



PUBLIC HEARING AGENDA

Monday, September 17, 2018
7:00 P.M.
Council Chambers, Langley City Hall
20399 Douglas Crescent

Pages

1. CALL TO ORDER

Mayor Schaffer calls the Public Hearing to order.

Mayor Schaffer reads a statement regarding the procedure to be followed for the Public Hearing.

The Corporate Officer advises how this Hearing has been publicized and of any correspondence received.

2. BUSINESS

- a. Bylaw 3078 - Zoning Amendment and Development Permit No. 13-18
To amend the Zoning Bylaw, 1996, No. 2100 to rezone the properties located at 19610, 19618-26, 19630-32, 19638, and 19648-50 55A Avenue from RS1 Single Family Residential Zone and RM1 Multiple Residential Low Density Zone to CD63 Comprehensive Development Zone to accommodate a 41 unit, 3 storey townhouse development.

1

The Mayor invites Fred Adab, F. Adab Architects to present the proposed bylaw and development permit application.

The Mayor invites those in attendance who deem their interest in property affected by the proposed bylaw and development permit to present their comments.

- b. Bylaw 3081 - Zoning Amendment and Liquor Control and Licensing Act - New Manufacturer Brewery Lounge Licence Application 33
- Bylaw Purpose:**
To amend the Zoning Bylaw, 1996, No. 2100 to rezone the property located at 20555 56 Avenue from C1 Downtown Commercial Zone to CD64 - Comprehensive Development Zone to accommodate a microbrewery.
- Liquor Control and Licensing Act - New Manufacturer Brewery Lounge Licence Application:**
Use: To accommodate a facility for the brewing of beer; lounge area for sampling product made on site; retail display area; and retail sales area.
- The Mayor invites Bill Uhrich, Simcic and Uhrich, to present the proposed bylaw and Liquor Control and Licensing Application.
- The Mayor invites those in attendance who deem their interest in property affected by the proposed bylaw and Liquor Control and Licensing Application to present their comments.
- c. Bylaw 3082 - Zoning Amendment and Development Permit Application DP 14-18 61
- To amend the Zoning Bylaw, 1996, No. 2100 to rezone the properties located at 5475, 5483 and 5493 Brydon Crescent from RS1 Single Family Residential Zone to CD65 - Comprehensive Development Zone to accommodate a 78 unit, five (5) storey condominium apartment development.
- The Mayor invites Lukas Wykpis, Keystone Architecture to present the proposed bylaw and development permit application.
- The Mayor invites those in attendance who deem their interest in property affected by the proposed bylaw and development permit to present their comments.
- d. Bylaw 3083 - Discharge Land Use Contract 05-73 100
- To discharge the Land Use Contract from 4538 204 Street to reveal the underlying RS1 Single Family Residential Zone to facilitate a building permit application for a secondary suite.
- The Mayor invites Gerald Minchuk, Director of Development Services to present the proposed bylaw.
- The Mayor invites those in attendance who deem their interest in property affected by the proposed bylaw to present their comments.

- e. Bylaw 3084 - Discharge Land Use Contract No. 01-73
To discharge the Land Use Contract from 4945 205A to reveal the underlying RS1 Single Family Residential Zone to facilitate a building permit application for a secondary suite.

The Mayor invites Gerald Minchuk, Director of Development Services to present the proposed bylaw.

The Mayor invites those in attendance who deem their interest in property affected by the proposed bylaw to present their comments.

3. **MOTION TO CLOSE PUBLIC HEARING**



**ZONING BYLAW, 1996, No. 2100
AMENDMENT No. 155, 2018, BYLAW No. 3078
DEVELOPMENT PERMIT APPLICATION DP 13-18**

To consider a Rezoning Application and Development Permit Application by Leone Homes Inc. to accommodate a 3-storey, 41-unit townhouse development.

The subject properties are currently zoned RS1 Single Family Residential Zone and RM1 Multiple Residential Low Density Zone in Zoning Bylaw No. 2100 and designated "Medium Density Residential" in the Official Community Plan. All lands designated "Medium Density Residential" are subject to a Development Permit to address building form and character.

Background Information:

Applicant:	Leone Homes Inc.
Owners:	1044459 B.C. Ltd., C. Bartoszewicz, S.& K. Cooper, H. Colpitts, D. Bydeweg, K. Harmel, L.& P. Dragomir, A. Lee, City of Langley
Civic Addresses:	19610, 19618-26, 19630-32, 19638, and 19648-50 - 55A Avenue
Legal Description:	Lot 112, Section 3, Township 8, New Westminster District Plan 38427; Strata Lots 1 and 2, Section 3, Township 8, New Westminster District, Strata Plan LMS41; Strata Lots 1 and 2, Section 3 Township 8, New Westminster District, Strata Plan LMS28; Lot 3, Section 3, Township 8, New Westminster District Plan 84735; Strata Lots 1 and 2, Section 3, Township 8, New Westminster District Strata Plan LMS139; Portion of Closed Road (574.3m ²) shown on Plan EPP83409
Site Area:	1.31 acres
Lot Coverage:	48 %
Total Parking Required:	82 spaces (plus 8 visitor spaces)
Total Parking Provided:	82 spaces (plus 8 visitor spaces)
Existing Zoning:	RS1 Single Family Residential Zone and RM1 Multiple Residential Low Density Zone
Proposed Zoning:	CD 63 Comprehensive Development Zone
OCP Designation:	Medium Density Residential
Variances Requested:	None
Development Cost Charges:	\$617,735.75 (Includes \$196,596 DCC Credit)
Community Amenity Charges:	\$82,000.00



**ZONING BYLAW, 1996, No. 2100
AMENDMENT No. 155**

BYLAW No. 3078

A Bylaw to amend City of Langley Zoning Bylaw, 1996, No. 2100 to add a new Comprehensive Development Zone (CD63) and to rezone the property located at 19610, 19618-26, 19630-32, 19638, and 19648-50 -55A Avenue to the new zone.

WHEREAS the *Local Government Act* authorizes a local government to zone areas of a municipality and to make regulations pursuant to zoning;

NOW THEREFORE the Council of the City of Langley, in open meeting assembled, enacts as follows:

1. Title

This bylaw shall be cited as the "Zoning Bylaw 1996, No. 2100 Amendment No. 155, 2018, No. 3078".

2. Amendment

- (1) Bylaw No. 2100, cited as the "Zoning Bylaw, 1996, No. 2100" is hereby amended by adding in Part VII Comprehensive Development Zones the following as the new Zone classification of Comprehensive Development – 63 (CD63) Zone: immediately after Comprehensive Development - 62 (CD62) Zone:

"HHH. CD63 COMPREHENSIVE DEVELOPMENT ZONE

1. Intent

This Zone is intended to accommodate and regulate a 3-storey, 41-unit townhouse development.

2. Permitted Uses

The Land, buildings and structures shall only be used for the following uses only:

- (a) Multiple-Unit Residential; and
- (b) Accessory uses limited to the following:
 - i. Home Occupations excluding bed and breakfast and child care centre.

3. Site Dimensions

The following lot shall form the site and shall be zoned CD63 Comprehensive Development Zone on the Zoning Map, City of Langley Zoning Bylaw, 1996, No. 2100, Schedule "A":

- (a) PID: 008-538-395
Lot 112, Section 3, Township 8, New Westminster District, Plan 38427
- (b) PID: 017-337-941
Strata Lot 1, Section 3, Township 8, New Westminster District
Strata Plan LMS41 Together With An Interest In The Common
Property In Proportion To The Unit Entitlement Of The Strata Lot
As Shown On Form I;
- (c) PID: 017-337-950
Strata Lot 2, Section 3, Township 8, New Westminster District
Strata Plan LMS41 Together With An Interest In The Common
Property In Proportion To The Unit Entitlement Of The Strata Lot
As Shown On Form I;
- (d) PID: 017-323-169
Strata Lot 1, Section 3 Township 8, New Westminster District
Strata Plan LMS28 Together With An Interest In The Common
Property In Proportion To The Unit Entitlement Of The Strata Lot
As Shown On Form I;
- (e) PID: 017-323-177
Strata Lot 2, Section 3 Township 8, New Westminster District
Strata Plan LMS28 Together With An Interest In The Common
Property In Proportion To The Unit Entitlement Of The Strata Lot
As Shown On Form I;
- (f) PID: 015-882-209
Lot 3, Section 3, Township 8, New Westminster District Plan
84735

- (g) PID: 017-483-395
Strata Lot 1, Section 3, Township 8, New Westminster District
Strata Plan LMS139 Together With An Interest In The Common
Property In Proportion To The Unit Entitlement Of The Strata Lot
As Shown on Form 1;
- (h) PID: 017-483-409
Strata Lot 2, Section 3, Township 8, New Westminster District
Strata Plan LMS139 Together With An Interest In The Common
Property In Proportion To The Unit Entitlement Of The Strata Lot
As Shown on Form 1;
- (i) Portion of Closed Road (574.3m²) shown on Plan EPP83409.

4. Siting and Size of Buildings and Structures and Site Coverage

The location, size and site coverage of the buildings and structures of the Development shall generally conform to the plans and specifications comprising 26 pages prepared by F. Adab Architects (dated July 9, 2018) Inc. and PMG Landscape Architecture (dated July 18, 2018) one copy of which is attached to Development Permit No. 13-18.

5. Special Regulations

Special regulations shall comply with subsection 9 Special Regulations prescribed in the respective zones under different Parts of this bylaw.

6. Other Regulations

In addition, land use regulations including the following are applicable:

- a. General provisions on use are set out in Section I.D. of this bylaw;
- b. Building Permits shall be subject to the City of Langley Building and Plumbing Regulation Bylaw and the Development Cost Charge Bylaw; and
- c. Subdivisions shall be subject to the City of Langley Subdivision and Development Servicing Bylaw, and the *Land Title Act*.”

READ A FIRST AND SECOND TIME this twenty third day of August, 2018.

A PUBLIC HEARING, pursuant to Section 464 of the “Local Government Act” was held this -- day of -- , 2018.

READ A THIRD TIME this -- day of --, 2018.

APPROVAL OF THE MINISTRY OF TRANSPORTATION was received this -- day of -, 2018.

FINALLY ADOPTED this -- day of --, 2018.

MAYOR

CORPORATE OFFICER



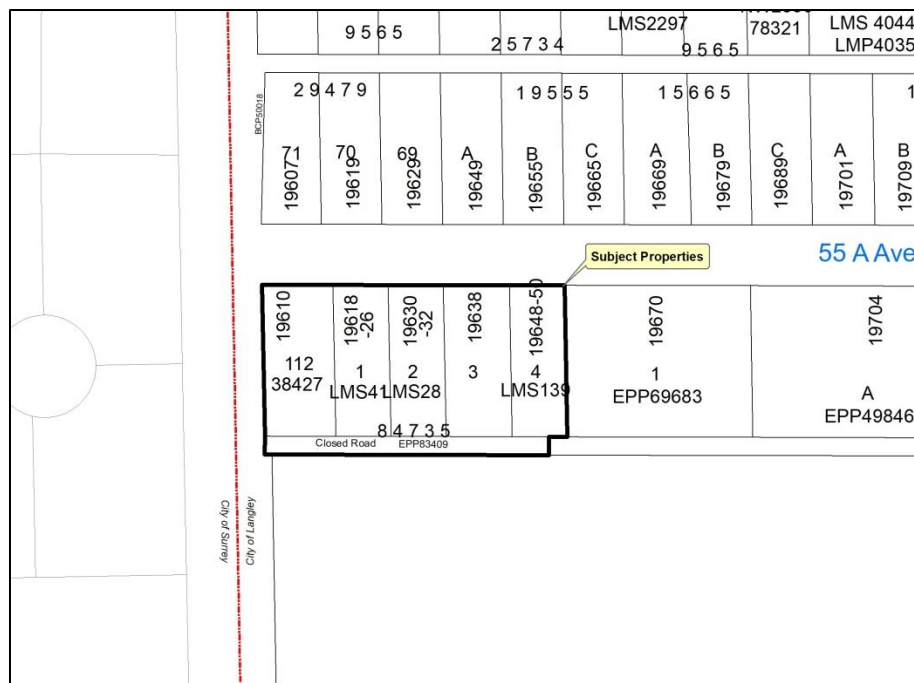
REZONING APPLICATION RZ 11-18 DEVELOPMENT PERMIT APPLICATION DP 13-18

Civic Address: 19610, 19618-19626, 19630-19632, 19638, 19648-19650 - 55A Avenue

Legal Description: Lot 112, Section 3, Township 8, New Westminster District, Plan 38427; Strata Lots 1 & 2, Section 3, Township 8, New Westminster District Strata Plan LMS41; Strata Lots 1 & 2, Section 3 Township 8, New Westminster District, Strata Plan LMS28; Lot 3, Section 3, Township 8, New Westminster District Plan 84735; Strata Lots 1 & 2, Section 3, Township 8, New Westminster District, Strata Plan LMS139, Portion of Closed Road (574.3m²) shown on Plan EPP83409

Applicant: Leone Homes Inc.

Owners: 104459 BC Ltd., C. Bartoszewicz, D. Bydeweg, H. Colpitts, S. Cooper, K. Cooper, L. Dragomir, P. Dragomir, K. Harmel, A. Lee, City of Langley





ADVISORY PLANNING COMMISSION REPORT

To: **Advisory Planning Commission**

Subject **Rezoning Application No. RZ 11-18
Development Permit Application DP 13-18**

From: Development Services & Economic
Development Department

File #: 6620.00
Doc #:

Date: July 19, 2018

COMMITTEE RECOMMENDATION:

THAT Rezoning Application RZ 11-18 and Development Permit Application DP 13-18 to accommodate a 41- unit, three storey townhouse development located at 19610, 19618-26, 19630-32, 19638, and 19648-50 -55A Avenue be approved subject to execution of a Development Servicing Agreement in compliance with the conditions outlined in the Director of Development Services & Economic Development report.

PURPOSE OF REPORT:

To consider a Rezoning Application and Development Permit Application by Leone Homes Inc. for a 41 unit, three storey townhouse development.

POLICY:

The subject properties are designated "Medium Density Residential" in the Official Community Plan and are part of the Multifamily Residential Development Permit Area to address building form and character.

COMMENTS/ANALYSIS:

Background Information:

Applicant:	Leone Homes Inc. /F/ Adab Architects Inc.
Owners:	1044459 B.C. Ltd., C. Bartoszewicz, S.& K. Cooper, H. Colpitts, D. Bydeweg, K. Harmel, L.& P. Dragomir, A. Lee
Civic Addresses:	19610, 19618-26, 19630-32, 19638, and 19648-50 -55A Avenue
Legal Description:	Lot 112, Section 3, Township 8, New Westminster District Plan 38427, Strata Lots 1 and 2, Section 3, Township 8, New Westminster District Strata Plan LMS41; Strata Lot 1 and 2, Section 3 Township 8, New Westminster District Strata Plan LMS28; Lot 3, Section 3, Township 8, New Westminster District Plan 84735; Strata Lot 1 and 2, Section 3, Township 8, New Westminster District Strata Plan LMS139; Un-zoned Portion of Closed Road (574.3 m ²) shown on Plan EPP83409
Site Area:	1.31 acres
Lot Coverage:	48%
Total Parking Required:	82 spaces (plus 8 visitor spaces)
Total Parking Provided:	82 spaces (plus 8 visitor spaces)
Existing Zoning:	RS1 Single Family Residential Zone and RM1 Multiple Residential Low Density Zone
Proposed Zoning:	CD 63 Comprehensive Development Zone
OCP Designation:	Medium Density Residential
Variances Requested:	None
Development Cost Charges:	\$617,735.75 (Includes \$196,596 DCC Credit)
Community Amenity Charge:	\$82,000.00

Engineering Requirements:

These requirements have been issued for a rezoning and development permit for a proposed **41 unit townhouse development**. These requirements may be subject to change upon receipt of a development application.

The City's Zoning Bylaw, 1996, #2100 has requirements concerning landscaping for buffer zones, parking, loading areas, and garbage / recycling areas, all of which apply to this Development.

A) The developer is responsible for the following work which shall be designed and approved by a Professional Engineer:

1. A Qualified Environmental Professional (QEP) must be engaged to complete an assessment of the proposed development to ensure compliance with the Riparian Area Regulations. The QEP shall propose measures to mitigate environmental impacts and compensate for lost habitat due to the infilling of the ditches along 55A Avenue, and must apply to DFO for approval.
2. Implement erosion and sediment control measures designed and approved by a qualified professional in accordance with the City of Langley Watercourse Protection Bylaw #2518.
3. Conduct a water flow test and provide fire flow calculations by a Professional Engineer to determine if the existing water network is adequate for fire flows. Replacement of the existing watermain may be necessary to achieve the necessary pressure and flows to conform to Fire Underwriters Survey (FUS) "Water Supply for a Public Fire Protection, a Guide to Recommended Practice, 1995".
4. Additional C71P fire hydrants may be required to meet bylaw and firefighting requirements. Hydrant locations must be approved by the City of Langley Fire Department.
5. Design and construct a half-width road on 55A Avenue along the property frontage to a City of Langley Collector standard; including pavement, barrier curb and gutter, sidewalk, boulevard, street lighting, street trees and storm drainage. The existing pavement may be suitable for a mill and fill construction, depending on the results of a geotechnical inspection as required by the City's Subdivision and Development Bylaw. Additionally, any widening of the pavement structure, required to meet the design road width, will need to be designed by a geotechnical engineer. A cash-in-lieu

amount for the top lift of pavement will be paid to the City, amount to be calculated by the developer's engineer.

6. The full construction of a lane along the east frontage of the development between 55A Ave. and the lane south of 55A Ave. is required. Drainage infrastructure shall be provided to collect and convey runoff generated by the lane.
7. The developer will be required to replace existing retaining wall on the south edge of the existing lane dedication at the back of 19649 53 Ave and reinstate the existing white fence along the property line. A separate building permit will be required for the wall if it exceeds 1.2 m (3.9 ft) in height.
8. New water, sanitary and storm sewer service connections are required. The developer's engineer will determine the appropriate main tie in locations and size the connections for the necessary capacity. The capacity of the existing water and sewer mains should be assessed and any upgrades required to service the site shall be designed and installed at the Developer's expense. All existing services shall be capped at the main, at the Developer's expense, upon application for Demolition permit.
9. A stormwater management plan for the site, including 55A Avenue and the lane, is required. Rainwater management measures used on site shall limit the release rate to mitigate flooding and environmental impacts as detailed in the Subdivision and Development Bylaw.
10. The site layout shall be designed by a civil engineer to ensure that the parking and access layout meets minimum design standards, including setbacks from property lines. Appropriate turning templates should be used to prove parking stalls and drive-aisles are accessible by the design vehicle.
11. Upgrade of existing 150mm AC watermain on 55A Avenue to 200mm PVC for the full property frontage.

B) The developer is required to deposit the following bonding and connection fees:

1. A Security Deposit of 110% of the estimated offsite works construction costs of installing civil works, as approved by the Director of Engineering, Parks and Environment.
2. Inspection and administration fees in accordance to the Subdivision Bylaw based on a percentage of the estimated construction costs. (See Schedule A – General Requirement - GR5.1 for details).

3. A deposit for a storm, sanitary and water connection is required, which will be determined after detailed civil engineering drawings are submitted, sealed by a Professional Engineer.
4. A \$20,000 bond for the installation of a water meter to current standards.

C) The developer is required to adhere to the following conditions:

1. Underground hydro and telephone, and cable services to the development site are required.
2. All survey costs and registration of documents with the Land Titles Office are the responsibility of the developer/owner.
3. A water meter is required to be installed outside in a vault away from any structures in accordance to the City's water meter specifications at the developer's cost. A double detector check valve assembly is required to be installed outside away from any structure in a vault as per the City's specifications.
4. An approved backflow prevention assembly must be installed on the domestic water connection immediately upon entering the building to provide premise isolation.
5. A "Stormceptor" or equivalent oil separator is required to treat site surface drainage.
6. A complete set of "as-built" drawings sealed by a Professional Engineer shall be submitted to the City after completion of the works. Digital drawing files in .pdf and .dwg format shall also be submitted.
7. The selection, location and spacing of street trees and landscaping shall be in accordance with the City of Langley's Official Community Plan Bylaw, 2005, No. 2600 and Street Tree Program, November, 1999 manual.
8. Stormwater run-off generated on the site shall not impact adjacent properties, or roadways.
9. The development falls within the area requiring approval from the Ministry of Transportation and Infrastructure for rezoning. The developer agrees to comply with any requirements that the Ministry may impose on the development.
10. Garbage and recycling enclosures shall be designed to meet Metro Vancouver's "Technical Specifications for Recycling and Garbage Amenities in Multi-family and Commercial Developments - June 2015 Update"

Discussion:

The proposed townhouse development is located off 55A Avenue and consists of 5 parcels of lands. In addition, the City has executed a Road Closure and Sale Agreement with the owner, Leone Homes Inc. for the surplus right of way that abuts the southern boundary of the subject lands, and will be dedicating and constructing a new 6m public lane from the southeast corner of the site north to connect with 55A Avenue.

The applicant's proposal comprises of a three storey, 41-unit townhouse development, with unit sizes ranging from 1,334 ft² to 1,520 ft². Each townhouse unit will have access to a private fenced in yard as well as a private roof top patio. The main access to all the units is to occur from the internal lanes. Parking is accommodated through tandem and side by side parking garages for each unit. In addition, 8 visitor spaces are conveniently spread throughout the site to facilitate guest use and shorten walking distance to all units.

The proposed architectural style for these townhouses will be a contemporary modern style with roof overhangs and flat roofs, creating a cohesive residential community with a common design theme throughout. Exterior finishes include, brick, hardie siding panelling, and stucco.

The proposed development benefitted from a comprehensive CPTED report by a qualified consultant whose recommendations were incorporate into the project plans.

Fire Department Comments:

Langley City Fire-Rescue Service has reviewed the attached plans and provided preliminary comments to the applicant. The department will review, and make further comment, as the project continues to the building permit design stage.

Advisory Planning Commission:

In accordance with Development Application Procedures Bylaw No. 2488, the subject applications will be reviewed by the Advisory Planning Commission at the August 8, 2018 meeting. A copy of the APC minutes will be presented to Langley City Council at the August 23, 2018 Special Council meeting.

BUDGET IMPLICATIONS:

In accordance with Bylaw No. 2482, the proposed development would contribute \$617,735.75 to Development Cost Charge accounts and \$82,000.00 in Community Amenity Charges.

ALTERNATIVES:

1. Require changes to the applicant's proposal.
2. Deny application.

Prepared by:



Gerald Minchuk, MCIP
Director of Development Services & Economic Development

Concurrence:



Rick Bomhof, P.Eng.
Director of Engineering, Parks &
Environment

Concurrence:



Rory Thompson, Fire Chief

Attachment(s):



**MINUTES OF THE
ADVISORY PLANNING COMMISSION MEETING**

**HELD IN LANGLEY CITY HALL
CKF COMMUNITY BOARDROOM**

**WEDNESDAY, AUGUST 8, 2018
7:00 PM**

Present: Councillor Jack Arnold, Chairman
Councillor Paul Albrecht, Vice-Chairman
John Beimers
Trish Buhler
Shelley Coburn, School District No. 35
Kimberley Lubinich
Ron Madsen
Dan Millsip

Staff: Gerald Minchuk, Director of Development Services & Economic
Development

Absent: Constable Lisa Cormier, Langley RCMP
Kim Mullin
Jamie Schreder

1) RECEIPT OF MINUTES

MOVED BY Commission Member Buhler
SECONDED BY Commission Member Madsen

THAT the minutes for the June 13, 2018 Advisory Planning Commission
meeting be received.

CARRIED

2) **REZONING APPLICATION RZ 11-18/DEVELOPMENT PERMIT APPLICATION DP 13-18- 19610, 19618-19626, 19630-19632, 19638, 19648-19650 -55A AVENUE & UNZONED PORTION OF CLOSED ROAD ON PLAN EPP83409**

The Director Development Services & Economic Development provided a brief overview of the planning context for the proposed Rezoning/Development Permit applications, and introduced Fred Adab, F..Adab Architects Inc. and Marlene Messer, PMG Landscape Architects who presented the proposed applications. Following discussion on building form and character, architectural design, lane closure, tandem parking, landscaping, Sustainability features, and CPTED security measures, it was:

MOVED BY Commission Member Madsen
SECONDED BY Commission Member Lubinich

OPPOSED BY Commission Member Millsp, Member Buhler

That Rezoning Application RZ 11-18/Development Permit Application DP 13-18 to accommodate a 3-storey, 41-unit townhouse development located at 19610, 19618-19626, 19630-19632, 19638, 19648-19650-55A Avenue & Un-zoned Portion of Closed Road On Plan EPP83409 be approved, subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report be approved.

CARRIED

3) **REZONING APPLICATION RZ 10-18/DEVELOPMENT PERMIT APPLICATION DP 12-18- 5423, 5433, 19900, 19910, 19920, 19930 BRYDON CRESCENT & UNZONED PORTION OF CLOSED ROAD ON PLAN EPP73909**

The Director Development Services & Economic Development provided a brief overview of the planning context for the proposed Rezoning/Development Permit applications, and introduced Wes Freisen, Points West Architecture, who presented the proposed applications. Following discussion on site plan, building form and character, building exterior, parking, lane closure, new pedestrian walkway and bridge, site landscaping, sustainability features and CPTED security measures, it was:

MOVED BY Commission Member Buhler
SECONDED BY Commission Member Millsip

That Rezoning Application RZ 10-18/Development Permit Application DP 12-18 to accommodate a 127 unit, four-story condominium apartment located at 5423, 5433, 19900, 19910, 19920, 19930 Brydon Crescent & Un-zoned Portion

of Closed Road on Plan EPP73909 be approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report be approved.

CARRIED

4) **REZONING APPLICATION RZ 13-18 - 20555-56 AVENUE**

The Director Development Services & Economic Development provided a brief overview of the planning context for the proposed "microbrewery" Rezoning application, and introduced Bill Ulrich, Simcic & Ulrich Architects who presented the proposed application. Following discussion on proposed building tenant improvements, hours of operation, outdoor patio, occupant capacity, Provincial liquor licensing, it was:

MOVED BY Commission Member Millsip
SECONDED BY Commission Member Buhler

That Rezoning Application RZ 13-18 to accommodate a 'microbrewery' located at 20555-56th Avenue be approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report be approved.

CARRIED

5) **REZONING APPLICATION RZ 14-18/DEVELOPMENT PERMIT APPLICATION DP 14-18- 5475, 5483, 5493-BRYDON CRESCENT**

The Director Development Services & Economic Development provided a brief overview of the planning context for the proposed Rezoning/Development Permit applications, and introduced Lukas Wykpis and Eric Poxleitner, Keystone Architecture & Planning Ltd. who presented the proposed applications. Following discussion on site plan, building form and character, landscaping, sustainability features and CPTED security measures, it was:

MOVED BY Commission Member Beimers
SECONDED BY Commission Member Lubinich

That Rezoning Application RZ 14-18/Development Permit Application DP 14-18 to accommodate a 78 unit, 5-storey townhouse development located at 5475, 5483, 5493- Brydon Crescent be approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report be approved.

CARRIED

Discussion:

Discussion ensued regarding the Council decision relating to tandem parking and that staff report back to the Advisory Planning Committee on action items arising from Committee motions.

Shelley Coburn, School District No. 35 Trustee expressed concerns the School District is facing due to significant development activity, reduced classroom sizes, and Provincial school funding.

6) Next Meetings:

Wednesday, September 12, 2018

7) ADJOURNMENT

MOVED BY Commission Member Coburn
SECONDED BY Commission Member Buhler

THAT the meeting adjourn at 9:15 P.M.

CARRIED



ADVISORY PLANNING COMMISSION CHAIRMAN



DIRECTOR OF DEVELOPMENT SERVICES & ECONOMIC DEVELOPMENT

Certified Correct

41 UNIT TOWNHOUSE DEVELOPMENT

19610-19648 55A AVE, LANGLEY



CONTACT LIST:

OWNER :

LEONE HOMES INC.
238-13986 CAMBIE ROAD
RICHMOND, B.C. V6V 2K3
TEL : 604 418 8678

ARCHITECT :

F. ADAB ARCHITECTS INC.
130 - 1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, B.C. V7P 3R4
TEL : 604 987 3003

SURVEYOR:

GREWAL & ASSOCIATES.
204-15299, 68TH AVE.
SURREY, B.C. V3S 2C1
TEL : 604 597 8567

CIVIL ENGINEER :

CENTRAS ENGINEERING LTD
216-2630 CROYDON DR.
SURREY, B.C. V3S 6T3
TEL : 604 782 6927

LANDSCAPE ARCHITECT:

PMG LANDSCAPE ARCHITECTS
C100-4185 STILL CREEK DRIVE,
BURNABY, B.C. V5C 6G9
TEL : 604 297 0011

LIST OF DRAWINGS

- A-1.0 PROJECT INDEX - CONTACTS LIST
- A-1.1 CONTEXT PLAN - PROJECT STATISTICS
- A-1.2 AERIAL MAP -CONTEXT PHOTOS
- A-1.3 SITE PLAN
- A-1.4 PERSPECTIVE VIEW FROM 55A AVE
- A-1.5 COLOURED ELEVATIONS
- A-1.6 EXTERIOR FINISH
- A-2.1a FLOOR PLANS - BLOCK 1 (1ST & 2ND FLOORS)
- A-2.1b FLOOR PLANS - BLOCK 1 (3RD FLOOR & ROOF PLAN)
- A-2.2a FLOOR PLANS - BLOCKS 2-3 (1ST & 2ND FLOORS)
- A-2.2b FLOOR PLANS - BLOCKS 2-3 (3RD FLOOR & ROOF PLAN)
- A-2.3a FLOOR PLANS - BLOCKS 4-5-6-7 (1ST & 2ND FLOORS)
- A-2.3b FLOOR PLANS - BLOCKS 4-5-6-7 (3RD FLOOR & ROOF PLAN)
- A-3.1a ELEVATIONS (SOUTH & EAST)- BLOCK 1
- A-3.1b ELEVATIONS (NORTH & WEST) - BLOCK 1
- A-3.2a ELEVATIONS (NORTH) - BLOCKS 2-3
- A-3.2b ELEVATIONS (EAST & SOUTH) - BLOCKS 2-3
- A-3.3a ELEVATIONS (SOUTH) - BLOCKS 4-5-6-7
- A-3.3b ELEVATIONS (WEST & NORTH) - BLOCKS 4-5-6-7
- A-4.1 BLOCK 1 SECTIONS
- A-4.2 BLOCKS 2-3 SECTIONS
- A-4.3 BLOCKS 4-5-6-7 SECTIONS
- A-5.1 DESIGN RATIONALE - SITE CHARACTERISTICS
AND CONTEXT-URBAN DESIGN, FORM AND CHARACTER
- A-5.2 DESIGN RATIONALE - SUSTAINABILITY AND
GREEN MEASURES - CPTED
- L1 LANDSCAPE PLAN
- L2 PLANTING PLAN
- L3 LANDSCAPE DETAILS



**F. ADAB
ARCHITECTS
INC.**

#130-1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3R4
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1	07-09-18	ISSUED FOR APC MEETING
NO.	DATE	REVISION / ISSUED

PROJECT TITLE:
**41 UNIT TOWNHOUSE
DEVELOPMENT**
19610-19648
55A AVENUE, LANGLEY
FOR:
LEONE HOMES INC.
238 - 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
**COVER PAGE
CONTACT LIST/INDEX**

DATE:	OCT 2017	SHEET NO.
SCALE:	NTS	
DESIGN:	J.A.	
DRAWN:	J.A.	
PROJECT NO.	1803	

A-1.0

A-1.1



1



2



3



4



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1	07-09-18	ISSUED FOR APC MEETING
NO	DATE	REVISION / ISSUED

PROJECT TITLE:
**41 UNIT TOWNHOUSE
DEVELOPMENT**
19610-19648
55A AVENUE, LANGLEY
FOR:
LEONE HOMES INC.
238 - 13586 CAMBIE ROAD
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
**AERIAL MAP
CONTEXT PHOTOS**

DATE:	OCT 2017	SHEET NO.
SCALE:	N/A	A-1.2
DESIGN:	A.A.	
DRAWN:	A.A.	
PROJECT NO.	1903	



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1	07-09-18	ISSUED FOR APC MEETING
NO.	DATE	REVISION / ISSUED

PROJECT TITLE:
**41 UNIT TOWNHOUSE
DEVELOPMENT**
19615-19648
55A AVENUE, LANGLEY
FOR:
LEONE HOMES INC.
238 - 13986 CAMBIE ROAD
RICHMOND, B.C. V6V 2K5

DRAWING TITLE:
PERSPECTIVE VIEW
FROM 55A AVENUE

DATE:	OCT 2017	SHEET NO: A-1.4
SCALE:	N/A	
DESIGN:	AA	
DRAWN:	AA	
PROJECT NO:	1903	



BLOCKS 4-5 NORTH ELEVATION



BLOCKS 4-6 WEST ELEVATION



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1	07-08-18	ISSUED FOR A/C MEETING
NO.	DATE	REVISION / ISSUED

PROJECT TITLE:
**41 UNIT TOWNHOUSE
DEVELOPMENT**
19010-19048
55A AVENUE, LANGLEY
FOR:
LEONE HOMES INC.
238 - 13900 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
COLOURED ELEVATIONS

DATE:	OCT 2017	SHEET NO.:
SCALE:	NTS	A-1.5
DESIGN:	A.A.	
DRAWN:	A.A.	
PROJECT NO.:	1903	



PERSPECTIVE OF ROOF TOP PATIO



SECTION THROUGH FLOORS



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1	07-08-15	ISSUED FOR APC MEETING
NO.	DATE	REVISION / ISSUED

PROJECT TITLE:
41 UNIT TOWNHOUSE
DEVELOPMENT
19810-19848
55A AVENUE, LANGLEY
FOR:
LEONE HOMES INC.
238 - 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
ROOF PATIO -
SECTION THROUGH
FLOORS

DATE: OCT 2017	SHEET NO:
SCALE: N/A	A-1.5a
DESIGN: A.A.	
DRAWN: A.A.	
PROJECT NO: 1809	

The selection of the exterior finishes is based on enhanced durability / longevity of the construction materials as part of a sustainable approach.

Widows and railings are black resulting in further contrast between the exterior finishing materials.



5



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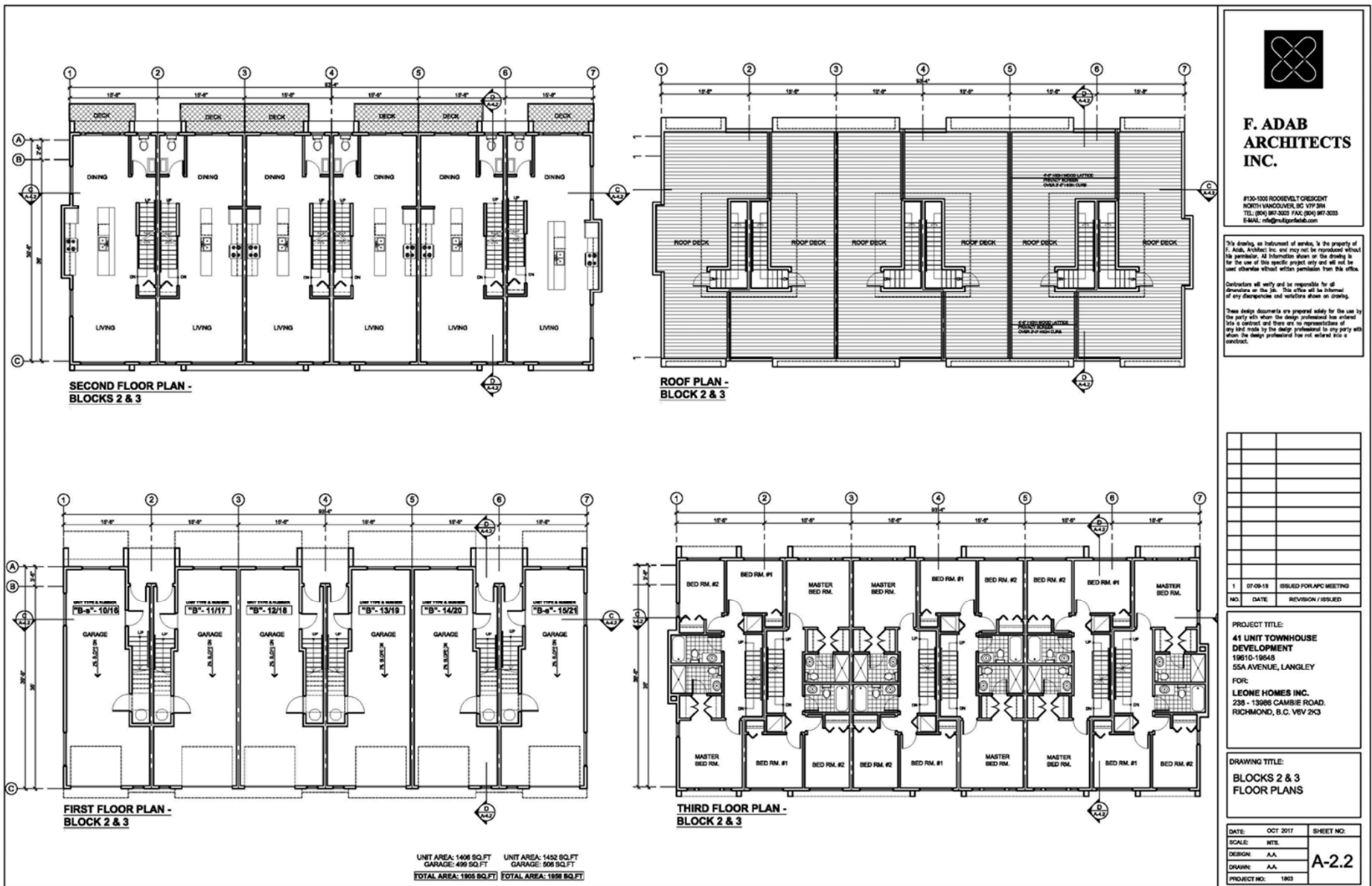
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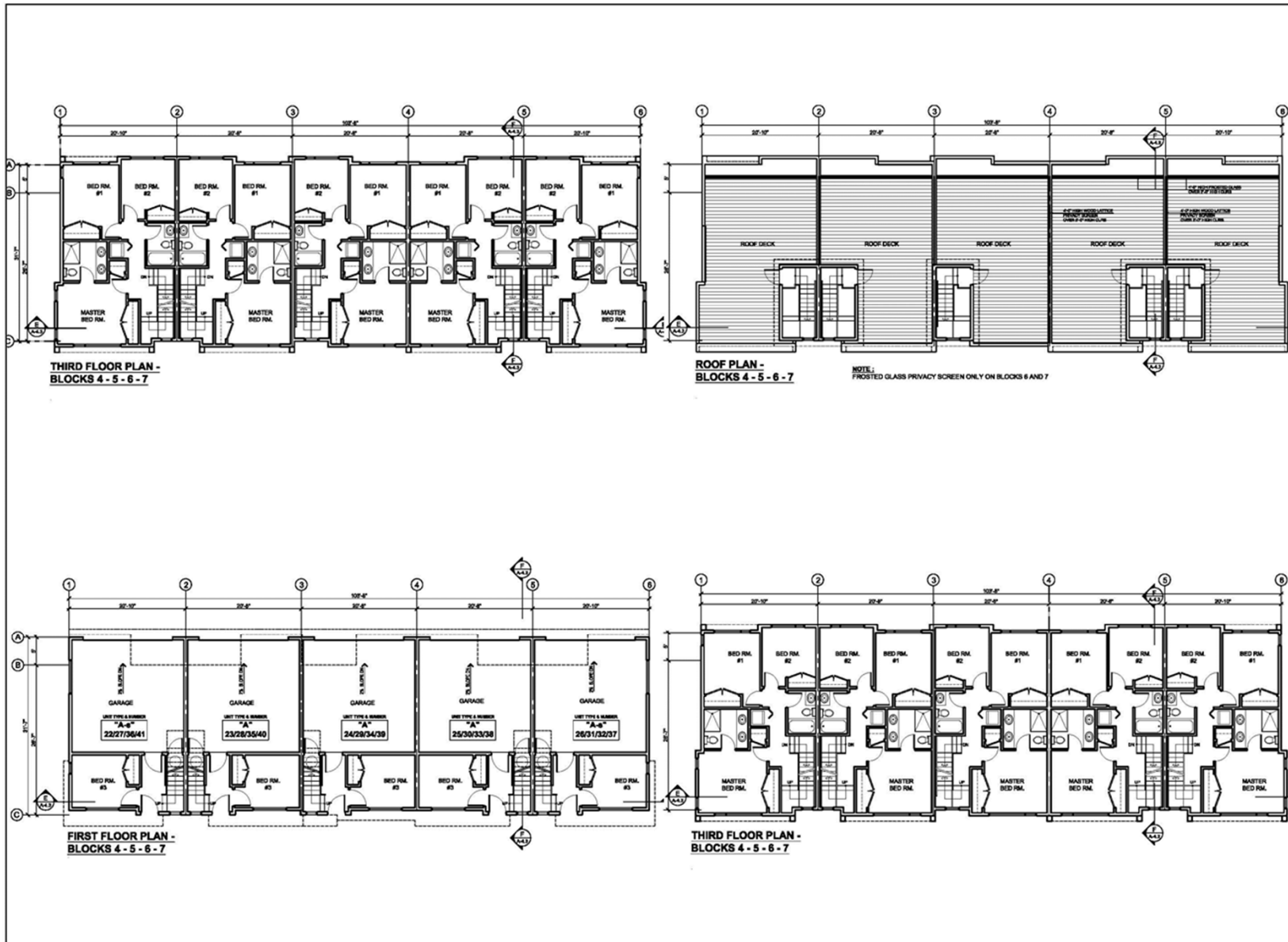
1	07-09-19	ISSUED FOR APC MEETING
NO.	DATE	REVISION / ISSUED

PROJECT TITLE:
41 UNIT TOWNHOUSE
DEVELOPMENT
19810-19848
55A AVENUE, LANGLEY
FOR:
LEONE HOMES INC.
238 - 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
EXTERIOR FINISH

DATE: OCT 2017	SHEET NO: A-1.6
SCALE: NTS.	
DESIGN: A.A.	
DRAWN: A.A.	
PROJECT NO: 1803	





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#100-1005 ROOSEVELT ONEBENT
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1	07-08-18	ISSUED FOR ARCH MEETING
NO.	DATE	REVISION / ISSUED

PROJECT TITLE:
41 UNIT TOWNHOUSE
DEVELOPMENT
19610 - 19645
55A AVENUE, LANGLEY
FOR:
LEONE HOMES INC.
228 - 15685 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
BLOCKS 4-5-6-7 TYP.
FLOOR PLANS

DATE:	OCT 2017	SHEET NO:
SCALE:	NTS	A-2.3
DESIGN:	A.A.	
DRAWN:	A.A.	
PROJECT NO:	1803	

Livability, Energy Saving and Green Measures

Many green building strategies have been incorporated into the project design including the following items:

1. Where possible, operating windows are located on the opposite walls to draw ventilation across the occupied spaces.
2. The building envelope, glazing, and mechanical system will be designed based on the new energy code and in compliance with ASHRE 90, 2010
3. Selection of the material is based on the use of low / non-toxic, low-maintenance, durable and sustainable products.
4. Water efficient fixtures, energy efficient appliances and drought tolerance plants will be used to minimize the use of potable water.
5. All units have private patios at grade, decks on 2nd floor and outdoor amenity on the roof decks, contributing to livability of the units and creating a family oriented environment.
6. Mechanical system is equipped with heat recovery system 'HRV' for recycling the heat energy.
7. All units have vehicular electric chargers in the garage.

Crime Prevention Through Environmental Design. "CPTED"

Liahona Security has been hired by the developer and provided a CPTED report for the proposed development. Architectural and the landscape designs have incorporated CPTED recommendations in their designs.

The rationale behind the CPTED strategy follows the principles introduced by Liahona Security and takes into account the standard measures as well as items specifically related to this proposal. These provisions are aimed to enhance safety and strengthen the perception of security.

The proposed CPTED measure fall into the following categories:

- Identifiable entries to the units with direct access to the street along with identifiable private and semi private patios along with the presence of the balconies on the 2nd floor creates a clear definition of hierarchy of space, a sense of territorial identity and sense of ownership
- The windows and the balconies along the 55 A Avenue and the lane ensure the outdoor presence of the people, which provide "eyes on the street" and security for the private and public spaces
- Lights would be installed on both sides of the townhouse entries and garage doors illuminating the entire buildings and internal road. Lights are also installed next to the signage and mail box. Outdoor lights are regulated by photo cell system.
- The access control is achieved by ensuring visible entrances overlooked by windows and balconies as well as defining the entrance ways and controlling the point of access to the site
- Brick has been introduced at the base of the buildings representing a durable and high quality base free of graffiti.
- Trees, shrubs and hedges are designed in a manner to increase visibility and avoid creating hidden spaces.



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1	07-26-18	ISSUED FOR APMC MEETING
NO.	DATE	REVISION / ISSUED

PROJECT TITLE:
**41 UNIT TOWNHOUSE
DEVELOPMENT
19610-19648
55A AVENUE, LANGLEY**
FOR:
**LEONE HOMES INC.
238 - 13088 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3**

DRAWING TITLE:
DESIGN RATIONALE -2

DATE:	OCT 2017	SHEET NO:
SCALE:	N/A	
DESIGN:	A.A.	
DRAWN:	A.A.	
PROJECT NO:	1963	

A-5.2



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LANDSCAPE
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Suite C100 - 4185 58th Creek Drive
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p: 604 294-0011 ; f: 604 294-0022

SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
1	18 MAY 27	ISSUED FOR REVIEW	PC
2	18 JUN 27	NEW SITE PLAN, ISSUED TO ARCH	PC

CLIENT:

LEONE HOMES

PROJECT:

RESIDENTIAL
DEVELOPMENT

55A AVENUE
LANGLEY, BC

With F. Adab Architects

DRAWING TITLE:

LANDSCAPE
PLAN

DATE: 18 MAY 28 DRAWING NUMBER:

SCALE: 1/16"=1'-0"

DRAWN:

DESIGN:

CHKD: PCM

PMG PROJECT NUMBER:

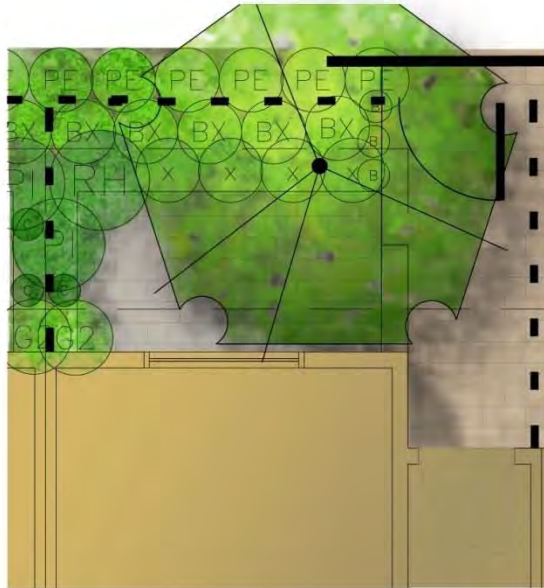
L1

OF 3

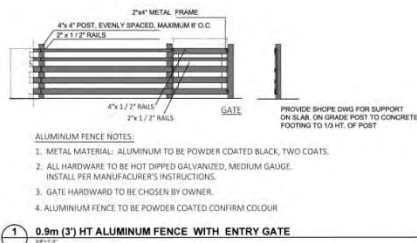


18106-3.0P

18-106



PATIO DETAIL 1:20



BUXUS



PENNISETUM



ACER CAPILLIPES



STYRAX



PLANTING
PALLETTE



CORNUS



ROUNDED PEBBLES IN GAPS



CHARCOAL-RANDOM-20%



GRAY- FIELD



ENGINEERED BASE WITH GRAVEL
AT VISITOR PARKING



PAVER COLOURS

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p: 604 294-0011 f: 604 294-0022

SEAL:

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

LEONE HOMES

PROJECT
**RESIDENTIAL
DEVELOPMENT**
55A AVENUE
LANGLEY, BC

With F. Adab Architects

DRAWING TITLE:
**LANDSCAPE
DETAILS**

DATE: 20 JUL 18 DRAWING NUMBER:
SCALE: **L3**
DRAWN: OF 3
DESIGN:
CHKD: PCM



18106-3.2P

PMG PROJECT NUMBER: 18-106

196 STREET

55A AVENUE



GENERAL NOTES

1. ALL ON-SITE CIVIL WORKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BRITISH COLUMBIA'S BUILDING CODES AND PLUMBING CODES, MASTER MUNICIPAL CONSTRUCTION DOCUMENTS (MMCD) PLATINUM EDITION, THE CITY OF LANGLEY'S DESIGN CRITERIA MANUAL, THE CITY OF LANGLEY'S STANDARD CONSTRUCTION DOCUMENTS (GENERAL CONDITIONS, SUPPLEMENTARY SPECIFICATIONS AND SUPPLEMENTARY STANDARD DRAWINGS) AND ALL OTHER APPLICABLE MUNICIPAL BYLAWS AND POLICES, UNLESS NOTED OTHERWISE.
2. ALL EXISTING UNDERGROUND WORKS AND SERVICES SHOWN ARE APPROXIMATE ONLY AND ARE BASED ON AS-CONSTRUCTED RECORDS PROVIDED BY THE CITY OF LANGLEY AND BC ONE CALL. PRIOR TO CONSTRUCTION AND ORDERING OF MATERIALS, THE CONTRACTOR SHALL EXPOSE AND VERIFY INVERTS, LOCATIONS, MATERIAL TYPES AND SIZES OF ANY AND ALL EXISTING UNDERGROUND WORKS AND SERVICES AT PROPOSED TIE-IN AND CROSSING POINTS AND SHALL ADVISE CENTRAS ENGINEERING LTD. IMMEDIATELY OF ANY DISCREPANCIES.
3. ALL DIMENSIONS, OFFSETS, SIZES AND ELEVATIONS ARE IN METRIC AND TO GEODETIC DATUM, UNLESS NOTED OTHERWISE.
4. A DEMOLITION PERMIT, TREE CUTTING PERMIT AND AN EROSION & SEDIMENT CONTROL PERMIT SHALL BE OBTAINED FROM THE CITY OF LANGLEY PRIOR TO ANY WORKS COMMENCING ON-SITE.
5. TEMPORARY TREE PROTECTION BARRIER FENCES SHALL BE CONSTRUCTED AND INSPECTED BY THE CITY OF LANGLEY'S PARKS DEPARTMENT AS PER THE LOCATIONS AND INSTRUCTIONS IN THE ARBORIST REPORT AND LANDSCAPING DRAWINGS PRIOR TO ANY WORKS COMMENCING ON-SITE.
6. ALL EXISTING BUILDINGS, SHEDS, FOUNDATIONS, SEPTIC SYSTEMS, DRIVEWAYS, FENCES, TREES, SHRUBS, ETC. LOCATED ON-SITE SHALL BE REMOVED AND DISPOSED OFF-SITE AS DIRECTED BY THE PROPERTY OWNER.
7. A PLUMBING PERMIT AND ALL OTHER APPLICABLE APPROVALS AND PERMITS SHALL BE OBTAINED PRIOR TO ANY UNDERGROUND CIVIL WORKS COMMENCING ON-SITE. THE CONTRACTOR SHALL ARRANGE AND PAY FOR ALL PERMIT FEES FOR OBTAINING THE REQUIRED PERMITS.
8. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL ARRANGE FOR A PRECONSTRUCTION MEETING ON-SITE WITH CENTRAS ENGINEERING LTD. TO REVIEW AND DISCUSS THE CIVIL DESIGN DRAWINGS, CONSTRUCTION METHODS, GENERAL COORDINATION BETWEEN TRADES, TIMING, SITE REVIEWS, TESTING PROCEDURES, TESTING RESULTS, ETC.
9. ALL CONSTRUCTION WORKS SHALL BE COMPLETED IN SUCH A MANNER SO AS TO PREVENT THE RELEASE OF ANY CONSTRUCTION WATER, SILT, CONCRETE LEAKAGE AND ANY OTHER DESTRUCTIVE SUBSTANCES SHALL BE DEPOSITED OR PLACED IN SUCH A MANNER AS TO PREVENT ITS ENTRY INTO ANY STORM SEWER SYSTEM, WATER COURSE, RAVINE OR RESTRICTIVE CONVEYANCE AREA.
10. THE DEVELOPER AND CONTRACTOR ARE RESPONSIBLE FOR SHEEPING OF THE EXISTING ROADWAYS SURROUNDING THE CONSTRUCTION SITE FREE OF ANY DIRT AND SEDIMENT CAUSED BY CONSTRUCTION ACTIVITY ON A DAILY BASIS.
11. THE CONTRACTOR SHALL REINSTATE ALL DISTURBED WORKS TO PRE-CONSTRUCTION CONDITION OR BETTER AND TO CURRENT MMCD AND CITY OF LANGLEY'S STANDARDS AND TO THE SATISFACTION OF CENTRAS ENGINEERING LTD.
12. ALL NEW ON-SITE ELECTRICAL AND TELECOMMUNICATIONS SERVICES AND CONNECTIONS SHALL BE LOCATED UNDERGROUND. REFER TO THE ELECTRICAL SITE PLAN AND BC HYDRO DRAWINGS FOR DETAILS.
13. ALL WORKS CONSTRUCTED BY THE CIVIL CONTRACTOR SHALL BE SITE REVIEWED BY CENTRAS ENGINEERING LTD. AND THE CITY OF LANGLEY PRIOR TO ANY SHOVELLING, FAILURE TO DO SO MAY RESULT IN THE CIVIL CONTRACTOR EXPOSING SUCH WORKS AND SERVICES FOR VISUAL SITE REVIEW AT THE CIVIL CONTRACTOR'S EXPENSE.
14. ANY DAMAGE TO EXISTING SURVEY POSTS AND/OR MONUMENTS (DESTROYED OR DAMAGED DURING CONSTRUCTION) SHALL BE REPLACED BY A B.C. LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.
15. 48 HOURS NOTICE SHALL BE PROVIDED BY THE DEVELOPER'S CIVIL CONTRACTOR TO CENTRAS ENGINEERING LTD. AND THE CITY OF LANGLEY'S PLUMBING INSPECTOR PRIOR TO INITIAL CONSTRUCTION COMMENCEMENT.
16. REFER TO CURRENT ARCHITECTURAL DRAWINGS FOR BUILDINGS, ROADS AND SITE LAYOUT. REPORT ANY DISCREPANCIES TO CENTRAS ENGINEERING LTD. IMMEDIATELY. DO NOT LAY OUT BUILDINGS AND SITE FEATURES FROM CENTRAS ENGINEERING LTD.'S CIVIL DRAWINGS.
17. THE CONTRACTOR SHALL COMPLY WITH ALL THE ARBORIST RECOMMENDATIONS IN THE ARBORIST REPORT.
18. UPON SUBSTANTIAL CONSTRUCTION COMPLETION, THE CIVIL CONTRACTOR'S SURVEYOR (B.C.L.S. OR P.E.N.G.) SHALL SUBMIT TO CENTRAS ENGINEERING LTD. AS-BUILT SURVEY INFORMATION FOR THE PROPOSED WORKS AND SERVICES SHOWN ON THE SITE GRADING PLAN AND THE SITE SERVICES PLANS PREPARED BY CENTRAS ENGINEERING LTD. FOR REVIEW.

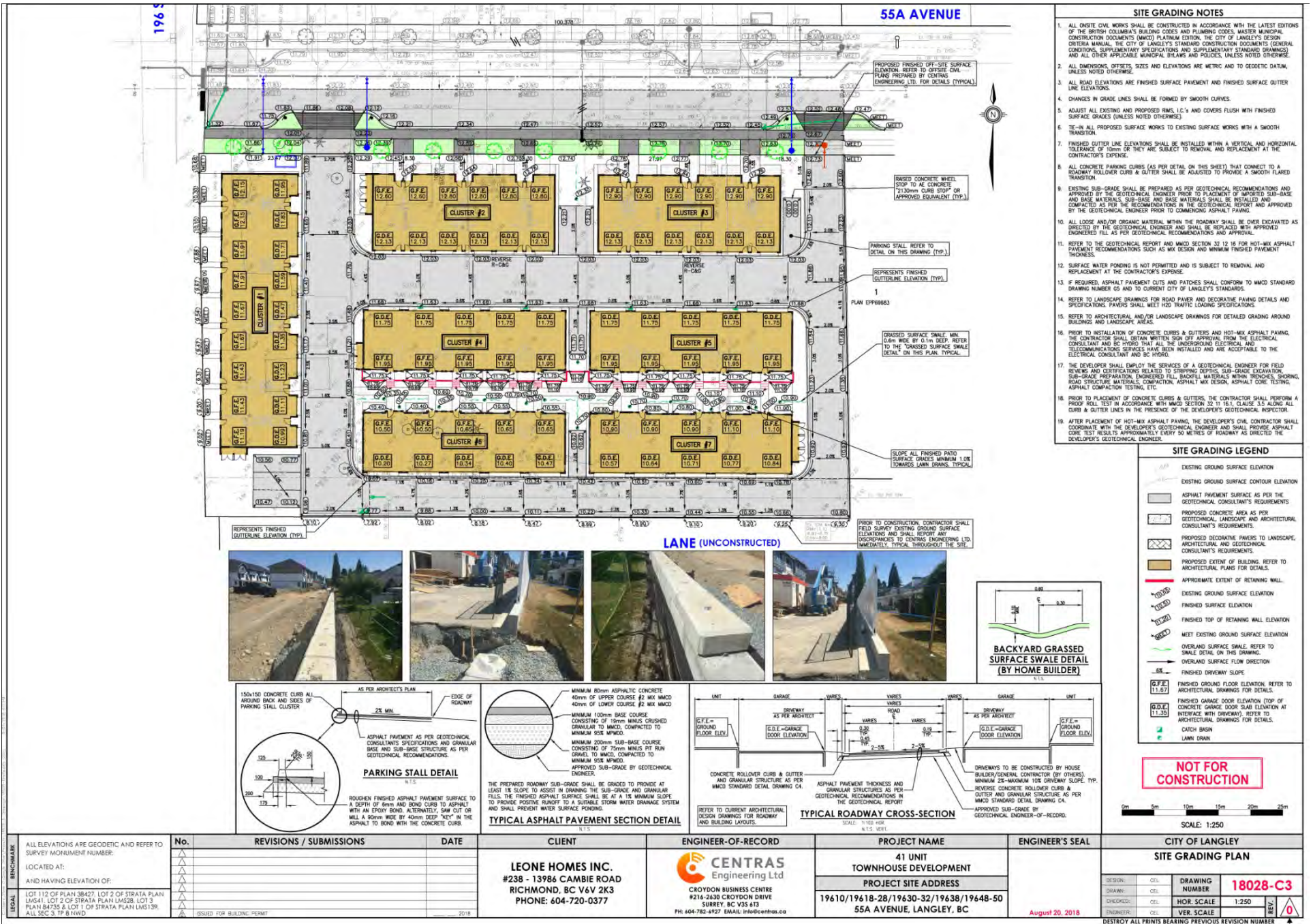
KEY PLAN LEGEND

- EXISTING GROUND SURFACE CONTOUR ELEVATION
- EXISTING GROUND SURFACE ELEVATION
- EXISTING TREE TO BE REMOVED AS DIRECTED BY THE PROJECT ARBORIST
- EXISTING TREE TO BE RETAINED AS DIRECTED BY THE PROJECT ARBORIST
- TEMPORARY TREE PROTECTION BARRIER FENCING BY DEVELOPER
- ASPHALT PAVEMENT
- OVERLAND DRAINAGE DRALE
- SANITARY SEWER
- STORM SEWER
- CAP
- STORM SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- STORM SEWER CLEANOUT
- CATCH BASIN
- LAWN DRAIN
- STORM WATER OIL & GRIT INTERCEPTOR
- UNDERGROUND STORM WATER DETENTION TANK (BREWERY SYSTEM)
- DOMESTIC WATER LINE
- FIRE LINE
- GATE VALVE
- REDUCER
- FIRE HYDRANT
- UNDERGROUND WATER METER CHAMBER

NOT FOR CONSTRUCTION

0m 5m 10m 15m 20m 25m
SCALE: 1:250

LOCAL BENCHMARK	No.	REVISIONS / SUBMISSIONS	DATE	CLIENT	ENGINEER-OF-RECORD	PROJECT NAME	ENGINEER'S SEAL	CITY OF LANGLEY
ALL ELEVATIONS ARE GEODETIC AND REFER TO SURVEY MONUMENT NUMBER: LOCATED AT: AND HAVING ELEVATION OF: LOT 112 OF PLAN 38427, LOT 2 OF STRATA PLAN LMS41, LOT 2 OF STRATA PLAN LMS28, LOT 3, PLAN B4735 & LOT 1 OF STRATA PLAN LMS139, ALL SEC 3, TP 8 NWD				LEONE HOMES INC. #238 - 13986 CAMBIE ROAD RICHMOND, BC V6V 2K3 PHONE: 604-720-0377	 CENTRAS Engineering Ltd CROYDON BUSINESS CENTRE #214-2630 CROYDON DRIVE SURREY, BC V3S 6T3 PH: 604-782-4127 EMAIL: info@centras.ca	41 UNIT TOWNHOUSE DEVELOPMENT PROJECT SITE ADDRESS 19610/19618-28/19630-32/19638/19648-50 55A AVENUE, LANGLEY, BC	August 20, 2018	KEY PLAN
								DESIGN: CEL DRAWN: CEL CHECKED: CEL ENGINEER: CEL
								DRAWING NUMBER: 18028-C2 HOR SCALE: 1:250 VER SCALE: 1:250
								DESTROY ALL PRINTS BEARING PREVIOUS REVISION NUMBER





ZONING BYLAW, 1996 No. 2100, AMENDMENT No. 156, 2018, No. 3081

A Bylaw to amend City of Langley Zoning Bylaw, 1996, No. 2100 to add a new Comprehensive Development Zone (CD64) and rezone the property located 20555 -56th Avenue to that new zone.

WHEREAS Bylaw No. 2100, cited as the “Zoning Bylaw, 1996, No. 2100” was enacted by the Council of the City of Langley on the Tenth day of June, 1996;

AND WHEREAS Simcic & Urich Architects has made application to amend the said Bylaw No. 2100 to include a new Comprehensive Development (CD64) zone and to rezone Lot 54, Except; Part on Bylaw Plan 58428; District Lot 37, Group 2, New Westminster District Plan 35362 (“the said Lands”) from the Downtown Commercial (C-1) Zone to the Comprehensive Development – 64 (CD64) Zone;

NOW THEREFORE, the Council of the City of Langley, in open meeting assembled, enacts as follows:

- 1) Bylaw No. 2100, cited as the “Zoning Bylaw, 1996, No. 2100” is hereby amended by including the following as the new Zone classification of Comprehensive Development - 64 (CD64) Zone:

III. CD64 COMPREHENSIVE DEVELOPMENT ZONE

1. Intent

This Zone is intended to accommodate and regulate the development of a microbrewery use with downtown oriented commercial uses and facilities.

2. Permitted Land Uses

Land, buildings and structures shall be used for the uses as permitted in the following Zone only:

- (a) Uses permitted in the C1 Zone.
- (b) Microbrewery Use.

3. Lot Dimensions

The minimum size and width of lots which may be created by subdivision in this Zone are as follows:

Minimum	
Lot Size	Lot Width
222 m ² [2,389.66 ft ²]	n/a

4. Size of Buildings and Structures

Maximum		
Building Type	# Units	Height
<i>Principal Building</i>	371 unit/ha ⁽ⁱ⁾	46.0 m [150.91 ft]
<i>Accessory Buildings and Structures</i>	n/a	n/a

5. Lot Coverage

All buildings and structures combined shall not cover more than ninety (95) percent of the lot area.

6. Siting of Buildings and Structures

Minimum Lot Line Setback				
Building Type	Front	Rear	Interior	Exterior
<i>Principal Building</i>	1.8 m 5.90 ft.	0.0 m 0.0 ft	0.0 m 0.0 ft	1.8 m 5.90ft.
<i>Accessory Buildings and Structures</i>	n/a	n/a	n/a	n/a

- (i) Where storeys are used for residential purposes, all lot line setbacks shall be a minimum of 6.0m (19.69 ft) with respect to such storeys.

7. Off-Street Parking and Loading

Off-street parking and loading shall be provided and maintained in accordance with Section I.E. of this Bylaw with the following exception:

8. Landscaping

Landscaping, Screening and Fencing shall be provided and maintained in accordance with Section I.F. of this Bylaw.

9. Special Regulations

- (a) *Microbrewery Use* means a facility for the brewing of beer licensed by the Province of British Columbia: includes the following as accessory uses: lounge area for sampling product made on site, retail display and retail sales area.

10. Other Regulations

In addition, land use regulations including the following are applicable:

- (a) General provisions on use are set out in Section I.D. of this Bylaw.
 - (b) Building Permits shall be subject to the City of Langley Building Bylaw and the Development Cost Charge Bylaw.
 - (c) Subdivisions shall be subject to the City of Langley Subdivision Control Bylaw and the Development Cost Charge Bylaw.
 - (d) Development Permits may be required in accordance with the *Official Community Plan*.
 - (e) Sign Permits shall be subject to the City of Langley Sign Bylaw.
- 2) The said Bylaw No. 2100 is further amended to rezone "Lot 54, Except: Part on Bylaw Plan 58428; District Lot 37, Group 2, New Westminster District Plan 35362 the said lands contained within the heavy black outline appearing on Schedule "A", attached hereto and forming a part of this Bylaw, from Downtown Commercial (C1) Zone to the Comprehensive Development - 64 (CD64) Zone herein as the said lands.

- 3) This Bylaw may be cited for all purposes as the “City of Langley Zoning Bylaw, 1996 No. 2100, Amendment No. 156, 2018, No. 3081.”

READ A FIRST AND SECOND TIME this twenty third day of August , 2018.

A PUBLIC HEARING, pursuant to Section 890 of the “Local Government Act” was held this -- day of, 2018.

THIRD READING of the Bylaw was given this -- day of , 2018.

APPROVAL OF THE MINISTRY OF TRANSPORTATION was received this -- day of , 2018.

RECONSIDERED, FINALLY PASSED AND ADOPTED this -- day of , 2018.

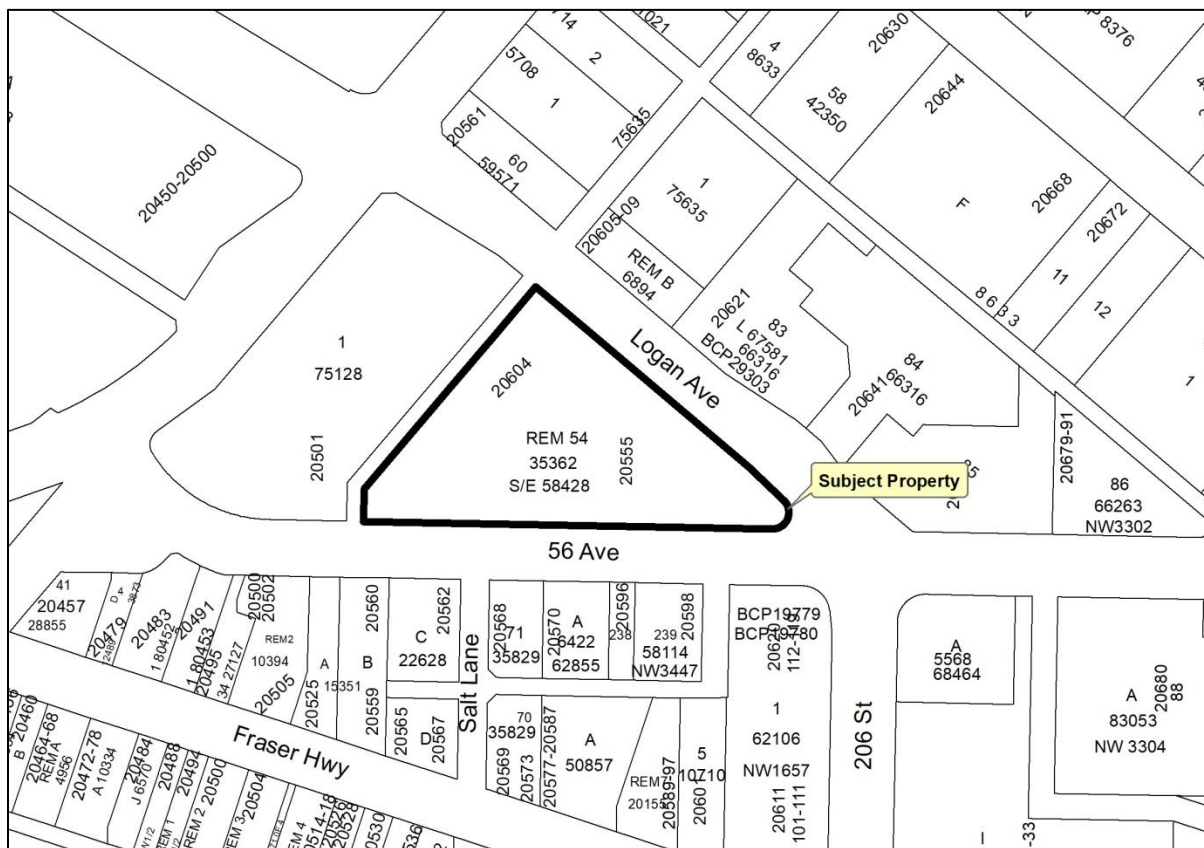
MAYOR

CORPORATE OFFICER



REZONING APPLICATION RZ 13-18

Civic Address: 20555 – 56 Avenue
Legal Description: Lot 54 Except: Part on Bylaw Plan 58428; District Lot 37, Group 2, New Westminster District, Plan 35362
Applicant: Simcic & Urch Architects
Owner: Eurocan Industries Inc.





ADVISORY PLANNING COMMISSION REPORT

To: **Advisory Planning Commission**

Subject **Rezoning Application RZ 13-18**

From: Development Services & Economic
Development Department

File #: 6620.00

Doc #:

Date: July 20, 2018

COMMITTEE RECOMMENDATION:

THAT Rezoning Application RZ 13-18 to accommodate a “Microbrewery” at 20555-56th Avenue be approved subject to execution of a Development Servicing Agreement in compliance with the conditions outlined in the Director of Development Services & Economic Development report.

PURPOSE OF REPORT:

To consider a Rezoning Application and Development Permit Application by Simcic Uhrich Architects to accommodate a “Microbrewery” at 20555-56th Avenue.

POLICY:

The subject property is zoned C1 Downtown Commercial Zone pursuant to Zoning Bylaw No. 2100, which currently does not permit “microbrewery use”. In addition, the subject property is designated as Downtown Commercial in our Official Community Plan. One of the “Fundamental Objectives” articulated within our OCP under ‘Economic Development’ is “to facilitate the strengthening and diversification of the local economy”.

COMMENTS/ANALYSIS:

Background Information:

Applicant:	Simcic & Ulrich Architects
Owner:	Eurocan Industries Inc.
Civic Addresses:	20555-56 th Avenue
Legal Description:	Lot 54, Except: Part on Bylaw Plan 58428; District Lot 37, Group 2, New Westminster District Plan 35362
Site Area:	7,333 m ²
Total Building Area:	31,124 ft ²
Total Parking Required:	93 spaces, including 3 handicap designated stalls
Total Parking Provided:	106 spaces, including 3 handicap designated stalls
Existing Zoning:	C1 Downtown Commercial Zone
Proposed Zoning:	CD 64 Comprehensive Development Zone
OCP Designation:	Downtown Commercial
Variances Requested:	None
Development Cost Charges:	Not Applicable
Community Amenity Charge:	Not Applicable

Engineering Requirements:

These requirements have been issued for a rezoning for a proposed **Microbrewery Use**. These requirements may be subject to change upon receipt of a development application.

a) The developer is responsible for the following work which shall be designed and approved by a Professional Engineer:

1. If a new water service connection and meter is required for the proposed microbrewery use. The developer's engineer will determine the appropriate main tie in locations and size the connections for the necessary capacity.

2. Water meters are required for each water connection and are to be installed outside in a vault away from any structure, in accordance with the City's water meter specifications, at the developer's cost.

Discussion:

The applicant is proposing to locate a “microbrewery ” in the former Thrift Store space at *Highland Village Shopping Centre Unit #5 -20555 -56th Avenue*. “Microbrewery” is not currently permitted in the C1 Downtown Commercial Zone. Since the applicant is proposing to utilize an existing building without an addition, no Development Permit is required.

In addition to City of Langley approval, a microbrewery is licensed as a “*Manufacturer’s License*” by the Provincial Liquor Control and Licensing Branch (LCBC) and is defined as “a facility for the brewing of beer licensed by the Province of British Columbia: includes the following accessory uses; lounge area for sampling product made on site, retail display area, and retail sales area”.

The proposed “*Farm Country Brewing* ” proposes to operate its Lounge and Retail Sales Area from Sunday-Wednesday Noon-9pm, Thursday-Saturday Noon-11pm and employ 8-12 people.

Fire Department Comments:

Langley City Fire-Rescue Service has reviewed the attached plans and provided preliminary comments to the applicant. The department will review, and make further comment, as the project continues to the building permit design stage.

Advisory Planning Commission:

In accordance with Development Application Procedures Bylaw No. 2488, the subject applications will be reviewed by the Advisory Planning Commission at the August 8, 2018 meeting. A copy of the APC minutes will be presented to Langley City Council at the August 23, 2018 Special Council meeting.

BUDGET IMPLICATIONS:

N/A.

ALTERNATIVES:

1. Require changes to the applicant's proposal.
2. Deny application.

Prepared by:



Gerald Minchuk, MCIP
Director of Development Services & Economic Development

Concurrence:



Rick Bomhof, P.Eng.
Director of Engineering, Parks &
Environment

Concurrence:



Rory Thompson, Fire Chief

Attachment(s):



**MINUTES OF THE
ADVISORY PLANNING COMMISSION MEETING**

**HELD IN LANGLEY CITY HALL
CKF COMMUNITY BOARDROOM**

**WEDNESDAY, AUGUST 8, 2018
7:00 PM**

- Present:** Councillor Jack Arnold, Chairman
Councillor Paul Albrecht, Vice-Chairman
John Beimers
Trish Buhler
Shelley Coburn, School District No. 35
Kimberley Lubinich
Ron Madsen
Dan Millsip
- Staff:** Gerald Minchuk, Director of Development Services & Economic Development
- Absent:** Constable Lisa Cormier, Langley RCMP
Kim Mullin
Jamie Schreder

1) RECEIPT OF MINUTES

MOVED BY Commission Member Buhler
SECONDED BY Commission Member Madsen

THAT the minutes for the June 13, 2018 Advisory Planning Commission meeting be received.

CARRIED

2) **REZONING APPLICATION RZ 11-18/DEVELOPMENT PERMIT APPLICATION DP 13-18- 19610, 19618-19626, 19630-19632, 19638, 19648-19650 -55A AVENUE & UNZONED PORTION OF CLOSED ROAD ON PLAN EPP83409**

The Director Development Services & Economic Development provided a brief overview of the planning context for the proposed Rezoning/Development Permit applications, and introduced Fred Adab, F..Adab Architects Inc. and Marlene Messer, PMG Landscape Architects who presented the proposed applications. Following discussion on building form and character, architectural design, lane closure, tandem parking, landscaping, Sustainability features, and CPTED security measures, it was:

MOVED BY Commission Member Madsen
SECONDED BY Commission Member Lubinich

OPPOSED BY Commission Member Millsp, Member Buhler

That Rezoning Application RZ 11-18/Development Permit Application DP 13-18 to accommodate a 3-storey, 41-unit townhouse development located at 19610, 19618-19626, 19630-19632, 19638, 19648-19650-55A Avenue & Un-zoned Portion of Closed Road On Plan EPP83409 be approved, subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report be approved.

CARRIED

3) **REZONING APPLICATION RZ 10-18/DEVELOPMENT PERMIT APPLICATION DP 12-18- 5423, 5433, 19900, 19910, 19920, 19930 BRYDON CRESCENT & UNZONED PORTION OF CLOSED ROAD ON PLAN EPP73909**

The Director Development Services & Economic Development provided a brief overview of the planning context for the proposed Rezoning/Development Permit applications, and introduced Wes Freisen, Points West Architecture, who presented the proposed applications. Following discussion on site plan, building form and character, building exterior, parking, lane closure, new pedestrian walkway and bridge, site landscaping, sustainability features and CPTED security measures, it was:

MOVED BY Commission Member Buhler
SECONDED BY Commission Member Millsip

That Rezoning Application RZ 10-18/Development Permit Application DP 12-18 to accommodate a 127 unit, four-story condominium apartment located at 5423, 5433, 19900, 19910, 19920, 19930 Brydon Crescent & Un-zoned Portion

of Closed Road on Plan EPP73909 be approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report be approved.

CARRIED

4) **REZONING APPLICATION RZ 13-18 - 20555-56 AVENUE**

The Director Development Services & Economic Development provided a brief overview of the planning context for the proposed "microbrewery" Rezoning application, and introduced Bill Ulrich, Simcic & Ulrich Architects who presented the proposed application. Following discussion on proposed building tenant improvements, hours of operation, outdoor patio, occupant capacity, Provincial liquor licensing, it was:

MOVED BY Commission Member Millsip
SECONDED BY Commission Member Buhler

That Rezoning Application RZ 13-18 to accommodate a 'microbrewery' located at 20555-56th Avenue be approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report be approved.

CARRIED

5) **REZONING APPLICATION RZ 14-18/DEVELOPMENT PERMIT APPLICATION DP 14-18- 5475, 5483, 5493-BRYDON CRESCENT**

The Director Development Services & Economic Development provided a brief overview of the planning context for the proposed Rezoning/Development Permit applications, and introduced Lukas Wykpis and Eric Poxleitner, Keystone Architecture & Planning Ltd. who presented the proposed applications. Following discussion on site plan, building form and character, landscaping, sustainability features and CPTED security measures, it was:

MOVED BY Commission Member Beimers
SECONDED BY Commission Member Lubinich

That Rezoning Application RZ 14-18/Development Permit Application DP 14-18 to accommodate a 78 unit, 5-storey townhouse development located at 5475, 5483, 5493- Brydon Crescent be approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report be approved.

CARRIED

Discussion:

Discussion ensued regarding the Council decision relating to tandem parking and that staff report back to the Advisory Planning Committee on action items arising from Committee motions.

Shelley Coburn, School District No. 35 Trustee expressed concerns the School District is facing due to significant development activity, reduced classroom sizes, and Provincial school funding.

6) Next Meetings:

Wednesday, September 12, 2018

7) ADJOURNMENT

MOVED BY Commission Member Coburn
SECONDED BY Commission Member Buhler

THAT the meeting adjourn at 9:15 P.M.

CARRIED



ADVISORY PLANNING COMMISSION CHAIRMAN



DIRECTOR OF DEVELOPMENT SERVICES & ECONOMIC DEVELOPMENT

Certified Correct

FARM COUNTRY BREWING

LANGLEY BC



FARM COUNTRY BREWING

#5 - 20555 56th Avenue
Langley BC

SIMCIC + UHRICH ARCHITECTS

suite 230 - 3 West 3rd Avenue
Vancouver BC Canada V5Y 3T8
604.559.5190

Our Story

Our Story

Farm Country Brewing began as a dream between **founders Travis and Arnold** who wanted to share their love of craft beer with the community they grew up in. Langley was and still largely is farm country! Growing up here taught us the values of putting in a hard days work and helping out your fellow neighbour to get the job done. In the country when the work day is over and the weekend has arrived time well spent with family and friends is what life's all about!

Here at Farm Country Brewing we were drawn to craft beer for the **high quality handcrafted flavourful brews**, but we found out that craft beer is so much more. It's about creativity and collaboration, supporting your local community, and getting back to friendly customer service from days gone by. It's these values that we look forward to sharing with the good people of Langley and the surrounding Fraser Valley. We hope our beers join you as you gather with friends and family to celebrate life's many achievements.

Our Brewing Style

Langley has historic roots as a farming community and is now one of the fastest growing areas in B.C. for young families. It's this unique blend of tradition and youthful enthusiasm that inspires us to create beers that are fresh, flavourful and innovative, yet still stay true to the traditions of old world styles. Whether you're a craft beer enthusiast or new to the game, we've handcrafted a beer for you. Farm Country beers are brewed to reward hard work and accompany good times!



FARM COUNTRY BREWING

#5 - 20555 56th Avenue
Langley BC

SIMCIC + UHRICH ARCHITECTS

suite 230 - 3 West 3rd Avenue
Vancouver BC Canada V5Y 3T8
604.559.5190

Breweries

Brassneck Brewery



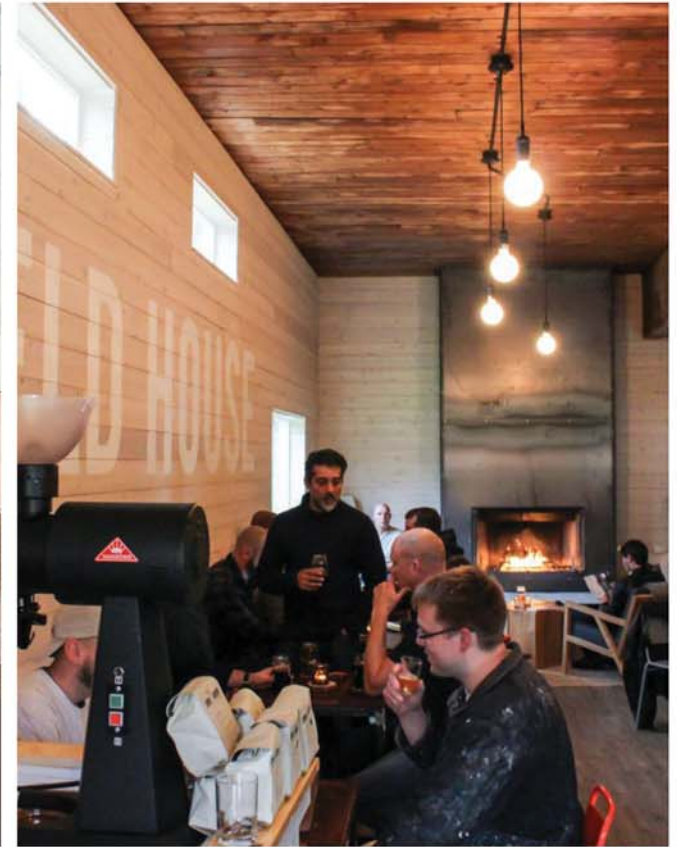
FARM COUNTRY BREWING

#5 - 20555 56th Avenue
Langley BC

Dageraad Brewery



Field House Brewery



SIMCIC + UHRICH ARCHITECTS

suite 230 - 3 West 3rd Avenue
Vancouver BC Canada V5Y 3T8
604.559.5190

Design Concept



FARM COUNTRY BREWING

#5 - 20555 56th Avenue
Langley BC



Exterior

Referencing the typologies of local barn buildings, the exterior utilizes a wood screen to create a play of light sifting through similar to a wall of an old barn.

SIMCIC + UHRICH ARCHITECTS

suite 230 - 3 West 3rd Avenue
Vancouver BC Canada V5Y 3T8
604.559.5190

Design Concept



FARM COUNTRY BREWING

#5 - 20555 56th Avenue
Langley BC



Interior

The brewery lounge will be a very warm and welcoming space for people of all ages. The interiors draws inspiration from the horizon line of farm fields and the contrasts of texture and colour between the field and the sky.

SIMCIC + UHRICH ARCHITECTS

suite 230 - 3 West 3rd Avenue
Vancouver BC Canada V5Y 3T8
604.559.5190

Branding Concept



FARM COUNTRY BREWING

#5 - 20555 56th Avenue
Langley BC



Colour Palette

- New Holland Blue
- John Deere Green
- Massey Ferguson Red
- Minneapolis Moline Yellow

SIMCIC + UHRICH ARCHITECTS

suite 230 - 3 West 3rd Avenue
Vancouver BC Canada V5Y 3T8
604.559.5190

Site Plan

Hours of Operation

Sunday-Wednesday 12:00pm-9:00pm
Thursday-Saturday 12:00pm-11:00pm

Occupant Load

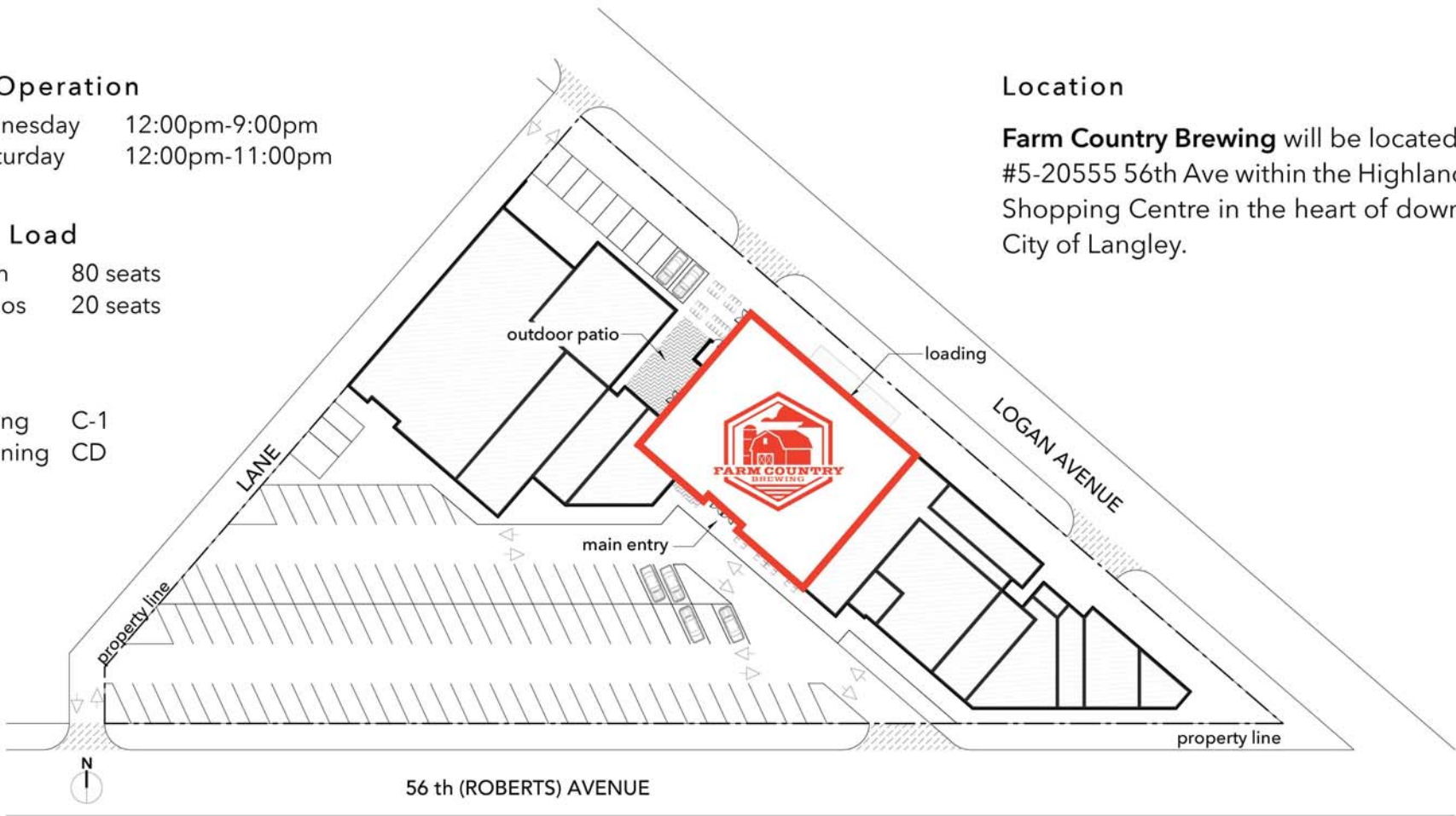
Tasting Room 80 seats
Outdoor Patios 20 seats

Zoning

Existing Zoning C-1
Proposed Zoning CD

Location

Farm Country Brewing will be located at #5-20555 56th Ave within the Highland Village Shopping Centre in the heart of downtown of City of Langley.



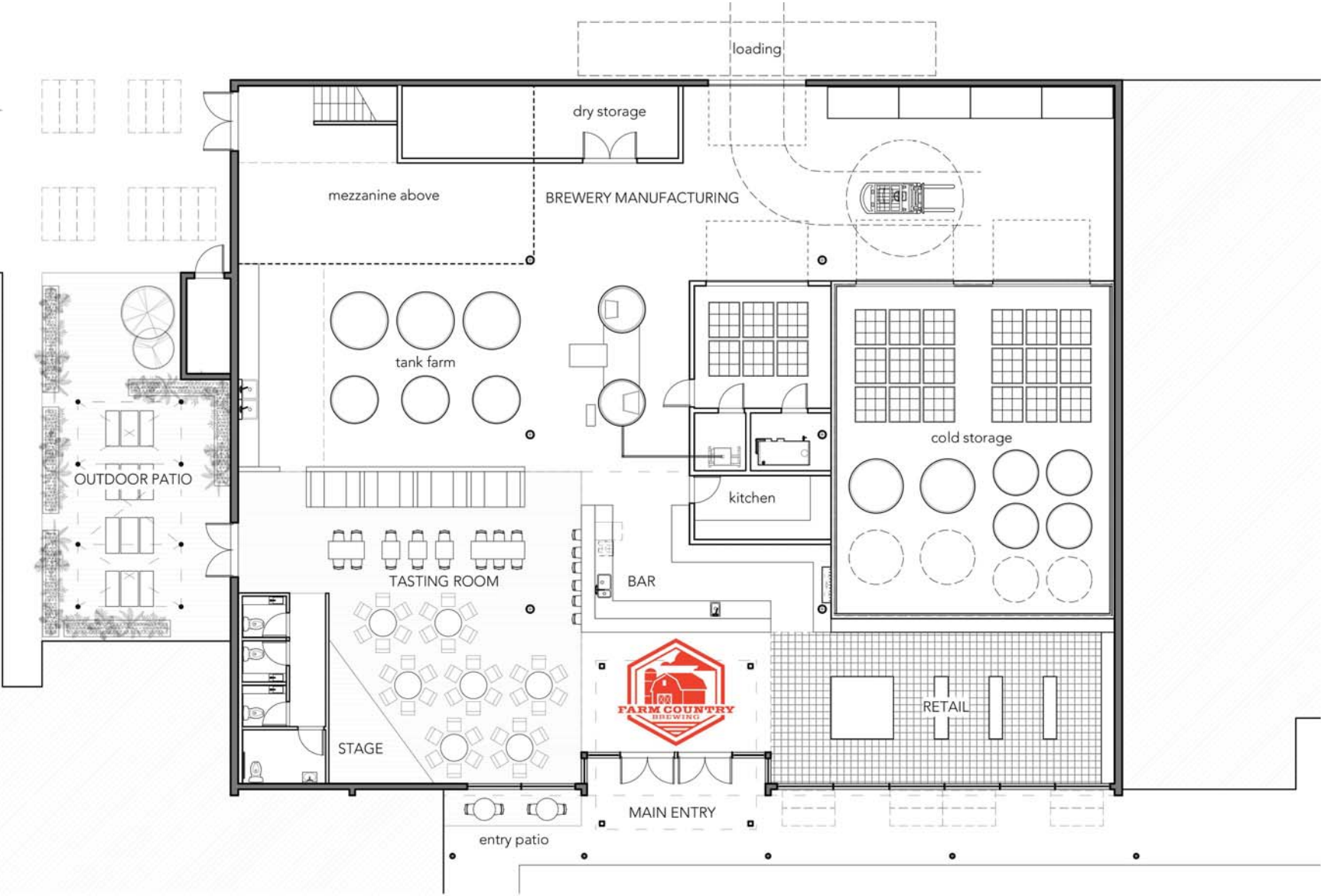
FARM COUNTRY BREWING

#5 - 20555 56th Avenue
Langley BC

SIMCIC + UHRICH ARCHITECTS

suite 230 - 3 West 3rd Avenue
Vancouver BC Canada V5Y 3T8
604.559.5190

Floor Plan



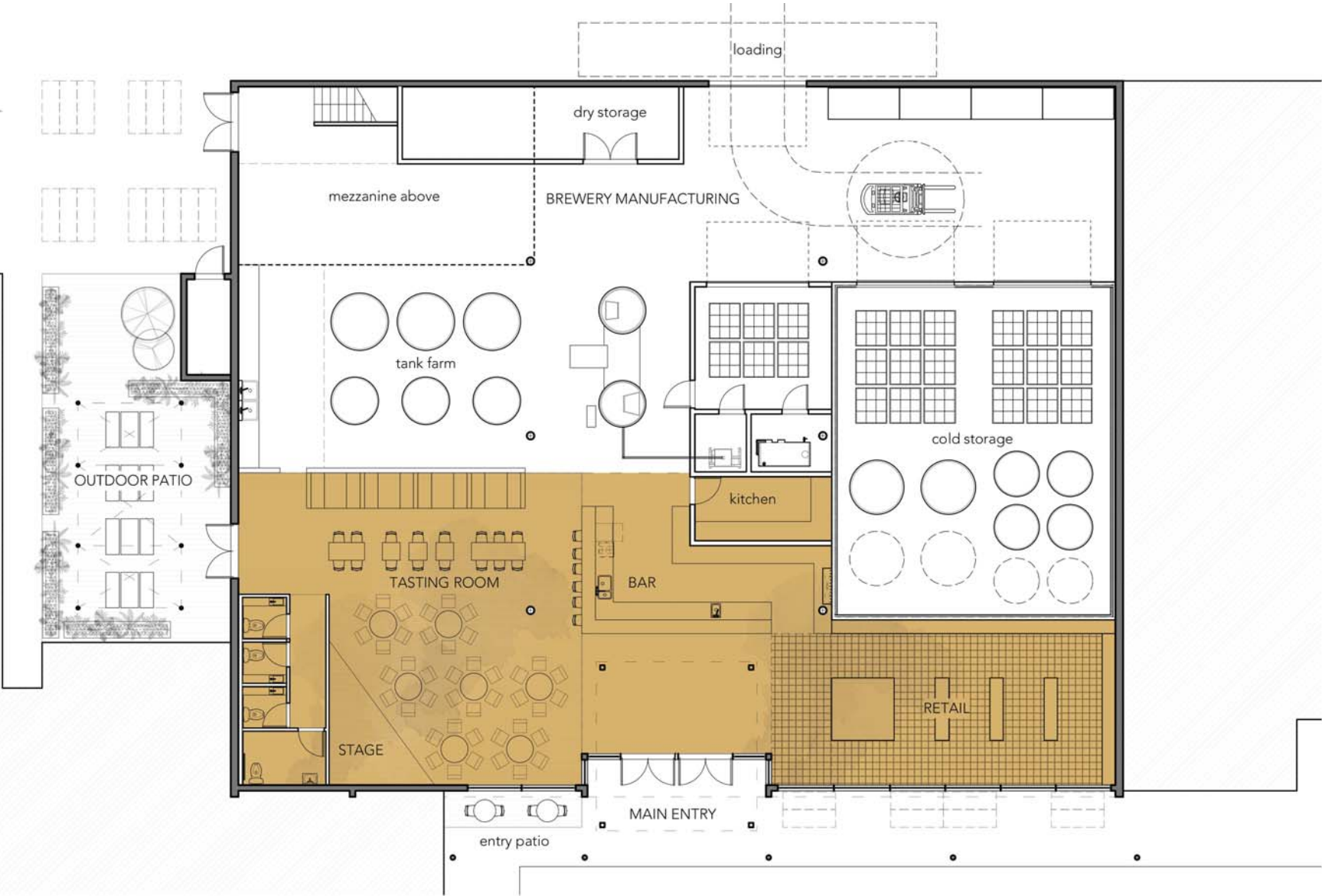
FARM COUNTRY BREWING

#5 - 20555 56th Avenue
Langley BC

SIMCIC + UHRICH ARCHITECTS

suite 230 - 3 West 3rd Avenue
Vancouver BC Canada V5Y 3T8
604.559.5190

Floor Plan



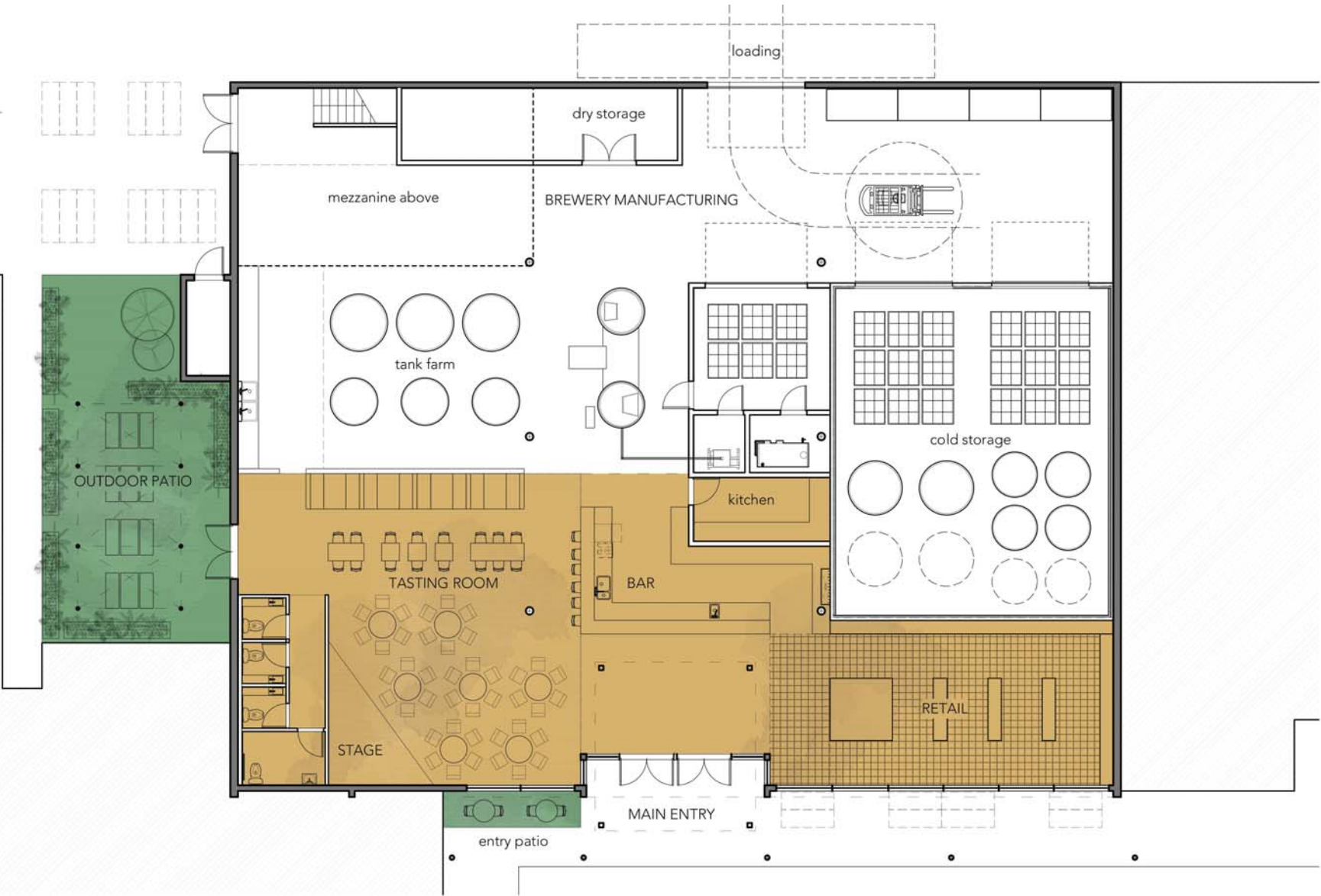
FARM COUNTRY BREWING

#5 - 20555 56th Avenue
Langley BC

SIMCIC + UHRICH ARCHITECTS

suite 230 - 3 West 3rd Avenue
Vancouver BC Canada V5Y 3T8
604.559.5190

Floor Plan



FARM COUNTRY BREWING

#5 - 20555 56th Avenue
Langley BC

SIMCIC + UHRICH ARCHITECTS

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Floor Plan



FARM COUNTRY BREWING

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Elevations



FARM COUNTRY BREWING

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Langley BC

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FARM COUNTRY BREWING

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Langley BC

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FARM COUNTRY BREWING

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Vancouver BC Canada V5Y 3T8
604.559.5190

Paula Kusack

From: WebInfo
Sent: September-11-18 8:06 PM
To: Paula Kusack
Subject: Fwd: Support for Bylaw 3081

Sent from my iPhone

Begin forwarded message:

From: Natalie Pullman [REDACTED]
Date: September 11, 2018 at 2:23:13 PM PDT
To: <info@langleycity.ca>
Subject: Support for Bylaw 3081

Hello!

On behalf of my partner and myself, I am emailing my support for the above bylaw to allow for a future Craft Brewery in Downtown Langley. We live at 201-20460 Douglas Crescent, Langley. Unfortunately we cannot make the Public Hearing on Monday. I hope it goes well!

Thank you
Natalie Pullman and Matthew Gabrick.



**ZONING BYLAW, 1996, No. 2100
AMENDMENT No. 157, 2018, BYLAW No. 3082
DEVELOPMENT PERMIT APPLICATION DP 14-18**

To consider a Rezoning Application and Development Permit Application by Whitetail Homes Inc. to accommodate a 5-storey, 78-unit condominium apartment development.

The subject properties are currently zoned RS1 Single Family Residential Zone in Zoning Bylaw No. 2100 and designated “High Density Residential” in the Official Community Plan. All lands designated “High Density Residential” are subject to a Development Permit to address building form and character.

Background Information:

Applicant:	Keystone Architecture & Planning Inc.
Owners:	Whitetail Homes Inc.
Civic Addresses:	5493, 5483, 5475 Brydon Crescent
Legal Description:	Lots 29, 30, 31, Section 3, Township 8, New Westminster District Plan 16572
Site Area:	.98 acres
Lot Coverage:	34.2%
Total Parking Required:	116 spaces, including 16 visitor spaces
Total Parking Provided:	116 spaces, including 16 visitor spaces
Existing Zoning:	RS1 Single Family Residential Zone
Proposed Zoning:	CD 65 (Comprehensive Development Zone)
OCP Designation:	High Density Residential
Variances Requested:	None
Development Cost	\$986,706 (includes \$73,723.50 DCC
Charges:	Credit)
Community Amenity	\$156,000.00
Charge:	



**ZONING BYLAW, 1996, No. 2100
AMENDMENT No. 157**

BYLAW No. 3082

A Bylaw to amend City of Langley Zoning Bylaw, 1996, No. 2100 to add a new Comprehensive Development Zone (CD65) and to rezone the property located at 5493, 5483, 5475 Brydon Crescent to the new zone.

WHEREAS the *Local Government Act* authorizes a local government to zone areas of a municipality and to make regulations pursuant to zoning;

NOW THEREFORE the Council of the City of Langley, in open meeting assembled, enacts as follows:

1. Title

This bylaw shall be cited as the "Zoning Bylaw 1996, No. 2100 Amendment No. 157, 2018, No. 3082".

2. Amendment

- (1) Bylaw No. 2100, cited as the "Zoning Bylaw, 1996, No. 2100" is hereby amended by adding in Part VII Comprehensive Development Zones the following as the new Zone classification of Comprehensive Development – 65 (CD65) Zone: immediately after Comprehensive Development - 64 (CD64) Zone:

"JJJ. CD65 COMPREHENSIVE DEVELOPMENT ZONE

1. Intent

This Zone is intended to accommodate and regulate a 5-storey, 78-unit condominium apartment development.

2. Permitted Uses

The Land, buildings and structures shall only be used for the following uses only:

- (a) Multiple-Unit Residential; and

1. Accessory uses limited to the following:
 - (i) *Home Occupations* excluding bed and breakfast and *child care centre*.

3. Site Dimensions

The following lot shall form the site and shall be zoned CD65 Comprehensive Development Zone on the Zoning Map, City of Langley Zoning Bylaw, 1996, No. 2100, Schedule "A":

- (a) PID: 010-219-293
Lot 29, Section 3, Township 8, New Westminster District, Plan 16572
- (b) PID: 009-894-918
Lot 30, Section 3, Township 8, New Westminster District, Plan 16572
- (c) PID: 004-492-447
Lot 31, Section 3, Township 8, New Westminster District, Plan 16572

4. Siting and Size of Buildings and Structures and Site Coverage

The location, size and site coverage of the buildings and structures of the Development shall generally conform to the plans and specifications comprising 24 pages and dated July 23, 2018 prepared by Keystone Architecture & Planning Ltd. and M2 Landscape Architecture one copy of which is attached to Development Permit No. 14-18.

5. Special Regulations

Special regulations shall comply with subsection 9 Special Regulations prescribed in the respective zones under different Parts of this bylaw.

6. Other Regulations

In addition, land use regulations including the following are applicable:

- a. General provisions on use are set out in Section I.D. of this bylaw;

- b. Building Permits shall be subject to the City of Langley Building and Plumbing Regulation Bylaw and the Development Cost Charge Bylaw; and
- c. Subdivisions shall be subject to the City of Langley Subdivision and Development Servicing Bylaw, and the *Land Title Act*.”

READ A FIRST AND SECOND TIME this twenty third day of August, 2018.

A PUBLIC HEARING, pursuant to Section 464 of the “Local Government Act” was held this -- day of -- , 2018.

READ A THIRD TIME this -- day of --, 2018.

FINALLY ADOPTED this -- day of --, 2018.

MAYOR

CORPORATE OFFICER



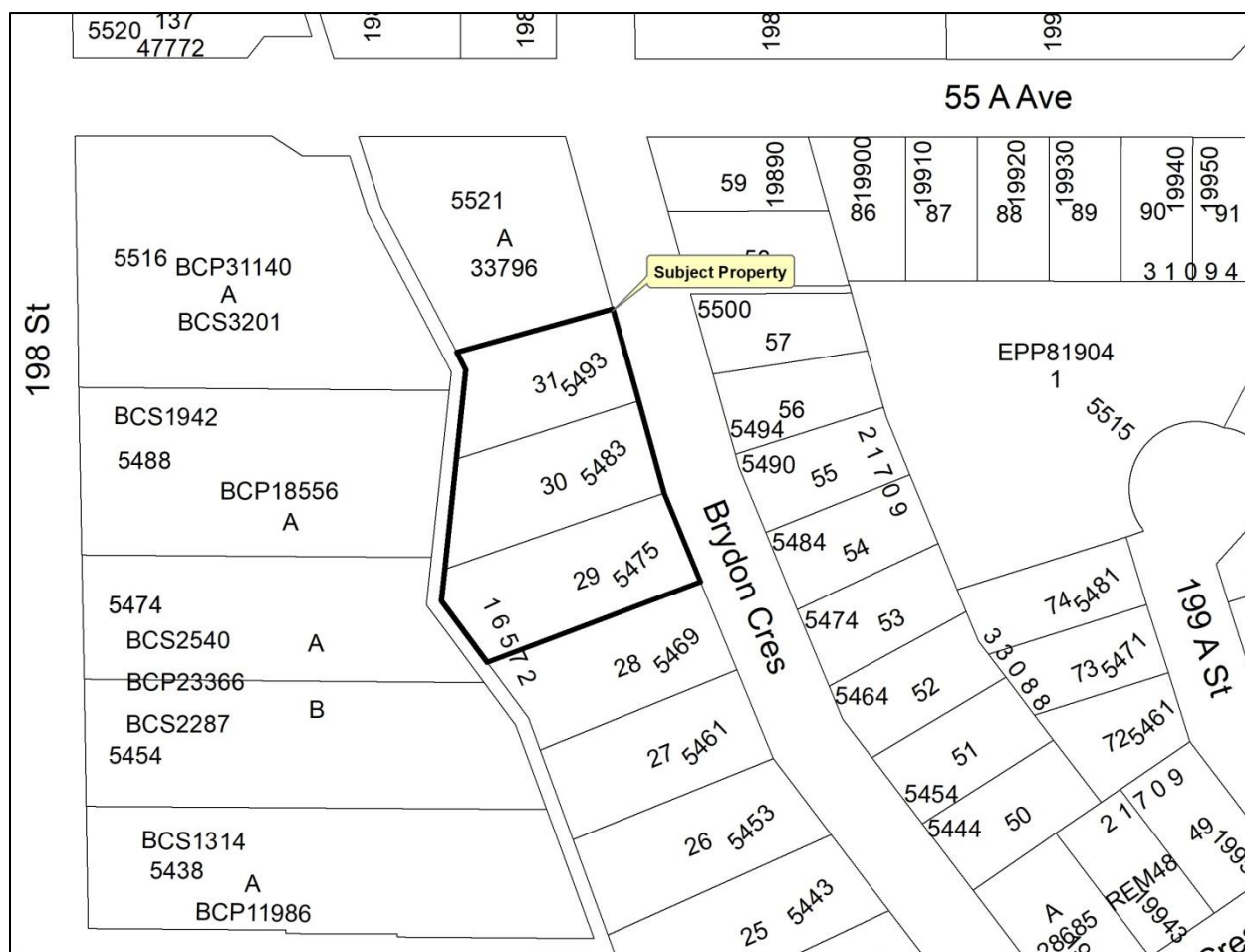
REZONING APPLICATION RZ 14-18 DEVELOPMENT PERMIT APPLICATION DP 14-18

Civic Address: 5475, 5483, 5493 Brydon Crescent

Legal Description: Lots 29, 30, 31, Section 3, Township 8, New Westminster District, Plan 16572

Applicant: L. Gosselin

Owner: 1165114 B.C. Ltd., T. Koziel, T. Kump, M. Kump





ADVISORY PLANNING COMMISSION REPORT

To: **Advisory Planning Commission**

Subject **Rezoning Application RZ 14-18**
Development Permit Application DP 14-18

From: Development Services & Economic
Development Department

File #: 6620.00
Doc #:

Date: July 19, 2018

COMMITTEE RECOMMENDATION:

THAT Rezoning Application RZ 14-18 and Development Permit Application DP 14-18 to accommodate a 5 storey, 78 unit condominium apartment located at 5475, 5483 and 5493 Brydon Crescent be approved subject to execution of a Development Servicing Agreement in compliance with the conditions outlined in the Director of Development Services & Economic Development report.

PURPOSE OF REPORT:

To consider a Rezoning Application and Development Permit Application by Whitetail Homes Inc. to accommodate a 5 storey, 78 unit condominium apartment.

POLICY:

The subject properties are zoned RS1 Single Family Residential in Zoning Bylaw No. 2100 and designated as High Density Residential in the Official Community Plan. All lands designated as High Density Residential are subject to a Development Permit to address building form and character.

COMMENTS/ANALYSIS:

Background Information:

Applicant:	Keystone Architecture & Planning Ltd.
Owner:	Whitetail Homes Inc.
Civic Addresses:	5475, 5483, 5493 Brydon Crescent
Legal Description:	Lots 29, 30, 31, Section 3, Township 8, New Westminster District Plan 16572
Site Area:	.98 acre
Lot Coverage:	34.2%
Total Parking Required:	116 spaces (including 16 visitor spaces)
Total Parking Provided:	116 spaces (including 16 visitor spaces)
Existing Zoning:	RS1 Single Family Residential Zone
Proposed Zoning:	CD 65 Comprehensive Development Zone
OCP Designation:	High Density Residential
Variances Requested:	None
Development Cost	\$986,706 (includes \$73,723.50 DCC
Charges:	Credit)
Community Amenity	\$156,000
Charge:	

Engineering Requirements:

The City's Zoning Bylaw, 1996, #2100 has requirements concerning landscaping for buffer zonings, parking and loading areas, and garbage and recycling containers, all of which applies to this design.

A) The developer is responsible for the following work which shall be designed by a Professional Engineer:

1. A Qualified Environmental Professional (QEP) must be engaged to complete an assessment of the proposed development to ensure compliance with the Riparian Area Regulations. Setbacks from the Brydon Creek should be shown on all plans, and protection of the riparian area must be part of the Erosion and Sediment control plan for all phases of work in accordance with the City of Langley Watercourse Protection Bylaw #2518.
2. Conduct a water flow test and provide fire flow calculations by a Professional Engineer to determine if the existing water network is

adequate for fire flows. Replacement of the existing watermain may be necessary to achieve the necessary pressure and flows to conform to Fire Underwriters Survey (FUS) "Water Supply for a Public Fire Protection, a Guide to Recommended Practice, 1995".

3. Additional C71P fire hydrants may be required to meet bylaw and firefighting requirements. Hydrant locations must be approved by the City of Langley Fire Department.
4. New water and sanitary and storm sewer service connections are required. The developer's engineer will determine the appropriate main tie in locations and size the connections for the necessary capacity. The capacity of the existing water and sewer mains should be assessed and any upgrades required servicing the site shall be designed and installed at the Developer's expense. All existing services shall be capped at the main, at the Developer's expense, upon application for Demolition permit.
5. A stormwater management plan for the site is required. Rainwater management measures used on site shall limit the release rate to mitigate flooding and environmental impacts as detailed in the Subdivision and Development Bylaw.
6. The site layout shall be designed by a civil engineer to ensure that the parking and access layout meets minimum design standards, including setbacks from property lines. Appropriate turning templates should be used to prove parking stalls and drive-aisles are accessible by the design vehicle.
7. The condition of the existing pavement surrounding the site shall be assessed by a geotechnical engineer. Pavements shall be adequate for an expected road life of 20 years under the expected traffic conditions for the class of road. Road construction and asphalt overlay designs shall be based on the analysis of the results of Benkelman Beam tests and test holes carried out on the existing road which is to be upgraded. If the pavement is inadequate it shall be remediated, at developer's cost.
8. The existing pavement on Brydon Crescent frontage requires top lift. This requirement will be fulfilled by a cash-in-lieu payment to the City for future top lift paving.
9. Eliminate the existing overhead hydro/tel wiring and poles along the frontage by replacing with underground hydro/tel infrastructure.
10. Street lighting on Brydon Crescent fronting the development shall be upgraded to LED fixtures to meet current City standards.

11. Existing driveway crossings along the development frontage to be removed and replaced with new sidewalk curb and gutter to match existing.

B) The developer is required to deposit the following bonding and connection fees:

1. The City would require a Security Deposit based on the estimated construction costs of installing civil works, as approved by the Director of Engineering, Parks and Environment.
2. The City would require inspection and administration fees in accordance to the Subdivision Bylaw based on a percentage of the estimated construction costs. (See Schedule A – General Requirement - GR5.1 for details).
3. A deposit for a storm, sanitary and water connection is required, which will be determined after detailed civil engineering drawings are submitted, sealed by a Professional Engineer.
4. The City would require a \$20,000 bond for the installation of a water meter to current standards.

NOTE: Deposits for utility services or connections are estimates only. The actual cost incurred for the work will be charged. The City will provide the developer with an estimate of connections costs, and the Developer will declare in writing that the estimate is acceptable.

C) The developer is required to adhere to the following conditions:

1. Undergrounding of hydro, telephone and cable services to the development site is required.
2. All survey costs and registration of documents with the Land Titles Office are the responsibility of the developer/owner.
3. A water meter is required to be installed outside in a vault away from any structures in accordance to the City's water meter specifications at the developer's cost. A double detector check valve assembly is required to be installed outside away from any structure in a vault as per the City's specifications.

4. An approved backflow prevention assembly must be installed on the domestic water connection immediately upon entering the building to provide premise isolation.
5. A "Stormceptor" or equivalent oil separator is required to treat site surface drainage.
6. A complete set of "as-built" drawings sealed by a Professional Engineer shall be submitted to the City after completion of the works. Digital drawing files in .pdf and .dwg format shall also be submitted.
7. The selection, location and spacing of street trees and landscaping shall be in accordance with the City of Langley's Official Community Plan Bylaw, 2005, No. 2600. The tree species shall be Magnolia 'Vulcan' and 'Little Gem.'
8. Stormwater run-off generated on the site shall not impact adjacent properties, or roadways.
9. Garbage and recycling enclosures shall be accommodated on the site and be designed to meet Metro Vancouver's "Technical Specifications for Recycling and Garbage Amenities in Multi-family and Commercial Developments - June 2015 Update."

Discussion:

The applicant is proposing to redevelop three existing single residential properties with a contemporary, 79 unit, 5-Storey condominium apartment building. Access to the underground parkade for tenant and visitor parking is off Brydon Crescent. The proposed condominium offers a wide range of unit types to provide a various market conditions. A variety of architectural elements are incorporated into the contemporary design and form and character of the building.

The proposed development benefitted from a Crime Prevention Through Environmental Design (CPTED) review by a qualified consultant whose recommendations were incorporated into the plans.

The subject application complies with the Official Community Plan's Development Permit Area Guidelines for Multifamily Residential Areas.

Fire Department Comments:

Langley City Fire-Rescue Service has reviewed the attached plans and provided preliminary comments to the applicant. The department will review, and make further comment, as the project continues to the building permit design stage.

Advisory Planning Commission:

In accordance with Development Application Procedures Bylaw No. 2488, the subject applications will be reviewed by the Advisory Planning Commission at the August 8, 2018 meeting. A copy of the APC minutes will be presented to Langley City Council at the August 23, 2018 Special Council meeting.

BUDGET IMPLICATIONS:

In accordance with Bylaw No. 2482, the proposed development would contribute \$986,706 to Development Cost Charge accounts and \$156,000 in Community Amenity Charges.

ALTERNATIVES:

1. Require changes to the applicant's proposal.
2. Deny application.

Prepared by:



Gerald Minchuk, MCIP, RPP
Director of Development Services & Economic Development

Concurrence:



Rick Bomhof, P.Eng.
Director of Engineering, Parks & Environment

Concurrence:



Rory Thompson, Fire Chief

Attachment(s):



**MINUTES OF THE
ADVISORY PLANNING COMMISSION MEETING**

**HELD IN LANGLEY CITY HALL
CKF COMMUNITY BOARDROOM**

**WEDNESDAY, AUGUST 8, 2018
7:00 PM**

- Present:** Councillor Jack Arnold, Chairman
Councillor Paul Albrecht, Vice-Chairman
John Beimers
Trish Buhler
Shelley Coburn, School District No. 35
Kimberley Lubinich
Ron Madsen
Dan Millsip
- Staff:** Gerald Minchuk, Director of Development Services & Economic Development
- Absent:** Constable Lisa Cormier, Langley RCMP
Kim Mullin
Jamie Schreder

1) RECEIPT OF MINUTES

MOVED BY Commission Member Buhler
SECONDED BY Commission Member Madsen

THAT the minutes for the June 13, 2018 Advisory Planning Commission meeting be received.

CARRIED

2) **REZONING APPLICATION RZ 11-18/DEVELOPMENT PERMIT APPLICATION DP 13-18- 19610, 19618-19626, 19630-19632, 19638, 19648-19650 -55A AVENUE & UNZONED PORTION OF CLOSED ROAD ON PLAN EPP83409**

The Director Development Services & Economic Development provided a brief overview of the planning context for the proposed Rezoning/Development Permit applications, and introduced Fred Adab, F..Adab Architects Inc. and Marlene Messer, PMG Landscape Architects who presented the proposed applications. Following discussion on building form and character, architectural design, lane closure, tandem parking, landscaping, Sustainability features, and CPTED security measures, it was:

MOVED BY Commission Member Madsen
SECONDED BY Commission Member Lubinich

OPPOSED BY Commission Member Millsp, Member Buhler

That Rezoning Application RZ 11-18/Development Permit Application DP 13-18 to accommodate a 3-storey, 41-unit townhouse development located at 19610, 19618-19626, 19630-19632, 19638, 19648-19650-55A Avenue & Un-zoned Portion of Closed Road On Plan EPP83409 be approved, subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report be approved.

CARRIED

3) **REZONING APPLICATION RZ 10-18/DEVELOPMENT PERMIT APPLICATION DP 12-18- 5423, 5433, 19900, 19910, 19920, 19930 BRYDON CRESCENT & UNZONED PORTION OF CLOSED ROAD ON PLAN EPP73909**

The Director Development Services & Economic Development provided a brief overview of the planning context for the proposed Rezoning/Development Permit applications, and introduced Wes Freisen, Points West Architecture, who presented the proposed applications. Following discussion on site plan, building form and character, building exterior, parking, lane closure, new pedestrian walkway and bridge, site landscaping, sustainability features and CPTED security measures, it was:

MOVED BY Commission Member Buhler
SECONDED BY Commission Member Millsip

That Rezoning Application RZ 10-18/Development Permit Application DP 12-18 to accommodate a 127 unit, four-story condominium apartment located at 5423, 5433, 19900, 19910, 19920, 19930 Brydon Crescent & Un-zoned Portion

of Closed Road on Plan EPP73909 be approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report be approved.

CARRIED

4) **REZONING APPLICATION RZ 13-18 - 20555-56 AVENUE**

The Director Development Services & Economic Development provided a brief overview of the planning context for the proposed "microbrewery" Rezoning application, and introduced Bill Ulrich, Simcic & Ulrich Architects who presented the proposed application. Following discussion on proposed building tenant improvements, hours of operation, outdoor patio, occupant capacity, Provincial liquor licensing, it was:

MOVED BY Commission Member Millsip
SECONDED BY Commission Member Buhler

That Rezoning Application RZ 13-18 to accommodate a 'microbrewery' located at 20555-56th Avenue be approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report be approved.

CARRIED

5) **REZONING APPLICATION RZ 14-18/DEVELOPMENT PERMIT APPLICATION DP 14-18- 5475, 5483, 5493-BRYDON CRESCENT**

The Director Development Services & Economic Development provided a brief overview of the planning context for the proposed Rezoning/Development Permit applications, and introduced Lukas Wykpis and Eric Poxleitner, Keystone Architecture & Planning Ltd. who presented the proposed applications. Following discussion on site plan, building form and character, landscaping, sustainability features and CPTED security measures, it was:

MOVED BY Commission Member Beimers
SECONDED BY Commission Member Lubinich

That Rezoning Application RZ 14-18/Development Permit Application DP 14-18 to accommodate a 78 unit, 5-storey townhouse development located at 5475, 5483, 5493- Brydon Crescent be approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report be approved.

CARRIED

Discussion:

Discussion ensued regarding the Council decision relating to tandem parking and that staff report back to the Advisory Planning Committee on action items arising from Committee motions.

Shelley Coburn, School District No. 35 Trustee expressed concerns the School District is facing due to significant development activity, reduced classroom sizes, and Provincial school funding.

6) Next Meetings:

Wednesday, September 12, 2018

7) ADJOURNMENT

MOVED BY Commission Member Coburn
SECONDED BY Commission Member Buhler

THAT the meeting adjourn at 9:15 P.M.

CARRIED



ADVISORY PLANNING COMMISSION CHAIRMAN



DIRECTOR OF DEVELOPMENT SERVICES & ECONOMIC DEVELOPMENT

Certified Correct



sheet schedule

SD0.01	COVER PAGE	SD3.07	5th LEVEL PLAN
SD1.01	PROJECT DATA	SD3.08	ROOF LEVEL PLAN
SD1.02	CONTEXT PLANS	SD4.01	BUILDING ELEVATIONS
SD1.20	SITE PLAN	SD4.02	BUILDING ELEVATIONS
SD1.21	SITE SECTIONS		
SD1.33	3D MASSING PERSPECTIVES		
SD1.34	SITE PERSPECTIVES		
SD2.01	UNIT PLANS		
SD2.02	UNIT PLANS		
SD2.03	UNIT PLANS		
SD3.01	P2 LEVEL PLAN		
SD3.02	P1 LEVEL PLAN		
SD3.03	1st LEVEL PLAN		
SD3.04	2nd LEVEL PLAN		
SD3.05	3rd LEVEL PLAN		
SD3.06	4th LEVEL PLAN		

luc gosselin

T 604.864.0714
F 604.626.2214

104-3550 mt. lehman road
abbotsford, bc v4x 2m9

keystone architecture & planning ltd.

T 604.850.0577
F 1.855.398.4578

110 - 2881 garden street
abbotsford, bc v2t 4x1



BRYDON GREEN 2
5475, 5483 & 5493 BRYDON CRESENT, LANGLEY CITY

COVER PAGE
SCALE: N.T.S.

ISSUED FOR DEVELOPMENT PERMIT
07/23/18 REVISION #:
CITY OF LANGLEY FILE # - XXX-XXX
PROJECT NUMBER: 18-113

SD0.01

0.1. project data

PROJECT:	BRYDON GREEN (RESIDENTIAL)
PROPOSED ZONING	CD (COMPREHENSIVE DEVELOPMENT ZONE)
CIVIC ADDRESS:	5475, 5483 & 5493 BRYDON CRESENT, LANGLEY CITY, B.C.
LEGAL DESCRIPTION :	LOTS 29, 30, 31, SECTION 3, TOWNSHIP 8, NEW WESTMINSTER DISTRICT, PLAN 16572
VARIANCES APPLIED FOR:	
BYLAW EXEMPTIONS:	
MAXIMUM BUILDING HEIGHT:	5 STOREYS
MINIMUM BUILDING ELEVATION:	
TOTAL SITE AREA GROSS :	42,824 S.F. (3,978 S.M.) (0.98 ACRES)
TOTAL FAR :	72,812 S.F. (RESIDENTIAL) - 2,307 S.F. (AMENITY SPACE) = 70,505 S.F. / 42,824 S.F. = 1.65
TOTAL LOT COVERAGE:	14,651 S.F. / 42,824 S.F. = 34.2%
BUILDING HEIGHT :	5 STOREY

0.2. parking

REQUIRED (BYLAW REQUIREMENT)			
	UNITS / S.F.	FACTOR	TOTAL
TENANT (2 BED & FLEX, 2 BED)	42	*1.3	54 (53.3)
TENANT (1 BED & FLEX, 1 BED, STUDIO)	36	*1.2	44 (43.2)
VISITOR	78	*0.2	16 (15.6)
TOTAL STALLS			114
PROVIDED			
	SMALL CAR	H/C	TOTAL
TENANT (P2 FLOOR)	14	0	40
TENANT (P1 FLOOR)	16	5	59 (INCLUDING 2 EV STALLS)
VISITOR (P1 FLOOR)	6	1	16
TOTAL STALLS	26	6	115
BIKE PARKING REQUIRED (BYLAW REQUIREMENT)			
	UNITS	FACTOR	TOTAL
BIKE STALLS (RESIDENT / UNIT)	78	*0.5	39
BIKE STALLS (VISITOR / BLDG)	1	*6 / BLDG	6
TOTAL STALLS			45
BIKE PARKING PROVIDED			
			TOTAL
BIKE STALLS (RESIDENT / PARKADE)			39
BIKE STALLS (VISITOR / PARKADE)			6
TOTAL STALLS			45
STORAGE LOCKER REQUIRED (BYLAW REQUIREMENT)			
	UNITS	FACTOR	TOTAL
STORAGE LOCKER (RESIDENT / PARKADE)	78	1/UNIT	78
TOTAL			78
STORAGE LOCKER PROVIDED			
			TOTAL
STORAGE LOCKER (RESIDENT / PARKADE)			78

0.3. unit count

RESIDENTIAL	1st FLOOR	2nd FLOOR	3rd FLOOR	4th FLOOR	5th FLOOR	TOTAL	
2 BED & FLEX	0	1	1	1	1	4	5.1%
2 BED	7	7	8	8	8	38	48.7%
1 BED & FLEX	4	4	4	4	4	20	25.7%
1 BED	4	3	2	2	2	13	16.7%
STUDIO	0	0	1	1	1	3	3.8%
TOTAL UNITS	15	15	16	16	16	78	100%

0.4. unit floor area summary

UNIT TYPE	BEDROOMS	1ST	2ND	3RD	4TH	5TH	TOTAL	AREA	TOTAL AREA
A	2 BED	2	2	2	2	2	10	866 S.F.	8,660 S.F.
B	1 BED	2	2	2	2	2	10	600 S.F. (x8) / 604 S.F. (x4)	6,016 S.F.
B1	1 BED	1					1	609 S.F.	609 S.F.
B2	1 BED	1					1	601 S.F.	601 S.F.
B3	1 BED		1				1	664 S.F.	664 S.F.
B4	1 BED & FLEX			1	1	1	3	715 S.F.	2,145 S.F.
C	1 BED & FLEX	1	1	1	1	1	5	677 S.F. (x4) / 680 S.F. (x1)	3,388 S.F.
D	1 BED & FLEX	1					1	684 S.F.	684 S.F.
D1	1 BED & FLEX		1				1	738 S.F.	738 S.F.
D2	2 BED			1	1	1	3	788 S.F.	2,364 S.F.
E	2 BED	2	2	2	2	2	10	893 S.F. (x8) / 894 S.F. (x2)	8,932 S.F.
E1	2 BED	1	1	1	1	1	5	899 S.F. (x3) / 901 S.F. (x2)	4,499 S.F.
E2	2 BED	1	1	1	1	1	5	908 S.F.	4,540 S.F.
E3	2 BED	1	1	1	1	1	5	1,019 S.F.	5,095 S.F.
F	1 BED & FLEX	1	1	1	1	1	5	752 S.F.	3,760 S.F.
F1	1 BED & FLEX	1	1	1	1	1	5	690 S.F.	3,450 S.F.
G	2 BED & FLEX	1	1	1	1	1	4	1,020 S.F.	4,080 S.F.
H	STUDIO			1	1	1	3	451 S.F.	1,353 S.F.
TOTAL		15	15	16	16	16	78		61,578 S.F.

NOTE: ALL NON-GROUND ORIENTED UNITS HAVE PRIVATE DECKS PROVIDED (MIN 50 S.F. EACH)

0.5. building floor area

RESIDENTIAL	UNITS	AMENITY	CIRCULATION	TOTAL
1ST	11,571 S.F.	461 S.F.	2,619 S.F.	14,651 S.F.
2ND	12,096 S.F.	461 S.F.	1,651 S.F.	14,208 S.F.
3RD	12,637 S.F.	461 S.F.	1,553 S.F.	14,651 S.F.
4TH	12,637 S.F.	461 S.F.	1,553 S.F.	14,651 S.F.
5TH	12,637 S.F.	461 S.F.	1,553 S.F.	14,651 S.F.
TOTAL	61,578 S.F.	2,305 S.F.	8,929 S.F.	72,812 S.F.
PARKADE				
P2	16,744 S.F.			
P1	28,846 S.F.			
TOTAL	45,590 S.F.			45,590 S.F.
GRAND TOTAL				118,402 S.F.
FLOOR AREA SUMMARY				
EFFICIENCY				84.6%
GROSS BLDG AREA				72,812 S.F.
NET UNIT AREA				61,578 S.F.
NET CIRCULATION AREA				8,929 S.F.
INDOOR AMENITY				2,305 S.F.
NOTE: NI = NOT INCLUDED IN TOTALS				



looking north west



looking south west

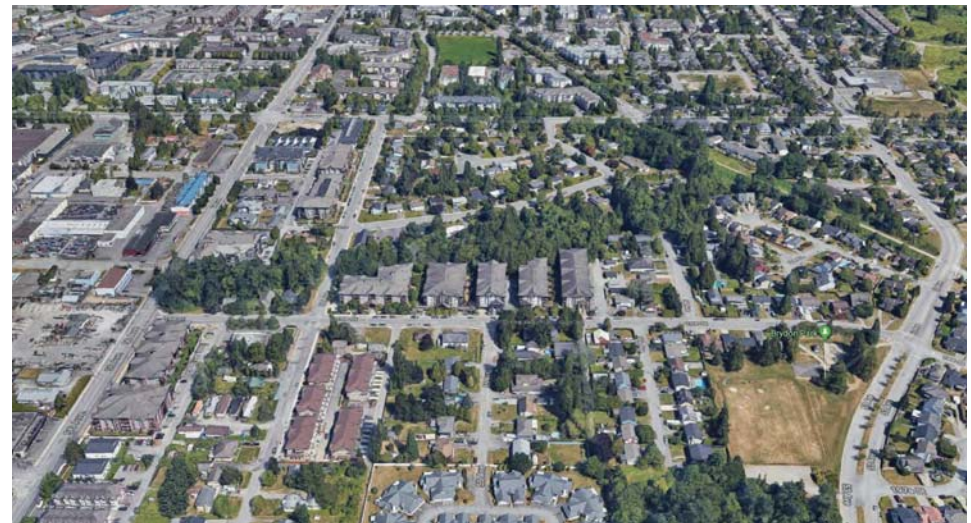


looking west



context plan

1" = 200'-0"



satellite plan



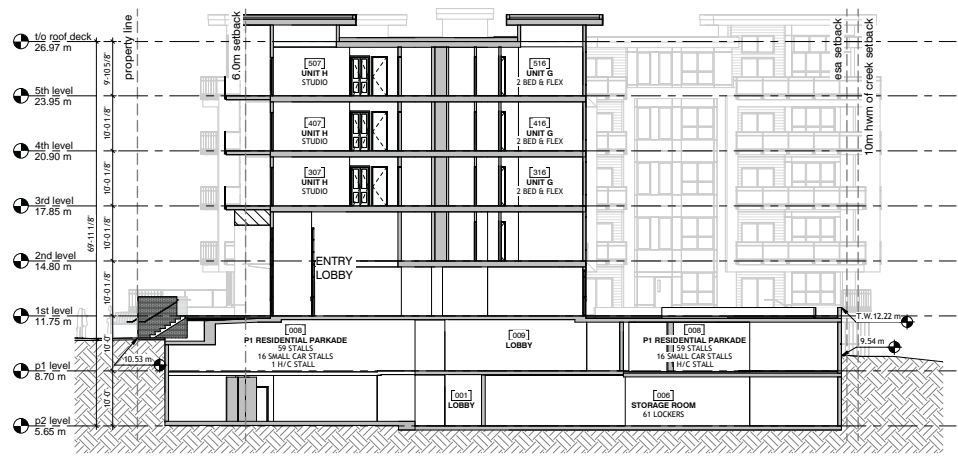
BRYDON GREEN 2
5475, 5483 & 5493 BRYDON CRESENT, LANGLEY CITY

SITE PLAN
SCALE: 1/16" = 1'-0"

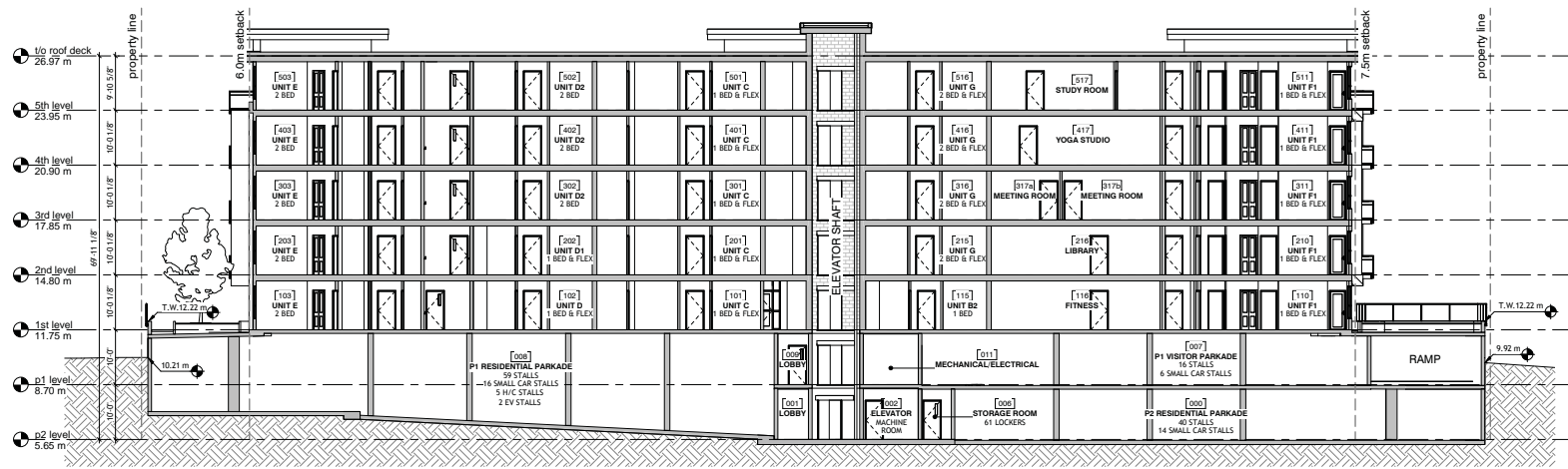


ISSUED FOR DEVELOPMENT PERMIT
07/23/18 REVISION #:
CITY OF LANGLEY FILE # - XXX-XXX
PROJECT NUMBER: 18-113

SD1.20



site section a
3/32" = 1'-0"



site section b
3/32" = 1'-0"



north east perspective

12" = 1'-0"



north west perspective

12" = 1'-0"



south east perspective

12" = 1'-0"



south west perspective

12" = 1'-0"



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BRYDON GREEN 2

5475, 5483 & 5493 BRYDON CRESENT, LANGLEY CITY

3D MASSING PERSPECTIVES

SCALE: 12" = 1'-0"

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07/23/18 REVISION #:
CITY OF LANGLEY FILE # - XXX-XXX
PROJECT NUMBER: 18-113

SD1.33



front entry

12" = 1'-0"



corner frame

12" = 1'-0"



courtyard entry

12" = 1'-0"



courtyard

12" = 1'-0"



entry stair & ramp

12" = 1'-0"



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BRYDON GREEN 2

5475, 5483 & 5493 BRYDON CRESENT, LANGLEY CITY

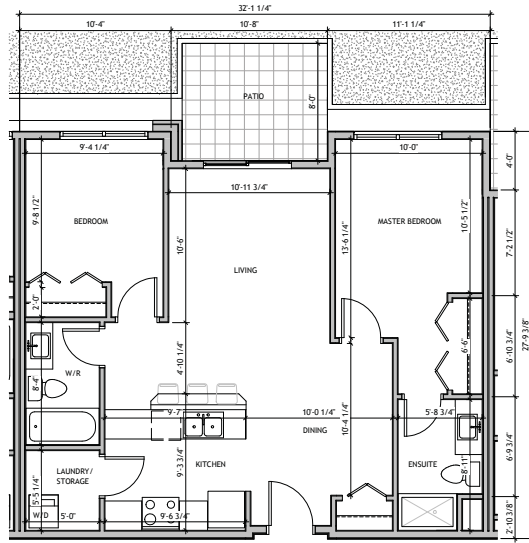
SITE PERSPECTIVES

SCALE: N.T.S.

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07/23/18 REVISION #:
CITY OF LANGLEY FILE # - XXX-XXX
PROJECT NUMBER: 18-113

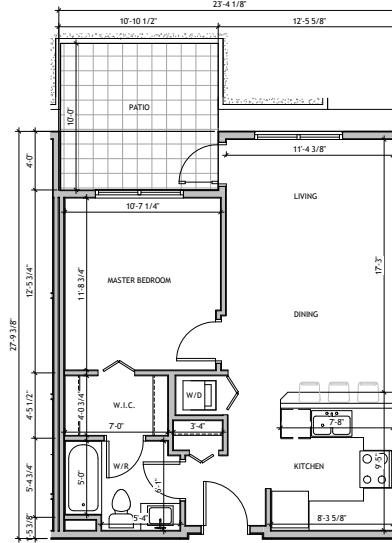
SD1.34



unit a

2 BED - 866 SF
OF UNITS: 10
FLOORS: 1 - 5

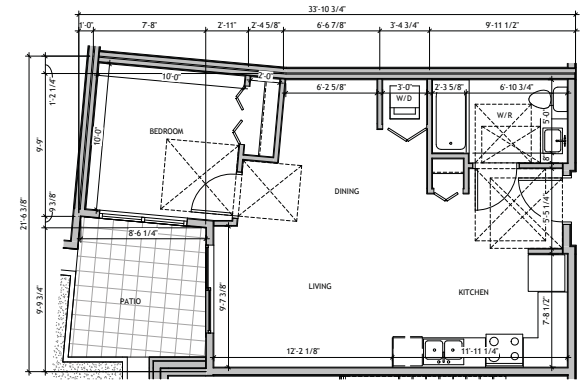
1/4" = 1'-0"



unit b

1 BED - 600-604 SF
OF UNITS: 10
FLOORS: 1 - 5

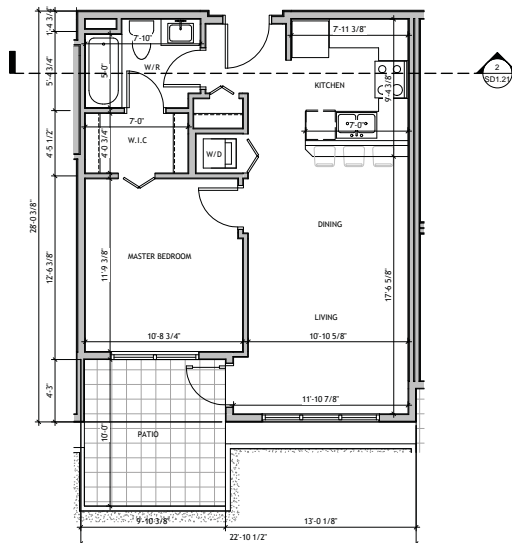
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unit b1 (adaptable)

1 BED - 586 SF
OF UNITS: 1
FLOORS: 1

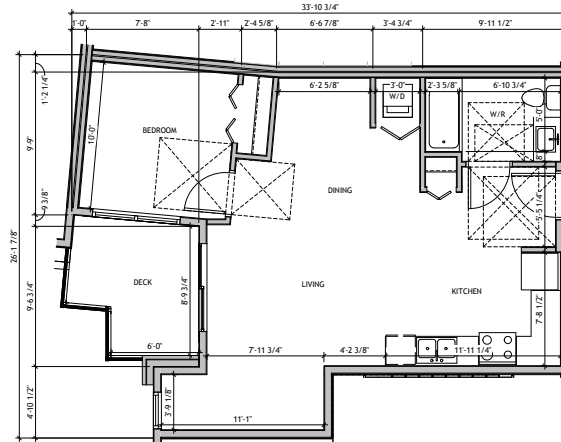
1/4" = 1'-0"



unit b2

1 BED - 598 SF-601 SF
OF UNITS: 2
FLOORS: 1 - 2

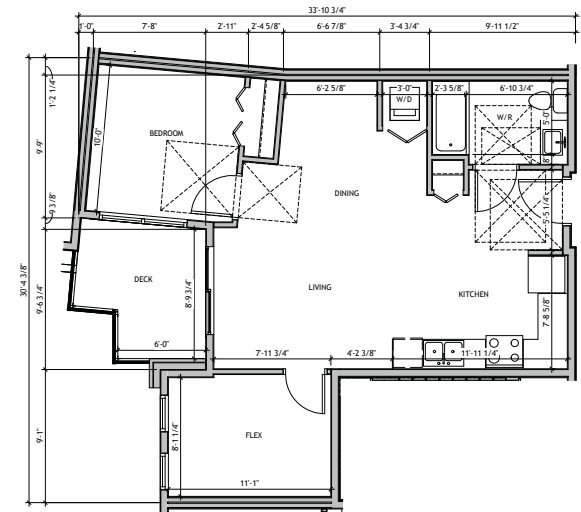
1/4" = 1'-0"



unit b3 (adaptable)

1 BED - 664 SF
OF UNITS: 1
FLOORS: 2

1/4" = 1'-0"



unit b4 (adaptable)

1 BED & FLEX - 715 SF
OF UNITS: 3
FLOORS: 3-5

1/4" = 1'-0"



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BRYDON GREEN 2

5475, 5483 & 5493 BRYDON CRESENT, LANGLEY CITY

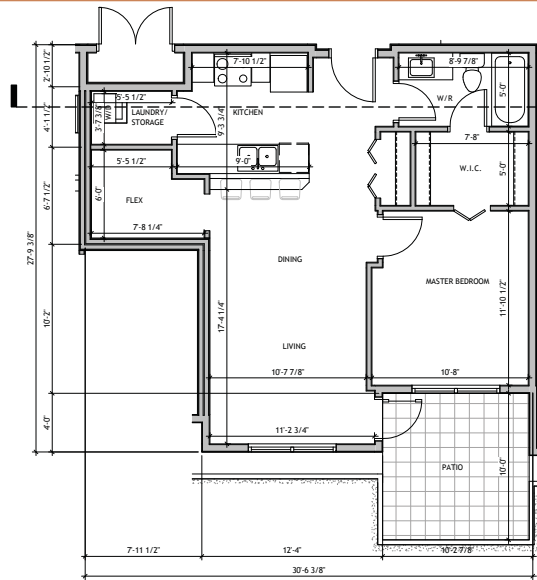
UNIT PLANS

SCALE: 1/4" = 1'-0"

ISSUED FOR DEVELOPMENT PERMIT

07/23/18 REVISION #:
CITY OF LANGLEY FILE # - XXX-XXX
PROJECT NUMBER: 18-113

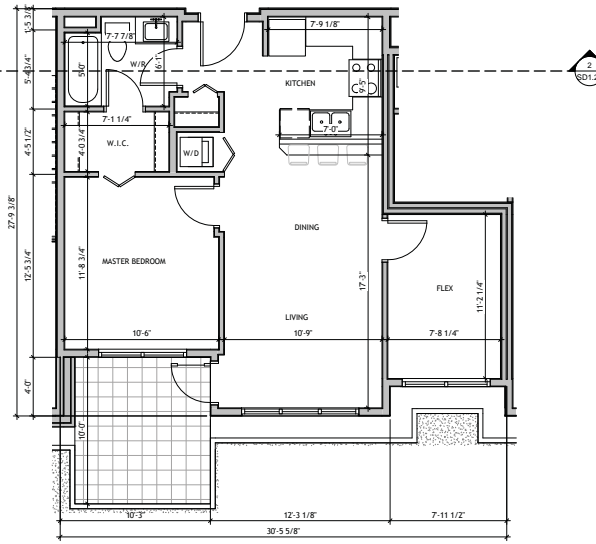
SD2.01



unit c

1 BED & FLEX - 677-680 SF
OF UNITS: 5
FLOORS: 1 - 5

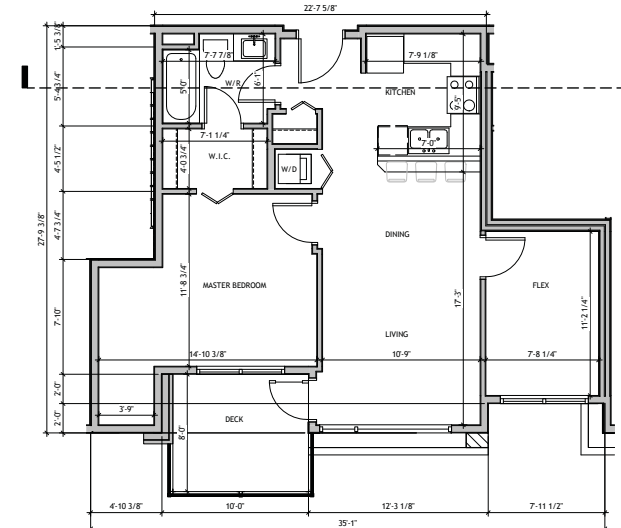
1/4" = 1'-0"



unit d

1 BED & FLEX - 684 SF
OF UNITS: 1
FLOORS: 1

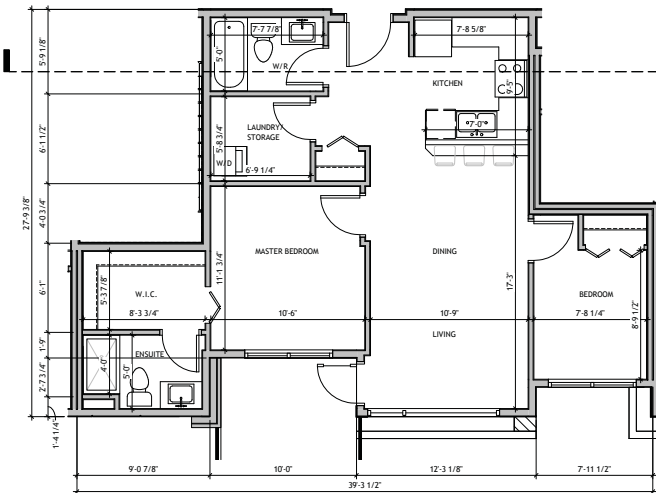
1/4" = 1'-0"



unit d1

1 BED & FLEX - 738 SF
OF UNITS: 1
FLOORS: 2

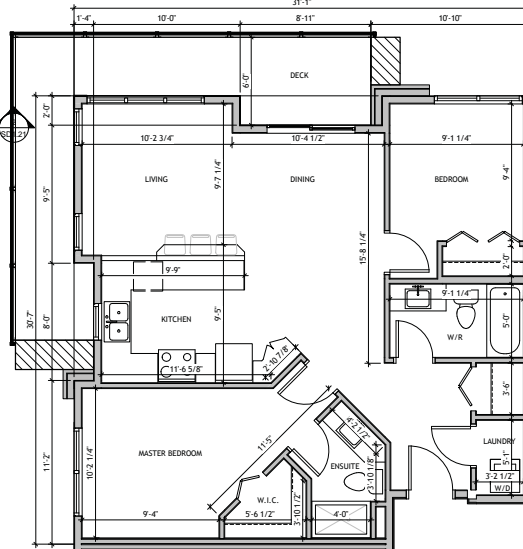
1/4" = 1'-0"



unit d2

2 BED - 788 SF
OF UNITS: 3
FLOORS: 3 - 5

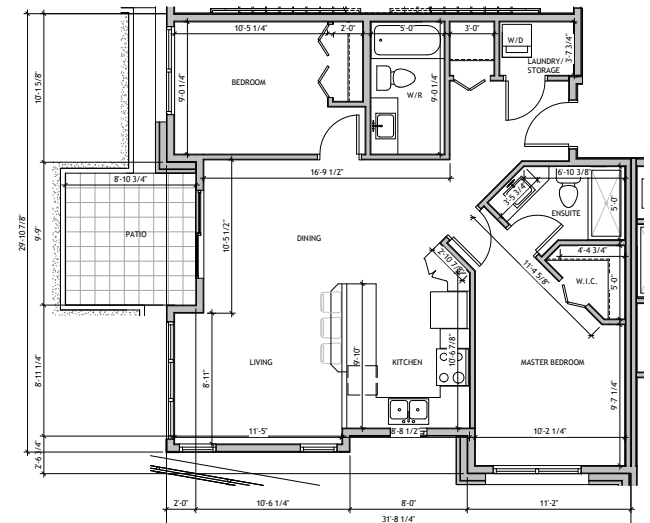
1/4" = 1'-0"



unit e

2 BED - 893-894 SF
OF UNITS: 1
FLOORS: 1 - 5

1/4" = 1'-0"



unit e1

2 BED - 899-901 SF
OF UNITS: 5
FLOORS: 1 - 5

1/4" = 1'-0"



keystonearch.ca

BRYDON GREEN 2

5475, 5483 & 5493 BRYDON CRESENT, LANGLEY CITY

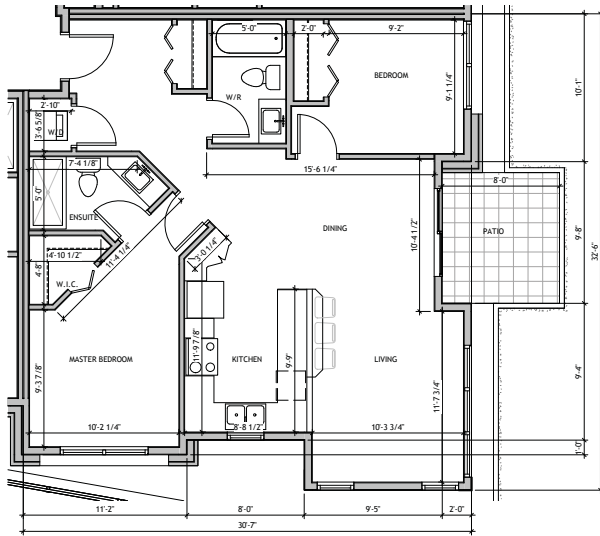
UNIT PLANS

SCALE: 1/4" = 1'-0"

ISSUED FOR DEVELOPMENT PERMIT

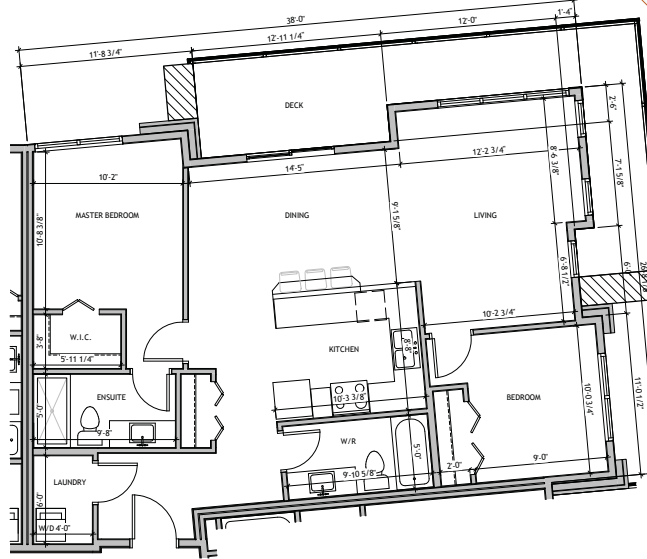
07/23/18 REVISION #:
CITY OF LANGLEY FILE # - XXX-XXX
PROJECT NUMBER: 18-113

SD2.02



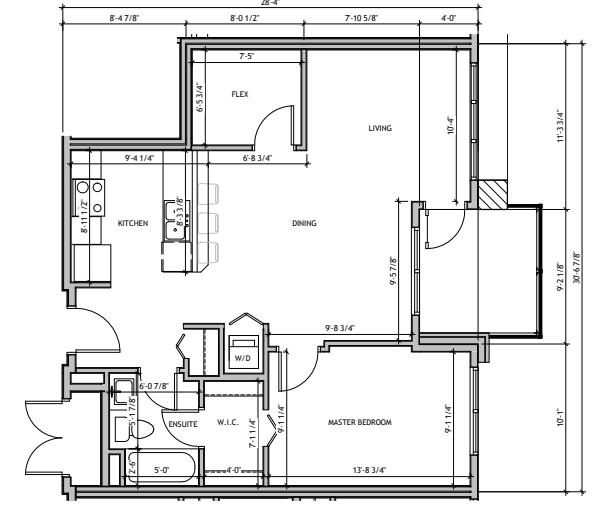
unit e2
1/4" = 1'-0"

2 BED - 908 SF
OF UNITS: 5
FLOORS: 1 - 5



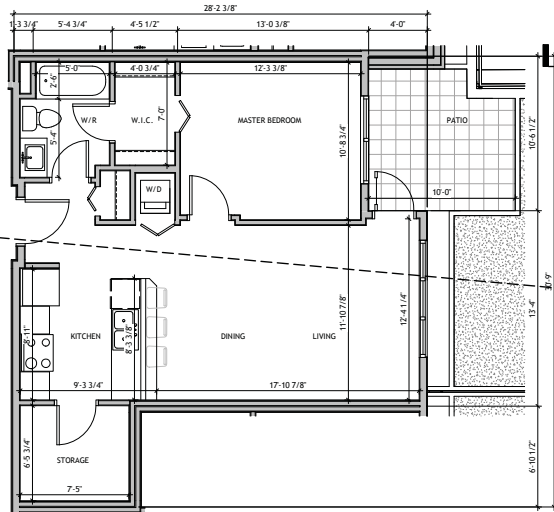
unit e3
1/4" = 1'-0"

2 BED - 1019 SF
OF UNITS: 5
FLOORS: 1 - 5



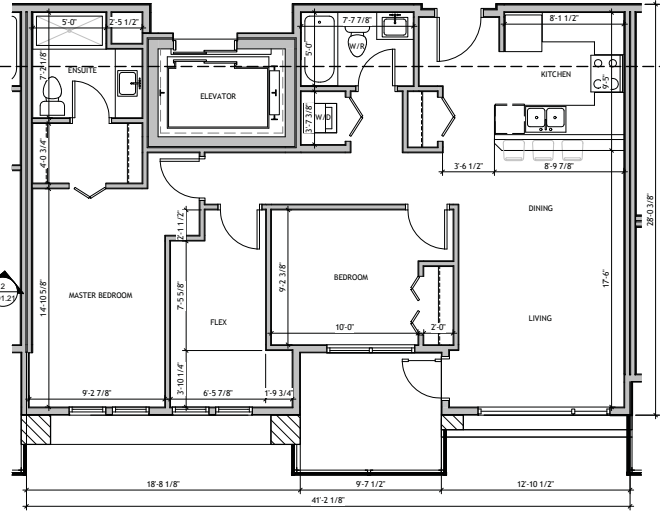
unit f
1/4" = 1'-0"

1 BED & FLEX - 752 SF
OF UNITS: 5
FLOORS: 1 - 5



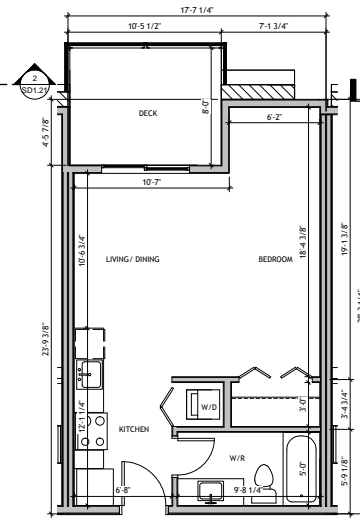
unit f1
1/4" = 1'-0"

1 BED & FLEX - 690 SF
OF UNITS: 5
FLOORS: 1 - 5



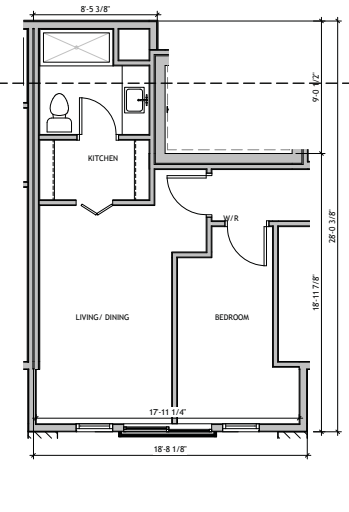
unit g
1/4" = 1'-0"

2 BED & FLEX - 1020 SF
OF UNITS: 2
FLOORS: 3 - 5



unit h
1/4" = 1'-0"

STUDIO - 451 SF
OF UNITS: 3
FLOORS: 3 - 5



unit h1
1/4" = 1'-0"

STUDIO - 422 SF
OF UNITS: 1
FLOORS: 2



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BRYDON GREEN 2

5475, 5483 & 5493 BRYDON CRESENT, LANGLEY CITY

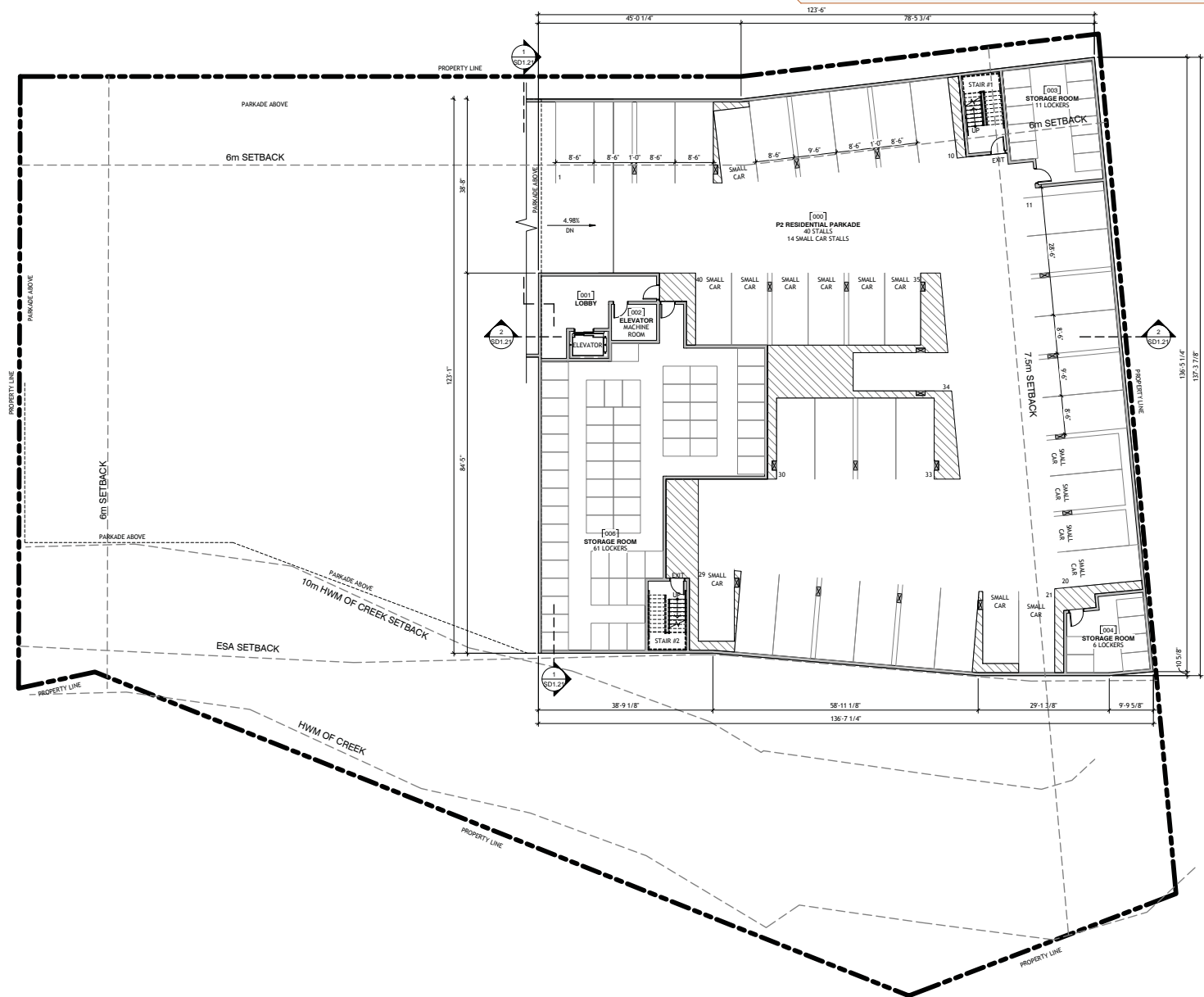
UNIT PLANS

SCALE: 1/4" = 1'-0"

ISSUED FOR DEVELOPMENT PERMIT

07/23/18 REVISION #:
CITY OF LANGLEY FILE # - XXX-XXX
PROJECT NUMBER: 18-113

SD2.03



keystonearch.ca

BRYDON GREEN 2

5475, 5483 & 5493 BRYDON CRESENT, LANGLEY CITY

P2 LEVEL PLAN

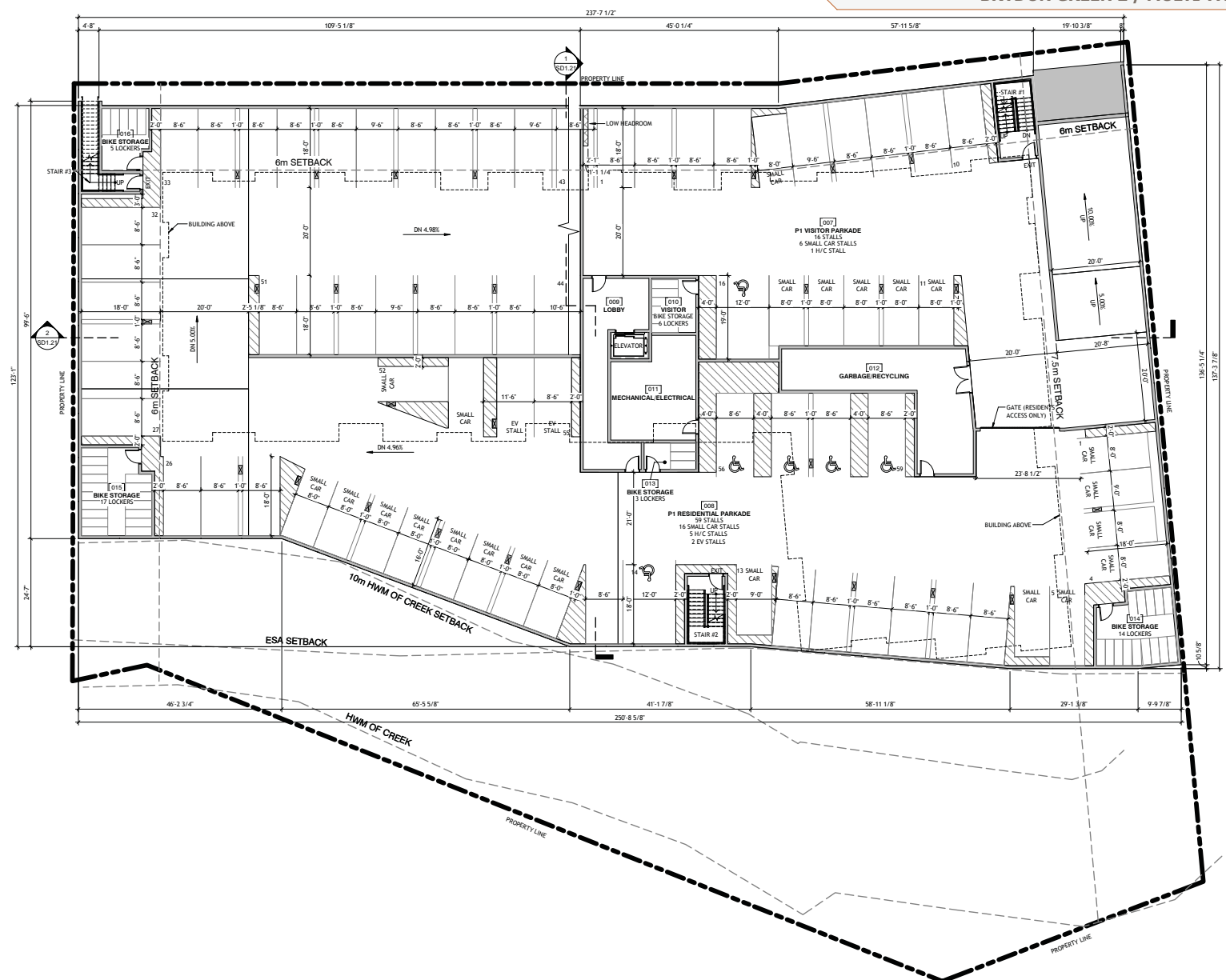
SCALE: 3/32" = 1'-0"



ISSUED FOR DEVELOPMENT PERMIT

07/23/18 REVISION #:
CITY OF LANGLEY FILE # - XXX-XXX
PROJECT NUMBER: 18-113

SD3.01



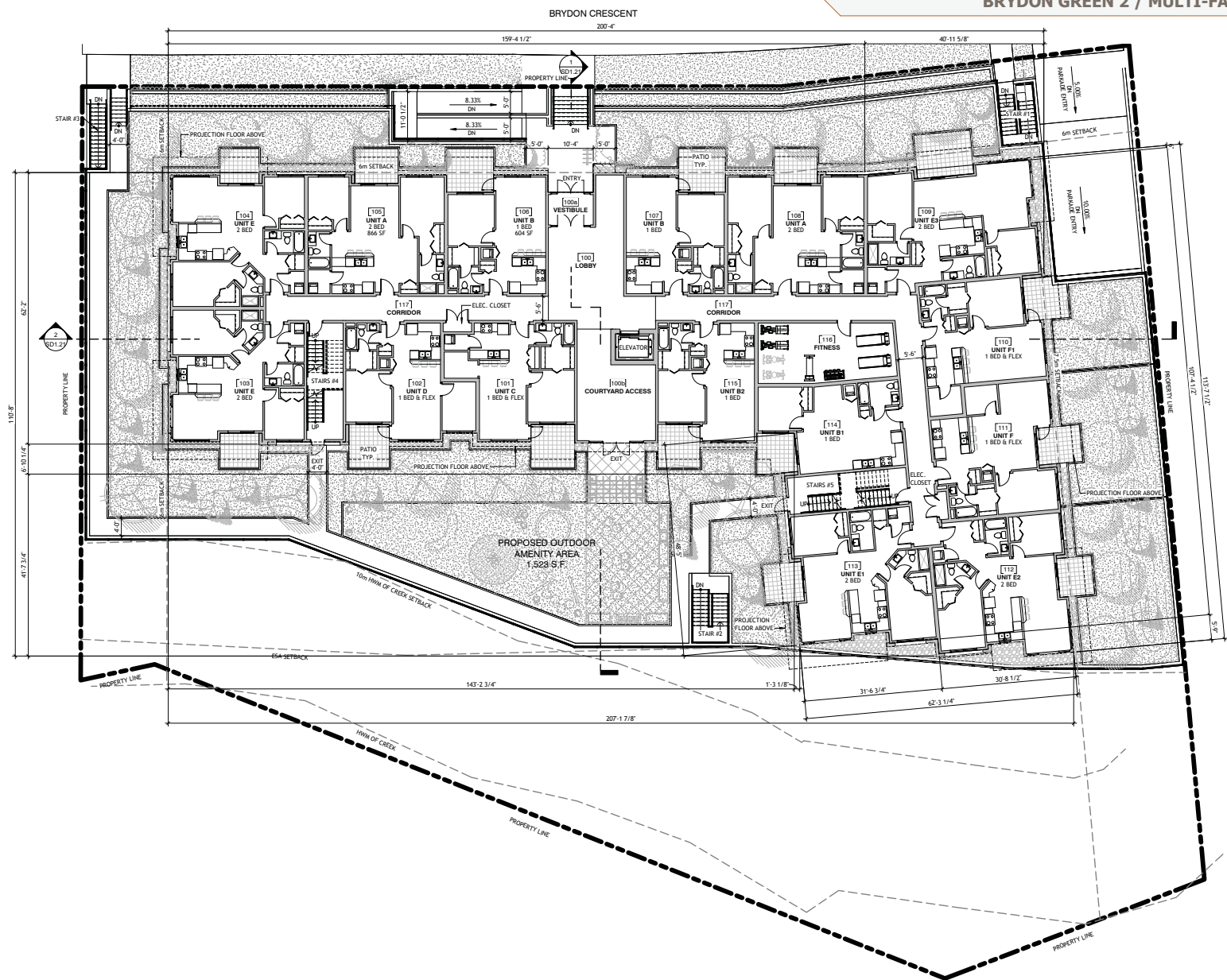
BRYDON GREEN 2
5475, 5483 & 5493 BRYDON CRESENT, LANGLEY CITY

P1 LEVEL PLAN
SCALE: 3/32" = 1'-0"



ISSUED FOR DEVELOPMENT PERMIT
07/23/18 REVISION #:
CITY OF LANGLEY FILE # - XXX-XXX
PROJECT NUMBER: 18-113

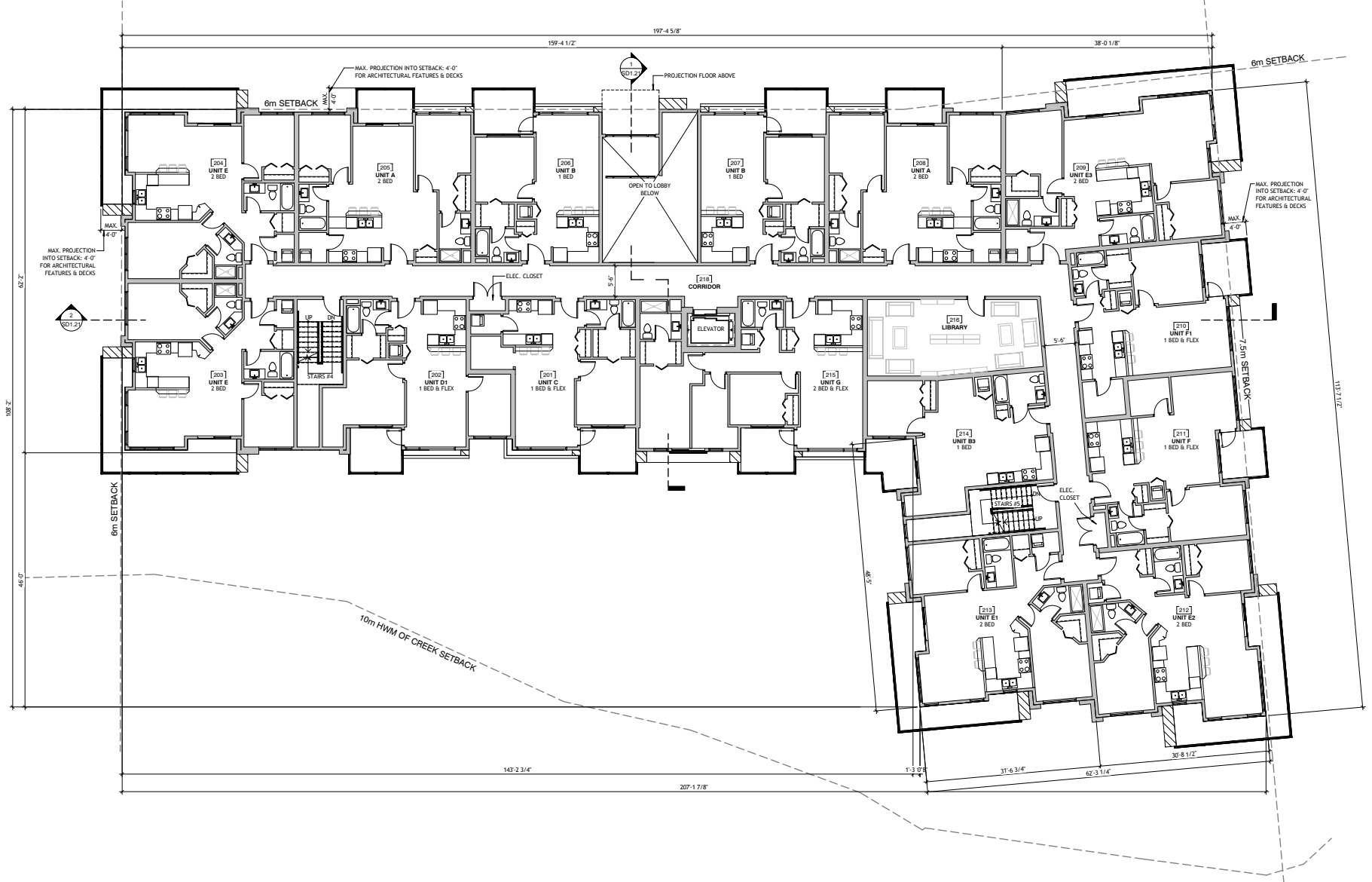
SD3.02



1st LEVEL PLAN
SCALE: 3/32" = 1'-0"

ISSUED FOR DEVELOPMENT PERMIT
07/23/18 REVISION #:
CITY OF LANGLEY FILE # - XXX-XXX
PROJECT NUMBER: 18-113

SD3.03



BRYDON GREEN 2

5475, 5483 & 5493 BRYDON CRESENT, LANGLEY CITY

2nd LEVEL PLAN

SCALE: 1/8" = 1'-0"



ISSUED FOR DEVELOPMENT PERMIT

07/23/18 REVISION #:
CITY OF LANGLEY FILE # - XXX-XXX
PROJECT NUMBER: 18-113

SD3.04

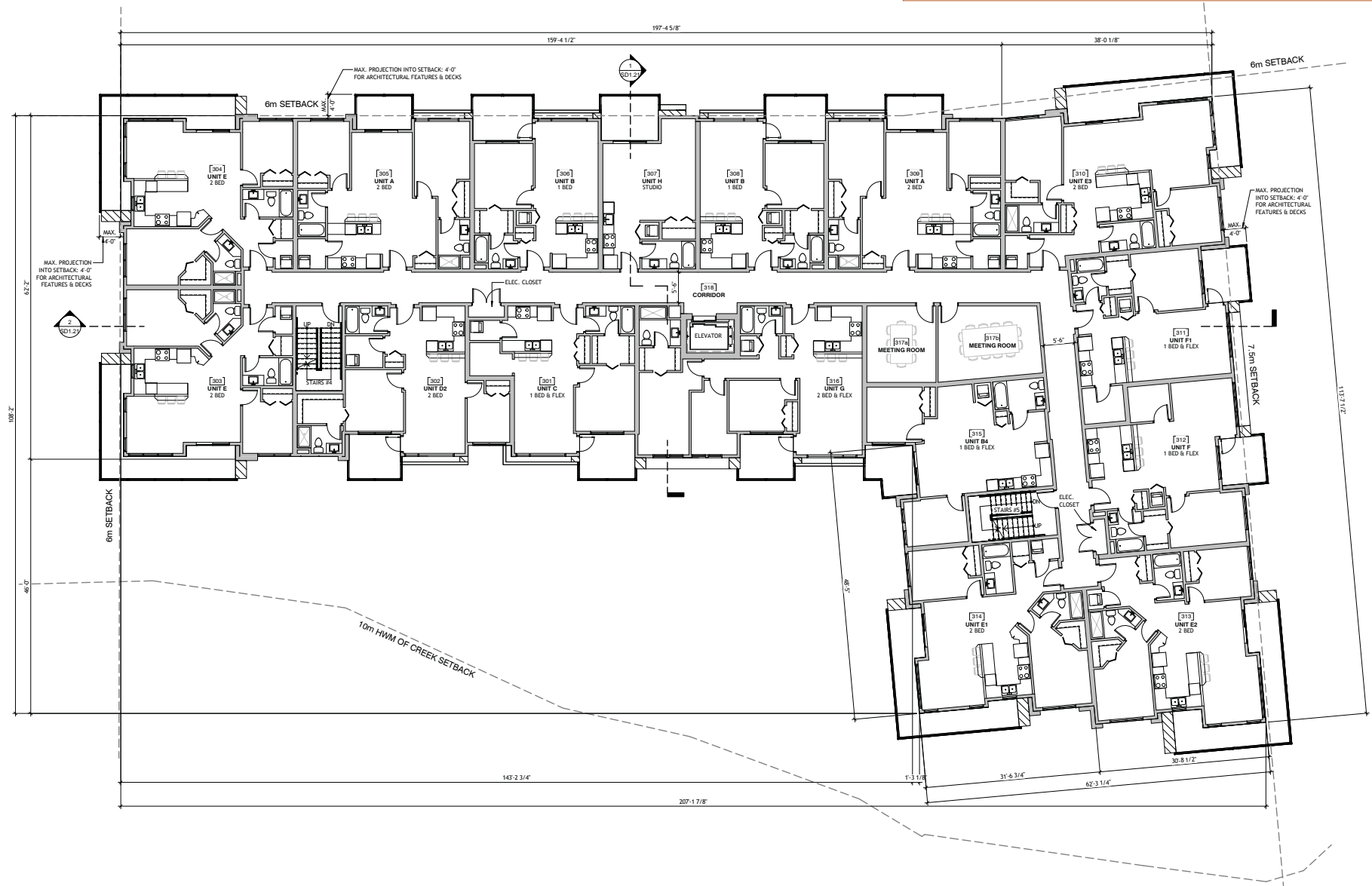
5475, 5483 & 5493 BRYDON CRESENT, LANGLEY CITY

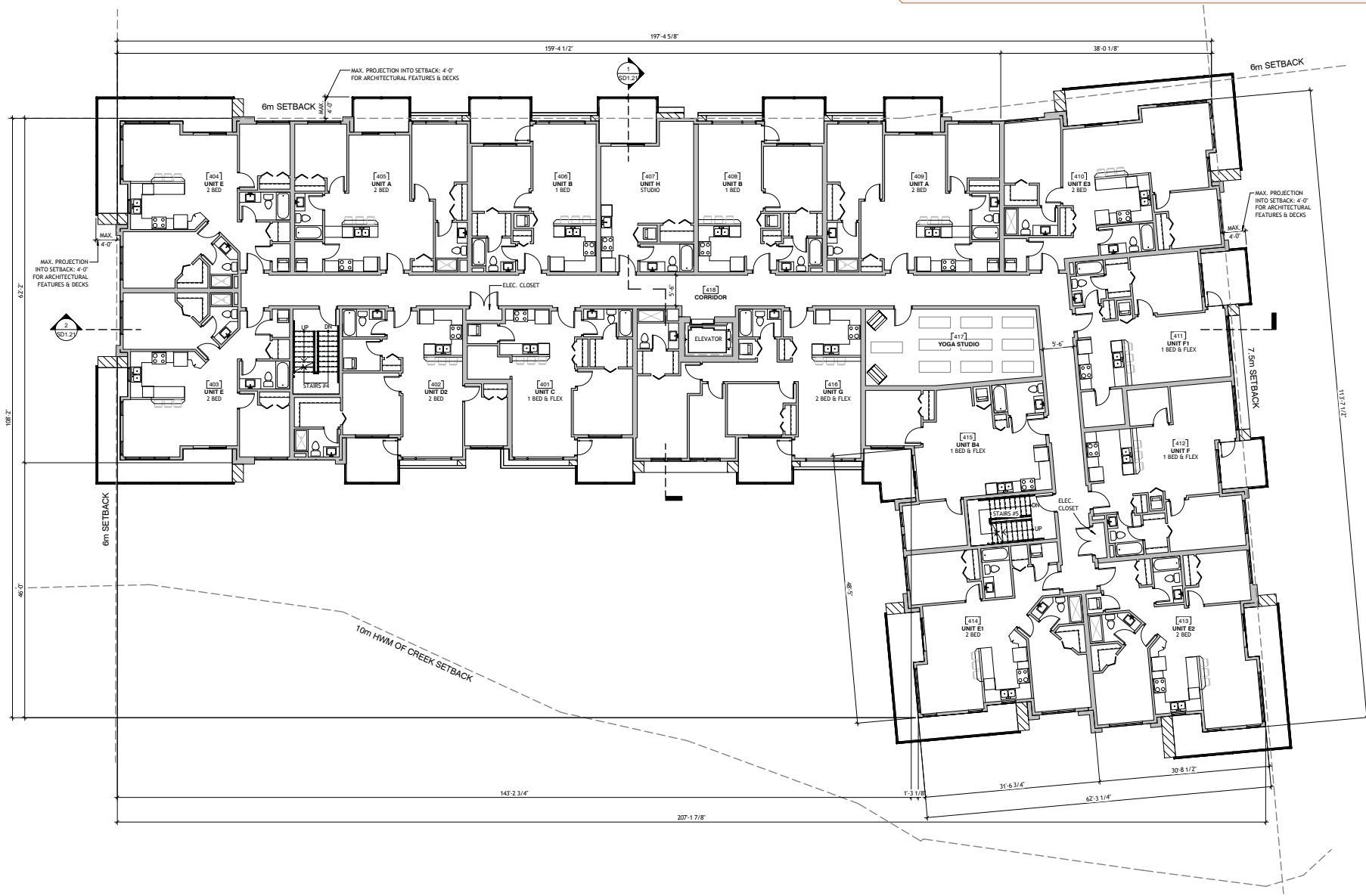
SCALE: $1/8" = 1'-0"$



07/23/18 REVISION #:
CITY OF LANGLEY FILE # - XXX-XXX
PROJECT NUMBER: 18-113

SD3.05





BRYDON GREEN 2
5475, 5483 & 5493 BRYDON CRESENT, LANGLEY CITY

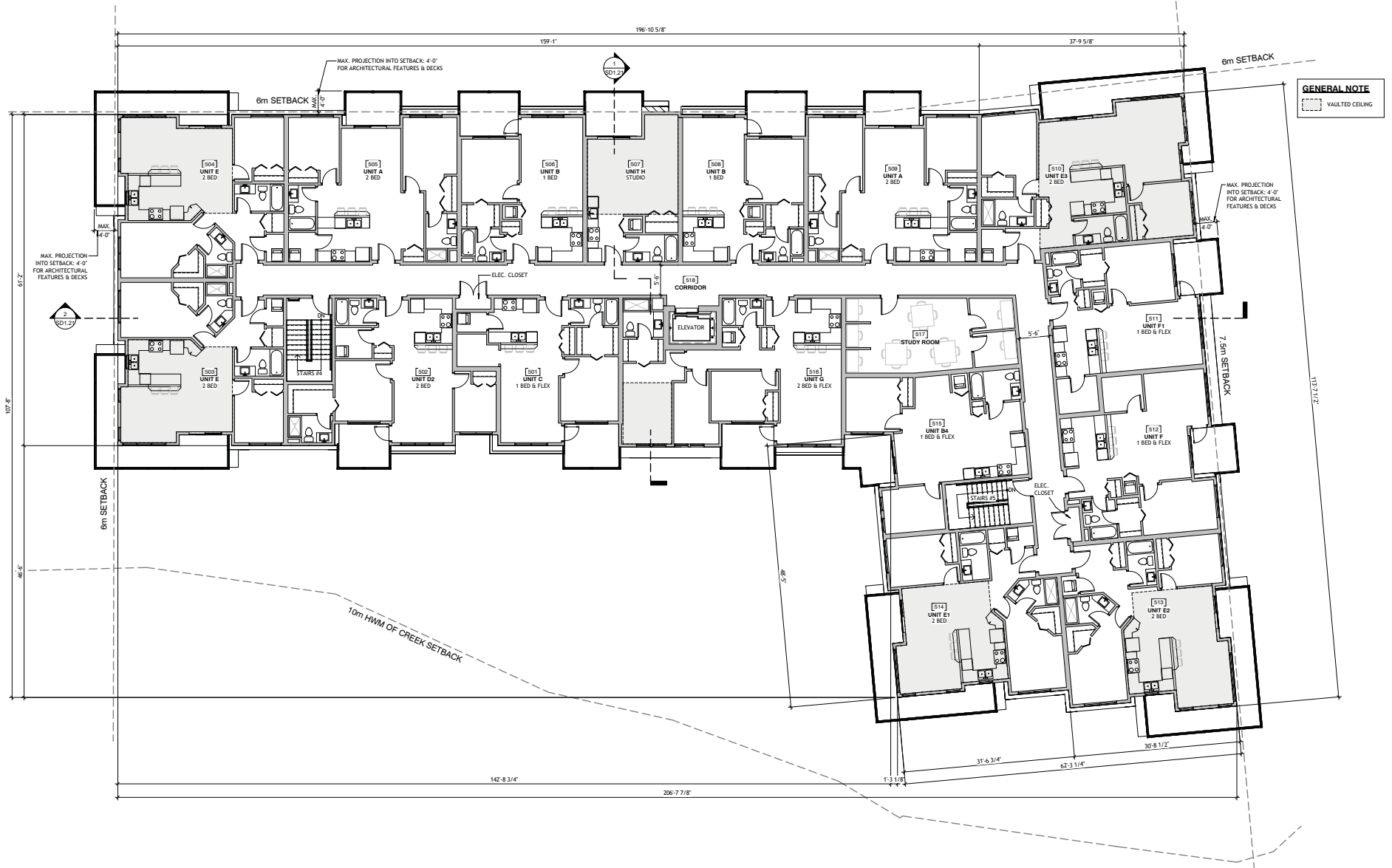
4th LEVEL PLAN
SCALE: 1/8" = 1'-0"

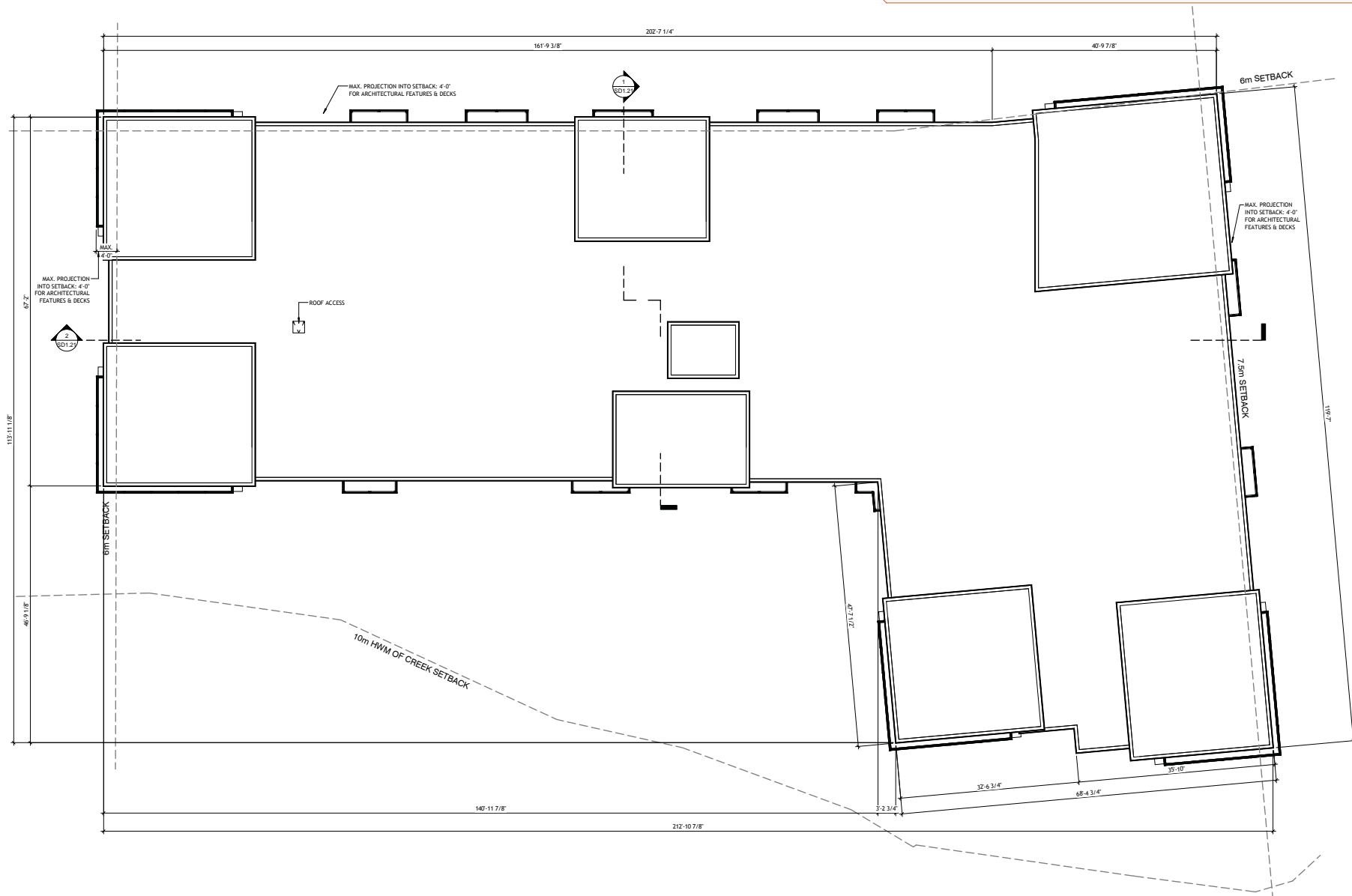


ISSUED FOR DEVELOPMENT PERMIT

07/23/18 REVISION #:
CITY OF LANGLEY FILE # - XXX-XXX
PROJECT NUMBER: 18-113

SD3.06







east elevation

1/8" = 1'-0"



south elevation

1/8" = 1'-0"

material legend

- 1 CEMENT BOARD SMOOTH PANEL SIDING (WEASY TRIM ALUM. REVEALS):
- JAMES HARDIE, COLOUR: 'LIGHT MIST'
- 2 CEMENT BOARD SMOOTH PANEL SIDING (WEASY TRIM ALUM. REVEALS):
- JAMES HARDIE, COLOUR: 'MIDNIGHT BLACK'
- 3 CEMENT BOARD SMOOTH PANEL SIDING (WEASY TRIM ALUM. REVEALS):
- JAMES HARDIE, COLOUR: 'MONTEREY TAUPE'
- 4 CEMENT BOARD SMOOTH PANEL SIDING (WEASY TRIM ALUM. REVEALS):
- JAMES HARDIE, COLOUR: 'NIGHT GRAY'
- 5 CEMENT BOARD SMOOTH PANEL SIDING (WEASY TRIM ALUM. REVEALS):
- JAMES HARDIE, COLOUR: 'ARCTIC WHITE'
- 6 CEMENT BOARD CEDARMILL HORIZONTAL LAP SIDING (8" EXPOSURE):
- JAMES HARDIE, COLOUR: 'IRON GRAY'
- 7 CEMENT BOARD CEDARMILL HORIZONTAL LAP SIDING (8" EXPOSURE):
- JAMES HARDIE, COLOUR: 'LIGHT MIST'
- 8 CEMENT BOARD CEDARMILL HORIZONTAL LAP SIDING (8" EXPOSURE):
- JAMES HARDIE, COLOUR: 'MIDNIGHT BLACK'
- 9 ALUMINUM FACED COMPOSITE (AL13):
- ARCHITECTURAL PANEL SYSTEM, COLOUR: 'CAYENNE'
- 10 WINDOW VINYL:
- COLOUR: 'BLACK EXT. / WHITE INT.'
- 11 SLIDING PATIO DOOR VINYL:
- COLOUR: 'BLACK EXT. / WHITE INT.'
- 12 EXTERIOR ALUMINUM GUARDRAILING:
- COLOUR: 'BLACK'
- 13 HARDIE TRIM (SMOOTH):
- JAMES HARDIE, COLOUR: 'IRON GRAY'
- 14 HARDIE FASCIA BOARD (SMOOTH):
- JAMES HARDIE, COLOUR: 'ARCTIC WHITE'
- 15 METAL FLASHING:
- GENTIL, COLOUR: 'SLATE 523'
- 16 CONCRETE WALL:
- COLOUR: 'CLEAR SEALER'
- 17 REVEAL:
- 'EASYTRIM', COLOUR: 'CLEAR ANODIZED'
- 18 EXTERIOR METAL DOOR:
- BENJAMIN MOORE, COLOUR: GRAY
- 19 BRICK:
- MODULAR FACE BRICK, COLOUR: GRAY



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BRYDON GREEN 2

5475, 5483 & 5493 BRYDON CRESENT, LANGLEY CITY

BUILDING ELEVATIONS

SCALE: 1/8" = 1'-0"

ISSUED FOR DEVELOPMENT PERMIT

07/23/18 REVISION #:
CITY OF LANGLEY FILE # - XXX-XXX
PROJECT NUMBER: 18-113

SD4.01



west elevation
1/8" = 1'-0"



north elevation
1/8" = 1'-0"

material legend

- 1 CEMENT BOARD SMOOTH PANEL SIDING (WEASY TRIM ALUM. REVEALS):
- JAMES HARDIE, COLOUR: 'LIGHT MIST'
- 2 CEMENT BOARD SMOOTH PANEL SIDING (WEASY TRIM ALUM. REVEALS):
- JAMES HARDIE, COLOUR: 'MIDNIGHT BLACK'
- 3 CEMENT BOARD SMOOTH PANEL SIDING (WEASY TRIM ALUM. REVEALS):
- JAMES HARDIE, COLOUR: 'MONTEREY TAUPÉ'
- 4 CEMENT BOARD SMOOTH PANEL SIDING (WEASY TRIM ALUM. REVEALS):
- JAMES HARDIE, COLOUR: 'NIGHT GRAY'
- 5 CEMENT BOARD SMOOTH PANEL SIDING (WEASY TRIM ALUM. REVEALS):
- JAMES HARDIE, COLOUR: 'ARCTIC WHITE'
- 6 CEMENT BOARD CEDARMILL HORIZONTAL LAP SIDING (8" EXPOSURE):
- JAMES HARDIE, COLOUR: 'IRON GRAY'
- 7 CEMENT BOARD CEDARMILL HORIZONTAL LAP SIDING (8" EXPOSURE):
- JAMES HARDIE, COLOUR: 'LIGHT MIST'
- 8 CEMENT BOARD CEDARMILL HORIZONTAL LAP SIDING (8" EXPOSURE):
- JAMES HARDIE, COLOUR: 'MIDNIGHT BLACK'
- 9 ALUMINUM FACED COMPOSITE (AL13):
- ARCHITECTURAL PANEL SYSTEM, COLOUR: 'CAYENNE'
- 10 WINDOW VINYL:
- COLOUR: 'BLACK EXT. / WHITE INT.'
- 11 SLIDING PATIO DOOR VINYL:
- COLOUR: 'BLACK EXT. / WHITE INT.'
- 12 EXTERIOR ALUMINUM GUARDRAILING:
- COLOUR: 'BLACK'
- 13 HARDIE TRIM (SMOOTH):
- JAMES HARDIE, COLOUR: 'IRON GRAY'
- 14 HARDIE FASCIA BOARD (SMOOTH):
- JAMES HARDIE, COLOUR: 'ARCTIC WHITE'
- 15 METAL FLASHING:
- SENTER, COLOUR: 'SLATE S23'
- 16 CONCRETE WALL:
- COLOUR: 'CLEAR SEALER'
- 17 REVEAL:
- EASYTRIM, COLOUR: 'CLEAR ANODIZED'
- 18 EXTERIOR METAL DOOR:
- BENJAMIN MOORE, COLOUR: GRAY
- 19 BRICK:
- MODULAR FACE BRICK, COLOUR: GRAY



ACER RUBRUM
RED MAPLE



CORNUS EDDIE'S 'WHITE WONDER'
WHITE WONDER DOGWOOD



PICEA OMORIKA 'PENDULA'
WEeping SERBIAN SPRUCE



PINUS NIGRA
AUSTRIAN BLACK PINE



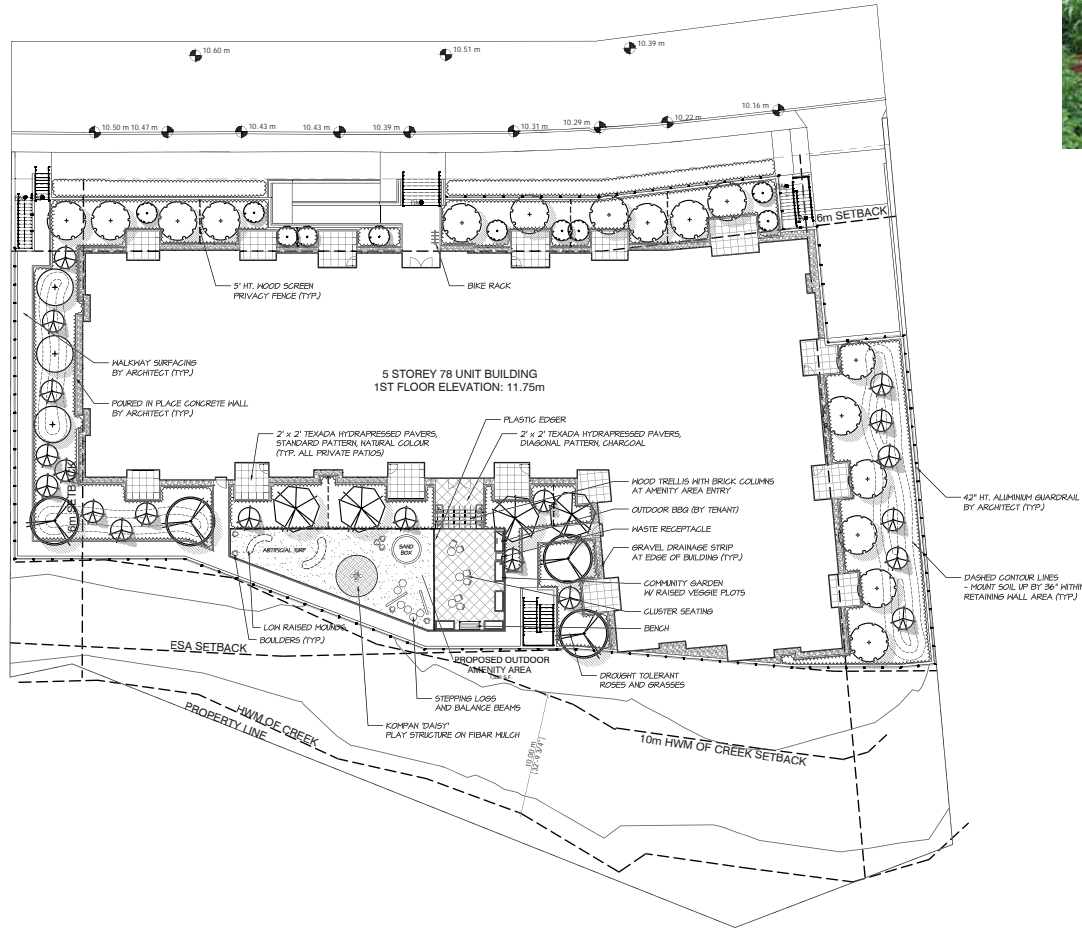
PRUNUS SERRULATA 'AMANOGAWA'
AMANOGAWA CHERRY



STYRAX 'OBASSIA'
FRAGRANT SHONBELL



ARTIFICIAL TURF
LOH RAISED MOUNDS



COMMUNITY GARDEN
RAISED VEGGIE PLOTS

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2	JUL 18	ISSUED FOR DEVELOPMENT PERMIT	PHI
1	JUN 18	PRELIMINARY DESIGN	PHI
NO.	DATE	REVISION DESCRIPTION	DR.

SEAL:

PROJECT:

BRYDON GREEN 2
5475, 5483 & 5493 BRYDON CRESCENT
LANGLEY CITY

DRAWING TITLE:

**LANDSCAPE
PLAN**

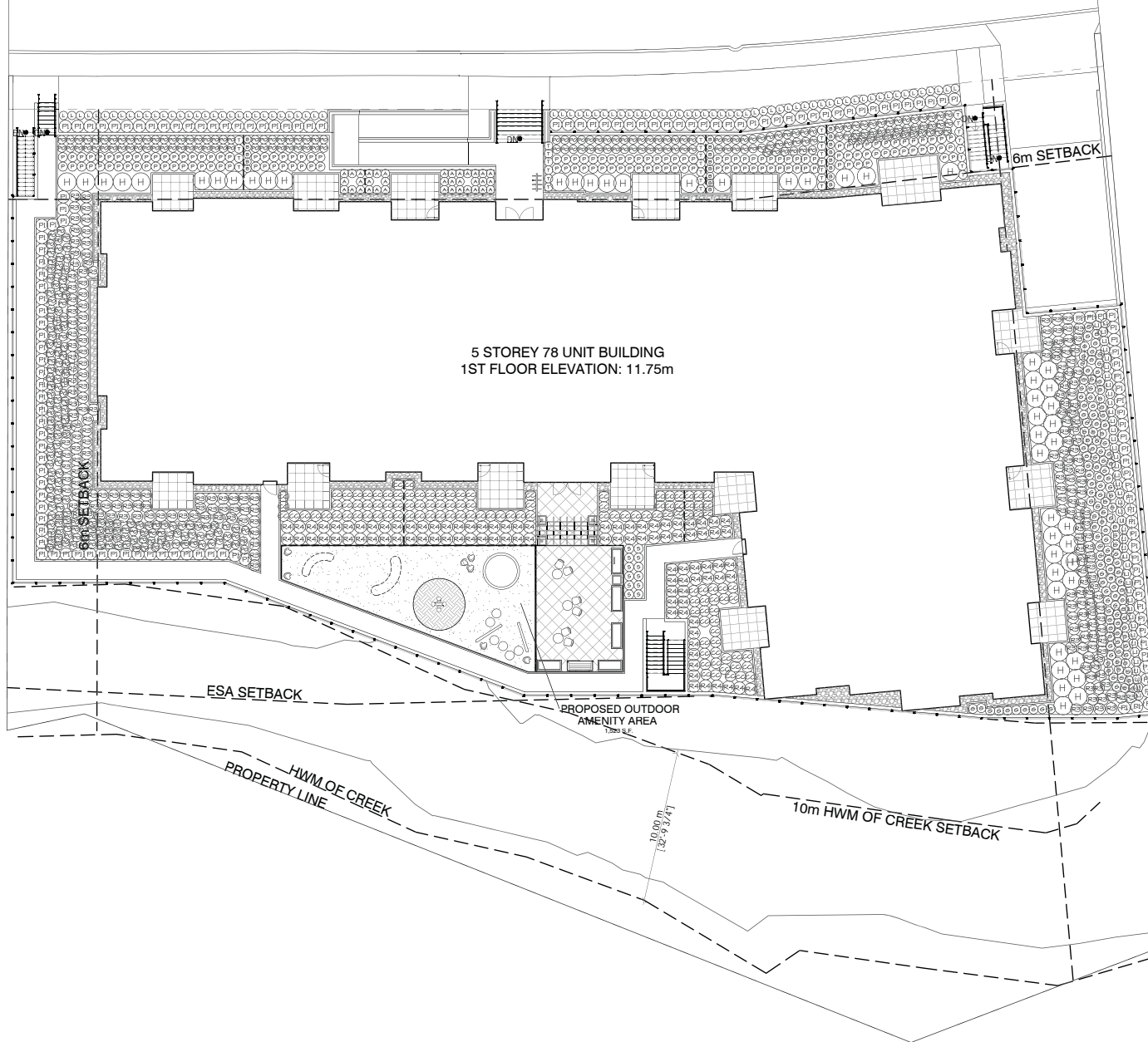
DATE:	JUN 18	DRAWING NUMBER:	
SCALE:	1/8" = 1'-0"		
DRAWN:	PHI		
DESIGN:	PHI		
CHK'D:	MTM		

L1

OF 4

M2LA PROJECT NUMBER:

18-047



NO.	SYMBOL	PLANT NAME	COMMON NAME	MA. JOB NUMBER	18-047
1		ACER RUBRA	RED MAPLE	KCH CAL 24 955.510	
2		QUERCUS COCCINEA	RED OAK	KCH CAL 24 955.510	
3		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
4		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
5		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
6		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
7		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
8		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
9		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
10		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
11		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
12		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
13		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
14		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
15		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
16		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
17		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
18		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
19		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
20		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
21		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
22		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
23		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
24		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
25		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
26		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
27		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
28		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
29		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
30		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
31		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
32		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
33		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
34		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
35		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
36		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
37		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
38		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
39		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
40		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
41		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
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44		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
45		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
46		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
47		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
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49		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
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52		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
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55		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
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57		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
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62		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
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66		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
67		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
68		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
69		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
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71		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
72		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
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76		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
77		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	
78		PRUNUS SP.	PRUNE	KCH CAL 24 955.510	

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M2
LANDSCAPE ARCHITECTURE

#220 - 26 Lorne Mews
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Tel: 604.553.0044
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Email: office@m2la.com

2	31.6.10	ISSUED FOR DEVELOPMENT PERMIT	PHI
1	31.6.10	PRELIMINARY DESIGN	PHI
NO.	DATE	REVISION DESCRIPTION	DR.

PROJECT:

BRYDON GREEN 2
5475, 5483 & 5493 BRYDON CRESCENT
LANGLEY CITY

DRAWING TITLE:

SHRUB PLAN

DATE: JUN/14/10 DRAWING NUMBER:

SCALE: 3/32" = 1'-0"

DRAWN: PHI

DESIGN: PHI

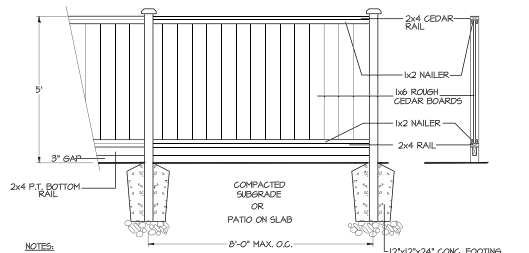
CHK'D: HTLM

M2LA PROJECT NUMBER: 18-047

L2

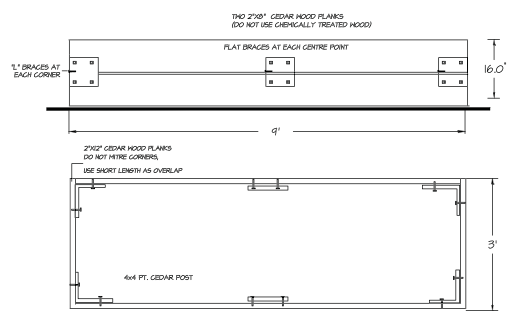
OF 4

(024713-02.02)



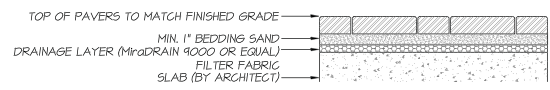
- NOTES:
1. ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE.
 2. ALL OTHER MEMBERS TO BE CEDAR #2 (CONSTRUCTION) GRADE MINIMUM.
 3. ALL HARDWARE HOT DIPPED GALVANIZED.
 4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION. FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.
 5. ALL FENCES TO BE LEVEL. CHANGES IN GRADE TO BE IN 2'-0\"/>

1 5' HT. WOOD SCREEN PRIVACY FENCE
SCALE: 1/2\"/>



2 RAISED VEGGIE PLOTS @ COMMUNITY GARDEN
SCALE: 3/4\"/>

NOTE: 2' x 2' TEXADA HYDRAPRESSED SLABS FOR ALL PRIVATE PATIO AREAS
PAVERS TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS (ABBOTSFORD CONCRETE)



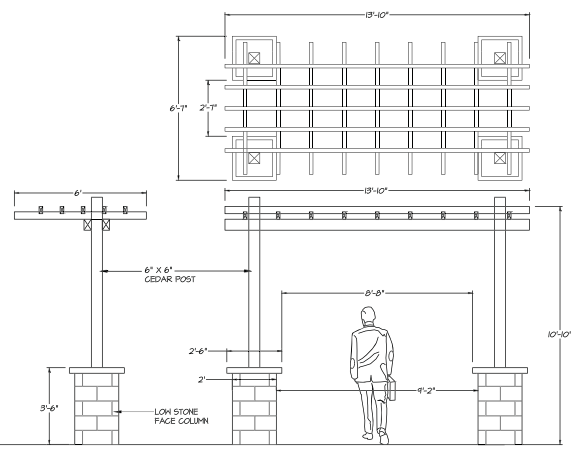
3 PAVERS ON SLAB
SCALE: 1-1/2\"/>



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4 WOOD TRELLIS WITH BRICK COLUMNS @ AMENITY AREA ENTRY
SCALE: 3/8\"/>



PARKER BENCH
BY WISHBONE SITE FURNISHINGS
MODEL NUMBER: PKB-6
COLOUR: LIGHT GREY



PUBLIC PLACE
WASTE RECEPTACLE
BY WISHBONE SITE FURNISHINGS
MODEL NUMBER: 19-441B
COLOUR: ASH GREY



SPIRAL BIKE RACK
BY WISHBONE SITE FURNISHINGS
MODEL NUMBER: 5BRP-4 (4 SPACE)
COLOUR: BLACK



TABLE AND CHAIRS (CLUSTER SEATING)
METAL LASER DESIGN 1, FREE SEATING
BY MAGLIN SITE FURNITURE
MODEL NUMBER: FRITTOO-RD-M1-F5-36
COLOUR: BLACK, GLOSS

KOMPAN
Let's play

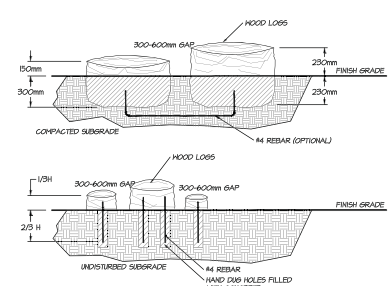
Category	Available	Available	Available	Available
Product Line	Traditional play	Traditional play	Traditional play	Traditional play
Age Range	3-12	3-12	3-12	3-12
Max. Fall Height (CM)	60	60	60	60
Total Height (CM)	60	60	60	60
Safety Base	0.8 m2	0.8 m2	0.8 m2	0.8 m2

The Swing spring has been tested to meet the requirements of the relevant standards. The Swing spring has been tested to meet the requirements of the relevant standards. The Swing spring has been tested to meet the requirements of the relevant standards.

KOMPAN
Let's play

Weight/height parts	kg	Installation (Height)	Permit
Concrete required	1000 kg	Installation (Height)	1000 kg
Foundation amount/footing	1000 kg	Installation	1000 kg

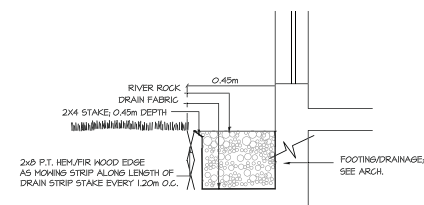
Weight/height parts: 1000 kg. Installation (Height): 1000 kg. Permit: 1000 kg.



5 STEPPING LOGS @ AMENITY AREA
SCALE: 1/2\"/>



BALANCE BEAMS



6 DRAINAGE STRIP
SCALE: 3/4\"/>

PROJECT:
BRYDON GREEN 2
5475, 5483 & 5493 BRYDON CRESCENT
LANGLEY CITY

DRAWING TITLE:	
LANDSCAPE DETAILS	
DATE: JUN/4/18	DRAWING NUMBER:
SCALE: AS SHOWN	L3
DRAWN: PMT	OF 4
DESIGN: PMT	18-047
CHK'D: HTLM	
M2LA PROJECT NUMBER:	

[illegible]



EXPLANATORY MEMO

DISCHARGE OF LAND USE CONTRACT NO. 05-73

BYLAW NO. 3083

The purpose of Bylaw No. 3083 is to authorize the discharge of Land Use Contract No. 05-73 from the property located at 4538 – 204 Street.

The owner has applied to have Land Use Contract No. 05-73 discharged from the title of the property to facilitate a Building Permit application for a secondary suite.

City Council has the authority to discharge a land use contract pursuant to Section 546 of the *Local Government Act*.

The City amended Zoning Bylaw 1996, No. 2100 in December 2006 to allow secondary suites. Current records indicate that 290 suites have been approved or are in the building permit application process for approval. In the same timeframe, 676 property owners discharged the land use contracts affecting their single family residential lots. There are 477 single family residential lots still affected by land use contracts in the City.



DISCHARGE OF LAND USE CONTRACT NO. 05-73

BYLAW NO. 3083

A Bylaw to authorize the discharge of Land Use Contract No. 05-73 from the specified property.

WHEREAS Land Use Contract No. 05-73 is registered against titles legally described in Schedule "A".

AND WHEREAS the registered owners of the Lands have applied to have Land Use Contract No. 05-73 discharged from title to the Lands.

AND WHEREAS Council has the authority to discharge a land use contract pursuant to section 546 of the *Local Government Act*,

NOW THEREFORE, the Council of the City of Langley, in open meeting assembled, enacts as follows:

1. The Land Use Contract registered in the Land Title Office under K13898 is hereby discharged against the title legally described in Schedule "A" which is attached and forms part of this bylaw.
2. The Mayor and Corporate Officer of the City of Langley are authorized to execute such documents on behalf of the City as may be necessary for the purpose aforesaid.

3. This Bylaw may be cited for all purposes as "Discharge of Land Use Contract No. 05-73 Bylaw, 2018, No. 3083".

READ A FIRST AND SECOND TIME this 23rd day of July, 2018.

A PUBLIC HEARING, pursuant to Section 464 of the "Local Government Act" was held this ----- day of -----, 2018.

READ A THIRD TIME this ----- day of -----, 2018.

FINALLY ADOPTED this ----- of -----, 2018.

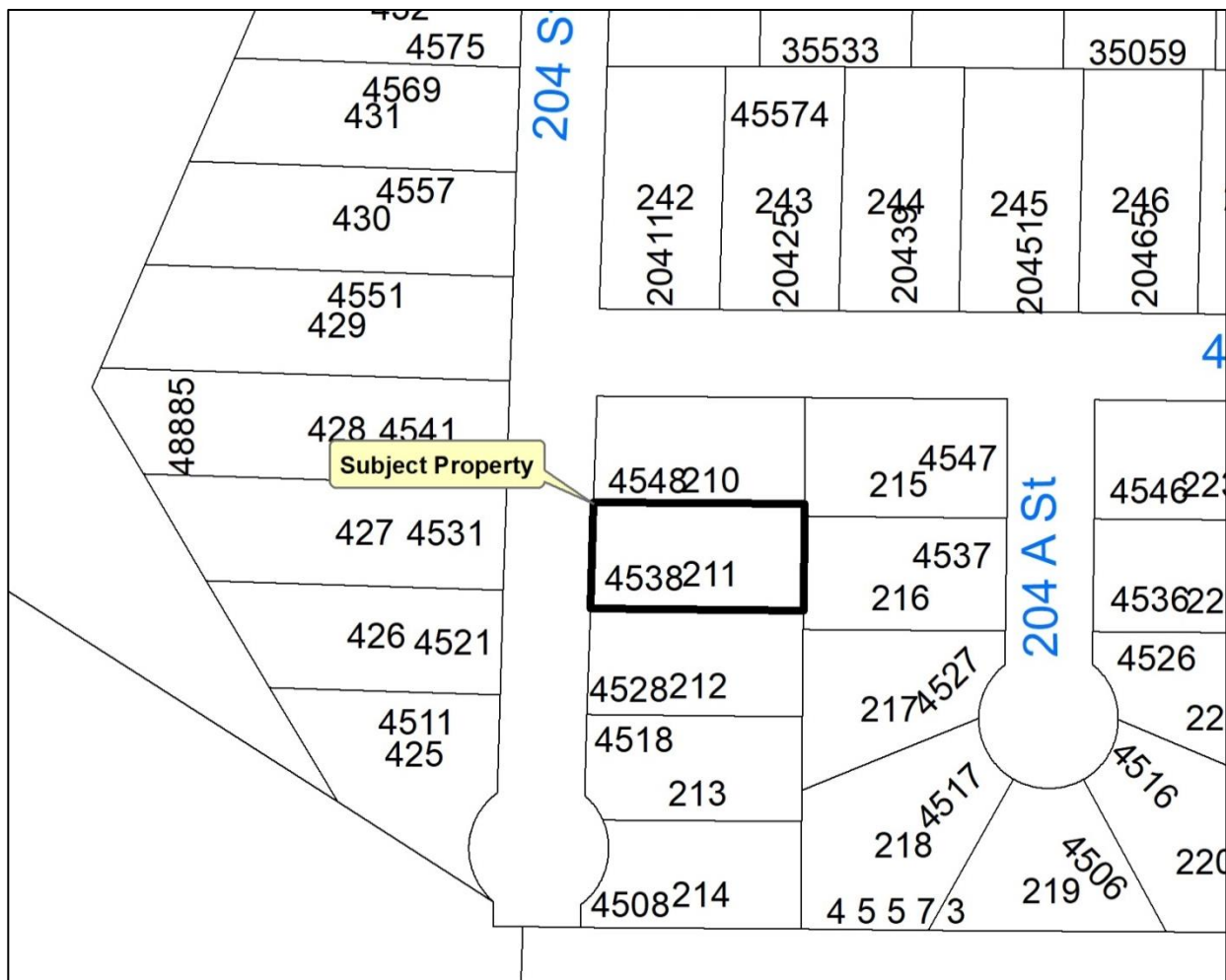
MAYOR

CORPORATE OFFICER

BYLAW NO. 3083

SCHEDULE "A"

Civic Address: 4538 – 204 Street
Legal Description: Lot 211, North East Quarter Section 35, Township 7, New Westminster District, Plan 45573
PID: 002-359-260
Applicant: A. White
Owner: A. White, G. White





EXPLANATORY NOTE

DISCHARGE OF LAND USE CONTRACT NO. 01-73

BYLAW NO. 3084

The purpose of Bylaw No. 3084 is to authorize the discharge of Land Use Contract No. 01-73 from the property located at 4945 – 205A Street.

The owner has applied to have Land Use Contract No. 01-73 discharged from the title of the property to facilitate a Building Permit application for a secondary suite.

City Council has the authority to discharge a land use contract pursuant to Section 546 of the *Local Government Act*.

The City amended Zoning Bylaw 1996, No. 2100 in December 2006 to allow secondary suites. Current records indicate that 290 suites have been approved or are in the building permit application process for approval. In the same timeframe, 676 property owners discharged the land use contracts affecting their single family residential lots. There are 477 single family residential lots still affected by land use contracts in the City.



DISCHARGE OF LAND USE CONTRACT NO. 01-73

BYLAW NO. 3084

A Bylaw to authorize the discharge of Land Use Contract No. 01-73 from the specified property.

WHEREAS Land Use Contract No. 01-73 is registered against titles legally described in Schedule "A".

AND WHEREAS the registered owners of the Lands have applied to have Land Use Contract No. 01-73 discharged from title to the Lands.

AND WHEREAS Council has the authority to discharge a land use contract pursuant to section 546 of the *Local Government Act*,

NOW THEREFORE, the Council of the City of Langley, in open meeting assembled, enacts as follows:

1. The Land Use Contract registered in the Land Title Office under J130310 is hereby discharged against the title legally described in Schedule "A" which is attached and forms part of this bylaw.
2. The Mayor and Corporate Officer of the City of Langley are authorized to execute such documents on behalf of the City as may be necessary for the purpose aforesaid.

3. This Bylaw may be cited for all purposes as "Discharge of Land Use Contract No. 01-73 Bylaw, 2018, No. 3084".

READ A FIRST AND SECOND TIME this 23rd day of July 2018.

A PUBLIC HEARING, pursuant to Section 464 of the "Local Government Act" was held this ----- day of -----, 2018.

READ A THIRD TIME this ----- day of -----, 2018.

FINALLY ADOPTED this ----- of -----, 2018.

MAYOR

CORPORATE OFFICER

BYLAW NO. 3084

SCHEDULE "A"

Civic Address: 4945 – 205A Street
Legal Description: Lot 124, District Lot 304, Group 2, New Westminster District, Plan 44877
PID: 006-123-953
Applicant: M. Khatan
Owner: 1073399 B.C. Ltd.

