coverage

The location, size and site coverage of the buildings and structures of the Development shall generally conform to the plans and specifications comprising 60 pages and dated December, 2017 prepared by Atelier Pacific Architecture Inc. and Vander der Zalm & Associates Landscape Architecture 1 copy of which is attached to Development Permit 15-17.

#### (d) Special Regulations

Special regulations shall comply with subsection 9 Special Regulations prescribed in the respective zones under different Parts of this bylaw.

#### (e) Other Regulations

In addition, land use regulations including the following are applicable:

- (i) General provisions on use are set out in Section I.D. of this bylaw;
- (ii) Building Permits shall be subject to the City of Langley Building and Plumbing Regulation Bylaw and the Development Cost Charge Bylaw; and
- (iii) Subdivisions shall be subject to the City of Langley Subdivision and Development Servicing Bylaw, and the *Land Title* Act."

READ A FIRST AND SECOND TIME this nineteenth day of February, 2018.

A PUBLIC HEARING, pursuant to Section 464 of the "Local Government Act" was held this -- day of --, 2018.

READ A THIRD TIME this -- day of, 2018.

FINALLY ADOPTED this -- day of, 2018.

MAYOR	
CORPORA	ATE OFFICE

Bylaw No. 3050



# REZONING APPLICATION RZ 01-18 DEVELOPMENT PERMIT APPLICATION DP 01-18

Civic Address: 19728, 19738, 19752, 19770, 19780, 5453 – 198 Street

Legal Description: Lots 4, 5 & 6, Section 3, Township 8, New Westminster

District, Plan 19625; Lots 5, 6, 7, & 8 Section 3,

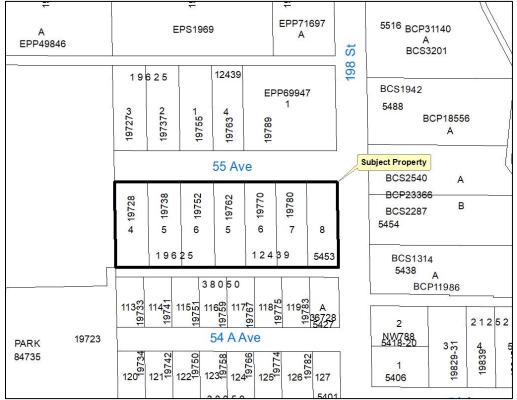
**Township 8, New Westminster District, Plan 12439** 

Applicant: Atelier Pacific Architecture Inc. /

**Waterstock Properties Limited Partnership** 

Owners: 1103300 B.C. Ltd.

**Provincial Rental Housing Corporation** 





# ADVISORY PLANNING COMMISSION REPORT

To: Advisory Planning Commission

Subject Rezoning Application RZ 01-18

**Development Permit Application DP 01-18** 

From: Development Services & Economic

**Development Department** 

Date: February 2, 2018

File #: 6620.00

Doc #:

#### COMMITTEE RECOMMENDATION:

THAT Rezoning Application RZ 01-18/ Development Permit Application DP 01-18 to accommodate a 3-storey 64 -unit townhouse complex located at 5453-198<sup>th</sup> Street, 19728, 19738, 19752, 19762, 19770, and 19780 -55 Avenue be approved subject to execution of a Development Servicing Agreement in compliance with the conditions outlined in the Director of Development Services & Economic Development report.

#### **PURPOSE OF REPORT:**

To consider a Rezoning Application and Development Permit Application by Atelier Pacific Architecture Inc. to accommodate a 64 unit townhouse development located at 5453-198<sup>th</sup> Street, 19728, 19738, 19752, 19762, 19770, and 19780 -55 Avenue.

#### POLICY:

The subject properties are zoned RM1 Multiple Residential Low Density Zone and RS 1 Single Family Residential Zone, and designated as Medium Density Residential in the Official Community Plan. All lands designated as Medium Density Residential are subject to a Development Permit to address form and character.



Date: February 2, 2018

Subject: Rezoning Application RZ 01-18 Development Permit Application DP 01-18

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#### COMMENTS/ANALYSIS:

#### **Background Information:**

**Applicant:** Atelier Pacific Architecture Inc.

Owner: 1103300 B.C. Ltd.

**Civic Addresses:** 5453-198<sup>th</sup> Street, 19728, 19738, 19752,

19762, 19779,19880-55 Avenue

**Legal Description:** Lot 4, Lot 5, Lot 6, Section 3, Township 8,

New Westminster District Plan 19625, Lot 5, Lot 6, Lot 7, Lot 8, Section 3,

Township 8, New Westminster District Plan

12439.

Site Area: 1.92 Acres (.78 Hectares)

Lot Coverage: 46.9%

Total Parking Required:
145 spaces (including 17 visitor spaces)

Zone and RS 1 Single Family Residential

Zone

**Proposed Zoning:** CD 53 (Comprehensive Development

Zone)

**OCP Designation:** Medium Density Residential -70 Units/Acre

Variances Requested: None Community Amenity \$128,000

Charge:

**Exterior Finishes:** Brick, Hardie Paneling/Siding, Metal Rails

Permitted Density in OCP 116 Units (4 Stories)
Proposed Project Density 64 Units (3 Stories)

#### **Engineering Requirements:**

These requirements have been issued for a rezoning and development permit for a proposed **64 unit townhouse development**. These requirements may be subject to change upon receipt of a development application.

The City's Zoning Bylaw, 1996, #2100 has requirements concerning landscaping for buffer zones, parking, loading areas, and garbage / recycling areas, all of which apply to this Development.



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# A) The developer is responsible for the following work which shall be designed and approved by a Professional Engineer:

- 1. Implement erosion and sediment control measures designed and approved by a qualified professional in accordance with the City of Langley Watercourse Protection Bylaw #2518.
- 2. Conduct a water flow test and provide fire flow calculations by a Professional Engineer to determine if the existing water network is adequate for fire flows. Replacement of the existing watermain may be necessary to achieve the necessary pressure and flows to conform to Fire Underwriters Survey (FUS) "Water Supply for a Public Fire Protection, a Guide to Recommended Practice, 1995".
- 3. Additional C71P fire hydrants may be required to meet bylaw and firefighting requirements. Hydrant locations must approved by the City of Langley Fire Department.
- 4. Design and construct a half-width road on 55 Avenue along the property frontage to a City of Langley modified local road standard (curb to curb width 11.0m); including pavement, barrier curb and gutter, 1.5m wide sidewalk, boulevard, street lighting, street trees and storm drainage. Additionally, any widening of the pavement structure, required to meet the design road width, will need to be designed by a geotechnical engineer. A cash-in-lieu amount for the top lift of pavement will be paid to the City, amount to be calculated by the developer's engineer.
- 5. The full construction of the rear lane south of the site is required. Drainage infrastructure shall be provided to collect and convey runoff generated within the lane. A trailhead shall be provided at the west end of the lane and a connection to Brydon Park may be required.
- 6. Vehicular access to the site will be from the laneway south of the site. One access will be permitted from 55 Avenue. Access from the laneway south of the site will include a public right-of-way for vehicles to turn around in.
- 7. The condition of the existing pavement surrounding the site shall be assessed by a geotechnical engineer. Pavements shall be adequate for an expected road life of 20 years under the expected traffic conditions for the class of road. Road construction and asphalt overlay designs shall be based on the analysis of the results of Benkelman Beam tests and test holes carried out on the existing road which is to be upgraded. If the pavement is inadequate it shall be remediated, at developer's cost.
- 8. Removal of driveway crossings, new street trees, street lighting, curb and gutter, curb bulges, and 1.8m wide sidewalk is required along 198 Street.



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Construction of speed humps and curb bulges along 198 Street will aid in traffic calming.

- 9. Existing street lighting along 55 Avenue and 198 Street shall be reviewed, by an approved lighting consultant, to ensure existing street lighting and lighting levels meet current City of Langley standards.
- 10. New water, sanitary and storm sewer service connections are required. The developer's engineer will determine the appropriate main tie in locations and size the connections for the necessary capacity. The capacity of the existing water and sewer mains should be assessed and any upgrades required to service the site shall be designed and installed at the Developer's expense. All existing services shall be capped at the main, at the Developer's expense, upon application for Demolition permit.
- 11. Undergrounding of the existing overhead Hydro and Telus is required along the 55 Avenue frontage.
- 12. A stormwater management plan for the site, including 55 Avenue and the lane, is required. Rainwater management measures used on site shall limit the release rate to mitigate flooding and environmental impacts as detailed in the Subdivision and Development Bylaw.
- 13.A Qualified Environmental Professional (QEP) must be engaged to complete an assessment of the proposed development to ensure compliance with the Riparian Area Regulations. The QEP shall propose measures to mitigate environmental impacts and compensate for lost habitat due to the infilling of the ditches along 55 Avenue and the lane, and must apply to DFO for approval.
- 14. The site layout shall be designed by a civil engineer to ensure that the parking and access layout meets minimum design standards, including setbacks from property lines. Appropriate turning templates should be used to prove parking stalls and drive-aisles are accessible by the design vehicle.

# B) The developer is required to deposit the following bonding and connection fees:

- 1. A Security Deposit of 110% of the estimated offsite works construction costs of installing civil works, as approved by the Director of Engineering, Parks and Environment.
- Inspection and administration fees in accordance to the Subdivision Bylaw based on a percentage of the estimated construction costs. (See Schedule A – General Requirement - GR5.1 for details).



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3. A deposit for a storm, sanitary and water connection is required, which will be determined after detailed civil engineering drawings are submitted, sealed by a Professional Engineer.

4. A \$20,000 bond for the installation of a water meter to current standards.

#### C) The developer is required to adhere to the following conditions:

- 1. Underground hydro and telephone, and cable services to the development site are required.
- 2. All survey costs and registration of documents with the Land Titles Office are the responsibility of the developer/owner.
- 3. A water meter is required to be installed outside in a vault away from any structures in accordance to the City's water meter specifications at the developer's cost. A double detector check valve assembly is required to be installed outside away from any structure in a vault as per the City's specifications.
- 4. An approved backflow prevention assembly must be installed on the domestic water connection immediately upon entering the building to provide premise isolation.
- 5. A "Stormceptor" or equivalent oil separator is required to treat site surface drainage.
- 6. A complete set of "as-built" drawings sealed by a Professional Engineer shall be submitted to the City after completion of the works. Digital drawing files in .pdf and .dwg format shall also be submitted.
- 7. The selection, location and spacing of street trees and landscaping shall be in accordance with the City of Langley's Official Community Plan Bylaw, 2005, No. 2600 and Street Tree Program, November, 1999 manual.
- 8. Stormwater run-off generated on the site shall not impact adjacent properties, or roadways.
- Garbage and recycling enclosures shall be designed to meet Metro Vancouver's "Technical Specifications for Recycling and Garbage Amenities in Multi-family and Commercial Developments - June 2015 Update"



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#### **Discussion:**

The proposed site is located on the southeast corner of 55<sup>th</sup> Avenue and 198<sup>th</sup> Street and comprises 7 single family lots. The form of development proposes a three storey townhouse residential use with clusters of five- to six- unit blocks that have an appearance of row-house style residences, each with a direct access to grade at the front and the rear of the unit. Access to garages is from an internal strata road (with the exception of the lane units) with convenient visitor parking provided at grade.

The building design and site planning complement the adjacent multifamily developments Buildings are designed to front or have the appearance of fronting onto a public road through direct pedestrian access to the outside and through appropriate treatment of exteriors. The overall development accommodates varying unit types and sizes, including rooftop amenity decks for outdoor useable space, secured within each unit. Form of development is a compact townhouse cluster to allow for a densified urban environment, yet maintaining an individual identity for each home.

The architectural aesthetics of the proposed project takes its cues from the architectural style / language of the Pacific West Coast Urban. It uses a simple yet elegant repeating rowhouse building form topped by a roof trellises. The project uses 'noble finishing materials' throughout such as brick, hardie panels/siding and metal railings, and combined with a neutral West Coast colour palette.

The site is designated as Medium Density Residential in the Official Community Plan. This density allows for a 4 storey condominium development, with a density of 70 units per acre. This proposed development is 3 stories in height and has a proposed density of 33 units per acre. In addition, the subject application complies with the Official Community Plan's Development Permit Area Guidelines for Townhouse Developments.

The proposed development benefited from a Crime Prevention Through Environmental Design (CPTED) report by a qualified consultant whose recommendations are incorporated in the plans.



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Subject: Rezoning Application RZ 01-18 Development Permit Application DP 01-18

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#### **Fire Department Comments:**

Langley City Fire-Rescue Service has reviewed the attached plans and provided preliminary comments to the applicant. The department will review, and make further comment, as the project continues to the building permit design stage.

#### **Advisory Planning Commission:**

In accordance with Development Application Procedures Bylaw No. 2488, the subject applications will be reviewed by the Advisory Planning Commission at the February 14<sup>th</sup>, 2018 meeting. A copy of the APC minutes will be presented to Langley City Council at the February 19<sup>th</sup> Regular Council meeting.

#### **BUDGET IMPLICATIONS:**

In accordance with Bylaw No. 2482, the proposed development would contribute \$788,732.00 to City Development Cost Charge accounts and \$128,000.00 in Community Amenity Charges.

#### **ALTERNATIVES:**

1. Require changes to the applicant's proposal.

Track Mirehole

2. Deny application.

Prepared by:

Gerald Minchuk, MCIP

Director of Development Services & Economic Development

Concurrence: Concurrence:

Kara Jefford, P.Eng. Rory Thompson, Fire Chief

Manager of Engineering



# MINUTES OF THE ADVISORY PLANNING COMMISSION MEETING

# HELD IN LANGLEY CITY HALL CKF COMMUNITY BOARDROOM

#### WEDNESDAY, FEBRUARY 14, 2018 7:00 PM

Present: Councillor Jack Arnold, Chairman

Councillor Paul Albrecht, Vice-Chairman

John Beimers

Shelley Coburn, School District No. 35

Kimberley Lubinich

Corp. Steve McKeddie, Langley RCMP

Ron Madsen Dan Millsip Kim Mullin Jamie Schreder

Staff: Gerald Minchuk, Director of Development Services & Economic

Development

**Absent**: Trish Buhler

#### 1) RECEIPT OF MINUTES

MOVED BY Commission Member Millsip SECONDED BY Commission Member Schreder

THAT the minutes for the January 10, 2018 Advisory Planning Commission meeting be received.

**CARRIED** 

# 2) REZONING APPLICATION RZ 01-18/DEVELOPMENT PERMIT APPLICATION DP 01-18-5453-198<sup>TH</sup> STREET, 19728, 19738, 19752, 19762, 19779, 19880 -55 AVENUE -ATELIER PACIFIC ARCHITECTURE INC.

The Director Development Services & Economic Development provided a brief overview of the planning context for the proposed Rezoning/Development Permit applications, and introduced Brian, Shigetomi, Atelier Pacific Architecture Inc. and Jennifer Wall, Van der Zalm, Landscape Architects, who presented the proposed applications. Following discussion on building form and character, landscaping, incorporating, parking, sustainability features and CPTED security measures, it was:

MOVED BY Commission Member Beimers SECONDED BY Commission Member Mullin

That Rezoning Application RZ 01-18/Development Permit Application DP 01-18 to accommodate a 64 unit, 3-storey townhouse development located at 5453-198<sup>TH</sup> STREET, 19728, 19738, 19752, 19762, 19779, 19880 -55 AVENUE approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report be approved.

#### **CARRIED**

# 3) REZONING APPLICATION RZ 02-18/DEVELOPMENT PERMIT APPLICATION DP 02-18- 19608, 19618, 19630, 19642 -56 AVENUE F. ADAB ARCHITECTS INC.

The Director Development Services & Economic Development provided a brief overview of the planning context for the proposed Rezoning/Development Permit applications, and introduced Fred Adab, F. Adab Architects Inc. and Merideth Mitchell, M2 Landscape Architects, who presented the proposed applications. Following discussion on building form and character, landscaping, incorporating, parking, sustainability features and CPTED security measures, it was:

MOVED BY Commission Member Mullin SECONDED BY Commission Member Schreder

That Rezoning Application RZ 02-18/Development Permit Application DP 02-18 to accommodate a 26 unit, 3-storey townhouse development located at 19608, 19618, 19630, 19642 -56th Avenue be approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report be approved.

#### **CARRIED**

#### 3) <u>DEVELOPMENT PERMIT APPLICATION DP 03-18- 5501-204<sup>TH</sup></u> <u>STREET -TURNER ARCHITECTURE</u>

The Director Development Services & Economic Development provided a brief overview of the planning context for the proposed Development Permit application, and introduced Bob Turner, Turner Architecture, who presented the proposed development permit application. Following discussion on building form and character, landscaping, parking lot layout, and CPTED security measures, it was:

MOVED BY Commission Member Millsip SECONDED BY Commission Member Madsen

That Development Permit Application DP 03-18 to accommodate a new 288 m² commercial building located at 5501-204<sup>th</sup> Street be approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report be approved, including conducting a Traffic Engineering Assessment to address the parking lot layout to improve vehicular and pedestrian safety.

#### CARRIED

#### 4) Next Meeting:

Wednesday, March 14th, 2018

#### 5) ADJOURNMENT

MOVED BY Commission Member Coburn SECONDED BY Commission Member Lubinich

THAT the meeting adjourn at 8:50 P.M.

#### **CARRIED**

ADVISORY PLANNING COMMISSION CHAIRMAN

DIRECTOR OF DEVELOPMENT SERVICES & ECONOMIC DEVELOPMENT

Certified Correct



THE TERRACES (PHASE-3) Proposed Townhouse Development

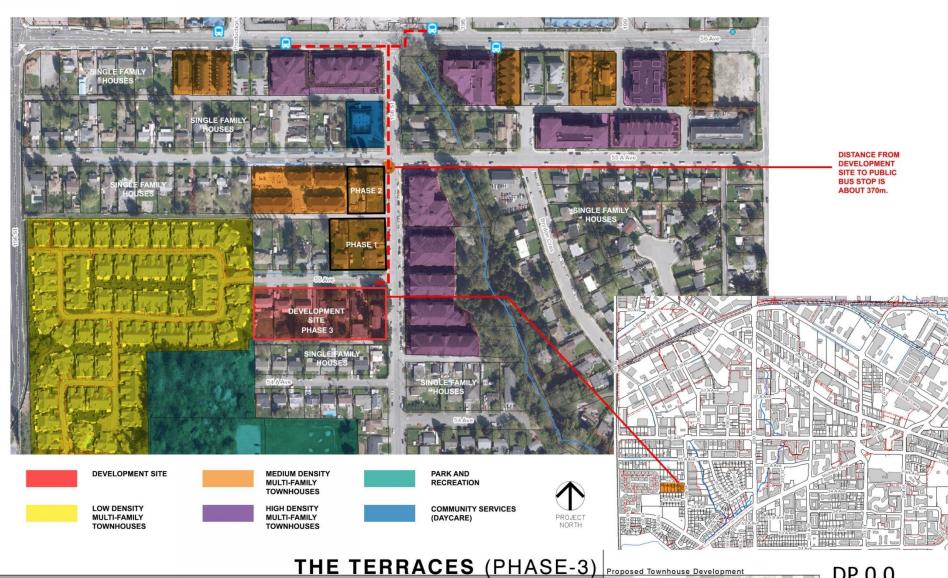
5453 - 198th Street and 19728,19738,19752,19762,19770,19780 - 55 Avenue, Langley, BC

21 ATELIER PACIFIC ARCHITECTURE INC.



**COVER PAGE** 

# **CONTEXT PLAN & NEIGHBOURHOOD ANALYSIS**



5453 - 198th Street and 19728,19738,19752,19762,19770,19780 - 55 Avenue, Langley, BC

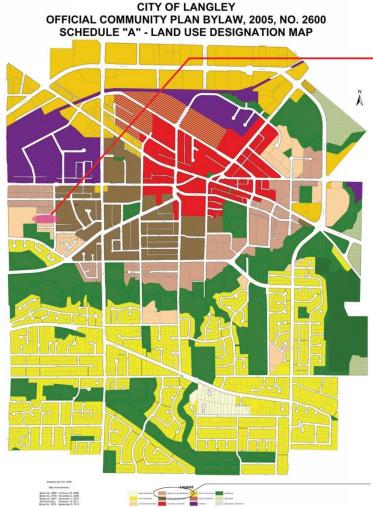
22

FEBRUARY 5, 2018

**DP 0.0** 

CONTEXT PLAN **NEIGHBOURHOOD ANALYSIS** SCALE: N.T.S.

## OFFICIAL COMMUNITY PLAN COMPLIANCES



PROPOSED SITE IS LOCATED ON THE MEDIUM DENSITY RESIDENTIAL AREA (SHOWN ON THE OFFICIAL COMMUNITY PLAN )

#### CITY OF LANGLEY OFFICIAL COMMUNITY PLAN BYLAW, 2005, NO. 2600

- THE PURPOSE OF THE OFFICIAL COMMUNITY PLAN IS TO GUIDE DECISION-MAKING BY OFFERING A LONG RANGE OUTLOOK ON THE CITY'S DEVELOPMENT.
- $\cdot$  PROVIDES PROPERTY OWNERS AND DEVELOPERS WITH A REASONABLE DEGREE OF CERTAINTY CONCERNING LAND USE POLICIES AND FUTURE FORM AND CHARACTER OF DIFFERENT AREAS OF THE CITY.
- THE SUBJECT PROPERTY IS CURRENTLY DESIGNATED "MEDIUM DENSITY RESIDENTIAL" IN THE CITY'S OFFICIAL COMMUNITY PLAN.
- · MEDIUM DENSITY RESIDENTIAL ALLOWS A DENSITY OF 70 UNITS PER ACRE (173 UNITS PER HECT-ARE) AND A BUILDING HEIGHT OF 4 STOREYS.
- THEREFORE, BASED UPON THE LOT AREA OF 1.922 ACRES, 134.5 MULTIPLE FAMILY RESIDENTIAL UNITS WOULD COMPLY WITH THE EXISTING CITY OCP BYLAW DESIGNATION.
- · THE PROPOSED DEVELOPMENT CONSISTS OF 64 UNITS, A BUILDING HEIGHT OF 3 STOREYS.

	ALLOWED	PROPOSED
DENSITY	70 UNITS/ACRE	33.3 UNITS/ACRE
NUMBER OF UNIT	115.5 UNITS	64 UNITS
BUILDING HEIGHT	4 STOREY	3 STOREY



MEDIUM DENSITY RESIDENTIAL

**THE TERRACES** (PHASE-3)

5453 - 198th Street and 19728,19738,19752,19762,19770,19780 - 55 Avenue, Langley, BC

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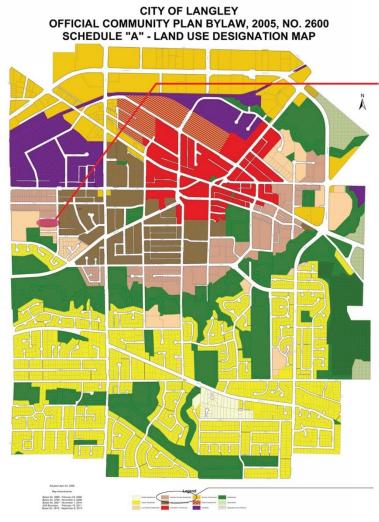
FEBRUARY 5, 2018

Proposed Townhouse Development

DP 0.0a

OFFICIAL COMMUNITY PLAN COMPLIANCE SCALE: N.T.S.

## OFFICIAL COMMUNITY PLAN COMPLIANCES



PROPOSED SITE IS LOCATED ON THE MEDIUM DENSITY RESIDENTIAL AREA (SHOWN ON THE OFFICIAL COMMUNITY PLAN )

#### CITY OF LANGLEY OFFICAL COMMUNITY PLAN BYLAW, 2005, NO. 2600

THE CITY'S OCP BYLAW STATES:

- "TOWNHOUSE UNITS SHOULD BE ORIENTED TOWARD PUBLIC ROADS"
- "VEHICLE ACCESS SHOULD BE PROVIDED FROM INTERNAL ROADS OR LANES"
- "AVOID PRESENTING GARAGE ENTRANCES TO PUBLIC ROADS WHERE POSSIBLE"
- THEREFORE, THE PROPOSED DEVELOPMENT COMPLIES WITH THE CITY OF LANGLEY'S OFFICIAL COMMUNITY PLAN BYLAW.

Proposed Townhouse Development

MEDIUM DENSITY RESIDENTIAL

**THE TERRACES** (PHASE-3)

DP 0.0b

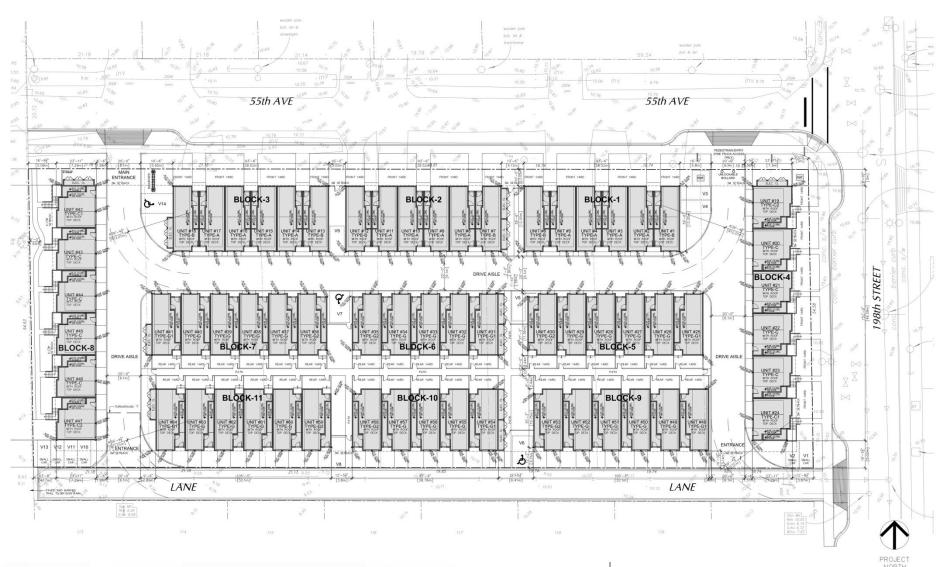
OFFICIAL COMMUNITY PLAN COMPLIANCE SCALE: N.T.S.

5453 - 198th Street and 19728.19738.19752.19762.19770.19780 - 55 Avenue, Langley, BC

ATELIER PACIFIC ARCHITECTURE INC.

FEBRUARY 5, 2018

# SITE PLAN



THE TERRACES (PHASE-3)

5453 - 198th Street and 19728, 19738, 19752, 19762, 19770,19780 - 55 Avenue, Langley, BC

25

ATELIER PACIFIC ARCHITECTURE INC.

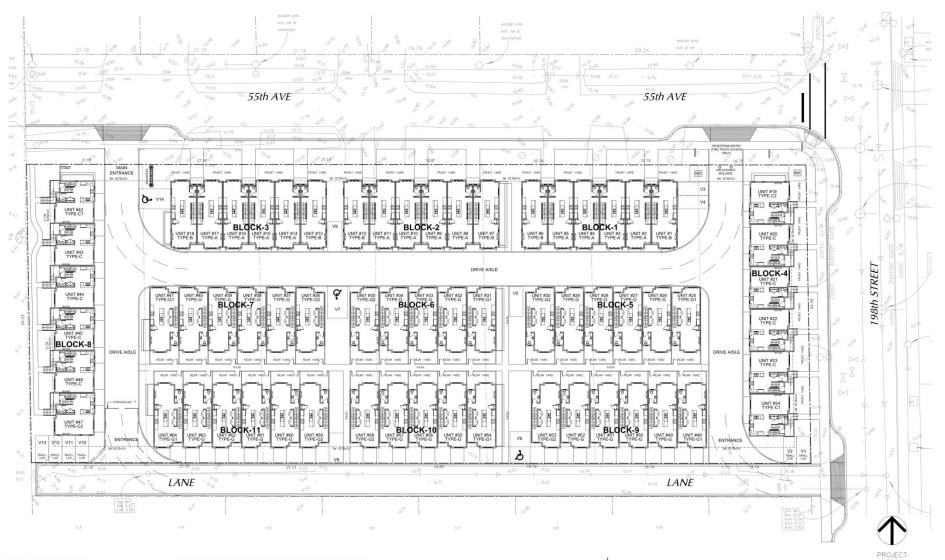
FEBRUARY 5, 2018

Proposed Townhouse Development

DP 0.1

OVERALL SITE PLAN

# **SECOND FLOOR PLAN ON PROPERTY**



THE TERRACES (PHASE-3)

5453 - 198th Street and 19728, 19738, 19752, 19762, 19770,19780 - 55 Avenue, Langley, BC

26

PACIFIC ARCHITECTURE INC.

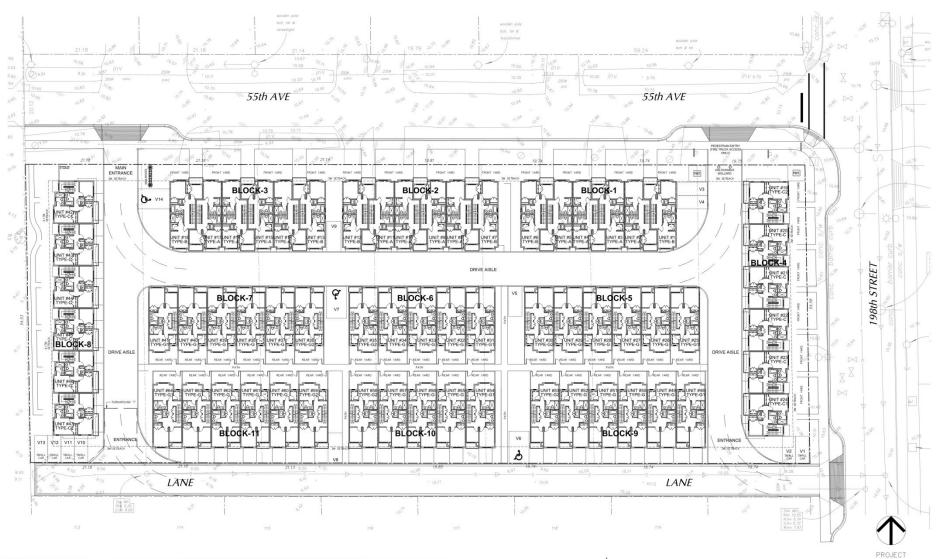
FEBRUARY 5, 2018



DP 1.2

SECOND FLOOR PLAN ON PROPERTY

# THIRD FLOOR PLAN ON PROPERTY



THE TERRACES (PHASE-3)

5453 - 198th Street and 19728, 19738, 19752, 19762, 19770,19780 - 55 Avenue, Langley, BC

27

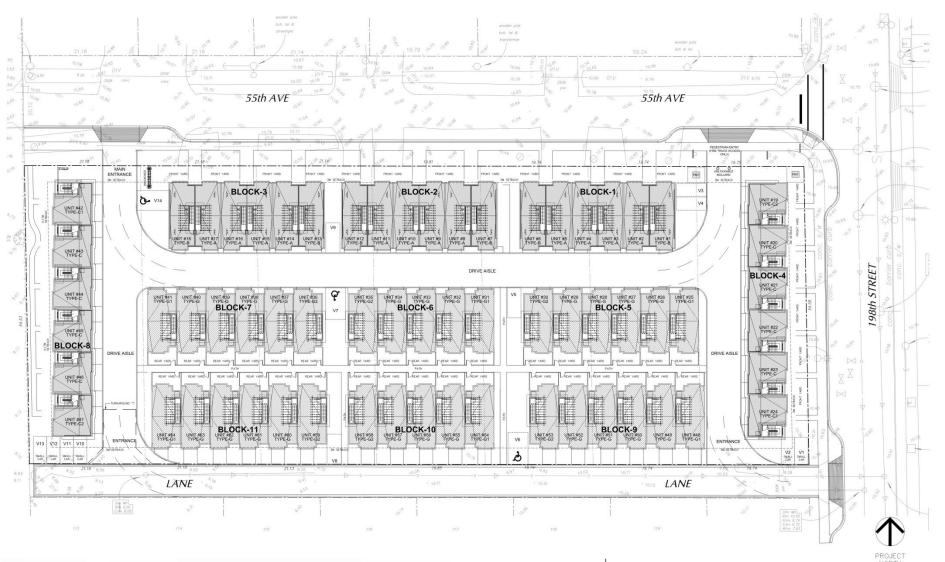
FEBRUARY 5, 2018

Proposed Townhouse Development

DP 1.3

THIRD FLOOR PLAN ON PROPERTY

# **ROOF DECK PLAN ON PROPERTY**



THE TERRACES (PHASE-3)

5453 - 198th Street and 19728, 19738, 19752, 19762, 19770,19780 - 55 Avenue, Langley, BC

28

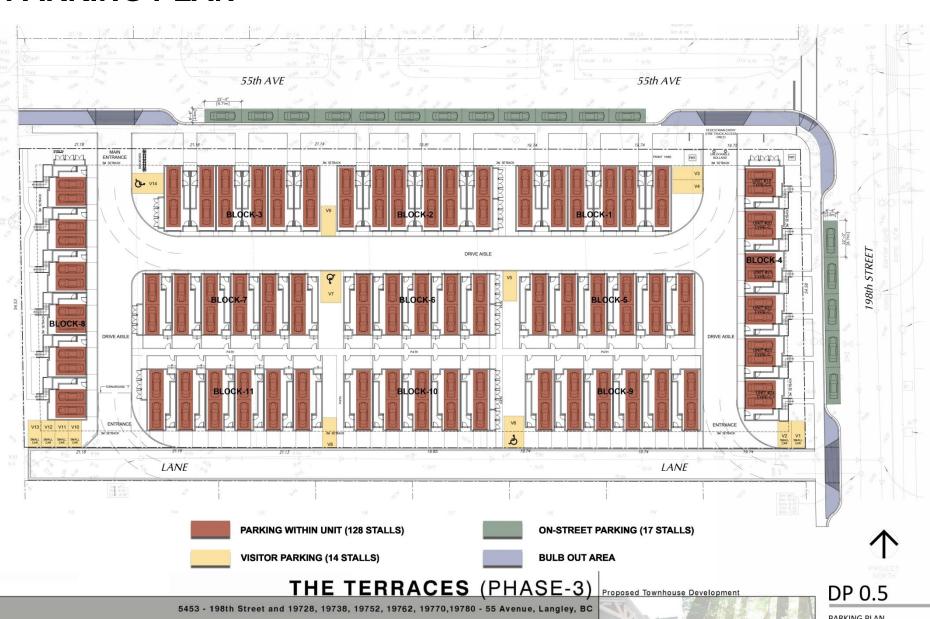
FEBRUARY 5, 2018



DP 1.4

ROOF DECK ON PROPERTY

# **PARKING PLAN**



ATELIER PACIFIC ARCHITECTURE INC
FEBRUARY 05, 2018

PARKING PLAN



## **SUSTAINABILITY FEATURES:**

### ON SITE:

- STORM WATER MANAGEMENT TO MITIGATE AGAINST FLOODING AND HABITAT DESTRUCTION;
- DESIGNED TO PREVENT GROUND WATER CONTAMINATION
- EXTERIOR LIGHTING TO BE LED DARK SKY COMPLIANT.
- LIGHT COLOR PAVING MATERIAL ON ROOF DECK TO REDUCE HEAT ISLAND AFFECT;
- DROUGHT TOLERANT PLANTS ARE PROPOSED TO MITIGATE IRRIGATION;
- IRRIGATION SYSTEM.

THE TERRACES (PHASE-3)

Proposed Townhouse Developme



## **SUSTAINABILITY FEATURES:**

#### **WITHIN UNITS:**

- HEAT RECOVERY SYSTEM TO REDUCE ENERGY CONSUMPTION;
- DUAL FLUSH TOILETS;
- ENERGY STAR EFFICIENT APPLIANCES.
- ROUGH-INS IN GARAGE FOR ELECTRIC CAR

#### **CONSTRUCTION:**

- INCORPORATING CONSTRUCTION TECHNIQUES TO PROTECT AIR QUALITY TO REDUCE SITE DISTURBANCE;
- RECYCLE PLAN FOR WASTE BUILDING MATERIALS.

**THE TERRACES** (PHASE-3)

Proposed Townhouse Developme



### CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN:

(REPORT BY: LIAHONA SECURITY CONSORTIUM INC.)

- HIGH QUALITY DESIGN TO IMPROVE EXISTING SITE CONDITION
- CREATE A SENSE OF OBSERVATION/NATURAL SURVEILLANCE AND TERRITORIALITY ON 198th STREET, 55th AVE., AND LANE:
- NATURAL SURVEILLANCE AND ACCESS CONTROL THROUGH EYES ON THE STREET BY WINDOW FACING YARDS, STREETS, INTERNAL DRIVEWAYS;
- GARAGE DOORS WILL BE OVERLOOKED FROM TOWNHOUSES AND THE PUBLIC REALM:
- LAMINATE WRAPPED UTILITY BOX TO RESIST GRAFFITI AND MAKE CLEAN UP EASIER;
- WOOD FENCE ON THE WEST SIDE OF THE PROPERTY TO DELINEATE PRIVATE PROPERTY AND DETER INTRUDERS:
- 1.2m HIGH FENCE AND GATE BETWEEN BUILDINGS TO DEFINE AND CONTROL ACCESS. INTO YARDS:
- ALL OUTDOOR SPACES TO BE PRIVATE, ABOVE GRADE AND CONTROLLED BY EACH UNIT;
- SPACE BELOW THE EXTERIOR STAIRS TO BE ENCLOSED.

THE TERRACES (PHASE-3) | Proposed Townhouse Developmen

# STREETSCAPE AND COLOURED ELEVATIONS:



#### **MATERIAL & COLOUR SCHEME-A**



FASCIA BOARD METAL RAILING CHARCOAL



MIDNIGHT-MATTE BRICK



(JAMES HARDIE) (COBBLES STONE)



HARDIE PANEL (JAMES HARDIE) (PEARL GRAY)



HARDIE SIDING WOODTONE MOUNTAIN CEDAR



ENTRY DOOR, GARAGE DOOR CEDAR (TO MATCH HARDIE SIDING COLOR)

THE TERRACES (PHASE-3)

5453 - 198th Street and 19728,19738,19752,19762,19770,19780 - 55 Avenue, Langley, BC

33

ATELIER PACIFIC ARCHITECTURE INC.

FEBRUARY 5, 2018



DP 0.6

COLOUR ELEVATION

# STREETSCAPE AND COLOURED ELEVATIONS:



#### **MATERIAL & COLOUR SCHEME-B**



FASCIA BOARD METAL RAILING CHARCOAL



**CULTURED BRICK USED BRICK** HIGH DESERT



(JAMES HARDIE) (ARCTIC WHITE)



HARDIE PANEL (JAMES HARDIE) (AGED PEWTER)



HARDIE SIDING WOODTONE OLD CHERRY



GARAGE DOOR STAIN WOOD GRAIN DARK OAK

**THE TERRACES** (PHASE-3)

5453 - 198th Street and 19728.19738.19752.19762.19770.19780 - 55 Avenue, Langley, BC

ATELIER PACIFIC ARCHITECTURE INC.

FEBRUARY 5, 2018



**DP 0.6b** 

**COLOUR ELEVATION** 

# STREETSCAPE AND COLOURED ELEVATIONS:



#### **MATERIAL & COLOUR SCHEME-A**



METAL RAILING CHARCOAL



MIDNIGHT-MATTE BRICK



(JAMES HARDIE) (COBBLES STONÉ)



HARDIE PANEL (JAMES HARDIE) (PEARL GRAY)



HARDIE SIDING WOODTONE MOUNTAIN CEDAR



ENTRY DOOR, GARAGE DOOR CEDAR (TO MATCH HARDIE SIDING COLOR)

THE TERRACES (PHASE-3)

5453 - 198th Street and 19728,19738,19752,19762,19770,19780 - 55 Avenue, Langley, BC

ATELIER PACIFIC ARCHITECTURE INC.

DECEMBER 15th, 2017



**DP 0.7** 

COLOUR ELEVATION

SCALE: 3/16"=1'-0"

# STREETSCAPE AND COLOURED ELEVATIONS:



#### **MATERIAL & COLOUR SCHEME-B**



FASCIA BOARD METAL RAILING CHARCOAL



CULTURED BRICK USED BRICK HIGH DESERT



HARDIE PANEL (JAMES HARDIE) (ARCTIC WHITE)



HARDIE PANEL (JAMES HARDIE) (AGED PEWTER)



HARDIE SIDING WOODTONE OLD CHERRY



ENTRY DOOR, GARAGE DOOR STAIN WOOD GRAIN DARK OAK

THE TERRACES (PHASE-3)

5453 - 198th Street and 19728,19738,19752,19762,19770,19780 - 55 Avenue, Langley, BC

ATELIER PACIFIC ARCHITECTURE INC.

FEBRUARY 5, 2018



DP 0.6c

COLOUR ELEVATION

SCALE: 3/16"=1'-0"

### **PUBLIC INFORMATION MEETING**

# THE APPLICATION TOOK THE INITIATIVE TO HOST A PUBLIC INFORMATION MEETING TO INTRODUCE THE PROJECT TO THE NEIGHBOURS.

- RESIDENTS WITHIN 100m RADIUS WERE INVITED;
- THERE WAS GENERAL SUPPORT FOR THE DEVELOPMENT.

#### **CONCERNS & COMMENTS:**

ELIMINATE THE SOUTH END OF SINGLE-CAR ON STREET PARKING POCKET ON 55 AVENUE

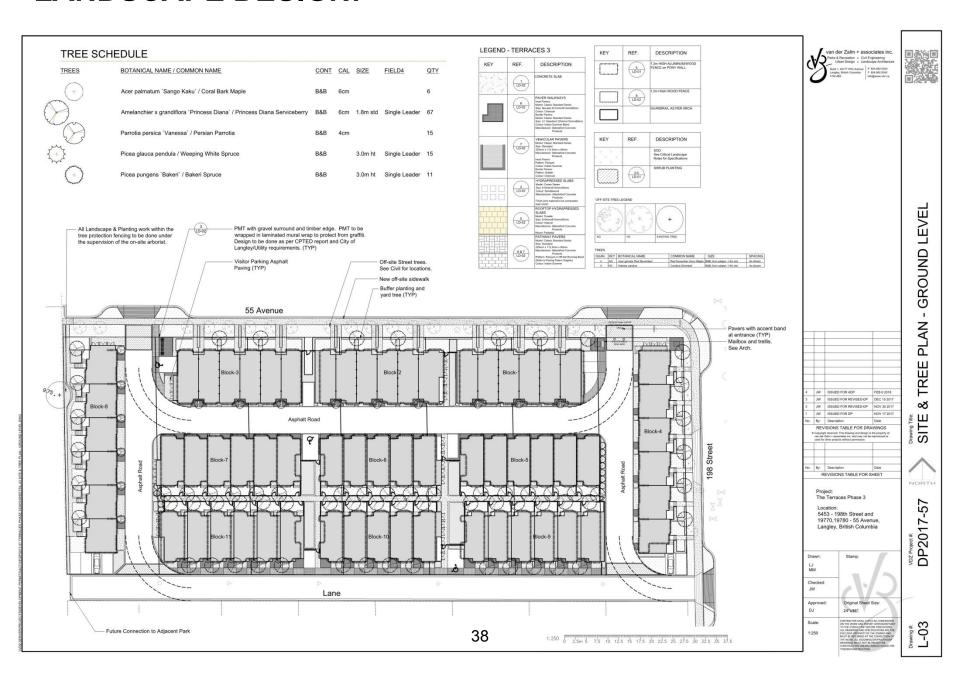
#### **SOLUTION/ DISCUSSION:**

 THE SINGLE CAR POCKET WILL BE ELMINATED. THE BULB-OUT WILL BE EXTENDED TO THE END OF 55 AVENUE.

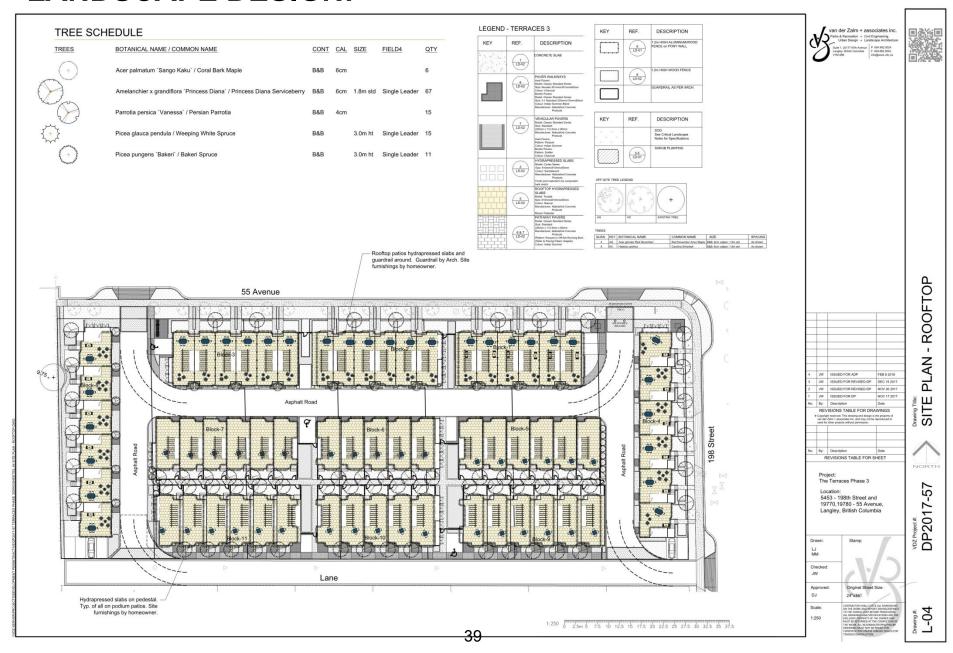




# **LANDSCAPE DESIGN:**



# **LANDSCAPE DESIGN:**



#### **BRYDON PARK ACCESS**

THE GREEN BELT BETWEEN THE END OF LANE AND 54A AVENUE IS A NUISANCE GATHERING SPACE THAT FACILITATES LOITERING, DRINKING AND DRUG USE.



Image #1 Hot Spot Activity



- IMPROVING/ UPGRADING THE PARK WILL BENEFIT THE NEARBY RESIDENTS.
- DEVELOPER WILL CONTRIBUTE TO THE CITY OF LANGLEY TO ENHANCE THE WESTERN HALF OF BRYDON PARK.



### ZONING BYLAW, 1996, NO. 2100 AMENDMENT NO. 143, 2018, BYLAW NO. 3049 DEVELOPMENT PERMIT APPLICATION DP 02-18

To consider a Rezoning Application and Development Permit Application by F. Adab Architects Inc. to accommodate a 3-storey, 26-unit townhouse development.

The subject property is currently zoned RS1 Single Family Residential Zone in Zoning Bylaw No. 2100 and designated "Medium Density Residential" in the Official Community Plan. All lands designated "Medium Density Residential" are subject to a Development Permit to address building form and character.

#### **Background Information:**

**Applicant:** F. Adab Architects Inc.

Owners: R. Hans, G. Hans, G. Hans, G. Hans, J. Gill,

S. Gill

**Civic Addresses:** 19608, 19618, 19630, 19642-56<sup>th</sup> Ave. **Legal Description:** Lots 1 &2, Section 3, Township 8, New

Westminster District, Plan 9565; Lot 3, Section 3, Township 8, New Westminster District, Plan 9565 Except Plan BCP50413; Lot 63, Section 3, Township 8, New Westminster District, Plan

25734 Except Plan BCP50080

**Site Area:**  $3,671.2\text{m}^2 (39,516.44 \text{ ft}^2)$ 

**Lot Coverage:** 44%

Total Parking Required:52 spaces (plus 5 designated visitor spaces)Total Parking Provided:52 spaces (plus 5 designated visitor spaces)Existing Zoning:RS1 Single Family Residential ZoneProposed Zoning:CD52-Comprehensive Development Zone

**OCP Designation:** Medium Density Residential

Variances Requested: None

**Development Cost Charges:** \$350,215.50 (includes 4 SF DCC Credits)



#### ZONING BYLAW, 1996, No. 2100 AMENDMENT No. 143

#### **BYLAW NO. 3049**

A Bylaw to amend City of Langley Zoning Bylaw, 1996, No. 2100 to add a new Comprehensive Development Zone (CD52) and to rezone the property located at 19608, 19618, 19630, 19642-56th Avenue to the new zone.

WHEREAS the *Local Government Act* authorizes a local government to zone areas of a municipality and to make regulations pursuant to zoning;

NOW THEREFORE the Council of the City of Langley, in open meeting assembled, enacts as follows:

#### 1. Title

This bylaw shall be cited as the "Zoning Bylaw 1996, No. 2100 Amendment No. 143, 2018, No. 3049".

#### 2. Amendment

(1) Bylaw No. 2100, cited as the "Zoning Bylaw, 1996, No. 2100" is hereby amended by adding in Part VII Comprehensive Development Zones the following as the new Zone classification of Comprehensive Development – 52 (CD52) Zone: immediately after Comprehensive Development -48 (CD51) Zone:

#### "WW". CD52 COMPREHENSIVE DEVELOPMENT ZONE

#### 1. Intent

This Zone is intended to accommodate and regulate a 3-storey, 26-unit townhouse development.

#### 2. Permitted Uses

The Land, buildings and structures shall only be used for the following uses only:

(a) Multiple-Unit Residential; and

- (b) Accessory uses limited to the following:
  - (i) *Home Occupations* excluding bed and breakfast and *child care centre*.

#### 3. Site Dimensions

The following lot shall form the site and shall be zoned CD 52 Comprehensive Development Zone on the Zoning Map, City of Langley Zoning Bylaw, 1996, No. 2100, Schedule "A":

- (a) PID: 011-412-682 Lot 1, Section 3, Township 8, New Westminster District Plan 9565
- (b) PID: 011-412-704 Lot 2, Section3, Township 8, New Westminster District Plan 9565
- (c) PID: 011-412-712 Lot 3, Section 3, Township 8, New Westminster District Plan 9565 Except Plan BCP50413
- (d) PID: 004-492-498 Lot 63, Section 3, Township 8, New Westminster District Plan 25734 Except Plan BCP50080

#### (c) Siting and Size of Buildings and Structures and Site Coverage

The location, size and site coverage of the buildings and structures of the Development shall generally conform to the plans and specifications comprising 35 pages and dated November, 2017 prepared by F. Adab Architects Inc. and M2 Landscape Architecture 1 copy of which is attached to Development Permit 15-17.

#### (d) Special Regulations

Special regulations shall comply with subsection 9 Special Regulations prescribed in the respective zones under different Parts of this bylaw.

#### (e) Other Regulations

In addition, land use regulations including the following are applicable:

(i) General provisions on use are set out in Section I.D. of this bylaw;

- (ii) Building Permits shall be subject to the City of Langley Building and Plumbing Regulation Bylaw and the Development Cost Charge Bylaw; and
- (iii) Subdivisions shall be subject to the City of Langley Subdivision and Development Servicing Bylaw, and the *Land Title* Act."

READ A FIRST AND SECOND TIME this nineteenth day of February, 2018.

A PUBLIC HEARING, pursuant to Section 464 of the "Local Government Act" was held this -- day of --, 2018.

READ A THIRD TIME this -- day of --, 2018.

APPROVED PURSUANT TO SEC 52 (3)(a) OF THE TRANSPORTATION ACT this - day of --, 2018.

FINALLY ADOPTED this -- day of --, 2018.



# REZONING APPLICATION RZ 02-18 DEVELOPMENT PERMIT APPLICATION DP 02-18

Civic Address: 19608, 19618, 19630, 19642 – 56 Avenue

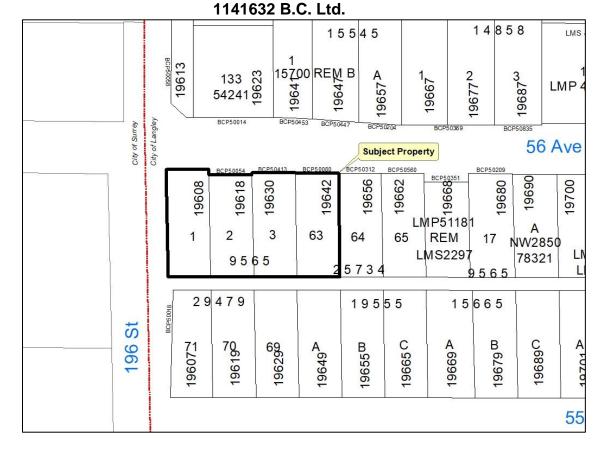
Legal Description: Lots 1 & 2, Section 3, Township 8, New Westminster

District, Plan 9565; Lot 3, Section 3, Township 8, New Westminster District, Plan 9565 Except Plan BCP50413; Lot 63, Section 3, Township 8, New Westminster District,

Plan 25734 Except Plan BCP50080

Applicant: M. Brar

Owner: R. Hans, G. Hans, G. Hans, G. Hans, J. Gill, S. Gill,





# Advisory Planning Commission Report

To: Advisory Planning Commission

Subject Rezoning Application RZ 02-18

**Development Permit Application DP 02-18** 

File #: 6620.00

Doc #:

From: Development Services & Economic

**Development Department** 

Date: February 2, 2018

#### **COMMITTEE RECOMMENDATION:**

THAT Rezoning Application RZ 02-18/Development Permit Application DP 02-18 to accommodate a 26-unit 3-storey townhouse development located at 19608, 19618, 19630, 19642 -56<sup>th</sup> Avenue be approved subject to execution of a Development Servicing Agreement in compliance with the conditions outlined in the Director of Development Services & Economic Development report.

#### **PURPOSE OF REPORT:**

To consider a Rezoning Application and Development Permit Application by Quadstar Development Ltd. to accommodate a 26-unit townhouse development.

#### POLICY:

The subject properties are currently zoned RS1 Single Family Residential Zone in Zoning Bylaw No. 2100 and designated as Medium Density Residential in the Official Community Plan. All lands designated Medium Density Residential are subject to a Development Permit to address building form and character.



Date: February 2, 2017

Subject: Rezoning Application RZ 02-18 Development Permit Application DP 02-18

Page 2

#### COMMENTS/ANALYSIS:

#### **Background Information:**

**Applicant's Architect:** F.Adab Architects Inc.

**Owner:** Quadstar Development Ltd.

Civic Addresses: 19608, 19618, 19630, 19642 -56<sup>th</sup> Avenue Legal Description: Lots 1 and Lot 2, Section 3, Township 8, New Westminster District Plan 9585, Lot 3,

Section 3, Township 8, New Westminster District Plan 9585, Except Plan BCP

50413, and Lot 63, Section 3, Township 8, New Westminster District Plan 25734,

Except Plan BCP 50080 39,516.44 ft<sup>2</sup> (3,671.2 m<sup>2</sup>)

Lot Coverage: 44%

**Total Parking Required:** 52 stalls, plus 5 visitor stalls **Total Parking Provided:** 52 stalls, plus 5 visitor stalls

**Existing Zoning:** RS1 Single Family Residential Zone CD52 Comprehensive Development Zone

**OCP Designation:** Medium Density Residential

Variances Requested: None

**Development Cost** \$350,215.50 (including 4 SF DCC credit)

\$52,000

**Charges:** 

Site Area:

Community Amenity

Charge:

#### **Engineering Requirements:**

These requirements have been issued for a rezoning and development permit for a proposed **26 unit townhouse development**. These requirements may be subject to change upon receipt of a development application.

The City's Zoning Bylaw, 1996, #2100 has requirements concerning landscaping for buffer zones, parking, loading areas, and garbage / recycling areas, all of which apply to this Development.



Date: February 2, 2017

Subject: Rezoning Application RZ 02-18 Development Permit Application DP 02-18

Page 3

# A) The developer is responsible for the following work which shall be designed and approved by a Professional Engineer:

- 1. Implement erosion and sediment control measures designed and approved by a qualified professional in accordance with the City of Langley Watercourse Protection Bylaw #2518.
- 2. Conduct a water flow test and provide fire flow calculations by a Professional Engineer to determine if the existing water network is adequate for fire flows. Replacement of the existing watermain may be necessary to achieve the necessary pressure and flows to conform to Fire Underwriters Survey (FUS) "Water Supply for a Public Fire Protection, a Guide to Recommended Practice, 1995".
- 3. Additional C71P fire hydrants may be required to meet bylaw and firefighting requirements. Hydrant locations must approved by the City of Langley Fire Department.
- 4. The condition of the existing pavement on 56 Avenue shall be assessed by a geotechnical engineer. Pavements shall be adequate for an expected road life of 20 years under the expected traffic conditions for the class of road. Road construction and asphalt overlay designs shall be based on the analysis of the results of Benkelman Beam tests and test holes carried out on the existing road which is to be upgraded. If the pavement is inadequate it shall be remediated, at the developer's cost.
- 5. Access to the site shall be limited to the laneway. All existing driveway crossings from 56 Avenue shall be removed.
- 6. A property dedication of 2.13m is required along 56 Avenue for future road widening. Property dedication along the west side of site to match existing ROW and corner truncation.
- 7. The full construction of the rear lane fronting the site is required. Drainage infrastructure shall be provided to collect and convey runoff generated by the lane. A temporary hammerhead turn around at the west side of the lane may be required.
- 8. New water, sanitary and storm sewer service connections are required. The developer's engineer will determine the appropriate main tie in locations and size the connections for the necessary capacity. The capacity of the existing water and sewer mains should be assessed and any upgrades required to service the site shall be designed and installed at the Developer's expense. All existing services shall be capped at the main, at the Developer's expense, upon application for Demolition permit.



Date: February 2, 2017

Subject: Rezoning Application RZ 02-18 Development Permit Application DP 02-18

Page 4

9. Undergrounding of the existing overhead Hydro and Telus is required along the 56 Avenue frontage.

- 10. A stormwater management plan for the site and the lane is required. Rainwater management measures used on site shall limit the release rate to mitigate flooding and environmental impacts as detailed in the Subdivision and Development Bylaw.
- 11. The site layout shall be designed by a civil engineer to ensure that the parking and access layout meets minimum design standards, including setbacks from property lines. Appropriate turning templates should be used to prove parking stalls and drive-aisles are accessible by the design vehicle.

# B) The developer is required to deposit the following bonding and connection fees:

- 1. A Security Deposit of 110% of the estimated offsite works construction costs of installing civil works, as approved by the Director of Engineering, Parks and Environment.
- 2. Inspection and administration fees in accordance to the Subdivision Bylaw based on a percentage of the estimated construction costs. (See Schedule A General Requirement GR5.1 for details).
- 3. A deposit for a storm, sanitary and water connection is required, which will be determined after detailed civil engineering drawings are submitted, sealed by a Professional Engineer.
- 4. A \$20,000 bond for the installation of a water meter to current standards.

#### C) The developer is required to adhere to the following conditions:

- 1. Underground hydro and telephone, and cable services to the development site are required.
- 2. All survey costs and registration of documents with the Land Titles Office are the responsibility of the developer/owner.
- 3. A water meter is required to be installed outside in a vault away from any structures in accordance to the City's water meter specifications at the developer's cost. A double detector check valve assembly is required to be installed outside away from any structure in a vault as per the City's specifications.
- 4. An approved backflow prevention assembly must be installed on the domestic water connection immediately upon entering the building to provide premise isolation.



Date: February 2, 2017

Subject: Rezoning Application RZ 02-18 Development Permit Application DP 02-18

Page 5

- 5. A "Stormceptor" or equivalent oil separator is required to treat site surface drainage.
- 6. A complete set of "as-built" drawings sealed by a Professional Engineer shall be submitted to the City after completion of the works. Digital drawing files in .pdf and .dwg format shall also be submitted.
- 7. The selection, location and spacing of street trees and landscaping shall be in accordance with the City of Langley's Official Community Plan Bylaw, 2005, No. 2600 and Street Tree Program, November, 1999 manual.
- 8. Stormwater run-off generated on the site shall not impact adjacent properties, or roadways.
- The development falls within the area requiring approval from the Ministry of Transportation and Infrastructure for rezoning. The developer agrees to comply with any requirements that the Ministry may impose on the development.
- 10. Garbage and recycling enclosures shall be designed to meet Metro Vancouver's "Technical Specifications for Recycling and Garbage Amenities in Multi-family and Commercial Developments - June 2015 Update"

#### **Discussion:**

The applicant is proposing to redevelop 4 lots at the south east corner of 196 Street and 56 Avenue with an attractive, 3-storey, 26-unit townhouse development. Vehicular access is provided form the rear lane and internal road, with pedestrian access provided from 56 Avenue.

The current un-constructed lane to the south that will be will be paved by this developer and the developer of the townhouse development to the south. This lane turns southward and will be connected to 55A Street. In addition, a 2.13 metre road dedication is required along 56<sup>th</sup> Avenue frontage.

Southern portion of the site faces a 6'.0" high concrete block along 196 Street. This wall is intended to create a sound buffer between 196 Street and the developments to the south. The site faces single family lots to the east which are all designated for future multi-family developments. The site faces commercial uses across the roads to the north and west.



Date: February 2, 2017

Subject: Rezoning Application RZ 02-18 Development Permit Application DP 02-18

Page 6

The project's intent is to create a vibrant pedestrian friendly development with Identifiable entries and Individual canopies, and a sense of community. The development offers a variety of unit types and sizes. The average size of the two bedroom townhome is 1,350 ft<sup>2</sup> and the average size of a three bedroom townhouse is 1,500 ft<sup>2</sup>.

The form and character of the townhouse development integrates a variety of exterior finishes, including brick, hardie siding/paneling, PVS Siding, providing a contemporary architectural expression. All units will have private roof top patios providing desired outdoor amenity space.

The site is designated as Medium Density Residential in the Official Community Plan. This density allows for a 4 storey condominium multiple family development, with a density of 70 units per acre. This proposed development is 3 stories in height, and has a proposed density of 28.6 units per acre. In addition, the subject application complies with the Official Community Plan's Development Permit Area Guidelines for Townhouse Developments.

The proposed development benefited from a Crime Prevention Through Environmental Design (CPTED) report by a qualified consultant whose recommendations are incorporated in the plans.

#### **Fire Department Comments:**

Langley City Fire-Rescue Service has reviewed the attached plans and provided preliminary comments to the applicant. The department will review, and make further comment, as the project continues to the building permit design stage.

#### **Advisory Planning Commission:**

In accordance with Development Application Procedures Bylaw No. 2488, the subject applications will be reviewed by the Advisory Planning Commission at the February 14<sup>th</sup>, 2018 meeting. A copy of the APC minutes will be presented to Langley City Council at the February 19<sup>th</sup>, 2018 Regular Council meeting.

#### **BUDGET IMPLICATIONS:**

In accordance with Bylaw No. 2482, the proposed development would contribute \$350,215.50 to Development Cost Charge accounts and \$52,000 in Community Amenity Charges.



Date: February 2, 2017

Subject: Rezoning Application RZ 02-18 Development Permit Application DP 02-18

Page 7

#### **ALTERNATIVES:**

1. Require changes to the applicant's proposal.

2. Deny application.

Prepared	by:
----------	-----

Gerald Minchuk, MCIP

Director of Development Services & Economic Development

Concurrence: Concurrence:

Kara Jefford, P.Eng.

Manager of Engineering

Rory Thompson, Fire Chief

Attachment(s):





# MINUTES OF THE ADVISORY PLANNING COMMISSION MEETING

# HELD IN LANGLEY CITY HALL CKF COMMUNITY BOARDROOM

#### WEDNESDAY, FEBRUARY 14, 2018 7:00 PM

Present: Councillor Jack Arnold, Chairman

Councillor Paul Albrecht, Vice-Chairman

John Beimers

Shelley Coburn, School District No. 35

Kimberley Lubinich

Corp. Steve McKeddie, Langley RCMP

Ron Madsen Dan Millsip Kim Mullin Jamie Schreder

Staff: Gerald Minchuk, Director of Development Services & Economic

Development

Absent: Trish Buhler

#### 1) RECEIPT OF MINUTES

MOVED BY Commission Member Millsip SECONDED BY Commission Member Schreder

THAT the minutes for the January 10, 2018 Advisory Planning Commission meeting be received.

**CARRIED** 

# 2) REZONING APPLICATION RZ 01-18/DEVELOPMENT PERMIT APPLICATION DP 01-18-5453-198<sup>TH</sup> STREET, 19728, 19738, 19752, 19762, 19779, 19880 -55 AVENUE -ATELIER PACIFIC ARCHITECTURE INC.

The Director Development Services & Economic Development provided a brief overview of the planning context for the proposed Rezoning/Development Permit applications, and introduced Brian, Shigetomi, Atelier Pacific Architecture Inc. and Jennifer Wall, Van der Zalm, Landscape Architects, who presented the proposed applications. Following discussion on building form and character, landscaping, incorporating, parking, sustainability features and CPTED security measures, it was:

MOVED BY Commission Member Beimers SECONDED BY Commission Member Mullin

That Rezoning Application RZ 01-18/Development Permit Application DP 01-18 to accommodate a 64 unit, 3-storey townhouse development located at 5453-198<sup>TH</sup> STREET, 19728, 19738, 19752, 19762, 19779, 19880 -55 AVENUE approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report be approved.

**CARRIED** 

# REZONING APPLICATION RZ 02-18/DEVELOPMENT PERMIT APPLICATION DP 02-18- 19608, 19618, 19630, 19642 -56 AVENUE F. ADAB ARCHITECTS INC.

The Director Development Services & Economic Development provided a brief overview of the planning context for the proposed Rezoning/Development Permit applications, and introduced Fred Adab, F. Adab Architects Inc. and Merideth Mitchell, M2 Landscape Architects, who presented the proposed applications. Following discussion on building form and character, landscaping, incorporating, parking, sustainability features and CPTED security measures, it was:

MOVED BY Commission Member Mullin SECONDED BY Commission Member Schreder

That Rezoning Application RZ 02-18/Development Permit Application DP 02-18 to accommodate a 26 unit, 3-storey townhouse development located at 19608, 19618, 19630, 19642 -56th Avenue be approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report be approved.

#### **CARRIED**

#### 3) <u>DEVELOPMENT PERMIT APPLICATION DP 03-18- 5501-204<sup>TH</sup></u> <u>STREET -TURNER ARCHITECTURE</u>

The Director Development Services & Economic Development provided a brief overview of the planning context for the proposed Development Permit application, and introduced Bob Turner, Turner Architecture, who presented the proposed development permit application. Following discussion on building form and character, landscaping, parking lot layout, and CPTED security measures, it was:

MOVED BY Commission Member Millsip SECONDED BY Commission Member Madsen

That Development Permit Application DP 03-18 to accommodate a new 288 m² commercial building located at 5501-204<sup>th</sup> Street be approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report be approved, including conducting a Traffic Engineering Assessment to address the parking lot layout to improve vehicular and pedestrian safety.

#### CARRIED

#### 4) Next Meeting:

Wednesday, March 14th, 2018

#### 5) ADJOURNMENT

MOVED BY Commission Member Coburn SECONDED BY Commission Member Lubinich

THAT the meeting adjourn at 8:50 P.M.

#### **CARRIED**

ADVISORY PLANNING COMMISSION CHAIRMAN

DIRECTOR OF DEVELOPMENT SERVICES & ECONOMIC DEVELOPMENT

Certified Correct

# **26 UNIT TOWNHOUSE DEVELOPMENT**

19608-19618-19630-19642, 56 AVENUE, LANGLEY



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AND CONTEXT-URBAN DESIGN, FORM AND CHARACTER

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L4 LANDSCAPE DETAILS
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#### CONTACT LIST:

#### OWNER:

#### QUADSTAR DEVELOPMENT LTD.

1040 MADORE AVE COQUITLAM , B.C. V3K 3B8 TEL : 604 575 2214

#### ARCHITECT:

#### F. ADAB ARCHITECTS INC.

130 - 1000 ROOSEVELT CRESCENT NORTH VANCOUVER, B.C. V7P 3R4 TEL: 604 987 3003 FAX: 604 987 3033

#### SURVEYOR:

#### **GREWAL & ASSOCIATES**

204-15299 68 AVENUE SURREY, B.C. V3S 2C1 TEL: 604 597 8567

#### **CIVIL ENGINEER:**

#### **CENTRAS ENGINEERING LTD**

216-2630 CROYDON DR. SURREY, B.C. V3S 6T3 TEL: 604 782 6927

#### LANDSCAPE ARCHITECT:

#### M2 LANDSCAPING

220-26 LORNE MEWS, NEW WESTMINSTER, B.C. V3M 3L7 TEL: 604 553 0044

TEL: 604 553 0044 FAX: 604 553 0045



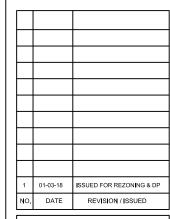
#### F. ADAB ARCHITECTS INC.

#130-1000 ROOSEVELT CRESCENT NORTH VANCOUVER, BC V7P 3R4 TEL: (604) 987-3003 FAX: (604) 987-3033 E-MAIL: mfa@multIgonfadab.com

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#### PROJECT TITLE:

# 26 UNIT TOWNHOUSE DEVELOPMENT

19608-19618-19630-19642 56 AVENUE, LANGLEY

FOR:

#### QUADSTAR DEVELOPMENT LTD. 1040 MADORE AVE

COQUITLAM, B.C. V3K 3B8

#### DRAWING TITLE:

PROJECT INDEX -CONTACTS LIST

DATE:	NOV 2017	SHEET NO:
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PROJECT N	O: 1706	7

#### **PROJECT STATISTICS**

#### **CIVIC ADDRESS:**

19608, 56TH AVENUE, LANGLEY, BC. 19618, 56TH AVENUE, LANGLEY, BC. 19630, 56TH AVENUE, LANGLEY, BC.

19642, 56TH AVENUE, LANGLEY, BC.

#### LEGAL DESCRIPTION:

LOT 1, SECTION 3, TOWNSHIP 8, NWD PLAN 9565 LOT 2, SECTION 3, TOWNSHIP 8, NWD PLAN 9565

LOT 3, SECTION 3, TOWNSHIP 8, EXCEPT PLAN BCP50413, NWD PLAN 9565 LOT 63, SECTION 3, TOWNSHIP 8, EXCEPT PLAN BCP50080, NWD PLAN 25734

LOT AREA:

EXISTING: 39,516.44 SQ.FT.=3671.2 SQ.M.=0.91 ACRES

ZONING:

EXISTING: RS1 - SINGLE FAMILY RESIDENTIAL

PROPOSED: CD - COMPREHENSIVE DEVELOPMENT ZONE (CD) -

MEDIUM DENSITY RESIDENTIAL

LOT COVERAGE :

PROVIDED: 17,571 SF = 44%

FLOOR AREA:

PROVIDED: BLOCK 1: 11,865 SQ.FT. = 1102.3 SQ.M.

BLOCK 2: 13,691 SQ.FT. = 1271.94 SQ.M. BLOCK 3: 13,747 SQ.FT. = 1277.14 SQ.M. BLOCK 4: 11,819 SQ.FT. = 11098.02 SQ.M.

TOTAL: 51122 SQ.FT. = 4749.39 SQ.M.

FAR:

PROVIDED: 51122/39,516 = 1.29

**BUILDING HEIGHT:** 

ALLOWED: 3 STORYS PROVIDED: 3 STORYS

**SETBACKS:** 

PROVIDED: NORTH PL.: 14'-7" TO 15'-3"

SOUTH PL.: 19'-0" TO 19'-6" WEST PL.: MIN.: 10'-5"

MAX. : 28'-8" EAST PL. : MIN. : 10'-0"

MAX. : 11'-0"

NO. OF UNITS: 26

**DENSITY:** 

ALLOWED: 70 UNITS/ACRE PROPOSED: 28.6 UNIT / ACRE

**PARKING:** 

REQUIRED: 2 STALLS / TOWNHOUSE: 52 STALLS

VISITORS : 0.2 / UNIT = 5

PROVIDED: 2 STALLS / TOWNHOUSE: 52 STALLS

VISITORS : 5





	UNIT MIX								
UNIT TYPE	Α	As	A1	В	B1	С	C1	Cs	TOTAL
NO OF BED RM.	2	2	3	3	4	2	3	2	-
NO OF UNIT	2	1	1	5	6	4	6	1	26
AREA (SQ.FT.)	1420	1546	1675	1460	1680	1260	1480	1348	-
TOTAL AREA (SQ.FT.)	2840	1546	1675	7300	10080	5040	8880	1348	38709

NO OF 2 BED RM.: 8 NO OF 3 BED RM.: 12 NO OF 4 BED RM.: 6



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1	01-03-18	ISSUED FOR REZONING & DP
NO.	DATE	REVISION / ISSUED

PROJECT TITLE:

26 UNIT TOWNHOUSE DEVELOPMENT 19608-19618-19630-19642

56 AVENUE, LANGLEY

QUADSTAR DEVELOPMENT LTD. 1040 MADORE AVE COQUITLAM, B.C. V3K 3B8

DRAWING TITLE:

STATISTICS CONTEXT PLAN

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PROJECT N	IO: 1706	7 I















SHEET NO: NOV 2017

#### F. ADAB **ARCHITECTS** INC.

#130-1000 ROOSEVELT CRESCENT NORTH VANCOUVER, BC V7P 3R4 TEL: (604) 987-3003 FAX: (604) 987-3033 E-MAIL: mfa@multigonfadab.com

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NO.	DATE	REVISION / ISSUED

PROJECT TITLE:

26 UNIT TOWNHOUSE **DEVELOPMENT** 19608-19618-19630-19642 56 AVENUE, LANGLEY

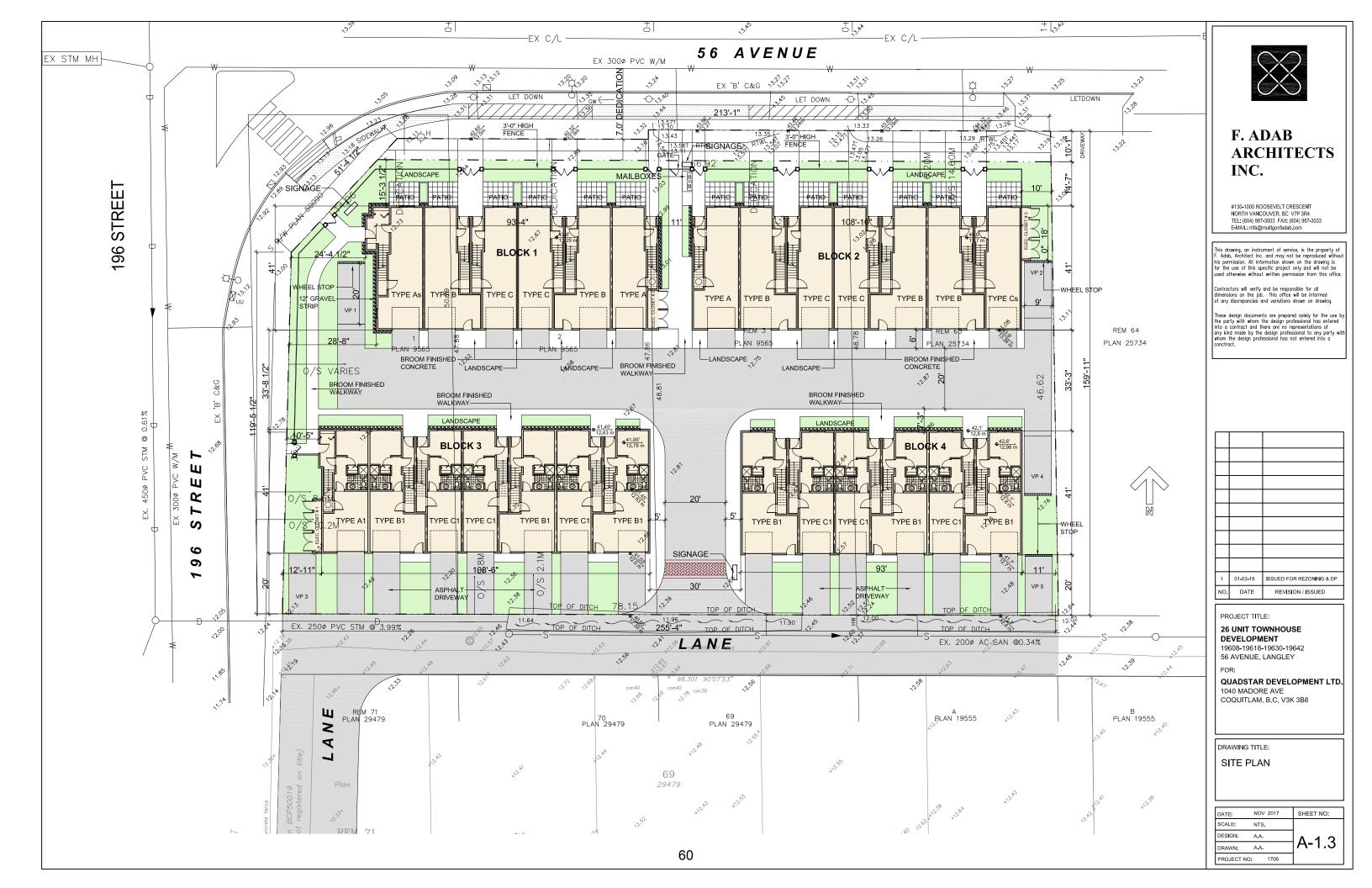
QUADSTAR DEVELOPMENT LTD. 1040 MADORE AVE COQUITLAM, B.C. V3K 3B8

DRAWING TITLE: **AERIAL MAP** 

DATE: SCALE:

CONTEXT PHOTOS

DESIGN: A-1.2 DRAWN: A.A. PROJECT NO: 1706



### Design Rationale

#### Site Characteristics and Context

The proposal would occupy 4 lots at the south west corner of 196 Street and 56 Avenue. The total lot area of the site is 39,516 sq ft (3671 sq m) and has a slight slope down from north-east corner to south-west corner. Provision has been made for 2.14 meter road widening along 56 Avenue.

There is an unused gravel lane to the south that will be will be paved by this developer and the developer of the townhouse development to the south. This lane turns southward and will be connected to 55A Street.

Southern portion of the site faces a 6'.0" high concrete block along 196 Street. This wall is intended to create a sound buffer between 196 Street and the developments to the south. The site faces single family lots to the east which are all designated for multifamily developments. The site faces commercial uses across the roads to the north and west.

Our firm is involved in designing a similar townhouse development on the south side of the lane. This development occupies 5 single family lots and the total number of units is 33 units. This proposal and the townhouse development to the south have the same time line for construction.

### Zoning, Orientation, Massing and Statistics

The proposal consists of four separate building blocks consisting of 28 units each with 2 car garages. The vehicular access is provided from the lane and pedestrian access provided from 56 Avenue.

Attempt has been made to create a vibrant environment introducing a pedestrian friendly development with Identifiable entries and Individual canopies, creating active engaging interest and fostering vitality

The units at the rear have additional room at grade and the average size of the two bedroom homes is 1,350 sq ft. and the three bedroom townhouse is 1,500. Sq ft.

The site is designated for multiple family residential developments in compliance with the RM3 zoning. This density allows for a 4 storey development with a density up to a maximum of 70 units per acre. This development has a proposed ratio of 20.16 unit per acre.

Visitor parkings are at grade and meet the zoning requirements.

#### Urban Design, Form and Character

The site is located at the intersection of two major streets and has a high visibility exposure. A large open space at the corner of the 56 Avenue and 196 Street is provided to lead the view into the courtyard and create a visually appealing architecture with enhanced quality character and rich landscaping.

The townhouses are arranged in a small clusters allowing for open spaces to be integrated into the development and creation of a central courtyard.

The units along 56 Avenue have direct pedestrian access to the road to respond to a streetscape and an urban concept that is anticipated for the neighborhood

The form and character introduces an articulated architectural expression with a contemporary vocabulary emohasizing on modern west coast architecture.

All units have private roof top decks acting as outdoor amenity as well as large balconies.

Buildings are modulated with repetitive vertical bay windows with intermediate colour contrast. Brick is introduces on all building blocks with emphasis given to the facades along the roads. Entries are identifiable with Individual canopies, posts and strong color expression.



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PROJECT TITLE:

26 UNIT TOWNHOUSE DEVELOPMENT

19608-19618-19630-19642 56 AVENUE, LANGLEY

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QUADSTAR DEVELOPMENT LTD. 1040 MADORE AVE COQUITLAM, B.C. V3K 3B8

DRAWING TITLE

DESIGN RATIONALE: SITE CHARACTRISTICS

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PROJECT N	O: 1706	7

#### Livability, Energy Saving and Green Measures

Many green building strategies have been incorporated into the project design including the following items:

- 1. Variety of unit types and sizes are introduced for both small and large families with children
- 2. Where possible, operating windows are located on the opposite walls to draw ventilation across the occupied spaces and overhangs provided at the roof level.
- 3. The site is located in the urban fabric zone of the City and is close to the public transportation and amenities
- 4. Selection of the material is based on the use of low / non-toxic, low-maintenance, durable and sustainable products. Selection of materials is based on focusing on durability and sustainability with the use of building materials with high recycled content and from local sources. Low emission adhesives paint and flooring will also be used throughout the units
- 5. The building envelope, glazing, and mechanical system will be design based on the new code and incompliance with ASHRE 90, 2010
- 6. Water efficient fixtures, energy efficient appliances and drought tolerance plants will be used to minimize the use of potable water
- 7. All units have private patios at grade and decks on 2nd floor contributing to livability of the units and creating a family oriented environment

- 8. The water consumption strategy in enforced through the use of alternate solution for sprinkler system by utilizing the domestic cold water system instead of a separate sprinkler line.
- 9. Mechanical system is equipped with has heat recovery system 'HRV" for recycling the heat energy and domestic cold water line is used for sprinkler system.



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	NO.	DATE	REVISION / ISSUED
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PROJECT TITLE:

26 UNIT TOWNHOUSE DEVELOPMENT

19608-19618-19630-19642 56 AVENUE, LANGLEY

FOR:

QUADSTAR DEVELOPMENT LTD. 1040 MADORE AVE COQUITLAM, B.C. V3K 3B8

DRAWING TITLE

PROJECT NO: 1706

DESIGN RATIONALE: ENERGY SAVING AND GREEN MEASURES

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#### Crime Prevention Through Environmental Design. "CPTED"

Liahona Security has been hired by the developer and provided a CPTED report for the proposed development. Architectural and the landscape designs have incorporated the recommendations in their designs.

The rationale behind the CPTED strategy follows the principles introduced by Liahona Security and takes into account the standard measures as well as items specifically related to this proposal. These provisions are aimed to enhance safety and strengthen the perception of security.

#### The proposed CPTED measure fall into the following categories:

Provision of identifiable territoriality
Provision of natural surveillance
Defining the hierarchy of space
Provision of access and perimeter control

- Identifiable entries to the units with direct access to the street along with identifiable private and semi private patios along with the presence of the balconies on the 2nd floor creates a clear definition of hierarchy of space, a sense of territorial identity and sense of ownership
- The windows and the balconies along the 56 Avenue ensure the outdoor presence of the people, which provide "eyes on the street" and security for the private and public spaces
- Lights would be installed on both sides of the townhouse entries and garage doors illuminating the entire buildings and internal road. Outdoor lights are regulated by photo cell system

- The simplicity of the massing and it's orientation creates an open space environment visible from every angle with no enclave or semi enclosed spaces for strangers and wandering people
- The access control is achieved by ensuring visible entrances overlooked by windows and balconies as well as defining the entrance ways and controlling the point of access to the site
- Brick has been introduced at the base of the buildings representing a durable and high quality base free of graffiti
- Landscaping, plants, and fences are designed to comply with Liahona Security recommendations. The Strata Corporation should implement a maintenance manual.



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26 UNIT TOWNHOUSE DEVELOPMENT

19608-19618-19630-19642 56 AVENUE, LANGLEY

FOR:

QUADSTAR DEVELOPMENT LTD. 1040 MADORE AVE COQUITLAM, B.C. V3K 3B8

DRAWING TITLE

DESIGN RATIONALE : CPTED

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# PERSPECTIVE VIEW FROM 56 AVENUE



#### F. ADAB **ARCHITECTS** INC.

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PROJECT TITLE:

### 26 UNIT TOWNHOUSE

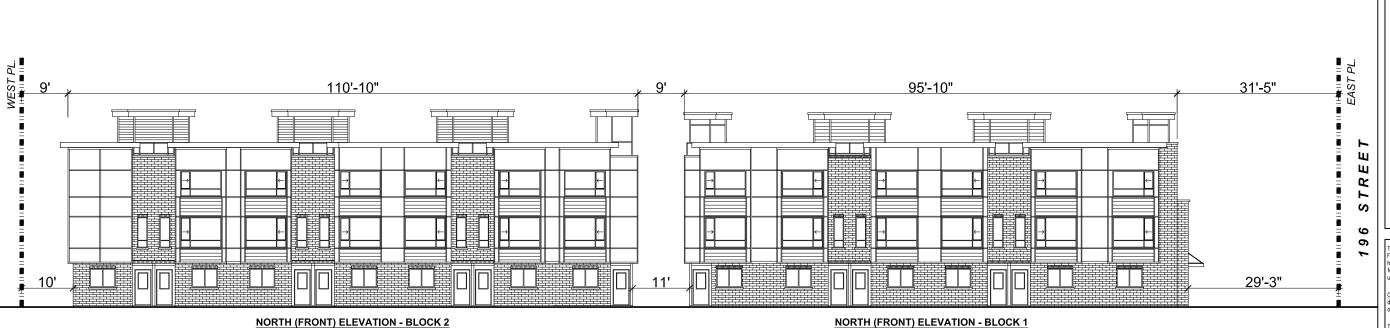
DEVELOPMENT 19608-19618-19630-19642 56 AVENUE, LANGLEY

# QUADSTAR DEVELOPMENT LTD. 1040 MADORE AVE COQUITLAM, B.C. V3K 3B8

DRAWING TITLE:

PERSPECTIVE VIEW

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# 56 AVENUE STREETSCAPE

NORTH (FRONT) ELEVATION - BLOCK 1



STREETSCAPE OF 196 STREET



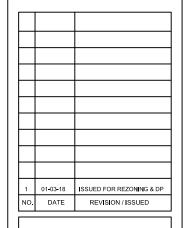
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#### 26 UNIT TOWNHOUSE DEVELOPMENT

19608-19618-19630-19642 56 AVENUE, LANGLEY

#### QUADSTAR DEVELOPMENT LTD. 1040 MADORE AVE

COQUITLAM, B.C. V3K 3B8

DRAWING TITLE:

196 STREET & 56 AVENUE STREETSCAPES

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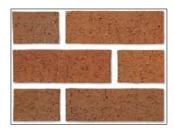
#### **Exterior Finishes and Colours**

The selection of the exterior finishes is based on enhanced durability / longevity of the construction materials as part of a sustainable approach.

Emphasis is given on rich urban elements with brick being the dominant exposing material. Prefabricated panels in two different tones and hardy siding are introduced throughout the facades. Vinyl siding is not used in any areas.

The colours are selected with emphasis on dark and light grey panels, off-white siding and the natural wood colour in selected areas.

Widows and railings are back resulting in further contrast between the exterior finishing materials.



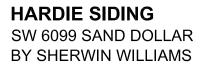
CHESTNUT - BY MUTUAL MATERIALS CO.



PVC SIDING
HAZEL OAK
REF #6 BY SAGIPER



HARDIE PANEL SW 9093 NEARLY BROWN -BY SHERWIN WILLIAMS





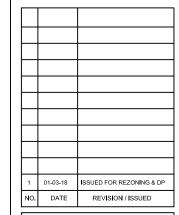
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PROJECT TITLE:

**26 UNIT TOWNHOUSE DEVELOPMENT**19608-19618-19630-19642

56 AVENUE, LANGLEY

QUADSTAR DEVELOPMENT LTD. 1040 MADORE AVE

1040 MADORE AVE COQUITLAM, B.C. V3K 3B8

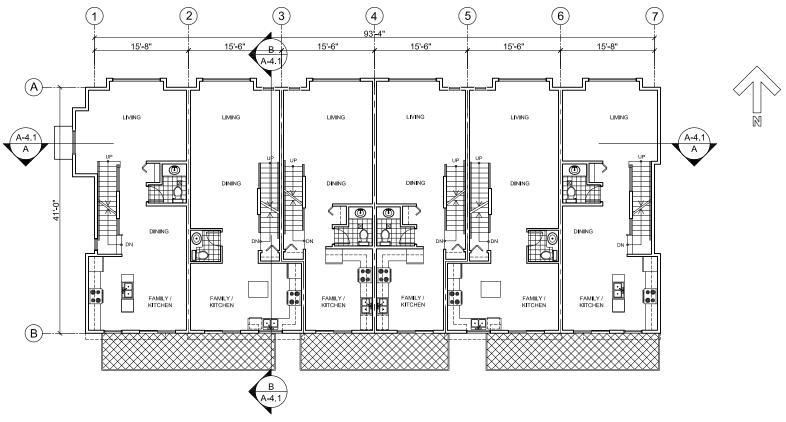
DRAWING TITLE:

EXTERIOR FINISH

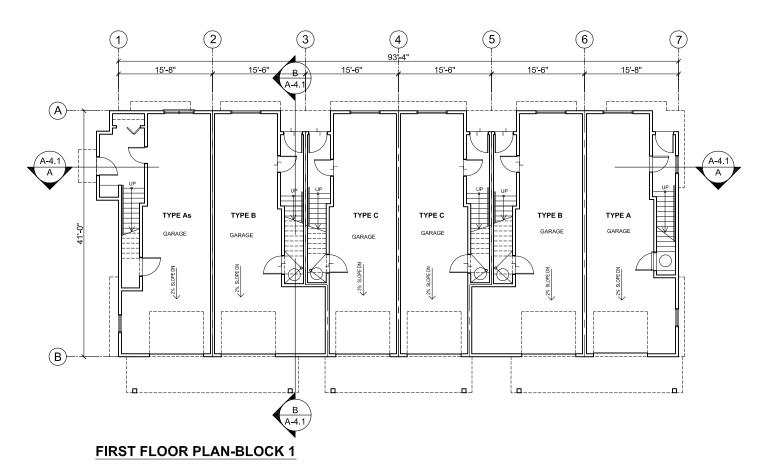
DATE:	NOV 2017	SHEET NO:
SCALE:	N/A	
DESIGN:	A.A.	A 1 O
DRAWN:	A.A.	<del>A-</del> 1.9
PROJECT NO	1706	



**BLOCK 4 FRONT ELEVATION** 









#130-1000 ROOSEVELT CRESCENT NORTH VANCOUVER, BC V7P 3R4 TEL: (604) 987-3003 FAX: (604) 987-3033 E-MAIL: mfa@multlgonfadab.com

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1	01-03-18	ISSUED FOR REZONING & DP
NO.	DATE	REVISION / ISSUED

#### PROJECT TITLE:

# 26 UNIT TOWNHOUSE DEVELOPMENT

19608-19618-19630-19642 56 AVENUE, LANGLEY

FOF

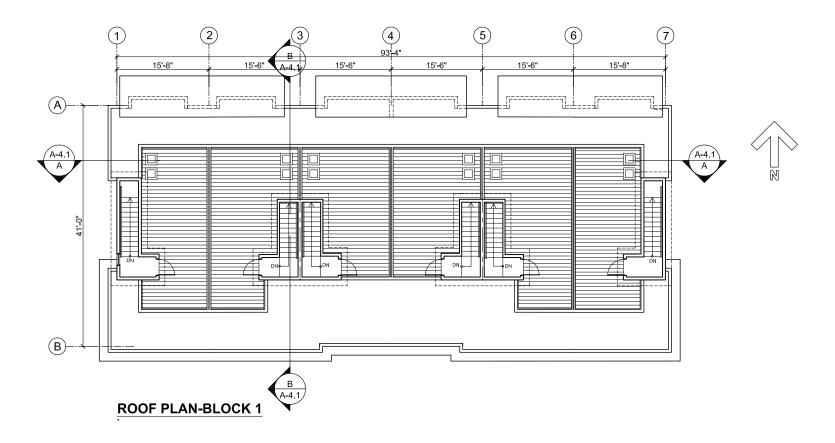
#### QUADSTAR DEVELOPMENT LTD. 1040 MADORE AVE

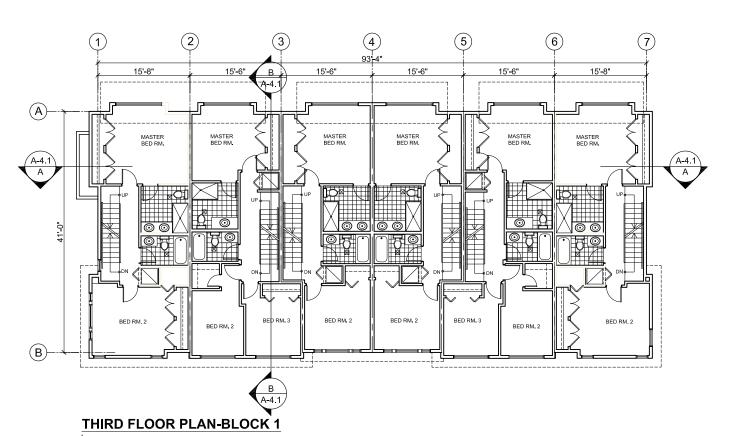
COQUITLAM, B.C. V3K 3B8

#### DRAWING TITLE:

BLOCK 1 FLOOR PLANS 1ST & 2ND FLOOR PLANS

DATE:	NOV 2017	SHEET NO:	
SCALE:	1/16"=1'-0"		
DESIGN:	A.A.	1 2 1 2	
DRAWN:	A.A.	A-2.1a	
PROJECT NO:	1706		





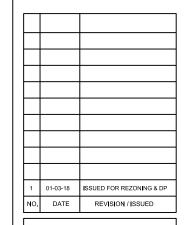


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PROJECT TITLE:

# 26 UNIT TOWNHOUSE DEVELOPMENT

19608-19618-19630-19642 56 AVENUE, LANGLEY

FOF

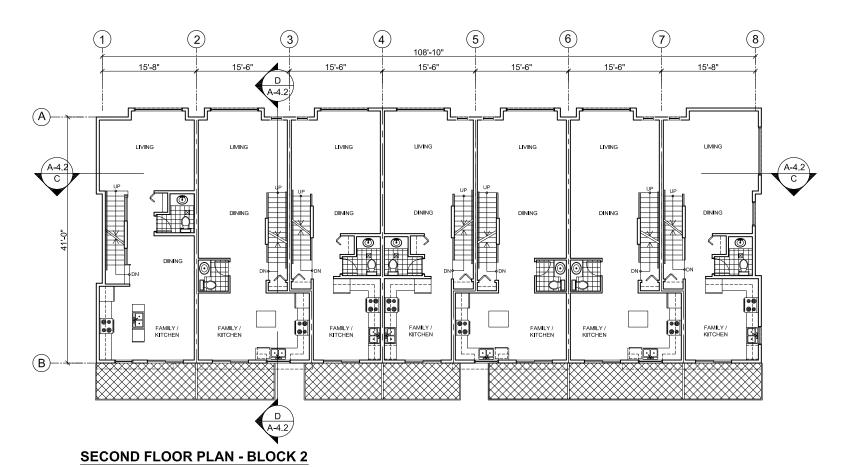
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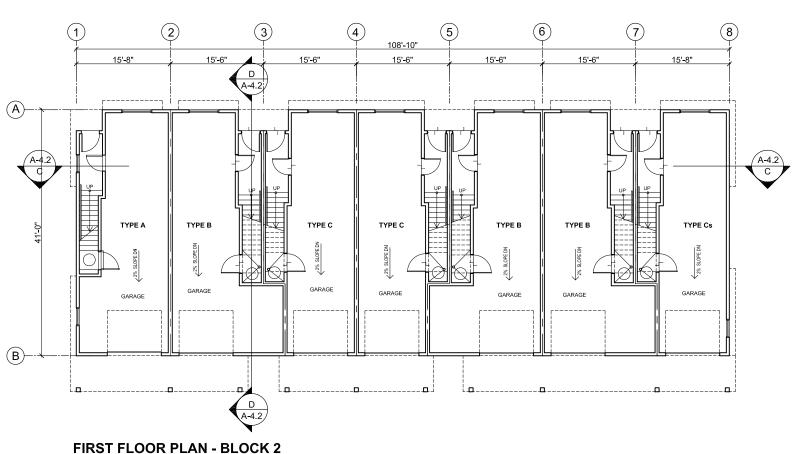
COQUITLAM, B.C. V3K 3B8

#### DRAWING TITLE:

BLOCK 1 FLOOR PLANS 3RD FLOOR & ROOF PLAN

DATE:	NOV 2017	SHEET NO:
SCALE:	1/16"=1'-0"	
DESIGN:	A.A.	1 2 1 6
DRAWN:	A.A.	A-2.10
PRO JECT NO	1706	





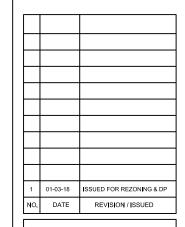


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#### PROJECT TITLE:

# 26 UNIT TOWNHOUSE DEVELOPMENT

19608-19618-19630-19642 56 AVENUE, LANGLEY

FOF

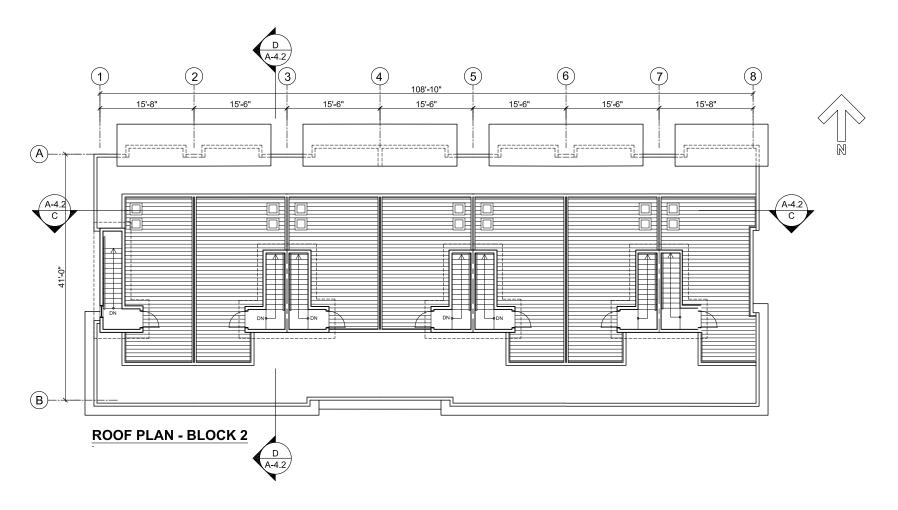
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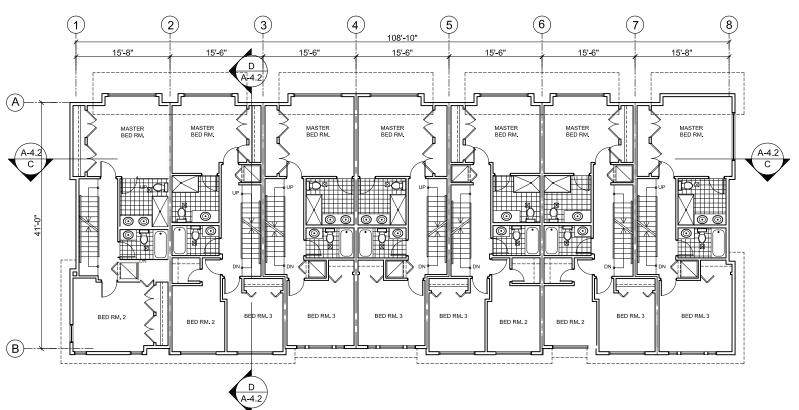
COQUITLAM, B.C. V3K 3B8

#### DRAWING TITLE:

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SCALE:	1/16"=1'-0"	
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DRAWN:	A.A.	7A-2.2a
PROJECT N	O: 1706	7





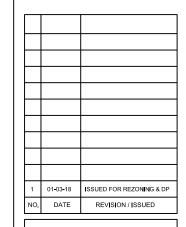


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PROJECT TITLE:

# 26 UNIT TOWNHOUSE DEVELOPMENT

19608-19618-19630-19642 56 AVENUE, LANGLEY

FOF

#### QUADSTAR DEVELOPMENT LTD. 1040 MADORE AVE

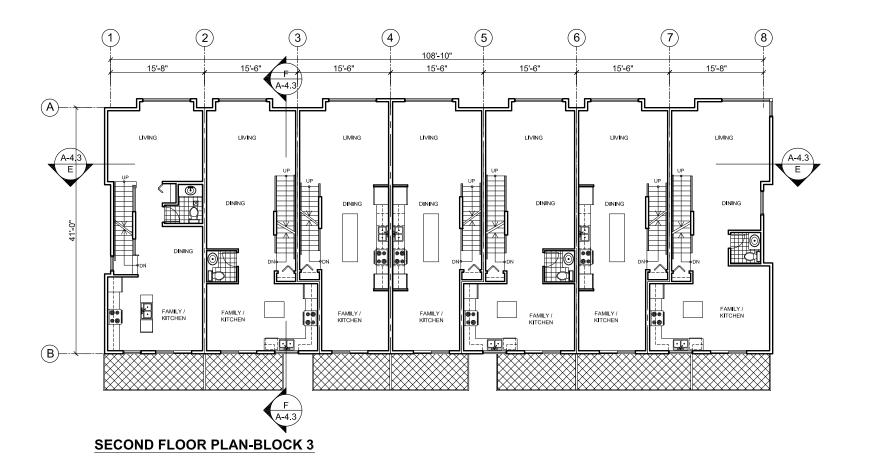
COQUITLAM, B.C. V3K 3B8

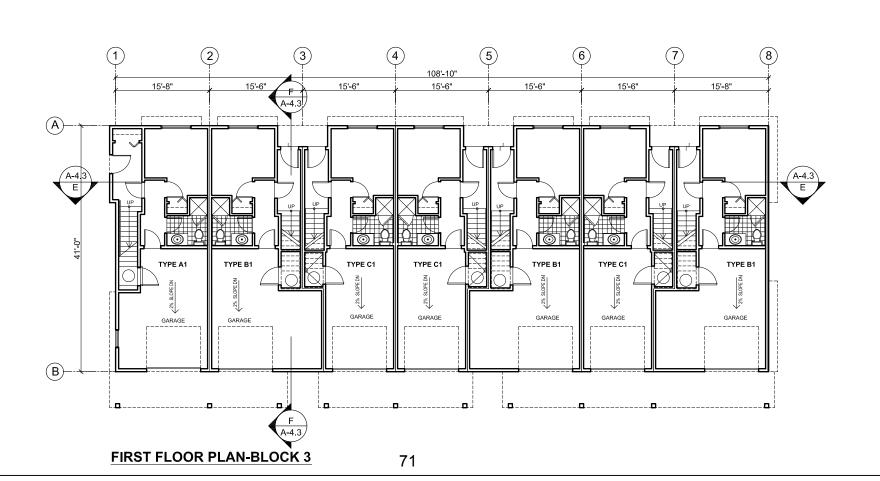
DRAWING TITLE:

BLOCK 2 FLOOR PLANS 3RD FLOOR & ROOF PLAN

DATE:	NOV 2017	SHEET NO:
SCALE:	1/16"=1'-0"	
DESIGN:	A.A.	ไม่อากไ
DRAWN:	A.A.	]A-2.20
PROJECT N	IO: 1706	7

**THIRD FLOOR PLAN - BLOCK 2** 





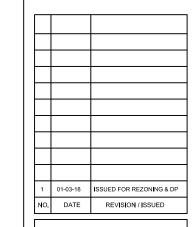


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#### PROJECT TITLE:

# 26 UNIT TOWNHOUSE DEVELOPMENT

19608-19618-19630-19642 56 AVENUE, LANGLEY

FOF

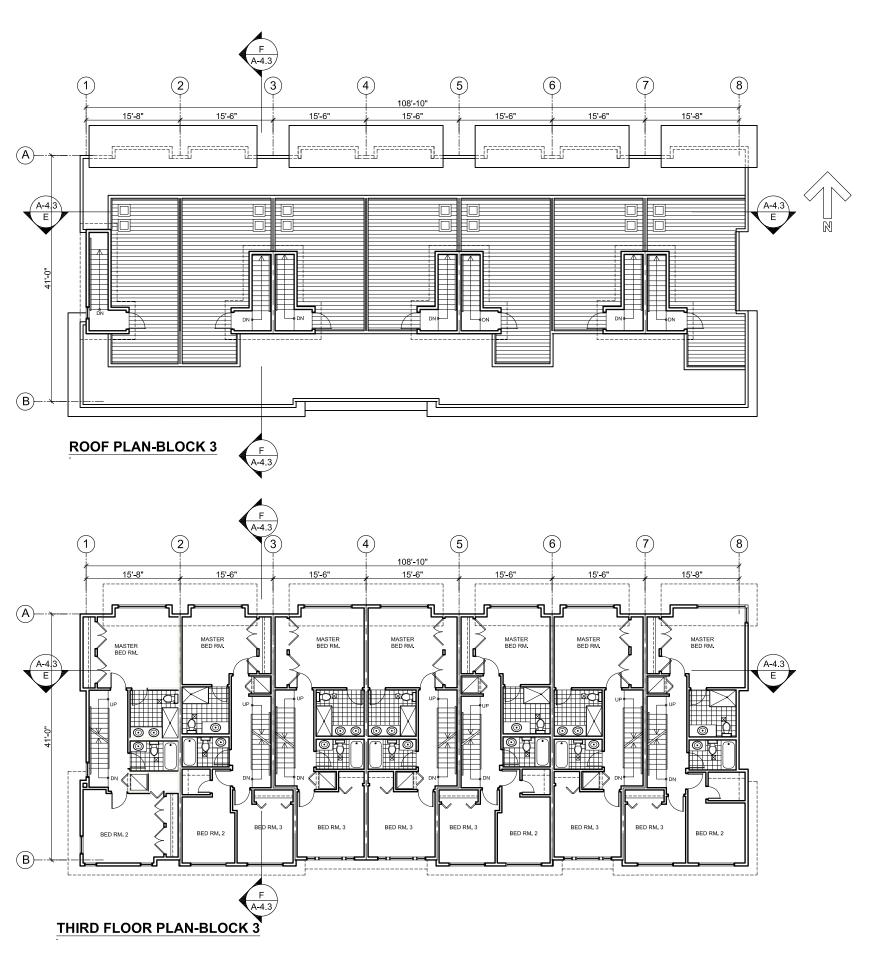
#### QUADSTAR DEVELOPMENT LTD. 1040 MADORE AVE

COQUITLAM, B.C. V3K 3B8

#### DRAWING TITLE:

BLOCK 3 FLOOR PLANS 1ST & 2ND FLOOR PLANS

DATE:	NOV 2017	SHEET NO:
SCALE:	1/16"=1'-0"	
DESIGN:	A.A.	$\begin{bmatrix} 1 & 2 & 2 & 2 \end{bmatrix}$
DRAWN:	A.A.	A-2.3a
PROJECT N	O: 1706	7





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	1	01-03-18	ISSUED FOR REZONING & DP
	NO.	DATE	REVISION / ISSUED

PROJECT TITLE:

# **26 UNIT TOWNHOUSE DEVELOPMENT**19608-19618-19630-19642

19608-19618-19630-1964 56 AVENUE, LANGLEY

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QUADSTAR DEVELOPMENT LTD. 1040 MADORE AVE COQUITLAM, B.C. V3K 3B8

DRAWING TITLE:
BLOCK 3 FLOOR PLANS

DATE: NOV 2017 SHEET NO: SCALE: 1/16"=1'-0"

3RD FLOOR & ROOF PLAN

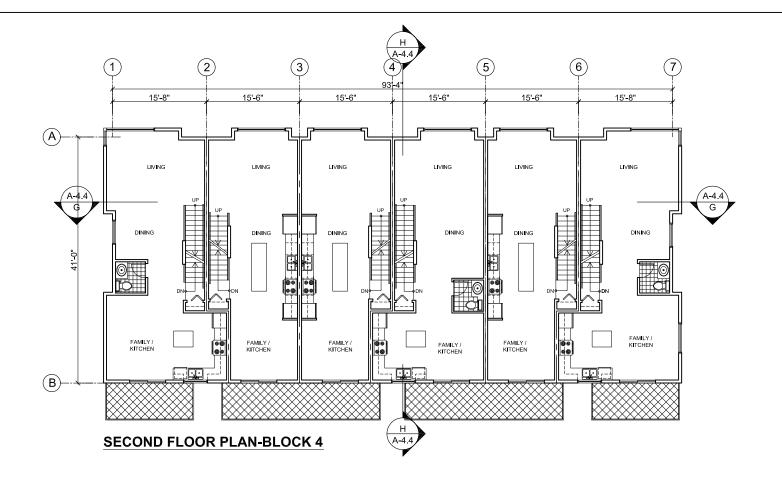
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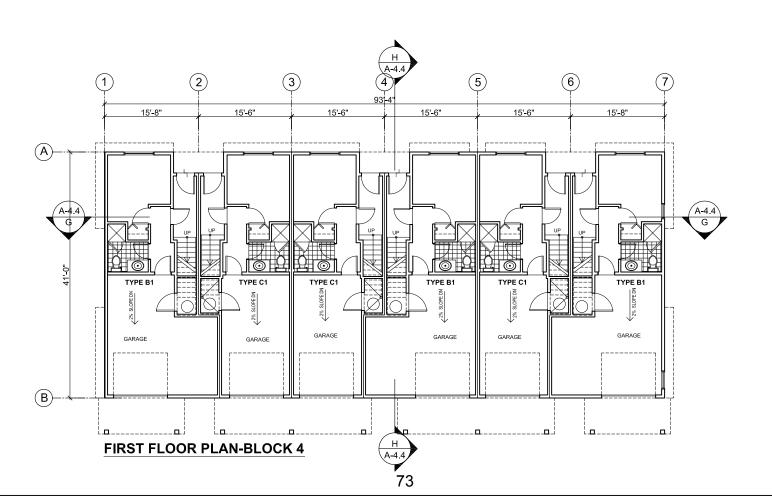
SCALE: 1/16"=1"-0"

DESIGN: A.A.

DRAWN: A.A.

PROJECT NO: 1706





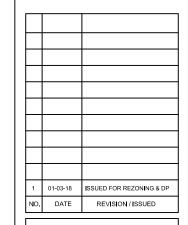


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#### PROJECT TITLE:

# 26 UNIT TOWNHOUSE DEVELOPMENT

19608-19618-19630-19642 56 AVENUE, LANGLEY

FOR:

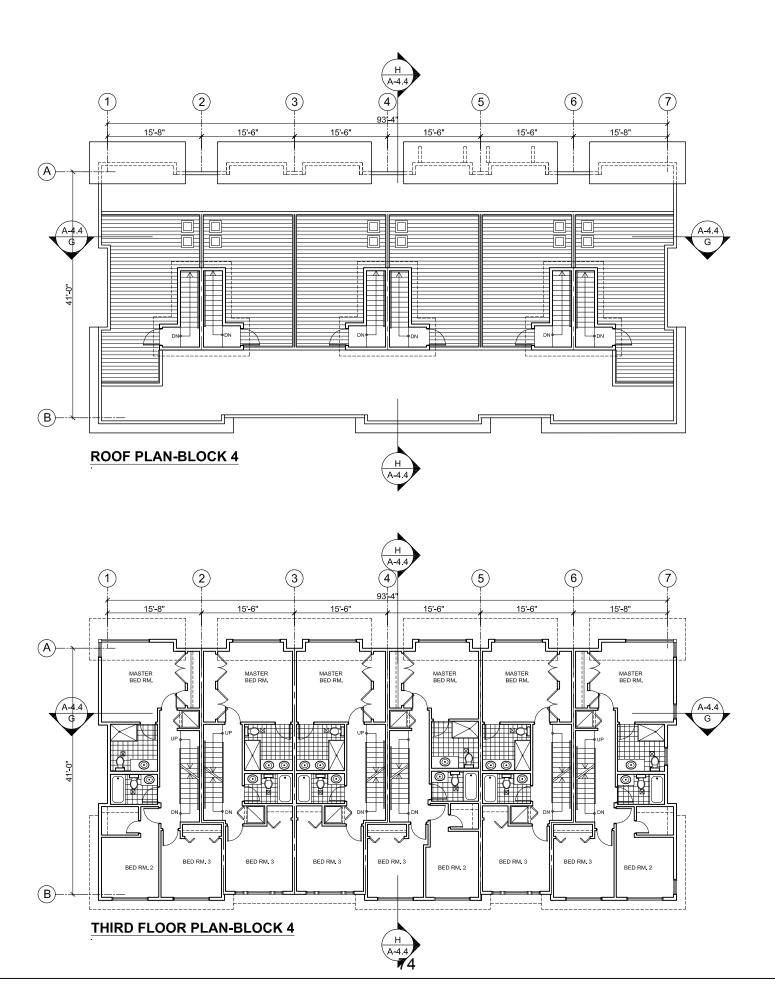
#### QUADSTAR DEVELOPMENT LTD. 1040 MADORE AVE

COQUITLAM, B.C. V3K 3B8

#### DRAWING TITLE:

BLOCK 4 FLOOR PLANS 1ST & 2ND FLOOR PLANS

DATE:	NOV 2017	SHEET NO:
SCALE:	1/16"=1'-0"	
DESIGN:	A.A.	A 2 4a
DRAWN:	A.A.	A-2.4a
PROJECT NO	1706	



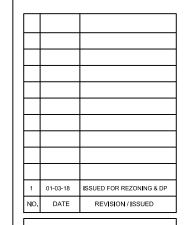


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#### PROJECT TITLE:

# 26 UNIT TOWNHOUSE DEVELOPMENT

19608-19618-19630-19642 56 AVENUE, LANGLEY

FOF

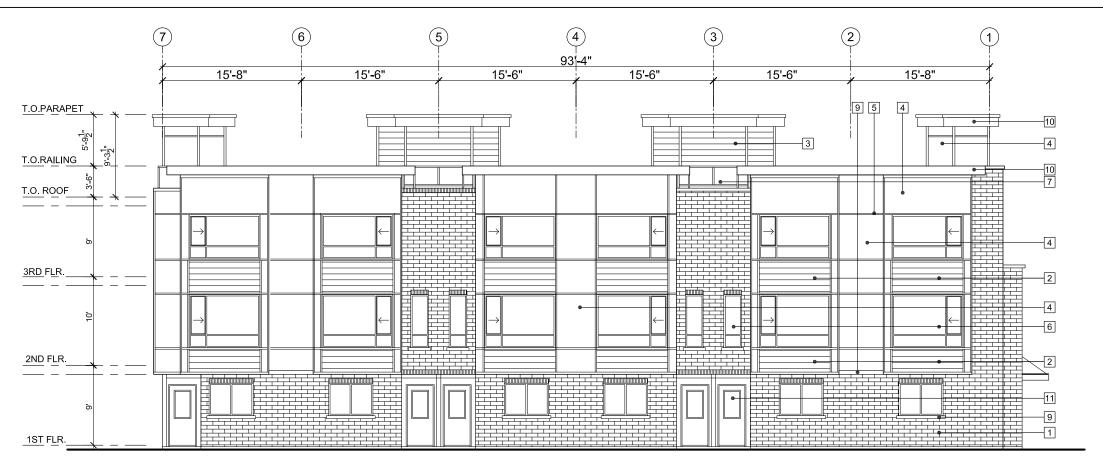
#### QUADSTAR DEVELOPMENT LTD. 1040 MADORE AVE

COQUITLAM, B.C. V3K 3B8

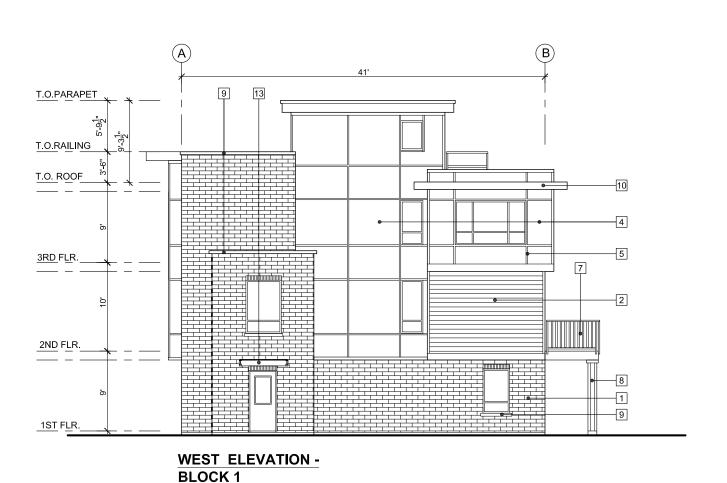
#### DRAWING TITLE:

BLOCK 4 FLOOR PLANS 3RD FLOOR & ROOF PLAN

DATE:	NOV	2017	SHEET NO:
SCALE	1/16"=	1'-0"	
DESIG	N: A.A.		A 2 1h
DRAW	N: A.A.		M-2.4D
·		4700	



#### **NORTH (FRONT) ELEVATION - BLOCK 1**



#### **EXTERIOR FINISHES**

1	BRICK CHESTNUT - BY MUTUAL MATERIALS CO.
2	6" HORIZONTAL SIDING - PVC / HAZEL OAK REF #6 BY SAGIPER
3	6" HORIZONTAL HARDIE SIDING / BAND BOARD SW 6099 SAND DOLLAR - BY SHERWIN WILLIAMS
4	HARDIE PANEL / BOARD SW 9093 NEARLY BROWN - BY SHERWIN WILLIAMS
5	TRIM BLACK
6	WINDOW VINYL -BLACK
7	RAILING ALUMINUM - BLACK GLASS (SAFETY) - CLEAR
8	COLUMN SW 9093 NEARLY BROWN - BY SHERWIN WILLIAMS
9	WINDOW SILL - WALL CAP PRE-CAST CONCRETE
10	ROOF OVERHANG SW 6103 TEA CHEST - BY SHERWIN WILLIAMS
11	ENTRY DOOR BLOCKS 1 & 2: SW 6244 - BY SHERWIN WILLIAMS
12	GARAGE DOOR SW 9093 NEARLY BROWN - BY SHERWIN WILLIAMS
13	CANOPY BLACK METAL FRAME CLEAR GLASS



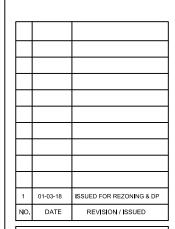
# F. ADAB ARCHITECTS INC.

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PROJECT TITLE:

# 26 UNIT TOWNHOUSE DEVELOPMENT

19608-19618-19630-19642 56 AVENUE, LANGLEY

FOR:

#### QUADSTAR DEVELOPMENT LTD. 1040 MADORE AVE

COQUITLAM, B.C. V3K 3B8

DRAWING TITLE:

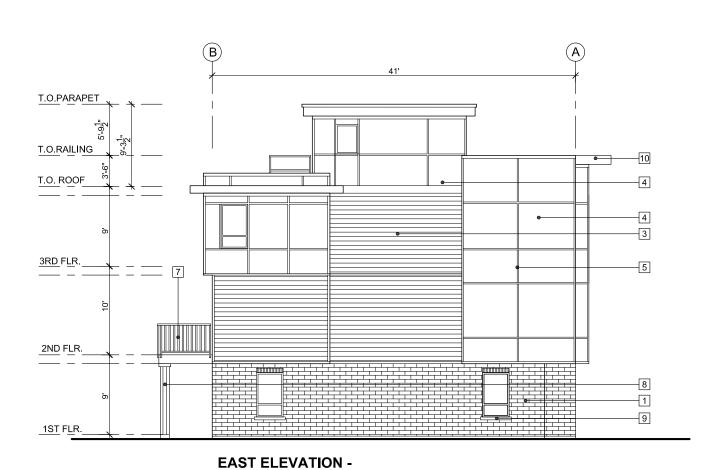
BLOCK 1 NORTH AND WEST ELEVATIONS

D.	ATE:	NOV 2017	SHEET NO:
s	CALE:	NTS.	
D	ESIGN:	A.A.	A 2 4 a
D	RAWN:	A.A.	A-3.1a
Р	ROJECT NO:	1706	

75



#### **SOUTH (REAR) ELEVATION - BLOCK 1**



**BLOCK 1** 

#### **EXTERIOR FINISHES**

1	BRICK CHESTNUT - BY MUTUAL MATERIALS CO.	
2	6" HORIZONTAL SIDING - PVC / HAZEL OAK REF #6 BY SAGIPER	
3	6" HORIZONTAL HARDIE SIDING / BAND BOARD SW 6099 SAND DOLLAR - BY SHERWIN WILLIAMS	
4	HARDIE PANEL / BOARD SW 9093 NEARLY BROWN - BY SHERWIN WILLIAMS	
5	TRIM BLACK	
6	WINDOW VINYL -BLACK	
7	RAILING ALUMINUM - BLACK GLASS (SAFETY) - CLEAR	
8	COLUMN SW 9093 NEARLY BROWN - BY SHERWIN WILLIAMS	
9	WINDOW SILL - WALL CAP PRE-CAST CONCRETE	
10	ROOF OVERHANG SW 6103 TEA CHEST - BY SHERWIN WILLIAMS	
11	ENTRY DOOR BLOCKS 1 & 2: SW 6244 - BY SHERWIN WILLIAMS	
12	GARAGE DOOR SW 9093 NEARLY BROWN - BY SHERWIN WILLIAMS	
13	CANOPY BLACK METAL FRAME CLEAR GLASS	



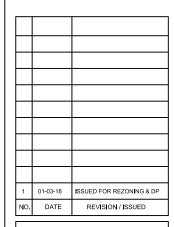
# F. ADAB ARCHITECTS INC.

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PROJECT TITLE:

# 26 UNIT TOWNHOUSE DEVELOPMENT

19608-19618-19630-19642 56 AVENUE, LANGLEY

FOR:

#### QUADSTAR DEVELOPMENT LTD. 1040 MADORE AVE

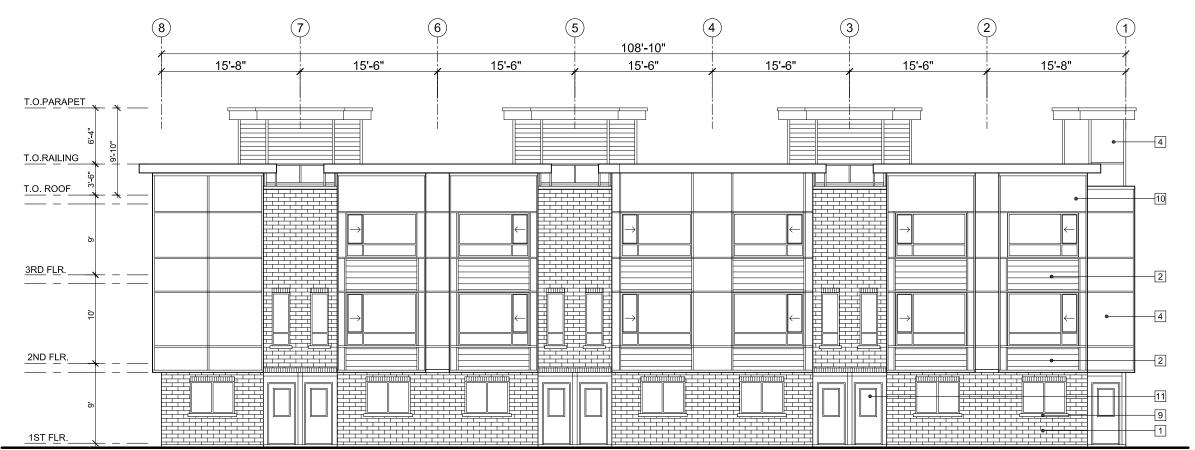
COQUITLAM, B.C. V3K 3B8

DRAWING TITLE:

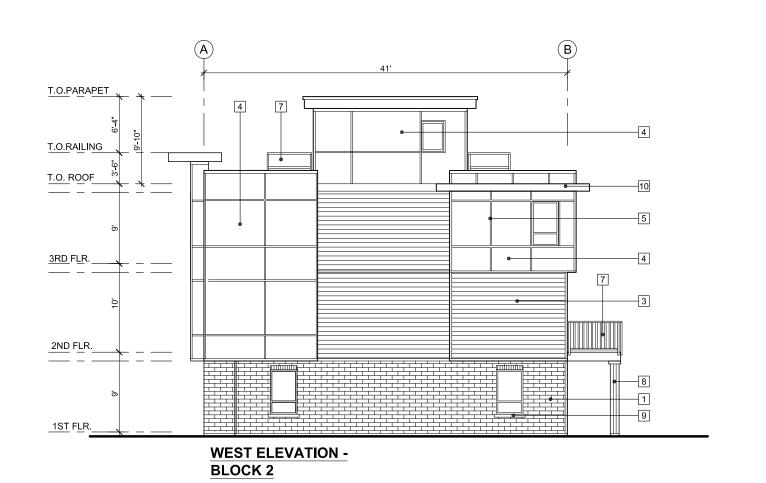
BLOCK 1 SOUTH AND EAST ELEVATIONS

DATE:	NOV 2017	SHEET NO:
SCALE:	NTS.	
DESIGN:	A.A.	A 2 1h
DRAWN:	A.A.	A-3.10
PROJECT NO:	1706	

76



#### **NORTH (FRONT) ELEVATION - BLOCK 2**



#### **EXTERIOR FINISHES**

LAIL	MONT INIONES
1	BRICK CHESTNUT - BY MUTUAL MATERIALS CO.
2	6" HORIZONTAL SIDING - PVC / HAZEL OAK REF #6 BY SAGIPER
3	6" HORIZONTAL HARDIE SIDING / BAND BOARD SW 7516 KESTREL WHITE - BY SHERWIN WILLIAMS
4	HARDIE PANEL / BOARD SW 9093 NEARLY BROWN - BY SHERWIN WILLIAMS
5	TRIM BLACK
6	<b>WINDOW</b> VINYL -BLACK
7	RAILING ALUMINUM - BLACK GLASS (SAFETY) - CLEAR
8	COLUMN SW 9093 NEARLY BROWN - BY SHERWIN WILLIAMS
9	WINDOW SILL - WALL CAP PRE-CAST CONCRETE
10	ROOF OVERHANG SW 7516 KESTREL WHITE - BY SHERWIN WILLIAMS
11	ENTRY DOOR BLOCKS 1 & 2: SW 6244 - BY SHERWIN WILLIAMS
12	GARAGE DOOR SW 9093 NEARLY BROWN - BY SHERWIN WILLIAMS
13	CANOPY BLACK METAL FRAME CLEAR GLASS



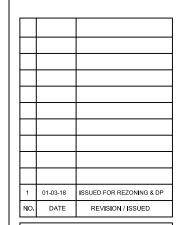
# F. ADAB ARCHITECTS INC.

#130-1000 ROOSEVELT CRESCENT NORTH VANCOUVER, BC V7P 3R4 TEL: (604) 987-3003 FAX: (604) 987-3033 E-MAIL: mfa@multigonfadab.com

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PROJECT TITLE:

26 UNIT TOWNHOUSE DEVELOPMENT

19608-19618-19630-19642 56 AVENUE, LANGLEY

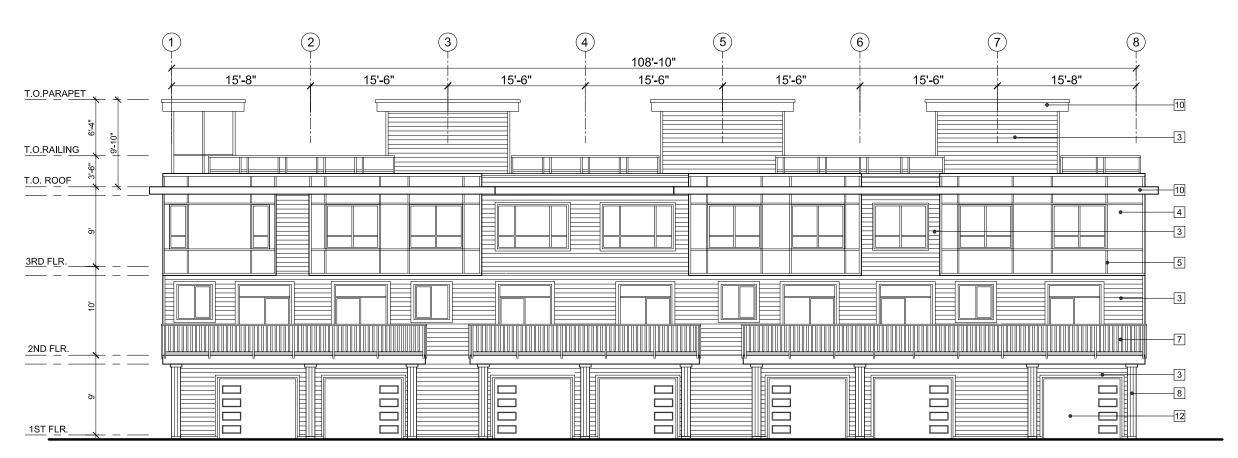
FOR:

QUADSTAR DEVELOPMENT LTD. 1040 MADORE AVE COQUITLAM, B.C. V3K 3B8

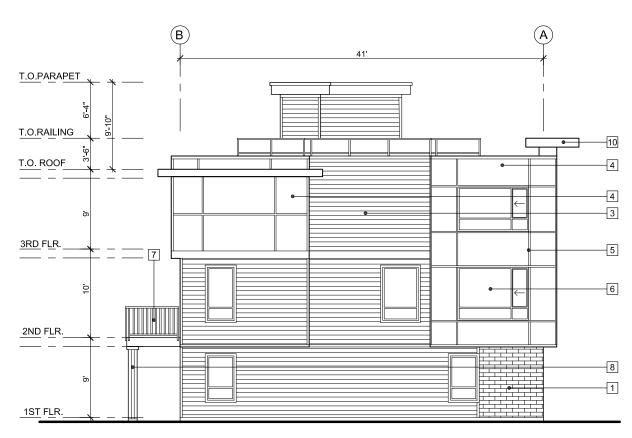
DRAWING TITLE:

BLOCK 2 NORTH AND WEST ELEVATIONS

DATE:	NOV 2017	SHEET NO:
SCALE:	NTS.	
DESIGN:	A.A.	A 2 22
DRAWN:	A.A.	A-3.2a
PROJECT NO	: 1706	



#### **SOUTH (REAR) ELEVATION - BLOCK 2**



EAST ELEVATION - BLOCK 2

#### **EXTERIOR FINISHES**

_		
	1	BRICK CHESTNUT - BY MUTUAL MATERIALS CO.
	2	6" HORIZONTAL SIDING - PVC / HAZEL OAK REF #6 BY SAGIPER
	3	6" HORIZONTAL HARDIE SIDING / BAND BOARD SW 7516 KESTREL WHITE - BY SHERWIN WILLIAMS
	4	HARDIE PANEL / BOARD SW 9093 NEARLY BROWN - BY SHERWIN WILLIAMS
	5	TRIM BLACK
	6	<b>WINDOW</b> VINYL -BLACK
	7	RAILING ALUMINUM - BLACK GLASS (SAFETY) - CLEAR
	8	COLUMN SW 9093 NEARLY BROWN - BY SHERWIN WILLIAMS
	9	WINDOW SILL - WALL CAP PRE-CAST CONCRETE
	10	ROOF OVERHANG SW 7516 KESTREL WHITE - BY SHERWIN WILLIAMS
	11	ENTRY DOOR BLOCKS 1 & 2: SW 6244 - BY SHERWIN WILLIAMS
	12	GARAGE DOOR SW 9093 NEARLY BROWN - BY SHERWIN WILLIAMS
	13	CANOPY BLACK METAL FRAME CLEAR GLASS



## F. ADAB ARCHITECTS INC.

#130-1000 ROOSEVELT CRESCENT NORTH VANCOUVER, BC V7P 3R4 TEL: (604) 987-3003 FAX: (604) 987-3033 E-MAIL: mfa@multigonfadab.com

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1	01-03-18	ISSUED FOR REZONING & DP
NO.	DATE	REVISION / ISSUED

PROJECT TITLE:

26 UNIT TOWNHOUSE DEVELOPMENT

19608-19618-19630-19642 56 AVENUE, LANGLEY

FOR:

QUADSTAR DEVELOPMENT LTD. 1040 MADORE AVE COQUITLAM, B.C. V3K 3B8

DRAWING TITLE:

BLOCK 2 SOUTH AND EAST ELEVATIONS

DATE: NOV 2017 SHEET NO:

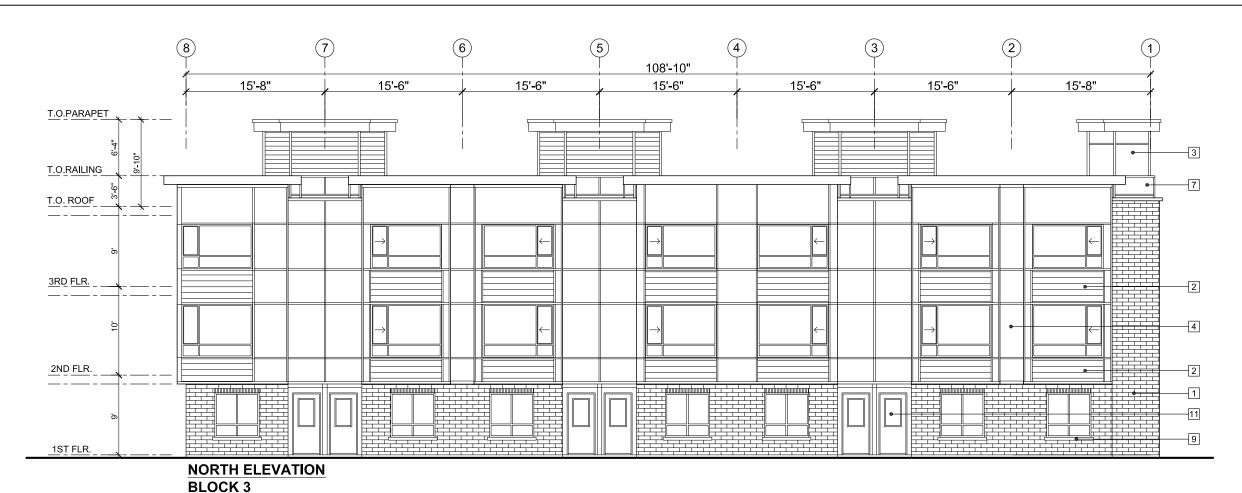
SCALE: NTS.

DESIGN: A.A.

DRAWN: A.A.

PROJECT NO: 1706

A-3.2b



EXTERIOR FINISHES

BRICK

2

5

6

9

BLACK

VINYL -BLACK

CHESTNUT - BY MUTUAL MATERIALS CO.

PVC / HAZEL OAK REF #6 BY SAGIPER

SW 7516 KESTREL WHITE - BY SHERWIN WILLIAMS

6" HORIZONTAL HARDIE SIDING

SW 9093 NEARLY BROWN - BY SHERWIN WILLIAMS

SW 9093 NEARLY BROWN - BY SHERWIN WILLIAMS

SW 7516 KESTREL WHITE - BY SHERWIN WILLIAMS

BLOCKS 3 & 4 : SW 7585 - BY SHERWIN WILLIAMS

6" HORIZONTAL SIDING -

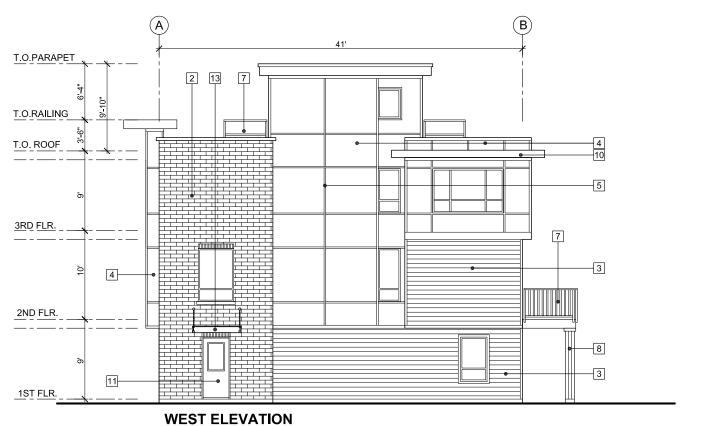
/ BAND BOARD

HARDIE PANEL / BOARD

ALUMINUM - BLACK GLASS (SAFETY) - CLEAR

WINDOW SILL - WALL CAP PRE-CAST CONCRETE

ROOF OVERHANG



BLOCK 3

ATION

GARAGE DOOR
SW 9093 NEARLY BROWN - BY SHERWIN WILLIAMS

CANOPY
BLACK METAL FRAME
CLEAR GLASS



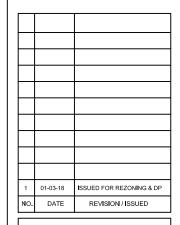
# F. ADAB ARCHITECTS INC.

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PROJECT TITLE:

**26 UNIT TOWNHOUSE DEVELOPMENT**19608-19618-19630-19642

56 AVENUE, LANGLEY

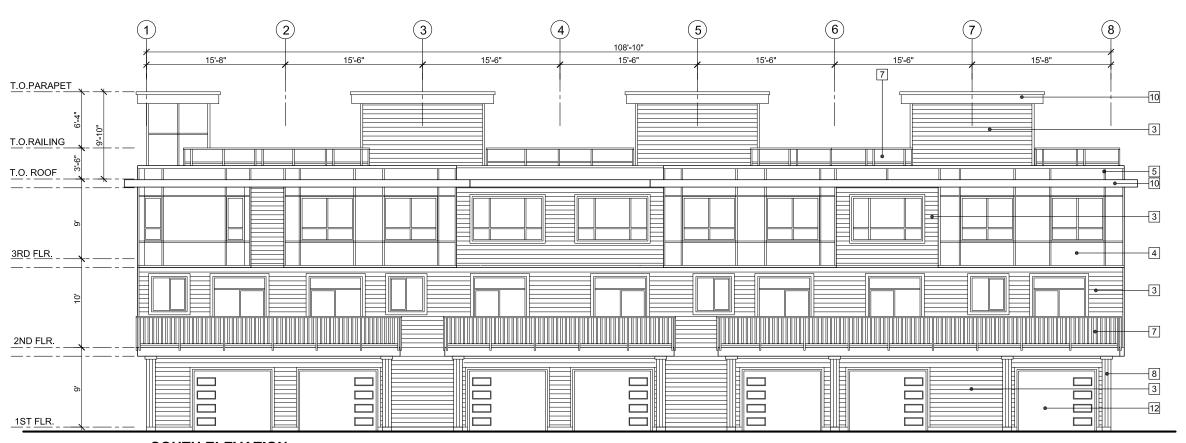
QUADSTAR DEVELOPMENT LTD.

1040 MADORE AVE COQUITLAM, B.C. V3K 3B8

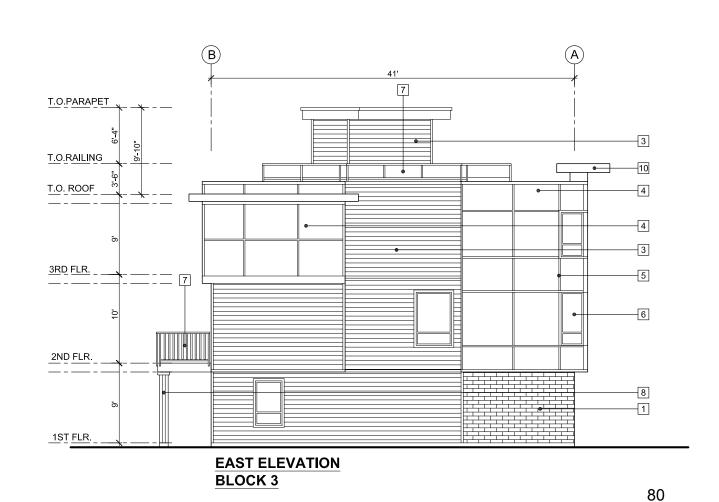
DRAWING TITLE:

BLOCK 3 NORTH AND WEST ELEVATIONS

DATE:	NOV 2017	SHEET NO:
SCALE:	NTS.	
DESIGN:	A.A.	A 2 22
DRAWN:	A.A.	H-3.3a
PROJECT N	D: 1706	



# SOUTH ELEVATION BLOCK 3



#### **EXTERIOR FINISHES**

1	BRICK CHESTNUT - BY MUTUAL MATERIALS CO.
2	6" HORIZONTAL SIDING - PVC / HAZEL OAK REF #6 BY SAGIPER
3	6" HORIZONTAL HARDIE SIDING / BAND BOARD SW 7516 KESTREL WHITE - BY SHERWIN WILLIAMS
4	HARDIE PANEL / BOARD SW 9093 NEARLY BROWN - BY SHERWIN WILLIAMS
5	TRIM BLACK
6	WINDOW VINYL -BLACK
7	RAILING ALUMINUM - BLACK GLASS (SAFETY) - CLEAR
8	COLUMN SW 9093 NEARLY BROWN - BY SHERWIN WILLIAMS
9	WINDOW SILL - WALL CAP PRE-CAST CONCRETE
10	ROOF OVERHANG SW 7516 KESTREL WHITE - BY SHERWIN WILLIAMS
11	ENTRY DOOR BLOCKS 3 & 4: SW 7585 - BY SHERWIN WILLIAMS
12	GARAGE DOOR SW 9093 NEARLY BROWN - BY SHERWIN WILLIAMS
13	CANOPY BLACK METAL FRAME CLEAR GLASS



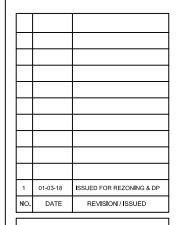
# F. ADAB ARCHITECTS INC.

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PROJECT TITLE:

#### 26 UNIT TOWNHOUSE DEVELOPMENT 19608-19618-19630-19642

56 AVENUE, LANGLEY

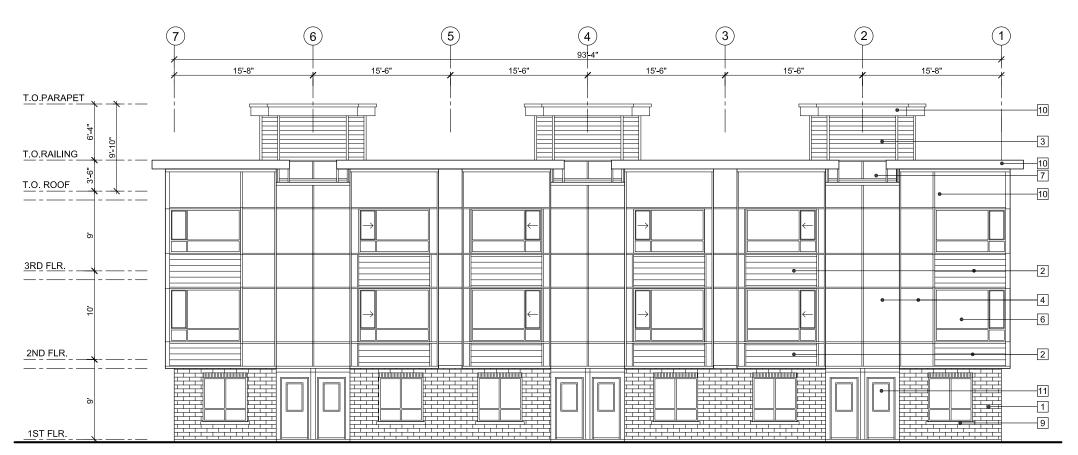
# QUADSTAR DEVELOPMENT LTD.

1040 MADORE AVE COQUITLAM, B.C. V3K 3B8

DRAWING TITLE:

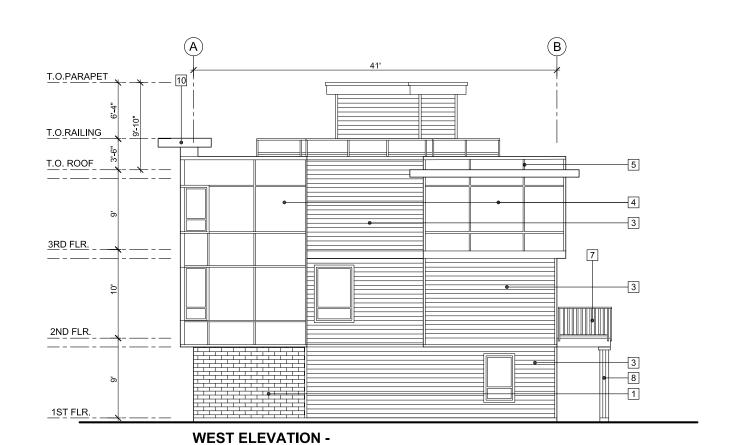
BLOCK 3 SOUTH AND EAST ELEVATIONS

DATE	. N	IOV 2017		SHEET NO:
SCAL	E: N	ITS.		
DESIG	SN: A	Α.	П	A 2 2 h
DRAV	/N: A	.A.		A-3.30
PROJ	ECT NO:	1706	П	



# NORTH ELEVATION - BLOCK 4

**BLOCK 4** 



#### **EXTERIOR FINISHES**

1	BRICK CHESTNUT - BY MUTUAL MATERIALS CO.
2	6" HORIZONTAL SIDING - PVC / HAZEL OAK REF #6 BY SAGIPER
3	6" HORIZONTAL HARDIE SIDING / BAND BOARD SW 7516 KESTREL WHITE - BY SHERWIN WILLIAMS
4	HARDIE PANEL / BOARD SW 9093 NEARLY BROWN - BY SHERWIN WILLIAMS
5	TRIM BLACK
6	<b>WINDOW</b> VINYL -BLACK
7	RAILING ALUMINUM - BLACK GLASS (SAFETY) - CLEAR
8	<b>COLUMN</b> SW 9093 NEARLY BROWN - BY SHERWIN WILLIAMS
9	WINDOW SILL - WALL CAP PRE-CAST CONCRETE
10	ROOF OVERHANG SW 7516 KESTREL WHITE - BY SHERWIN WILLIAMS
11	ENTRY DOOR BLOCKS 3 & 4: SW 7585 - BY SHERWIN WILLIAMS
12	GARAGE DOOR SW 9093 NEARLY BROWN - BY SHERWIN WILLIAMS
13	CANOPY BLACK METAL FRAME CLEAR GLASS



# F. ADAB ARCHITECTS INC.

#130-1000 ROOSEVELT CRESCENT NORTH VANCOUVER, BC VTP 3R4 TEL: (604) 987-3003 FAX: (604) 987-3033 E-MAIL: mfa@multigonfadab.com

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1	01-03-18	ISSUED FOR REZONING & DP
NO.	DATE	REVISION / ISSUED

PROJECT TITLE:

26 UNIT TOWNHOUSE DEVELOPMENT

19608-19618-19630-19642 56 AVENUE, LANGLEY

FOR:

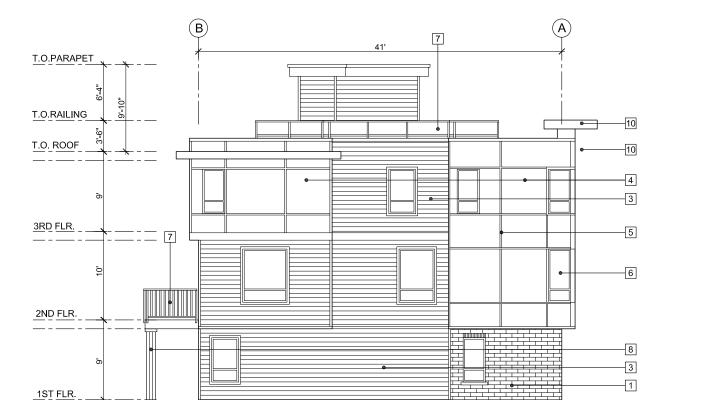
QUADSTAR DEVELOPMENT LTD. 1040 MADORE AVE COQUITLAM, B.C. V3K 3B8

DRAWING TITLE:

BLOCK 4 NORTH AND WEST ELEVATIONS

DATE:	NOV 2017	SHEET NO:
SCALE:	NTS.	
DESIGN:	A.A.	\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \
DRAWN:	A.A.	7 <b>A-</b> 3.46
PROJECT NO	D: 1706	1





# EAST ELEVATION - BLOCK 4

**BLOCK 4** 

#### EXTERIOR FINISHES

	NICKT INICHES
1	BRICK CHESTNUT - BY MUTUAL MATERIALS CO.
2	6" HORIZONTAL SIDING - PVC / HAZEL OAK REF #6 BY SAGIPER
3	6" HORIZONTAL HARDIE SIDING / BAND BOARD SW 7516 KESTREL WHITE - BY SHERWIN WILLIAM
4	HARDIE PANEL / BOARD SW 9093 NEARLY BROWN - BY SHERWIN WILLIAMS
5	TRIM BLACK
6	WINDOW VINYL -BLACK
7	RAILING ALUMINUM - BLACK GLASS (SAFETY) - CLEAR
8	COLUMN SW 9093 NEARLY BROWN - BY SHERWIN WILLIAMS
9	WINDOW SILL - WALL CAP PRE-CAST CONCRETE
10	ROOF OVERHANG SW 7516 KESTREL WHITE - BY SHERWIN WILLIAMS
11	ENTRY DOOR BLOCKS 3 & 4: SW 7585 - BY SHERWIN WILLIAMS
12	GARAGE DOOR SW 9093 NEARLY BROWN - BY SHERWIN WILLIAMS
13	CANOPY BLACK METAL FRAME CLEAR GLASS



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1	01-03-18	ISSUED FOR REZONING & DP
NO.	DATE	REVISION / ISSUED

PROJECT TITLE:

26 UNIT TOWNHOUSE DEVELOPMENT

19608-19618-19630-19642 56 AVENUE, LANGLEY

COQUITLAM, B.C. V3K 3B8

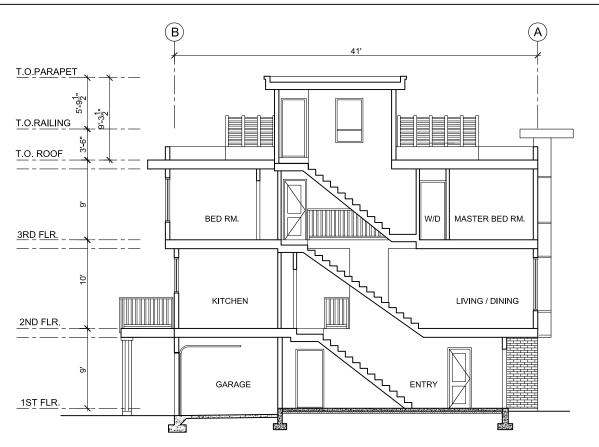
FOR:

QUADSTAR DEVELOPMENT LTD. 1040 MADORE AVE

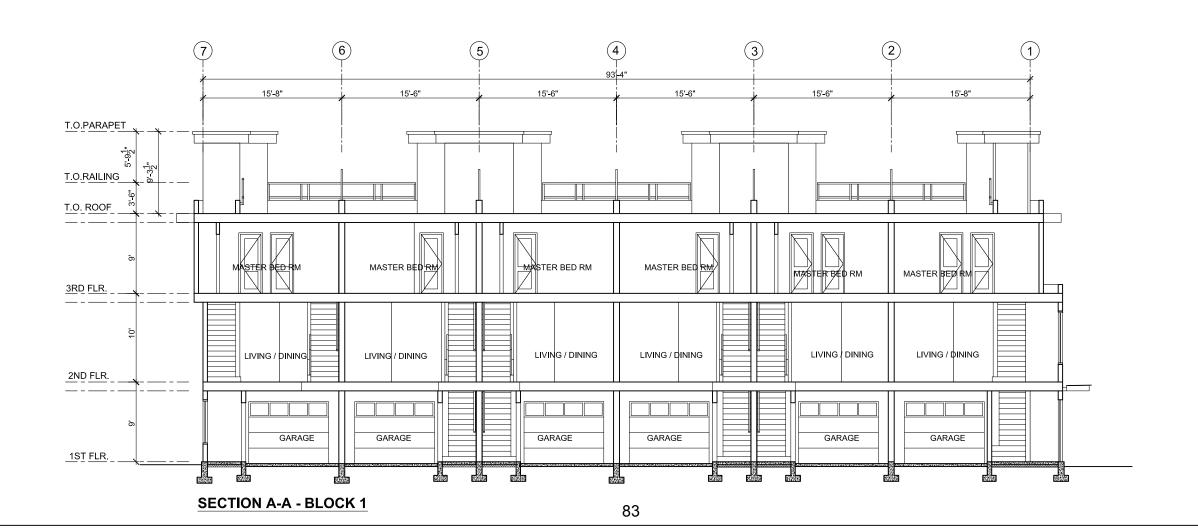
DRAWING TITLE:

BLOCK 4 SOUTH AND EAST ELEVATIONS

	DATE:	NOV 2017	SHEET NO:
	SCALE:	NTS.	
	DESIGN:	A.A.	A 2 4 L
	DRAWN:	A.A.	M-3.4L
	PROJECT NO	1706	



### **SECTION B-B - BLOCK 1**





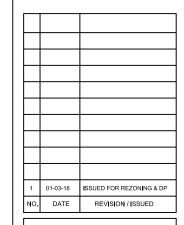
# F. ADAB ARCHITECTS INC.

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PROJECT TITLE:

# 26 UNIT TOWNHOUSE DEVELOPMENT

19608-19618-19630-19642 56 AVENUE, LANGLEY

FOF

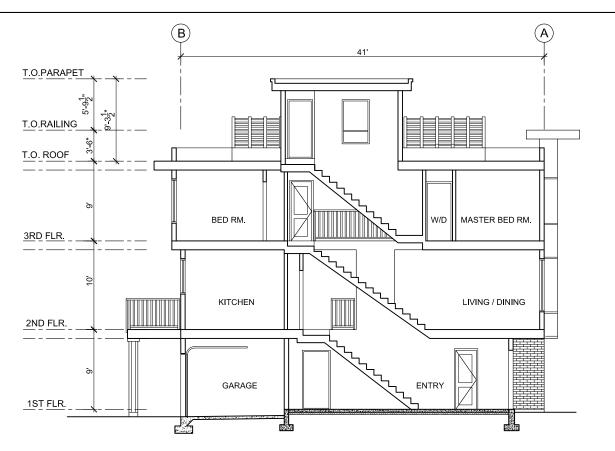
#### QUADSTAR DEVELOPMENT LTD. 1040 MADORE AVE

COQUITLAM, B.C. V3K 3B8

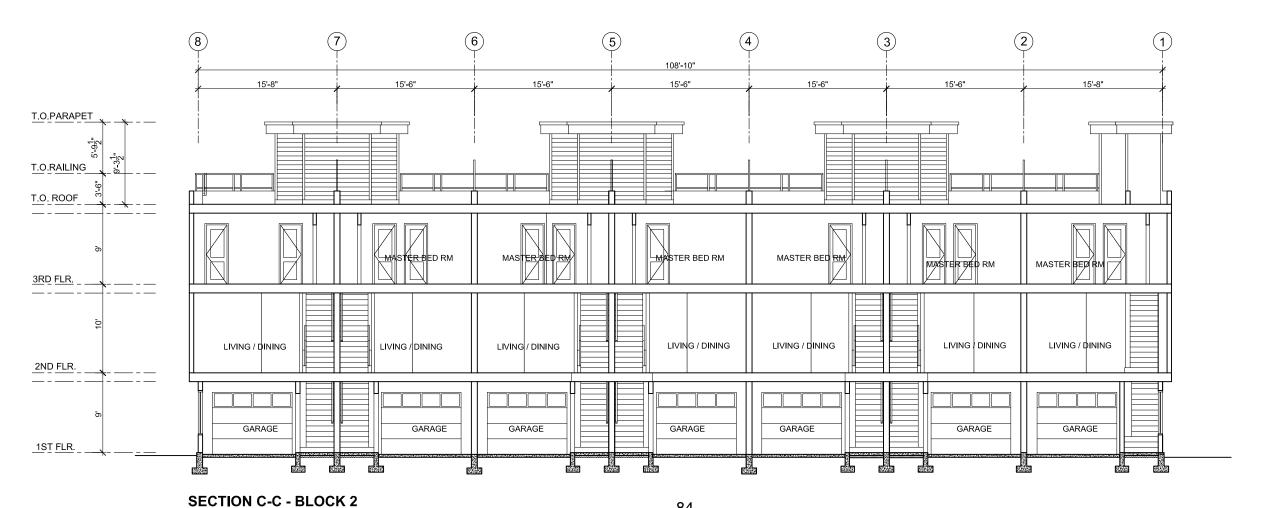
DRAWING TITLE:

BLOCK 1 SECTIONS A-A & B-B

	DATE:	NOV 2017	SHEET NO:
	SCALE:	NTS.	
	DESIGN:	A.A.	1 1 1 1
	DRAWN:	A.A.	<del>M-4</del> .1
1	DDO IECT NO	1706	



#### **SECTION D-D - BLOCK 2**





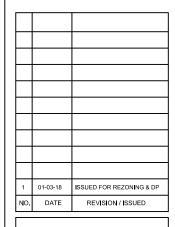
## F. ADAB **ARCHITECTS** INC.

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PROJECT TITLE:

#### 26 UNIT TOWNHOUSE DEVELOPMENT

19608-19618-19630-19642 56 AVENUE, LANGLEY

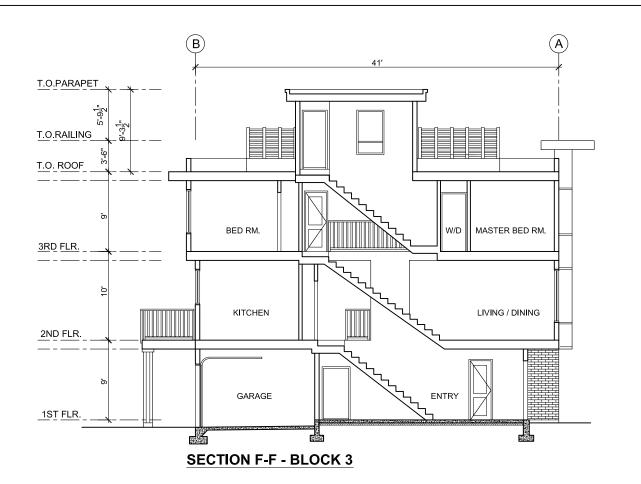
#### QUADSTAR DEVELOPMENT LTD. 1040 MADORE AVE

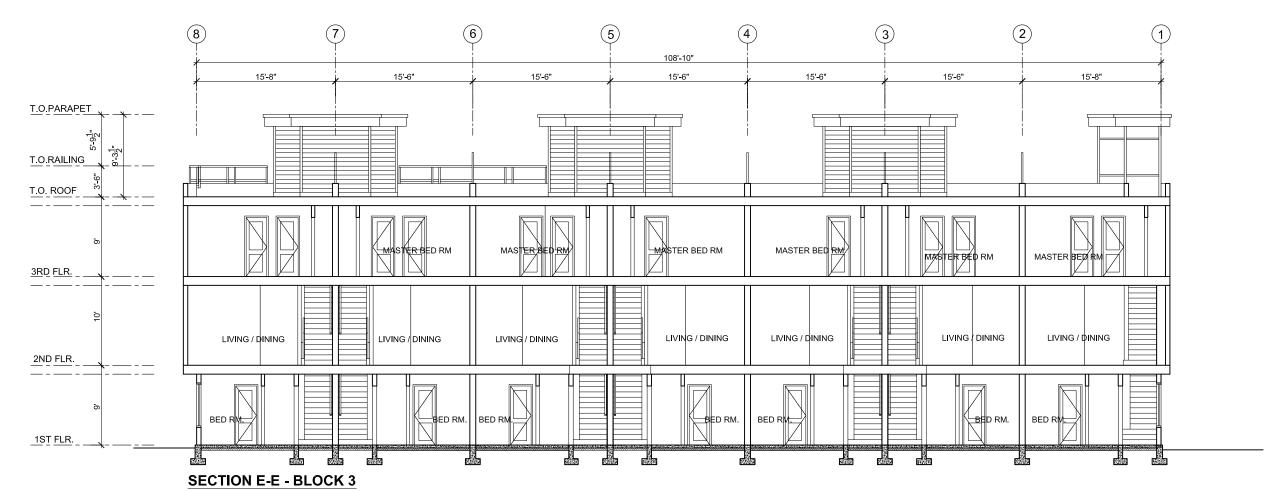
COQUITLAM, B.C. V3K 3B8

DRAWING TITLE:

BLOCK 2 SECTIONS C-C & D-D

DATE:	NOV 2017	SHEET NO:
SCALE:	NTS.	
DESIGN:	A.A.	A 4 9
DRAWN:	A.A.	M-4.Z
PROJECT NO	1706	





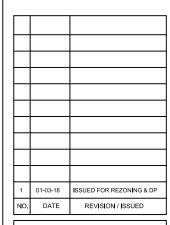


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PROJECT TITLE:

# 26 UNIT TOWNHOUSE DEVELOPMENT

19608-19618-19630-19642 56 AVENUE, LANGLEY

FOR:

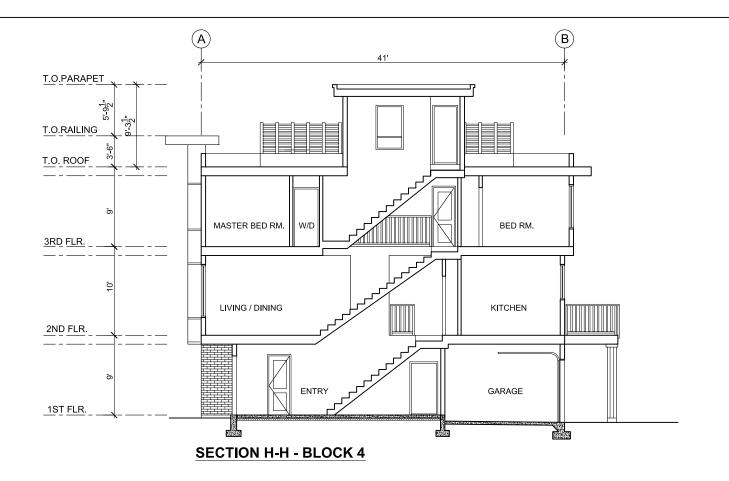
#### QUADSTAR DEVELOPMENT LTD. 1040 MADORE AVE

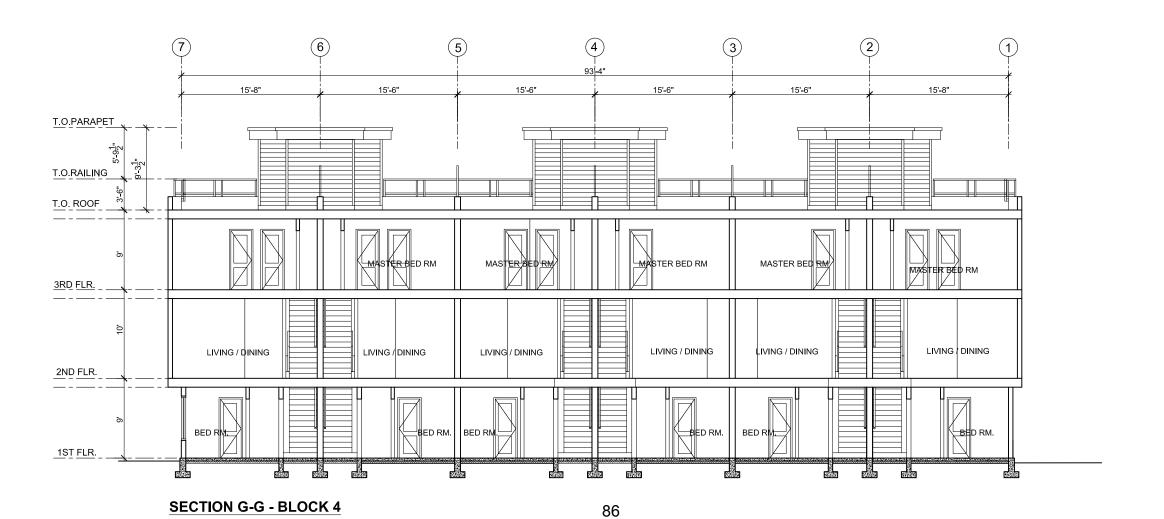
COQUITLAM, B.C. V3K 3B8

DRAWING TITLE:

BLOCK 3 SECTIONS E-E & F-F

DATE:	NOV 2017	SHEET NO:
SCALE:	NTS.	
DESIGN:	A.A.	$\begin{bmatrix} 1 & 1 & 2 & 2 \end{bmatrix}$
DRAWN:	A.A.	7 <b>A-4</b> .3
PROJECT N	IO: 1706	





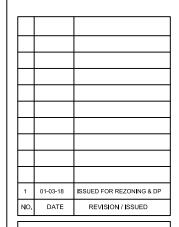


#130-1000 ROOSEVELT CRESCENT NORTH VANCOUVER, BC V7P 3R4 TEL: (604) 987-3003 FAX: (604) 987-3033 F-MAII: nfa@multloopfadab.com

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PROJECT TITLE:

# 26 UNIT TOWNHOUSE DEVELOPMENT

19608-19618-19630-19642 56 AVENUE, LANGLEY

FOR:

**QUADSTAR DEVELOPMENT LTD.** 1040 MADORE AVE COQUITLAM, B.C. V3K 3B8

BLOCK 4 SECTIONS G-G & H-H

DRAWING TITLE:

DATE: NOV 2017 SHEET NO:

SCALE: NTS.

DESIGN: A.A.

DRAWN: A.A.

PROJECT NO: 1706

TREE SCHEDULE M2 JOB NUMBER: 17087 PLANTED SIZE / REMARKS KEY QTY BOTANICAL NAME COMMON NAME CHAMAECYPARIS NOOTKATENSIS NOOTKA CYPRESS 2.5M HT; B&B CORNUS FLORIDA 'RUBRA' PINK FLOWERING DOGWOOD 6CM CAL; B&B LIQUIDAMBAR STYRACIFLUA 'ARNOLD' COLUMNAR SWEET GUM TCM CAL; I.8M STD; B&B PRUNUS X YEDOENSIS 'AKEBONO' AKEBONO CHERRY 6CM CAL; B&B; I.8OM STD JAPANESE SNOWBELL 3M; B&B STYRAX JAPONICUS NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER

CNTA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS, \* SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL, UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.

ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.

9

# 56 AVENUE



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#220 - 26 Lorne Mews New Westminster, British Columbia V3M 3L7 Tel: 604.553.0044 Fax: 604.553.0045 Email: office@m2la.com



3	JAN.OI.26	REV AS PER NEW SITE PLAN	BN
2	JAN.3.2018	REVISED PER CPTED REPORT	PMT
1	DEC.13.2017	PRELIMINARY PLAN	BN
NO.	DATE	REVISION DESCRIPTION	DR.

PROJECT:

26 TOWNHOUSE DEVELOPMENT

196 STREET & 56 AVENUE LANGLEY, BC

DRAWING TITLE:

LANDSCAPE PLAN

DATE:	DEC.13, 2017	DRAWING NUMBER:
SCALE:	3/32"=1'-0"	
DRAWN:	BN	
DESIGN:	BN	- W
CHK'D:	MLTM	) OF

JOB NO. 17 087

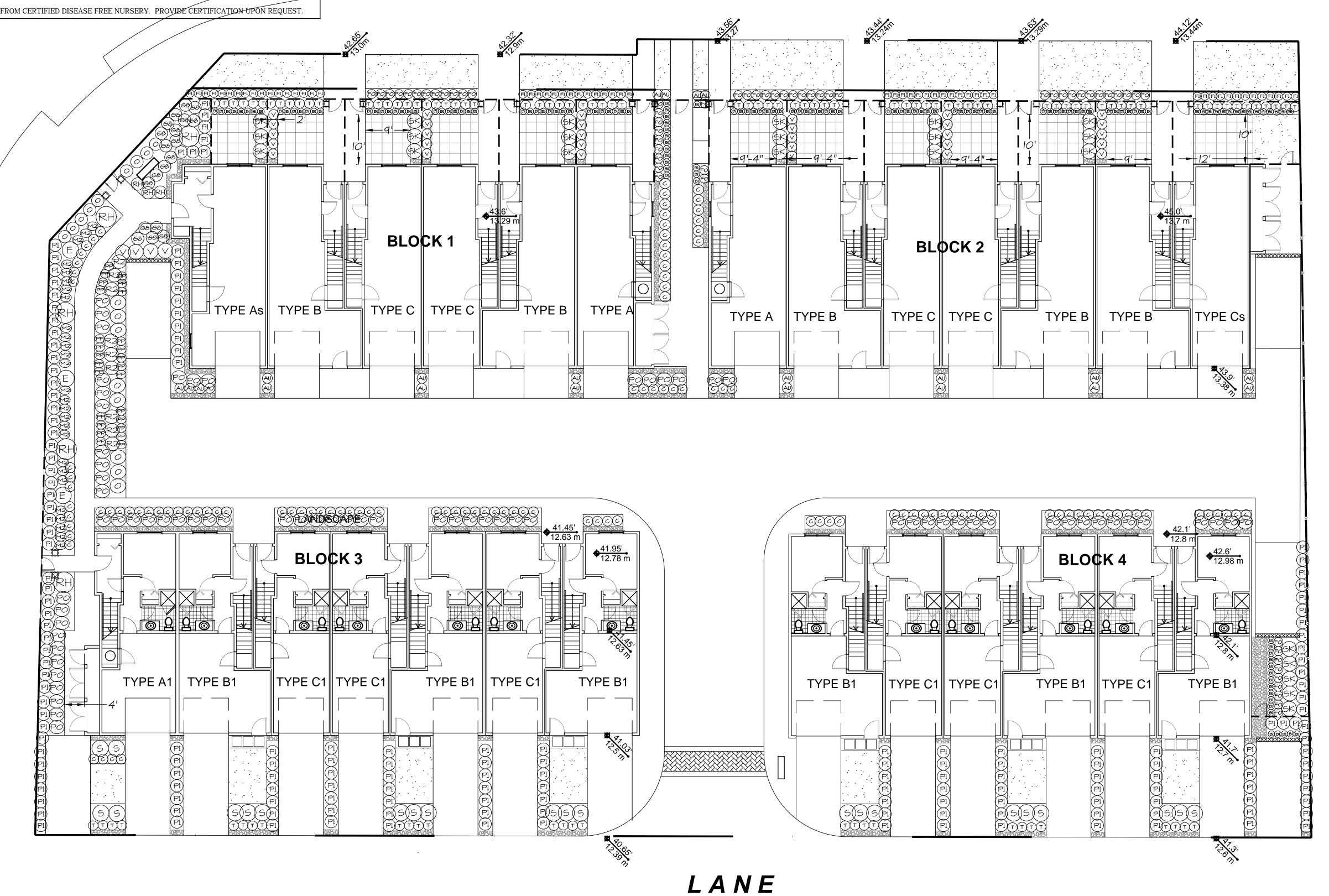
**M2 JOB NUMBER: 17087** 

56 AVENUE

CNTA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS: OBTAIN WRITT<u>IEN</u> REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BE LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.

ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.

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3 JAN.OI.26 REV AS PER NEW SITE PLAN 2 JAN.3.2018 REVISED PER CPTED REPORT PMT
1 DEC.13.2017 PRELIMINARY PLAN BN NO. DATE REVISION DESCRIPTION

SEAL:

PROJECT:

26 TOWNHOUSE **DEVELOPMENT** 

196 STREET & 56 AVENUE LANGLEY, BC

DRAWING TITLE:

**SHRUB** PLAN

DEC.13, 2017 DRAWING NUMBER: SCALE: 3/32"=1'-0" DRAWN: *BN* DESIGN: BN

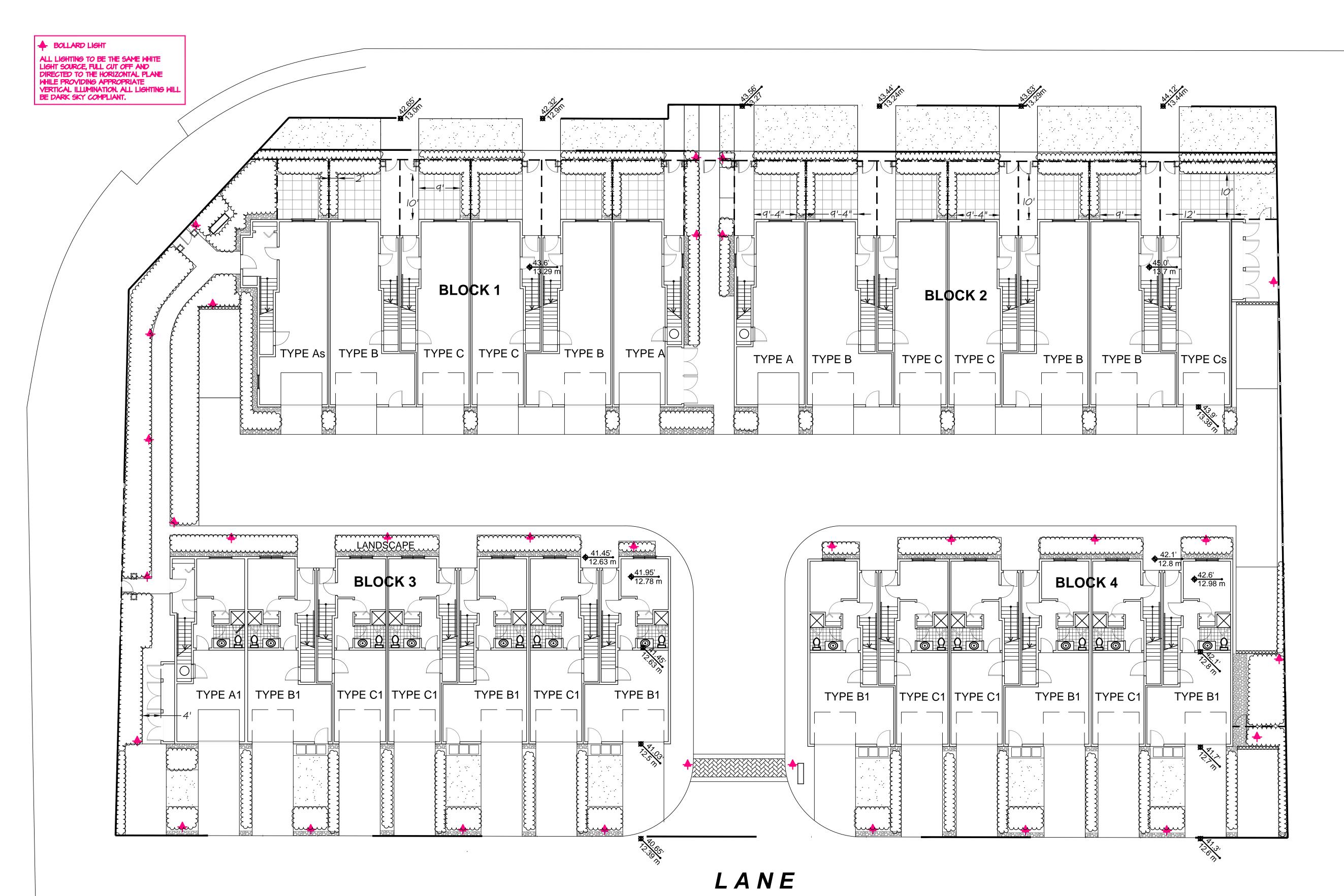
M2LA PROJECT NUMBER:

CHK'D: MLTM

JOB NO. 17 087

17087-05.zip

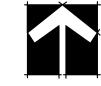
# 56 AVENUE



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			_
3	JAN.01.26	REV AS PER NEW SITE PLAN	BN
2	JAN.3.2018	REVISED PER CPTED REPORT	PMT
1	DEC.13.2017	PRELIMINARY PLAN	BN
NO.	DATE	REVISION DESCRIPTION	DR.

SEAL:

PROJECT:

26 TOWNHOUSE DEVELOPMENT

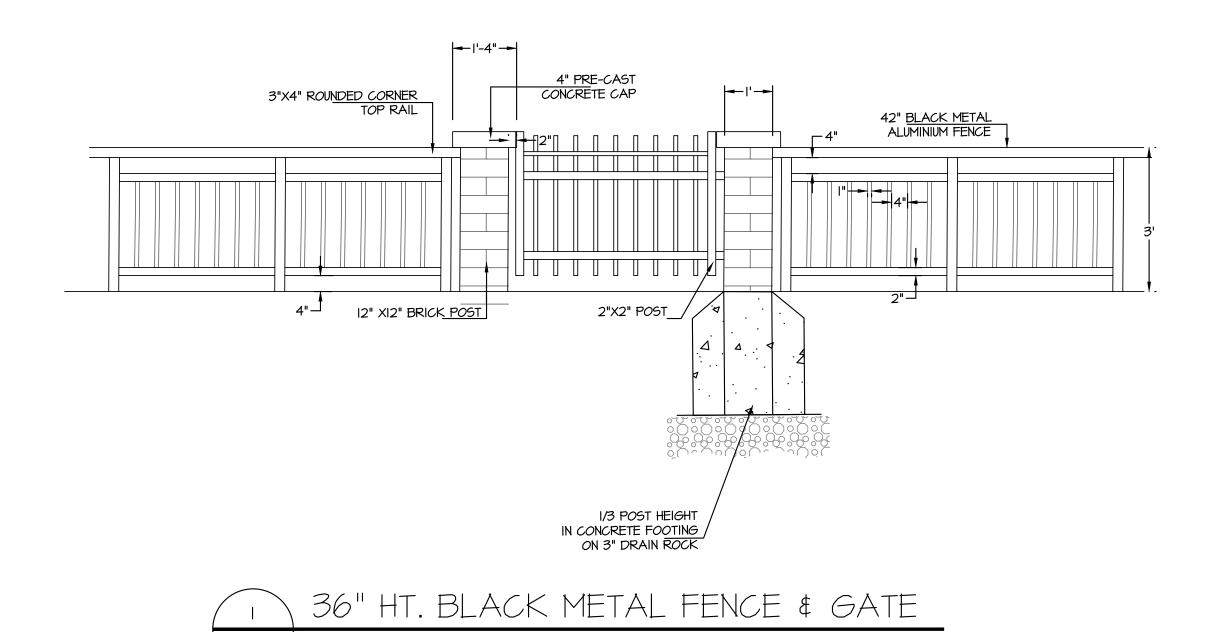
196 STREET & 56 AVENUE LANGLEY, BC

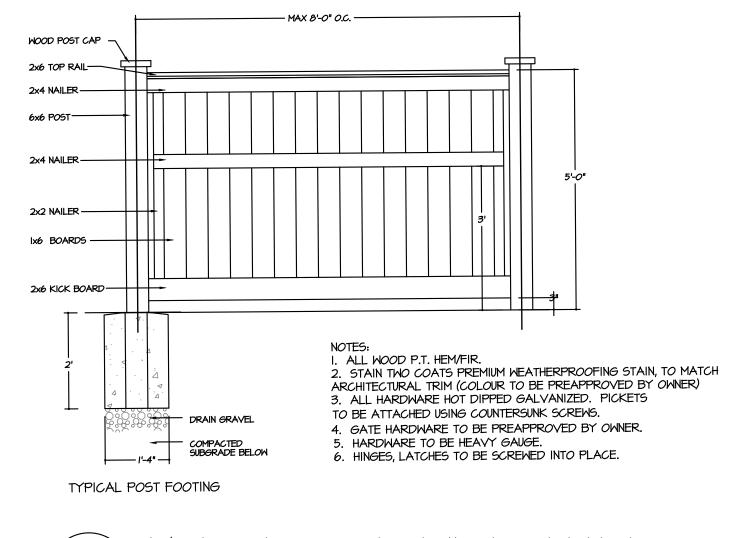
DRAWING TITLE:

LIGHTING PLAN

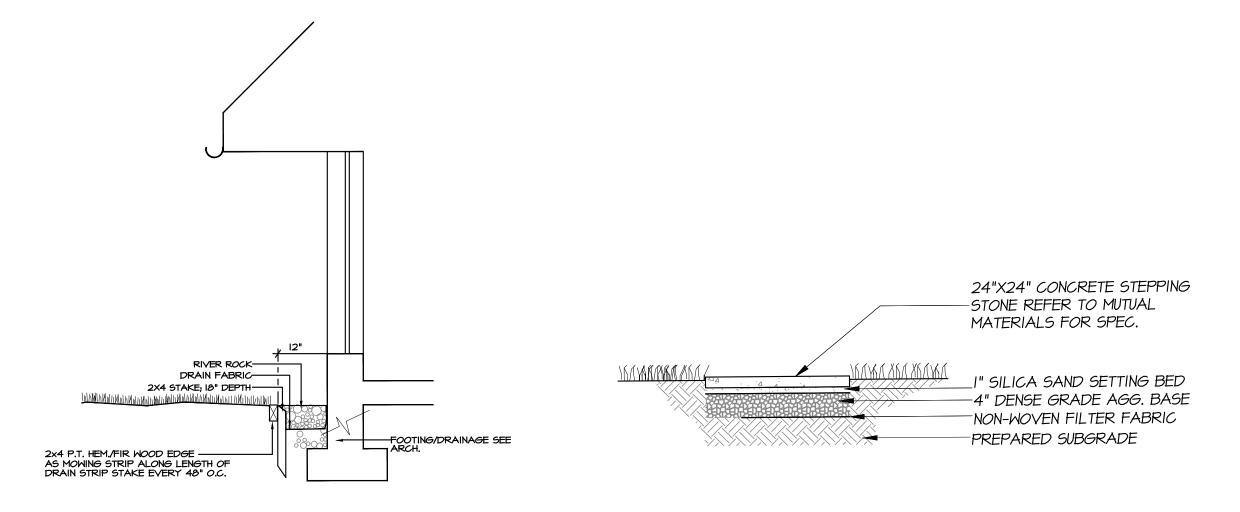
DEC.13, 2017 DRAWING NUMBER: SCALE: 3/32"=1'-0" DRAWN: *BN* DESIGN: *BN* CHK'D: MLTM

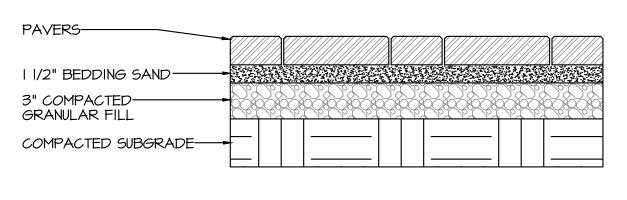
JOB NO. 17 087 M2LA PROJECT NUMBER:





5' HT. WOOD PERIMETER FENCE
L4 SCALE: 1/2"= 1'-0"





NOTE:
PAVERS TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS
USE HOLLAND PAVERS-COLOUR TO BE SELECTED
BY OWNER
ALL COMPACTION TO 98% PROCTOR DENSITY



SCALE : 1/2"= 1'-0"

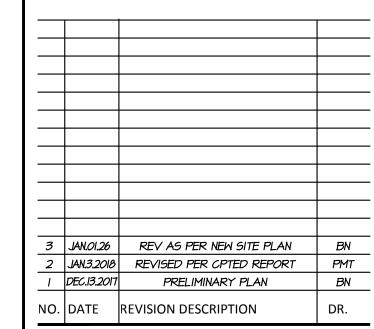




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SEAL:

PROJECT:

26 TOWNHOUSE DEVELOPMENT

196 STREET & 56 AVENUE LANGLEY, BC

DRAWING TITLE:

LANDSCAPE DETAILS

DATE: DEC.13, 2017 DRAWING NUMBER:

SCALE: AS SHOWN

DRAWN: BN

DESIGN: BN

CHK'D: MLTM

CHK'D: MLTM

M2LA PROJECT NUMBER:

17*087-05.zip* M2LA PR

JECT NUMBER: **JOB NO. 17 087** 

#### PART ONE GENERAL REQUIREMENTS PART THREE SOFT LANDSCAPE DEVELOPMENT 3.1 RETENTION OF EXISTING TREES 1.1 REFERENCES .1 Prior to any work on site - protect individual trees or plant groupings indicated as retained on landscape plans as vegetation retention areas. .1 CCDC Doc 2 LATEST EDITION .1.1 In some instances the Landscape Architect will tag trees or areas to remain. Discuss tree retention areas at a start-up meeting with the Landscape Architect. Comply with all articles in the General Conditions of Contract in conjunction with this section unless superseded by other Contract Documents .2 A physical barrier must be installed to delineate clearing boundaries. Refer to physical barrier detail. If detail not provided, comply with local municipal requirements .2 B.C. Landscape Standard, LATEST EDITION, prepared by the B.C. Society of Landscape Architects and the B.C. Landscape & Nursery Association, jointly. All work and materials shall meet standards as set out in the B.C. Landscape Standard unless superseded by this specification or as directed by Landscape Architect with written instruction .3 No machine travel through or within vegetation retention areas or under crowns of trees to be retained is allowed. .3 MASTER MUNICIPAL SPECIFICATIONS & STANDARD DETAILS, LATEST EDITION, prepared by the Consulting Engineers of British Columbia, Roadbuilders and Heavy Construction .4 Do not stockpile soil, construction materials, or excavated materials within vegetation retention areas. Association, and the Municipal Engineers Division .5 Do not park, fuel or service vehicles within vegetation retention areas. .4 STANDARD FOR LANDSCAPE IRRIGATION SYSTEM, LATEST EDITION: Prepared by the Irrigation Industry Association of British Columbia. .6 No debris fires, clearing fires or trash burning shall be permitted within vegetation retention areas. .5 MUNICIPAL BYLAWS AND ENGINEERING SPECIFICATIONS WHERE NOTED. 7 No excavations, drain or service trenches nor any other disruption shall be permitted within vegetation retention areas without a review of the proposed encroachment by .2 TESTING .1 A current (not more than one month) test for all growing medium to be used on this site is required. Provide and pay for testing by an independent testing facility .8 Do not cut branches or roots of retained trees without the approval of the Landscape Architect pre-approved by the Landscape Architect. Deliver growing medium test results to Landscape Architect for review and approval prior to placement. Refer to Section 3.4 Growing Medium Testing for procedure .9 Any damage to existing vegetation intended for preservation will be subject to evaluation by an I.S.A. Certified Arborist using the "Guide for Plant Appraisal", LATEST .2 Owner reserves the right to test or re-test materials. Contractor responsible to pay for testing if materials do not meet specification. .9.1 Replacement planting of equivalent value to the disturbance will be required. The cost of the evaluation and of the replacement planting will be the responsibility of the General Contractor and or the person(s) responsible for the disturbance. .3 SUBMITTALS .1 Any alternate products differing from that contained in the contract documents must be pre-approved by the Landscape Architect. .10 In municipalities with specific tree retention/replacement bylaws ensure compliance to bylaws .2 Submittals to consist of product sample or manufacturer's product description .11 In situations where required construction may disturb existing vegetation intended for preservation, contact Landscape Architect for review prior to commencing 1.4 SITE REVIEW .1 Under the terms of the Landscape Architect's Contract with the Owner and where the Landscape Architect is the designated reviewer, the Landscape Architect will observe .1 Ensure subgrade is prepared to conform to depths specified in Section 3.5, Growing Medium Supply, below. Where planting is indicated close to existing trees, prepare construction as is necessary in their opinion to confirm conformance to the plans and specifications. Contact Owners Representative to arrange for site observation at the suitable planting pockets for material indicated on the planting plan. Shape subgrade to eliminate free standing water and conform to the site grading and drainage plan. appropriate times. Allow two days notice. Observation schedule may include but will not be limited to the following: 1.1 Start Up Site Meeting, General Contract: Prior to any site disturbance, a meeting with the general contractor to review tree preservation issues, general landscape issues .2 On slopes in excess of 3:1 trench subgrade across slope to 150mm (6") minimum at 1.5m (5 ft.) intervals minimum. .1.2 Start Up Site Meeting, Landscape Contract (if separate): At the start of work with Owner's Representative, Site Superintendent and Landscape Contractor; a meeting is to 3 Scarify the entire subgrade immediately prior to placing growing medium. Re-cultivate where vehicular traffic results in compaction during the construction procedures. be held to review expected work and to verify the acceptability of the subgrade and general site conditions to the Landscape Contractor. Provide growing medium test results Ensure that all planting areas are smoothly contoured after light compaction to finished grades .1.3 Progress Site Visits: To observe materials and workmanship as necessary through the course of the work. Review of different aspects of the work may be dealt with on 4 Eliminate standing water from all finished grades. Provide a smooth, firm and even surface and conform to grades shown on the Landscape Drawings. Do not exceed any single visit. Such elements may include: Site Layout, Rough Grading, Growing Medium - quality, depths, finish grading; Drainage and Drainage Materials; Lawns or Grass areas; maximum and minimum gradients defined by the B.C. Landscape Standard. Planting -plant material including negotiations with suppliers, nursery inspections, plant sizes, quality, quantity, planting practice and layout, tree support; Mulch; Irrigation Systems; Play Equipment; Site Furniture; and other elements of the site development where the Landscape Architect is the designated reviewer such as: Pedestrian Paving, .5 Construct swales true to line and grade, smooth and free of sags or high points. Minimum slope 2%, maximum side slopes 10%. Assure positive drainage to collection points. Fencing, Non-structural walls and slabs, Unit Paving. .1.4 Substantial Performance: Review of all work, accounting of all substitutions, deletions; plant counts, preparations of deficiency list, and recommendations for completion. .6 Slope not to exceed the following maximums: Rough Grass 3:1, Lawn 4:1, Landscape plantings 2:1. .1.5 Certificate of Completion: Upon the declaration of Substantial Performance, a recommendation for the issuance of the Certificate of Completion will be made to the Payment Certifier as defined in the contract. .7 Finished soil/mulch elevation at building to comply with municipal requirements. .1.6 Deficiency Review: Prior to the completion of the holdback period, check for completion of deficiencies. Once completed, a Schedule 'C' will be issed where required. .1.7 Warranty Review: Prior to the completion of the waranty period (+/- 11 months after issuance of the Certificate of Completion), review all waranty material and report .8 Inform Landscape Architect of completion of finish grade prior to placement of seed, sod, plants or mulch. recommendations for waranty replacement 3 LANDSCAPE DRAINAGE 5 WORKMANSHIP .1 Related Work: Growing medium and Finish Grading, Grass areas, Trees Shrubs and Groundcovers, Planters, Crib Walls. .1 Unless otherwise instructed in the Contract Documents, the preparation of the subgrade shall be the responsibility of the General Contractor. Placement of growing medium constitutes acceptance of the subgrade by the Landscape Contractor. Any subsequent corrections to the subgrade required are the responsibility of the Landscape Contractor. .2 Work Included: Site finish grading and surface drainage. Installation of any drainage systems detailed on landscape plans. Note: Catch basins shown on landscape plans for coordination only, confirm scope of work prior to bid. .2 All work and superintendence shall be performed by personnel skilled in landscape contracting. In addition, all personnel applying herbicides and/or pesticides shall hold a 2.1 Coordinate all landscape drainage work with rest of site drainage, Refer to engineering drawings and specifications for connections and other drainage work. current license issued by the appropriate authorities. 2.2 Determine exact location of all existing utilities and structures and underground utilities prior to commencing work, which may not be located on drawings and conduct work so as to prevent interruption of service or damage to them. Protect existing structures and utility services and be responsible for damage caused. .3 A site visit is required to become familiar with site conditions before bidding and before start of work. .2.3 Planter drains on slab: Refer to Section 3.10, Installing Landscapes on Structures. .4 Confirm location of all services before proceeding with any work. .3.1 Do trenching and backfilling in accordance with engineering details and specifications. .5 Notify Landscape Architect of any discrepancies. Obtain approval from Landscape Architect prior to deviating from the plans. .3.2 Lay drains on prepared bed, true to line and grade with inverts smooth and free of sags or high points. Ensure barrel of each pipe is in contact with bed throughout full .6 Take appropriate measures to avoid environmental damage. Do not dump any waste materials into water bodies. Conform with all federal, provincial and local statutes and .3.3 Commence laying pipe at outlet and proceed in upstream direction .3.4 Lay perforated pipes with perforations at 8pm and 4pm positions .3.5 Make joints tight in accordance with manufacturer's directions. .7 Collect and dispose of all debris and/or excess material from landscape operations. Keep paved surfaces clean and repair damage resulting from landscape work. Repairs 3.6 Do not allow water to flow through the pipes during construction except as approved by Engineer. are to be completed prior to final acceptance. .7 Make watertight connections to existing drains, new or existing manholes or catchbasins where indicated or as directed by Landscape Architect. .3.8 Plug upstream ends of pipe with watertight clean out caps. .8 Where new work connects with existing, and where existing work is altered, make good to match existing undisturbed condition. 3.9 Surround and cover pipe with drain rock in uniform 150mm layers to various depths as shown in details, minimum 100mm .3.10 Cover drain rock with non-woven filter cloth lap all edges and seams minimum 150mm Assure positive drainage. .3.12 Back fill remainder of trench as indicated. .3.13 Protect subdrains from floatation during installation. .1 Guarantee all materials and workmanship for a minimum period of one full year from the date of Certificate of Completion. 4 GROWING MEDIUM TESTIN .2 Refer to individual sections for specific warranties. 1 Submit representative sample of growing medium proposed for use on this project to an independent laboratory. Provide test results to Landscape Architect prior to placing. Test results to include: PART TWO SCOPE OF WORK 1.1 Physical properties, % content of gravel, sand, silt, clay and organics .1.2 Acidity PH and quantities of lime or sulphur required to bring within specified range. .1.3 Nutrient levels of principle and trace elements and recommendations for required soil amendments 2.1 SCOPE OF WORK .1.4 Carbon/Nitrogen level. .1 Other conditions of Contract may apply. Confirm Scope of Work at time of tender. .5 GROWING MEDIUM SUPPLY AND PLACEMENT .1 Supply all growing medium required for the performance of the Contract. Do not load, transport or spread growing medium when it is so wet that its structure is likely to be .2 Work includes supply of all related items and performing all operations necessary to complete the work in accordance with the drawings and specifications and generally 2 Supply all growing medium admixtures as required by the soil test. Amended growing medium must meet the specification for growing medium as defined in Table One for the 1 Retention of Existing Trees where shown on drawings. .2 Finish Grading and Landscape Drainage. 2.1 Thoroughly mix required amendments into the full depth of the growing medium 3 Supply and placement of growing mediun 2.2 Special mixes may be required for various situations. Refer to drawing notes for instructions. Testing of imported growing medium and/or site topsoil, 5 Supply and incorporation of additives to meet requirements of soil test and Table One. .3 Place the amended growing medium in all grass and planting areas. Spread growing medium in uniform layers not exceeding 6" (150mm), over unfrozen subgrade free of 6 Preparation of planting beds, supply of plant material and planting 7 Preparation of rough grass areas, supply of materials and seeding .8 Preparation of lawn areas, supply of materials and sodding. .4 Minimum depths of growing medium placed and compacted to 80%: Supply and placement of bark mulch. 2.10 Maintenance of planted and seeded/sodded areas until accepted by Owner. .4.1 On-grade: .4.1.1 Seeded and sodded lawn.... .2.11 SEPARATE PRICE: Establishment Maintenance, Section 3.11. .4.1.2 Mass planted shrubs & groundcovers......15" (400mm) .2.12 Other work: Work other than this list, not specified by Landscape Architect .4.1.3 Groundcover only areas, if defined on plan.......9" (225mm) ......depth to conform to depth of rootball – width shall be at least twice the width of the root ball with saucer shaped .4.1.4 Tree & large shrub pits...... .2 MATERIALS .4.2 On-Slab: .1 Growing Medium: Conform to BC Landscape Standard for definitions of imported and on-site topsoil. Refer to Table One below. ....9" (210mm) .4.2.1 Irrigated lawn.... TABLE ONE: PROPERTIES OF GROWING MEDIUM FOR LEVEL 2 GROOMED AND LEVEL 3 MODERATE AREAS .4.2.2 Groundcover areas.... ....12" (300mm) Canadian System of Soil Classification Textural Class: "Loamy Sand" to "Sandy Loam". .4.2.3 Lawn without automatic irrigation..... .....12" (300mm) .4.2.4 Shrub & groundcover areas..... Low Traffic Areas ......30" (760mm) over columns and/or edge of slab (verify column locations on-site for tree locations.) .4.2.5 Trees and specimen shrubs×....... Trees and Large Shrubs Lawn Areas and Planters .4.2.6 Depth noted includes 1" to 2" (25-50mm) sand over filter fabric Growing Medium Types 2L I 2H .4.2.7 Maximum 18" depth growing medium except where mounded for trees over column points. Percent Of Dry Weight of Total Growing Medium .5 Manually spread growing medium/planting soil around existing trees, shrubs and obstacles. Coarse Gravel: 0 - 1% 0 - 1% 0 - 1% larger than 25mm .6 In perimeter seeded grass areas, feather growing medium out to nothing at edges and blend into existing grades. 0 - 5% 0 - 5% 0 - 5% larger than 2mm 7 Finished grades shall conform to the elevations shown on landscape and site plans Percent Of Dry Weight of Growing Medium Excluding Gravel 6 ROUGH GRASS AREA - SEEDING .1 General: Rough grass areas are noted on the drawings as "Rough Grass". Treat all areas defined as rough grass between all property lines of the project including all larger than 0.05mm 40 - 80% boulevards to edge of roads and lanes. smaller than 2.0mm Preparation of Surfaces: To B.C. Landscape Standard Class 3 Areas (Rough grass) Section 7.1.1.3 larger than 0.002mm 10 - 25% 0 - 15% 2.1 Clean existing soil by mechanical means of debris over 50mm in any dimension. 10 - 25% Roughly grade surfaces to allow for maintenance specified and for positive drainage smaller than 0.05mm 0 - 15% 0 - 25% 3 Time of Seeding: Seed from early spring (generally April 1st) to late fall (September 15th) of each year. Further extensions may be obtained on concurrence of the Landscape 0 - 25% smaller than 0.002mm Clay and Silt Combined maximum 35% maximum 15% maximum 35% 4 Seed Supply & Testing: All seed must be obtained from a recognized seed supplier and shall be No. 1 grass mixture delivered in containers bearing the following information: Organic Content (coast): 3 - 10% 3 - 5% 10 - 20% .1 Analysis of the seed mixture 3 - 5% 3 - 5% 15 - 20% .2 Percentage of each seed type Organic Content (interior): 6.0 - 7.0 4.5 - 6.5 Acidity (pH): Seed Mixture: All varieties shall be rated as strong performers in the Pacific Northwest and are subject to client approval. 70% Creeping Red Fescue Percolation shall be such that no standing water is visible 60 minutes after at least 10 minutes of moderate to heavy rain or irrigation. 20% Annual Rve 5% Saturn Perennial Rve .2 Fertilizer: An organic and/or inorganic compound containing Nitrogen (N), Phosphate (25), and Potash (soluble 2) in proportions required by soil test. 5% Kentucky Bluegrass For Wildflower Areas use a mixture of Wildflowers with Hard Fescues (Terralink Coastal Wildflowers) with Hard Fescue or pre-approved alternate .3 Lime: Ground agricultural limestone. Meet requirements of the B.C. Landscape Standard. .6 Fertilizer: Mechanical seeding: Apply a complete synthetic slow-release fertilizer with maximum 35% water soluble nitrogen and a formulation ratio of 18-18-18 - 50% .4 Organic Additive: Commercial compost product to the requirements of the B.C. Landscape Standard, LATEST EDITION and pre-approved by the Landscape Architect. sulphur urea coated , 112 kg/ha(100lbs/acre) using a mechanical spreader Recommended suppliers: Yardworks, The Answer Garden Products, Fraser Richmond Soils & Fibre, Stream Organics Management 7 Seeding: Apply seed at a rate of 112k/H (100lbs /acre) with a mechanical spreader. Incorporate seed into the top 1/4" (6mm) of soil and lightly compact. .5 Sand: Clean, washed pump sand to meet requirements of the B.C. Landscape Standard. .8 Acceptance: Provide adequete protection of the seeded areas until conditions of acceptance have been met. Comply with Section 3.7 Hydroseeding. .6 Composted Bark Mulch: 10mm (3/8") minus Fir/Hemlock bark chips and fines, free of chunks and sticks, dark brown in colour and free of all soil, stones, roots or other extraneous matter. Fresh orange in colour bark will be rejected. .17.2 Watering: Conform to B.C. Landscape Standard, Section 13.3.2 - Watering and generally as follows: .1 May be used as an alternate to mechanical seeding in rough grass areas. .7 Herbicides and Pesticides: If used, must conform to all federal, provincial and local statutes. Appliers must hold current licenses issued by the appropriate authorities in .17.2.1 Water to supplement natural rainfall such that the soil moisture content is kept to 50% to 100% of field capacity. Water to the full depth of the root zone each time. The Owner is responsible to supply water at no extra cost to the Contract. Confirm source of water prior to beginning work. .2 May not be used in areas of lawn unless pre-approved by the Landscape Architect prior to bidding .17.3 Use appropriate measures to combat pests or diseases damaging plant material. Comply with all local governing statutes and guidelines for chemical control. .8 Filter Fabric: A non biodegradable blanket or other filtering membrane that will allow the passage of water but not fine soil particles. (Such as MIRAFI 140 NL, GEOLON N40 .17.4 Plant material which fails to survive shall be replaced in the next appropriate season as determined by the Landscape Architect. OR AMOCO 4545 or alternate product pre-approved by the Landscape Architect.) .17.5 Repair tree guards, stakes, and guy wires, when necessary. .3.1 In areas of Rough Grass: Comply with Section 3.6 Rough Grass. .17.6 Maintain areas relatively weed free. (Appearance level 2, B.C. Landscape Standard, Chapter 13). .3.2 Where approved for use in areas of lawn, comply with Section 3.8 Lawn Areas: Sodding. .9 Drainage Piping if required: Schedule 40 PVC nominal sizes. 17.7 Maintain mulch to specified depths. 4. Protection: Ensure that fertilizer in solution does not come in contact with the foliage of any trees, shrubs, or other susceptible vegetation. Do not spray seed or mulch on

objects not expected to grow grass. Protect existing site equipment, roadways, landscaping, reference points, monuments, markers and structures from damage. Where

7 Equipment: Use industry standard hydraulic seeder/mulcher equipment with the tank volume certified by an identification plate or sticker affixed in plain view on the

equipment. The hydraulic seeder/mulcher shall be capable of sufficient agitation to mix the material into a homogenous slurry and to maintain the slurry in a homogenous state

.6 Water: Shall be free of any impurities that may have an injurious effect on the success of seeding or may be harmful to the environment.

until it is applied. The discharge pumps and gun nozzles shall be capable of applying the materials uniformly over the designated area.

5 Mulch shall consist of virgin wood fibre or recycled paper fibre designed for hydraulic seeding and dyed for ease of monitoring application. If using recycled paper material

contamination occurs, remove seeding slurry to satisfaction of and by means approved by the Landscape Architect

for wood fibre substitute use 135% (by weight). Conform to B.C. Landscape Standard for mulch requirements

.10 Drain Rock: Clean, round, inert, durable, and have a maximum size of 19mm and containing no material smaller than 10mm.

.14 Miscellaneous: Any other material necessary to complete the project as shown on the drawings and described herein.

nursery. Provide proof of certification.

.12 Sod: Refer to individual sections in this specification

.11 Plant Material: To the requirements of the B.C. Landscape Standard. Refer to 3.9, Plants and Planting. All plant material must be provided from a certified disease free

.13 Supplier and installers of segmental block walls to provide engineered drawings for all walls; signed and sealed drawings for all walls, individually, in excess of 1.2m, or

combinations of walls collectively in excess of 1.2m. Installations must be reviewed and signed off by Certified Professional Engineer; inloude cost of engineering services in

PART THREE SOFT LANDSCAPE DEVELOPMENT - CONT .8 Application Rate .8.1 Seed Mixture: 136 kg/ha (125 lbs/acre) .8.2 Fertilizer: 112 kg/ha (100 lbs/acre) .8.3 Coastal Wildflower Mix: Where specified, apply (31 lbs/acre) (1/4 lb.: 1 lb. of grass seed) .8.4.1 At the time of Tender provide a complete chart of all components of the mix proposed including mulch, tackifier, water etc. Sloped sites require tackifier. .8.4.2.1 Rough Grass: If a soil analysis is available, comply with results. .8.4.2.2 Lawn: Where hydroseeding is approved, comply with soil analysis recommendations. .9 Accurately measure the quantities of each of the materials to be charged into the tank either by mass or by a commonly accepted system of mass-calibrated volume measurements. The materials shall be added to the tank while it is being filled with water, in the following sequence; seed, fertilizer. Thoroughly mix into a homogenous slurry. After charging, add no water or other material to the mixture. Do not leave slurry in the tank for more than four (4) hours. .10 Distribute slurry uniformly over the surface of the area to be hydroseeded. Blend application into previous applications and existing grass areas to form uniform surfaces. .11 Clean up: Remove all materials and other debris resulting from seeding operations from the job site. .12 Maintenance: Begin maintenance immediately after seeding and continue for 60 days after Substantial Completion and until accepted by the Owner. Re-seed at three week intervals where germination has failed. Protect seeded areas from damage with temporary wire or twine fences complete with signage until grass area is taken over by the Owner. Water in sufficient quantities to ensure deep penetration and at frequent intervals to maintain vigorous growth until grass is taken over by the Owner. It is the Owner's esponsibility to supply water at no extra cost to the Contract. .13 Acceptance of the Rough Grass Areas: Proper germination of all specified grass species is the responsibility of the Landscape Contractor. The grass shall be reasonably well established, with no apparent dead or bare spots and shall be reasonably free of weeds (to B.C. Landscape Standard, Section 13 Maintenance Level 4 (Open space). Sixty days after substantial completion, areas meeting the conditions above will be taken over by the Owner. Areas seeded in Fall will be accepted in Spring one month after start of growing season, provided that the above conditions for acceptance are fulfilled. 3.8 LAWN AREAS – SODDING .1 General: Treat all areas defined as lawn areas on the landscape plan between all property lines of the project including all boulevards to edge of roads and lanes. .2 Growing Medium: Comply with Section 2.2.1, Growing Medium. Prior to sodding, request an inspection of the finished grade, and depth and condition of growing medium by the .3 Time of Sodding: Sod from April 1st to October 1st. Further extensions may be obtained on concurrence of the Landscape Architect. .4 Sod Supply: Conform to all conditions of B.C. Landscape Standard, Section 8, B.C. Standard for Turfgrass Sod. .5 Specified Turfgrass by area: Refer to Table 2 below TABLE 2 SPECIFIED TURFGRASS BY AREA Area Description CLASS 1 Lawn, all areas noted on drawings as lawn in urban No. 1 Premiun Kentucky Blue for sun, Fescues for shade development sites including boulevard gras CLASS 2 Grass - public parks, industrial and institutional sites No. 2 Standard CLASS 3 Rough Grass see hydroseeding SPECIAL .6 Lime: The lime shall be as defined in Section 2.2.3, Materials. Apply at rates recommended in required soil test. Refer to Section 3.4 for method. .7 Fertilizer: Refer to Section 2.2.2 Materials. Apply specified fertilizer at rates shown in the required soil test. Apply with a mechanical spreader. Cultivate into growing medium 48 hours prior to sodding. Apply separately from lime. .8 Sodding: Prepare a smooth, firm, even surface for laying sod. Lay sod staggered with sections closely butted, without overlapping or gaps, smooth and even with adjoining areas and roll lightly. Water to obtain moisture penetration of 3" to 4" (7 - 10cm). Comply with requirements of BC Landscape Standard Section 8, BC Standard for Turfgrass .9 Maintenance: Begin maintenance immediately after sodding and continue for 60 days after Substantial Completion and until accepted by the Owner. Protect sodded areas from damage with temporary wire or twine fences complete with signage until lawn is taken over by the Owner. Water to obtain moisture penetration of 3" to 4" (7–10cm) at intervals necessary to maintain sufficient growth. Keep grass cut at height of between 1-1/2" (4cm) and 2" (5cm). Provide adequate protection of sodded areas against damage until the turf has been taken over by Owner. Repair any damaged areas, re-grade as necessary. Aeration may be required if in the Landscape Architect's opinion, drainage .10 Acceptance of Lawn Areas: The turf shall be reasonably well established, with no apparent dead spots or bare spots and shall be reasonably free of weeds (to B.C. Landscape Standard, Section 13 Maintenance Level 2 (Appearance). Use herbicides if necessary for weed removal unless other conditions of contract forbid their use. After the lawn has been cut at least twice, areas meeting the conditions above will be taken over by the Owner. 3.9 PLANTS AND PLANTING .1 Conform to planting layout as shown on Landscape Plans. .2 Obtain approval of Landscape Architect for layout and preparation of planting prior to commencement of planting operations. .3 Make edge of beds with smooth clean defined lines. .4 Time of Planting .4.1 Plant trees, shrubs and groundcovers only during periods that are normal for such work as determined by local weather conditions when seasonal conditions are likely to ensure successful adaptation of plants to their new location. .5.1 All plant material shall conform to the requirements of the B.C. Landscape Standard, LATEST EDITION, unless exceeded by drawing Plant Schedule or this specification. .5.1.2 Refer to Plant Schedule for specific plant and container sizes and comply with requirements. 5.2 Plant material obtained from areas with less severe climatic conditions shall be grown to withstand the site climate .6.1 Review at the source of supply and/or collection point does not prevent subsequent rejection of any or all planting stock at the site. 7.1 Area of search includes the Lower Mainland and Fraser Valley. Refer to Plant Schedule for any extension of area. 7.2 Supply proof of the availability of the specified plant material within 30 days of the award of the Contract. .8.1 Obtain written approval of the Landscape Architect prior to making any substitutions to the specified material. Non-approved substitutions will be rejected. .8.2 Allow a minimum of 5 days prior to delivery for request to substitute. .8.3 Substitutions are subject to BC Landscape Standard – definition of Conditions of Availability. .9.1 Plants shall be true to name and of the height, calliper and size of root ball as shown on the landscape/site plan plant schedule. Calliper of trees is to be taken 6" (15cm) .9.2 Plant all specified species in the location as shown on the landscape drawings. Notify Landscape Architect if conflicting rock or underground/overhead services are .9.3 Deviation of given planting location will only be allowed after review of the proposed deviation by the Landscape Architect. .10.1 Trees and large shrubs: Excavate a saucer shaped tree pit to the depth of the rootball and to at least twice the width of the rootball. Assure that finished grade is at the original grade the tree was grown at. .11 Drainage of Planting Holes: .11.1 Provide drainage of planting pits where required. ie. on sloped conditions, break out the side of the planting pit to allow drainage down slope; and in flat conditions, mound to raise the rootball above impervious layer. Notify the Landscape Architect where the drainage of planting holes is limited. .12.1 Plant all trees and shrubs with the roots placed in their natural growing position. If burlapped, loosen around the top of the ball and cut away or fold under. Do not pull burlap from under the ball. Carefully remove containers without injuring the rootballs. After settled in place, cut twine. For wire baskets, clip and remove top three rows of .12.2 Fillthe planting holes by gently firming the growing medium around the root system in 6" (15cm) layers. Settle the soil with water. Add soil as required to meet finish grade. Leave no air voids. When 2/3 of the topsoil has been placed, apply fertilizer as recommended by the required soil test at the specified rates. .12.3 Where planting is indicated adjacent to existing trees, use special care to avoid disturbance of the root system or natural grades of such trees. .12.4 Where trees are in lawn areas, provide a clean cut mulched 900mm (3 ft.) diameter circle centered on the tree. .13 Staking of Trees: .13.1 Use two 2"x2"x5' stakes, unless superseded by municipal requirements. Set stakes minimum 2 ft. in soil. Do not drive stake through rootball. .13.2 Leave the tree carefully vertical. .13.3 Tie with pre-approved commercial, flat woven polypropylene fabric belt, minimum width 19mm (3/4"). Approved product: ArborTie – available from DeepRoot. .13.4 Coniferous Trees over 6 ft. height: Guy with three 2-strand wires (11 gauge). Drive three stakes equidistant around the tree completely below grade. .13.5 Trees 6 ft.+ on Wood or Concrete Decks: Guy as above using three deadmen (min. 2'x2"x4") buried to the maximum possible depth instead of stakes. .13.6 Mark all guy wires with visible flagging material. .14.1 Limit pruning to the minimum necessary to remove dead or injured branches. Preserve the natural character of the plants, do not cut the leader. Use only clean, sharp tools. Make all cuts clean and cut to the branch collar leaving no stubs. Shape affected areas so as not to retain water. Remove damaged material. .15.1 Mulch all planting areas with an even layer of mulch to 2-1/2 - 3" (65 - 75mm) depth. Confirm placement of mulch in areas labeled "Groundcover Area" on drawings. Mulch a 3 ft. (900mm) diameter circle around trees in lawn areas, leave a clean edge .16 Acceptance: .16.1 The establishment of all plant material is the responsibility of the Landscape Contractor. .17 Plant Material Maintenance .17.1 Maintain all plant material for 60 days after landscape work has received a Certificate of Completion.

.18.1 Replace all unsatisfactory plant material except those designated "Specimen" for a period of one (1) year after the Certificate of Completion. Replace all unsatisfactory

.18.2 Those Plants, identified as hardy within one zone of the Canada Department of Agriculture tonal class for the area, specified by the Landscape Architect and installed by

.18.3 A review may be requested during the latter part of the warranty growing season. All plant material showing well developed foliage, healthy growth and bud forming, will

plant material designated "Specimen" for a period of two (2) years after the Certificate of Completion. Replace all unsatisfactory trees and shrubs and continue to replace

these until the specified number is complete and satisfactory to the Landscape Architect. Such replacement shall be subject to the notification, inspection and approval as

the Landscape Contractor which are killed through below normal temperatures (below the average of the extreme minimum temperatures officially recorded in the area

specified for the original planting, and shall not constitute an extra to the Contract.

then be taken over.

concerned, in the last 10 years), will not be replaced without cost of replacement borne by the Owner.

PART THREE SOFT LANDSCAPE DEVELOPMENT - CONT

.18.4 For all plant material, the Landscape Architect reserves the right to extend the Contractor's responsibility for another growing season if, in his opinion, leaf development and growth is not sufficient to ensure future satisfactory growth.

.18.5 Where the Owner is responsible for plant maintenance and has not provided adequate maintenance, the plant replacement section of the contract may be declared void. The Landscape Architect shall determine whether maintenance has been satisfactory using the B.C. Landscape Standard, Section 13, Maintenance as the guide. The required

maintenance standard is a minimum of Level Three - Medium. Refer to Section 3.11. Establishment Maintenance .18.6 The Landscape Contractor is responsible to replace any plant material or repair any construction included in the Contract that is damaged or stolen until the issuance of

the Certificate of Completion. .18.7 Deviation from the specifications may require extension of the Warranty Period as determined by the Landscape Architect.

3.10 INSTALLING LANDSCAPE ON STRUCTURES

.1 Verify that drainage and protection material is completely installed and acceptable before beginning work. Contact Landscape Architect for instructions if not in place.

.2.1 Verify that planter drains are in place and positive drainage to roof drains is present prior to placing any drain rock or soil.

.3 Provide clean out at all through-slab drain locations . Use 300mm min. dia. PVC Pipe filled with drain rock unless specific drawing detail shown.

.4 Install drain rock evenly to a minimum depth of 4" (100mm)or alternate sheet drain if specified. Install sheet drain as per manufacturer's recommendations.

.5 Cover drain rock (or alternate sheet drain if specified on drawing details) with filter fabric lapping 6" (150mm) at all edges. Obtain approval of drainage system prior to

.6 Place an even layer of 25 - 50mm clean washed pump sand over filter fabric.

7. Place growing medium to depths specified in Section 3.5 above for various surface treatments. Refer to Drawing details for any light weight filler required to alter grade. Use Styrofoam block over drain rock shaped to provide smooth surface transition at edges. Butt each piece tightly together and cover with filter fabric to prevent soil from

3.11 ESTABLISHMENT MAINTENANCE (Provide a separate price for this section)

.1 Intent: The intent of "establishment" maintenance is to provide sufficient care to newly installed plant material for a relatively short period of time to ensure or increase the long term success of the planting. The objective is the adaptation of plants to a new site in order to obtain the desired effect from the planting while reducing the rate of failure and unnecessary work associated with improper establishment. Establishment of maintenance procedures apply to all new and retained vegetation including cultivated turfgrass areas and new trees and shrubs.

.2 Maintenance Period: Provide maintenance of installed landscaping for 12 months following substantial completion.

.3 Related Standards and Legislation: B.C. Landscape Standard, latest edition; Fertilizer Code., B.C. Pesticide Control Act.

4. Site Review: In addition to the inspections at substantial completion, at final progress draw application, and at the end of the quarantee period, there should be three other reviews during the 12 months attended by the Contractor and a designated representative of the Owner. Maintain a logbook and reporting procedures and submit to the

5 Scheduling: Prepare a schedule of anticipated visits and submit to designated representative at start-up. Maintenance operations shall be carried out predominately during the growing season between March 1st and November 30th, however visits at other times of the year may be required.

.6 Maintenance Level: Comply with B. C. Landscape Standard, Section 13, Table 7, Maintenance Level "Medium".

7 Materials: Comply with Part Two of this specification. 7.1 Fertilizers: To the requirements of the B.C. Landscape Standard. Formulations and rates as required by soil testing.

.8.1 Watering: During the first growing season, water new plants at least every ten (10) days between April 1st and July 31st, and every twenty (20) days between August 1st and September 15th. Minimum 25 gallons per tree per application. During the second growing season, water new plants at least every twenty days between April 1 and July 31 and once between August 1st and September 31st. Apply water at a rate and duration such that the water content reaches field capacity to the full depth of the growing medium. Apply water again when the water content reaches 25% of field capacity. Provide and irrigate with water in the event that any automatic irrigation system malfunctions or has not been completely installed. Scheduled applications of water shall be missed only when rainfall has penetrated the soil fully as required.

.8.2 Mulch: Maintain mulches in the original areas and to the original depths. .8.3 Weed Control: Remove all weeds from all areas at least once per month during the growing season by hoeing or cultivation to a maximum depth of 80mm, hand-pulling, or, if necessary, by the use of herbicides. .8.4 Pest and Disease Control: Inspect all planted areas for pests and diseases periodically and at least every two months during the growing season by an experienced

person. Carry out treatment for pests or diseases promptly and consistently for maximum effectiveness. Comply with all B.C. Pesticide Control Act and municipal requirements. .8.5 Tree Support: Maintain stakes, guy wires and ties one full growing season. Check ties at least every two months to ensure that they are not causing a depression in the bark. Loosen, repair or replace ties as necessary. Remove all stakes guy wires and ties after the first growing season except where large trees require continuing support in the opinion of the Landscape Architect. All flagging of guy wires shall be visible and in good repair.

.8.6 Pruning: Inspect all trees and shrubs at least every two months during the growing season; prune to remove all dead, weak or diseased wood. Maintain the natural shape of the plant. Carry out clipping or shaping only if required in the maintenance contract for specific varieties or conditions

8.7 Fertilizing: Once during the twelve month period of establishment maintenance fertilize shrubs, trees and groundcovers according to soil analysis requirements.

.9.1 Watering: Use hoses and sprinklers, irrigation systems or other methods to apply water to Class 1 and Class 2 grassed areas (B.C. Landscape Standard, Section 7, Lawns and Grasses) such that the grass is maintained in a turgid condition. Supply and irrigate with water in the event of any irrigation system malfunction, or incomplete installation

field capacity to the full depth of the growing medium. Apply water again when the water content reaches 25% of field capacity. .9.2 Weed, Insect and Disease Control: Inspect grass areas each time they are mowed for weeds, insect pests, and diseases and treat promptly when necessary by appropriate manual methods, or by the use of chemicals in compliance with the B.C.S.L.A./B.C.L.N.A. Landscape Standards latest edition. Kill broadleafed weeds in grassed areas by a general application of a suitable herbicide if the weed population exceeds 10 Broadleaf weeds or 50 annual weeds or weedy grasses per 40 square meters. This application shall reduce the weed population to zero.

at no expense to the owner. Apply water to prevent packing or erosion of the soil. Apply water at a rate and duration so that the water content in the growing medium reaches

.9.3 Fertilizing: According to soil analysi 9.4 Liming According to soil analysis Mowing and Trimming - All areas: The first four cuts shall be a sharp rotary type mower. Excess grass clipping shall be removed after each cut. Mow all grassed areas

with a sharp reel or rotary mower when the grass reaches a height of 60mm. Mow to a height of 40mm. Edge with a mechanical vertical cutting edger once per year in March. Remove all grass clippings after each cut.

.9.6 Aeration: Aeration not required in the first growing season. If necessary, in the second growing season, aerate in early May with a suitable mechanical corer. Core to a

9.7 Repairs: Re-grade, re-seed or re-sod when necessary to restore damaged or failing grass areas. Match the grass varieties in the surrounding area. Re-sod, if required, throughout the growing season. Re-seed between April 1st and April 15th or between September 1st and September 15th. Protect re-seeded areas and keep moist until the first ©Copyright reserved. This drawing and design is the property of M2 Landscape Architects and may not be reproduced or used for other projects without their permission.



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3 JANOL26 REV AS PER NEW SITE PLAN |JAN.3.2018| REVISED PER CPTED REPORT | PMT DEC.13.2017 PRELIMINARY PLAN NO. DATE REVISION DESCRIPTION

SEAL:

PROJECT:

26 TOWNHOUSE

196 STREET & 56 AVENUE

**DRAWING TITLE:** 

LANDSCAPE

DATE: DEC.13, 2017 DRAWING NUMBER SCALE: DRAWN: *BN* DESIGN: BN CHK'D: MLTM

17087-05.zip

M2LA PROJECT NUMBER:

JOB NO. 17 087