

## PUBLIC HEARING AGENDA

Monday, September 17, 2018 7:00 P.M. Council Chambers, Langley City Hall 20399 Douglas Crescent

1. CALL TO ORDER

Mayor Schaffer calls the Public Hearing to order.

Mayor Schaffer reads a statement regarding the procedure to be followed for the Public Hearing.

The Corporate Officer advises how this Hearing has been publicized and of any correspondence received.

## 2. BUSINESS

 Bylaw 3078 - Zoning Amendment and Development Permit No. 13-18 To amend the Zoning Bylaw, 1996, No. 2100 to rezone the properties located at 19610, 19618-26, 19630-32, 19638, and 19648-50 55A Avenue from RS1 Single Family Residential Zone and RM1 Multiple Residential Low Density Zone to CD63 Comprehensive Development Zone to accommodate a 41 unit, 3 storey townhouse development.

The Mayor invites Fred Adab, F. Adab Architects to present the proposed bylaw and development permit application.

The Mayor invites those in attendance who deem their interest in property affected by the proposed bylaw and development permit to present their comments. 1

Pages

b. Bylaw 3081 - Zoning Amendment and Liquor Control and Licensing Act -New Manufacturer Brewery Lounge Licence Application

#### **Bylaw Purpose:**

To amend the Zoning Bylaw, 1996, No. 2100 to rezone the property located at 20555 56 Avenue from C1 Downtown Commercial Zone to CD64 - Comprehensive Development Zone to accommodate a microbrewery.

# Liquor Control and Licensing Act - New Manufacturer Brewery Lounge Licence Application:

Use: To accommodate a facility for the brewing of beer; lounge area for sampling product made on site; retail display area; and retail sales area.

The Mayor invites Bill Uhrich, Simcic and Uhrich, to present the proposed bylaw and Liquor Control and Licensing Application.

The Mayor invites those in attendance who deem their interest in property affected by the proposed bylaw and Liquor Control and Licensing Application to present their comments.

c. Bylaw 3082 - Zoning Amendment and Development Permit Application DP 14-18

To amend the Zoning Bylaw, 1996, No. 2100 to rezone the properties located at 5475, 5483 and 5493 Brydon Crescent from RS1 Single Family Residential Zone to CD65 - Comprehensive Development Zone to accommodate a 78 unit, five (5) storey condominium apartment development.

The Mayor invites Lukas Wykpis, Keystone Architecture to present the proposed bylaw and development permit application.

The Mayor invites those in attendance who deem their interest in property affected by the proposed bylaw and development permit to present their comments.

Bylaw 3083 - Discharge Land Use Contract 05-73
 To discharge the Land Use Contract from 4538 204 Street to reveal the underlying RS1 Single Family Residential Zone to facilitate a building permit application for a secondary suite.

The Mayor invites Gerald Minchuk, Director of Development Services to present the proposed bylaw.

The Mayor invites those in attendance who deem their interest in property affected by the proposed bylaw to present their comments.

61

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e. Bylaw 3084 - Discharge Land Use Contract No. 01-73 To discharge the Land Use Contract from 4945 205A to reveal the underlying RS1 Single Family Residential Zone to facilitate a building permit application for a secondary suite.

The Mayor invites Gerald Minchuk, Director of Development Services to present the proposed bylaw.

The Mayor invites those in attendance who deem their interest in property affected by the proposed bylaw to present their comments.

## 3. MOTION TO CLOSE PUBLIC HEARING



## ZONING BYLAW, 1996, NO. 2100 AMENDMENT NO. 155, 2018, BYLAW NO. 3078 DEVELOPMENT PERMIT APPLICATION DP 13-18

To consider a Rezoning Application and Development Permit Application by Leone Homes Inc. to accommodate a 3-storey, 41-unit townhouse development.

The subject properties are currently zoned RS1 Single Family Residential Zone and RM1 Multiple Residential Low Density Zone in Zoning Bylaw No. 2100 and designated "Medium Density Residential" in the Official Community Plan. All lands designated "Medium Density Residential" are subject to a Development Permit to address building form and character.

#### **Background Information:**

Applicant: Owners:	Leone Homes Inc. 1044459 B.C. Ltd., C. Bartoszewicz, S.& K. Cooper, H. Colpitts, D. Bydeweg, K. Harmel, L.& P. Dragomir, A. Lee, City of Langley
Civic Addresses:	19610, 19618-26, 19630-32, 19638, and 19648-50 - 55A Avenue
Legal Description:	Lot 112, Section 3, Township 8, New Westminster District Plan 38427; Strata Lots 1 and 2, Section 3, Township 8, New Westminster District, Strata Plan LMS41; Strata Lots 1 and 2, Section 3 Township 8, New Westminster District, Strata Plan LMS28; Lot 3, Section 3, Township 8, New Westminster District Plan 84735; Strata Lots 1 and 2, Section 3, Township 8, New Westminster District Strata Plan LMS139; Portion of Closed Road (574.3m <sup>2</sup> ) shown on Plan EPP83409
Site Area:	1.31 acres
Lot Coverage:	48 %
Total Parking Required:	82 spaces (plus 8 visitor spaces)
Total Parking Provided:	82 spaces (plus 8 visitor spaces)
Existing Zoning:	RS1 Single Family Residential Zone and RM1 Multiple Residential Low Density Zone
Proposed Zoning: OCP Designation: Variances Requested: Development Cost Charges: Community Amenity Charges:	CD 63 Comprehensive Development Zone Medium Density Residential None \$617,735.75 (Includes \$196,596 DCC Credit) \$82,000.00



ZONING BYLAW, 1996, No. 2100 AMENDMENT NO. 155

**BYLAW NO. 3078** 

A Bylaw to amend City of Langley Zoning Bylaw, 1996, No. 2100 to add a new Comprehensive Development Zone (CD63) and to rezone the property located at 19610, 19618-26, 19630-32, 19638, and 19648-50 -55A Avenue to the new zone.

WHEREAS the *Local Government Act* authorizes a local government to zone areas of a municipality and to make regulations pursuant to zoning;

NOW THEREFORE the Council of the City of Langley, in open meeting assembled, enacts as follows:

#### 1. Title

This bylaw shall be cited as the "Zoning Bylaw 1996, No. 2100 Amendment No. 155, 2018, No. 3078".

#### 2. Amendment

 Bylaw No. 2100, cited as the "Zoning Bylaw, 1996, No. 2100" is hereby amended by adding in Part VII Comprehensive Development Zones the following as the new Zone classification of Comprehensive Development – 63 (CD63) Zone: immediately after Comprehensive Development - 62 (CD62) Zone:

#### *"HHH. CD63 COMPREHENSIVE DEVELOPMENT ZONE*

#### 1. Intent

This Zone is intended to accommodate and regulate a 3-storey, 41unit townhouse development.

## 2. Permitted Uses

The Land, buildings and structures shall only be used for the following uses only:

- (a) Multiple-Unit Residential; and
- (b) Accessory uses limited to the following:
- i. Home Occupations excluding bed and breakfast and child care centre.

## 3. Site Dimensions

The following lot shall form the site and shall be zoned CD63 Comprehensive Development Zone on the Zoning Map, City of Langley Zoning Bylaw, 1996, No. 2100, Schedule "A":

(a) PID: 008-538-395

Lot 112, Section 3, Township 8, New Westminster District, Plan 38427

(b) PID: 017-337-941

Strata Lot 1, Section 3, Township 8, New Westminster District Strata Plan LMS41 Together With An Interest In The Common Property In Proportion To The Unit Entitlement Of The Strata Lot As Shown On Form I;

(c) PID: 017-337-950

Strata Lot 2, Section 3, Township 8, New Westminster District Strata Plan LMS41 Together With An Interest In The Common Property In Proportion To The Unit Entitlement Of The Strata Lot As Shown On Form I;

(d) PID: 017-323-169

Strata Lot 1, Section 3 Township 8, New Westminster District Strata Plan LMS28 Together With An Interest In The Common Property In Proportion To The Unit Entitlement Of The Strata Lot As Shown On Form I;

(e) PID: 017-323-177

Strata Lot 2, Section 3 Township 8, New Westminster District Strata Plan LMS28 Together With An Interest In The Common Property In Proportion To The Unit Entitlement Of The Strata Lot As Shown On Form I;

(f) PID: 015-882-209

Lot 3, Section 3, Township 8, New Westminster District Plan 84735

(g) PID: 017-483-395

Strata Lot 1, Section 3, Township 8, New Westminster District Strata Plan LMS139 Together With An Interest In The Common Property In Proportion To The Unit Entitlement Of The Strata Lot As Shown on Form 1;

(h) PID: 017-483-409

Strata Lot 2, Section 3, Township 8, New Westminster District Strata Plan LMS139 Together With An Interest In The Common Property In Proportion To The Unit Entitlement Of The Strata Lot As Shown on Form 1;

(i) Portion of Closed Road (574.3m<sup>2</sup>) shown on Plan EPP83409.

## 4. Siting and Size of Buildings and Structures and Site Coverage

The location, size and site coverage of the buildings and structures of the Development shall generally conform to the plans and specifications comprising 26 pages prepared by F. Adab Architects (dated July 9, 2018) Inc. and PMG Landscape Architecture (dated July 18, 2018) one copy of which is attached to Development Permit No. 13-18.

#### 5. Special Regulations

Special regulations shall comply with subsection 9 Special Regulations prescribed in the respective zones under different Parts of this bylaw.

#### 6. Other Regulations

In addition, land use regulations including the following are applicable:

- a. General provisions on use are set out in Section I.D. of this bylaw;
- b. Building Permits shall be subject to the City of Langley Building and Plumbing Regulation Bylaw and the Development Cost Charge Bylaw; and
- c. Subdivisions shall be subject to the City of Langley Subdivision and Development Servicing Bylaw, and the *Land Title* Act."

READ A FIRST AND SECOND TIME this twenty third day of August, 2018.

A PUBLIC HEARING, pursuant to Section 464 of the "Local Government Act" was held this -- day of -- , 2018.

READ A THIRD TIME this -- day of --, 2018.

APPROVAL OF THE MINISTRY OF TRANSPORTATION was received this -- day of -, 2018.

FINALLY ADOPTED this -- day of --, 2018.

MAYOR

CORPORATE OFFICER



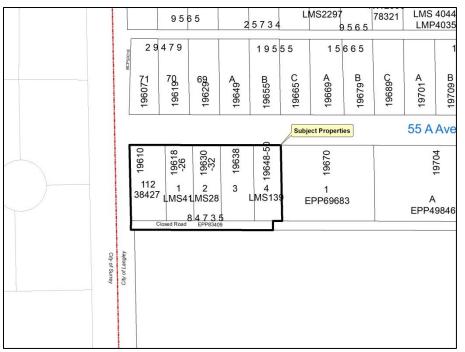
# **REZONING APPLICATION RZ 11-18 DEVELOPMENT PERMIT APPLICATION DP 13-18**

Civic Address: 19610, 19618-19626, 19630-19632, 19638, 19648-19650 - 55A Avenue

Legal Description: Lot 112, Section 3, Township 8, New Westminster District, Plan 38427; Strata Lots 1 & 2, Section 3, Township 8, New Westminster District Strata Plan LMS41; Strata Lots 1 & 2, Section 3 Township 8, New Westminster District, Strata Plan LMS28; Lot 3, Section 3, Township 8, New Westminster District Plan 84735; Strata Lots 1 & 2, Section 3, Township 8, New Westminster District, Strata Plan LMS139, Portion of Closed Road (574.3m<sup>2</sup>) shown on Plan EPP83409

Applicant: Owners: Leone Homes Inc.

104459 BC Ltd., C. Bartoszewicz, D. Bydeweg, H. Colpitts, S. Cooper, K. Cooper, L. Dragomir, P. Dragomir, K. Harmel, A. Lee, City of Langley





# Advisory Planning Commission Report

### To: Advisory Planning Commission

#### Subject Rezoning Application No. RZ 11-18 Development Permit Application DP 13-18

From: Development Services & Economic Development Department File #: 6620.00 Doc #:

Date: July 19, 2018

#### **COMMITTEE RECOMMENDATION:**

THAT Rezoning Application RZ 11-18 and Development Permit Application DP 13-18 to accommodate a 41- unit, three storey townhouse development located at 19610, 19618-26, 19630-32, 19638, and 19648-50 -55A Avenue be approved subject to execution of a Development Servicing Agreement in compliance with the conditions outlined in the Director of Development Services & Economic Development report.

#### **PURPOSE OF REPORT:**

To consider a Rezoning Application and Development Permit Application by Leone Homes Inc. for a 41 unit, three storey townhouse development.

#### POLICY:

The subject properties are designated "Medium Density Residential" in the Official Community Plan and are part of the Multifamily Residential Development Permit Area to address building form and character.



#### COMMENTS/ANALYSIS:

## **Background Information:**

Applicant: Owners: Civic Addresses:	Leone Homes Inc. /F/ Adab Architects Inc. 1044459 B.C. Ltd., C. Bartoszewicz, S.& K. Cooper, H. Colpitts, D. Bydeweg, K. Harmel, L.& P. Dragomir, A. Lee 19610, 19618-26, 19630-32, 19638, and 19648-50 -55A Avenue
Legal Description:	Lot 112, Section 3, Township 8, New Westminster District Plan 38427, Strata Lots 1 and 2, Section 3, Township 8, New Westminster District Strata Plan LMS41; Strata Lot 1 and 2, Section 3 Township 8, New Westminster District Strata Plan LMS28; Lot 3, Section 3, Township 8, New Westminster District Plan 84735; Strata Lot 1 and 2, Section 3, Township 8, New Westminster District Strata Plan LMS139; Un-zoned Portion of Closed Road (574.3 m <sup>2</sup> ) shown on Plan EPP83409
Site Area:	1.31 acres
Lot Coverage:	48%
Total Parking Required:	82 spaces (plus 8 visitor spaces)
Total Parking Provided: Existing Zoning:	82 spaces (plus 8 visitor spaces) RS1 Single Family Residential Zone and RM1 Multiple Residential Low Density Zone
Proposed Zoning:	CD 63 Comprehensive Development Zone
OCP Designation: Variances Requested:	Medium Density Residential None
Development Cost	\$617,735.75 (Includes \$196,596 DCC Credit)
Charges: Community Amenity Charge:	\$82,000.00



### Engineering Requirements:

These requirements have been issued for a rezoning and development permit for a proposed **41 unit townhouse development.** These requirements may be subject to change upon receipt of a development application.

The City's Zoning Bylaw, 1996, #2100 has requirements concerning landscaping for buffer zones, parking, loading areas, and garbage / recycling areas, all of which apply to this Development.

## A) <u>The developer is responsible for the following work which shall be designed</u> and approved by a Professional Engineer:

- 1. A Qualified Environmental Professional (QEP) must be engaged to complete an assessment of the proposed development to ensure compliance with the Riparian Area Regulations. The QEP shall propose measures to mitigate environmental impacts and compensate for lost habitat due to the infilling of the ditches along 55A Avenue, and must apply to DFO for approval.
- 2. Implement erosion and sediment control measures designed and approved by a qualified professional in accordance with the City of Langley Watercourse Protection Bylaw #2518.
- 3. Conduct a water flow test and provide fire flow calculations by a Professional Engineer to determine if the existing water network is adequate for fire flows. Replacement of the existing watermain may be necessary to achieve the necessary pressure and flows to conform to Fire Underwriters Survey (FUS) "Water Supply for a Public Fire Protection, a Guide to Recommended Practice, 1995".
- 4. Additional C71P fire hydrants may be required to meet bylaw and firefighting requirements. Hydrant locations must be approved by the City of Langley Fire Department.
- 5. Design and construct a half-width road on 55A Avenue along the property frontage to a City of Langley Collector standard; including pavement, barrier curb and gutter, sidewalk, boulevard, street lighting, street trees and storm drainage. The existing pavement may be suitable for a mill and fill construction, depending on the results of a geotechnical inspection as required by the City's Subdivision and Development Bylaw. Additionally, any widening of the pavement structure, required to meet the design road width, will need to be designed by a geotechnical engineer. A cash-in-lieu



amount for the top lift of pavement will be paid to the City, amount to be calculated by the developer's engineer.

- 6. The full construction of a lane along the east frontage of the development between 55A Ave. and the lane south of 55A Ave. is required. Drainage infrastructure shall be provided to collect and convey runoff generated by the lane.
- 7. The developer will be required to replace existing retaining wall on the south edge of the existing lane dedication at the back of 19649 53 Ave and reinstate the existing white fence along the property line. A separate building permit will be required for the wall if it exceeds 1.2 m (3.9 ft) in height.
- 8. New water, sanitary and storm sewer service connections are required. The developer's engineer will determine the appropriate main tie in locations and size the connections for the necessary capacity. The capacity of the existing water and sewer mains should be assessed and any upgrades required to service the site shall be designed and installed at the Developer's expense. All existing services shall be capped at the main, at the Developer's expense, upon application for Demolition permit.
- 9. A stormwater management plan for the site, including 55A Avenue and the lane, is required. Rainwater management measures used on site shall limit the release rate to mitigate flooding and environmental impacts as detailed in the Subdivision and Development Bylaw.
- 10. The site layout shall be designed by a civil engineer to ensure that the parking and access layout meets minimum design standards, including setbacks from property lines. Appropriate turning templates should be used to prove parking stalls and drive-aisles are accessible by the design vehicle.
- 11. Upgrade of existing 150mm AC watermain on 55A Avenue to 200mm PVC for the full property frontage.

B) The developer is required to deposit the following bonding and connection fees:

- 1. A Security Deposit of 110% of the estimated offsite works construction costs of installing civil works, as approved by the Director of Engineering, Parks and Environment.
- Inspection and administration fees in accordance to the Subdivision Bylaw based on a percentage of the estimated construction costs. (See Schedule A – General Requirement - GR5.1 for details).



- 3. A deposit for a storm, sanitary and water connection is required, which will be determined after detailed civil engineering drawings are submitted, sealed by a Professional Engineer.
- 4. A \$20,000 bond for the installation of a water meter to current standards.

## C) The developer is required to adhere to the following conditions:

- 1. Underground hydro and telephone, and cable services to the development site are required.
- 2. All survey costs and registration of documents with the Land Titles Office are the responsibility of the developer/owner.
- 3. A water meter is required to be installed outside in a vault away from any structures in accordance to the City's water meter specifications at the developer's cost. A double detector check valve assembly is required to be installed outside away from any structure in a vault as per the City's specifications.
- 4. An approved backflow prevention assembly must be installed on the domestic water connection immediately upon entering the building to provide premise isolation.
- 5. A "Stormceptor" or equivalent oil separator is required to treat site surface drainage.
- 6. A complete set of "as-built" drawings sealed by a Professional Engineer shall be submitted to the City after completion of the works. Digital drawing files in *.pdf* and *.dwg* format shall also be submitted.
- The selection, location and spacing of street trees and landscaping shall be in accordance with the City of Langley's Official Community Plan Bylaw, 2005, No. 2600 and Street Tree Program, November, 1999 manual.
- 8. Stormwater run-off generated on the site shall not impact adjacent properties, or roadways.
- 9. The development falls within the area requiring approval from the Ministry of Transportation and Infrastructure for rezoning. The developer agrees to comply with any requirements that the Ministry may impose on the development.
- 10. Garbage and recycling enclosures shall be designed to meet Metro Vancouver's "Technical Specifications for Recycling and Garbage Amenities in Multi-family and Commercial Developments - June 2015 Update"



#### Discussion:

The proposed townhouse development is located off 55A Avenue and consists of 5 parcels of lands. In addition, the City has executed a Road Closure and Sale Agreement with the owner, Leone Homes Inc. for the surplus right of way that abuts the southern boundary of the subject lands, and will be dedicating and constructing a new 6m public lane from the southeast corner of the site north to connect with 55A Avenue.

The applicant's proposal comprises of a three storey, 41-unit townhouse development, with unit sizes ranging from 1,334 ft<sup>2</sup> to 1,520 ft<sup>2</sup>. Each townhouse unit will have access to a private fenced in yard as well as a private roof top patio. The main access to all the units is to occur from the internal lanes. Parking is accommodated through tandem and side by side parking garages for each unit. In addition, 8 visitor spaces are conveniently spread throughout the site to facilitate guest use and shorten walking distance to all units.

The proposed architectural style for these townhouses will be a contemporary modern style with roof overhangs and flat roofs, creating a cohesive residential community with a common design theme throughout. Exterior finishes include, brick, hardie siding panelling, and stucco.

The proposed development benefitted from a comprehensive CPTED report by a qualified consultant whose recommendations were incorporate into the project plans.

## Fire Department Comments:

Langley City Fire-Rescue Service has reviewed the attached plans and provided preliminary comments to the applicant. The department will review, and make further comment, as the project continues to the building permit design stage.

#### Advisory Planning Commission:

In accordance with Development Application Procedures Bylaw No. 2488, the subject applications will be reviewed by the Advisory Planning Commission at the August 8, 2018 meeting. A copy of the APC minutes will be presented to Langley City Council at the August 23, 2018 Special Council meeting.



#### **BUDGET IMPLICATIONS:**

In accordance with Bylaw No. 2482, the proposed development would contribute \$617,735.75 to Development Cost Charge accounts and \$82,000.00 in Community Amenity Charges.

#### ALTERNATIVES:

- 1. Require changes to the applicant's proposal.
- 2. Deny application.

Prepared by:

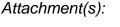
Gerald Minchuk, MCIP Director of Development Services & Economic Development

Concurrence:

Concurrence:

Rick Bomhof, P.Eng. Director of Engineering, Parks & Environment

Rory Thompson, Fire Chief







#### MINUTES OF THE ADVISORY PLANNING COMMISSION MEETING

### HELD IN LANGLEY CITY HALL CKF COMMUNITY BOARDROOM

#### WEDNESDAY, AUGUST 8, 2018 7:00 PM

- Present: Councillor Jack Arnold, Chairman Councillor Paul Albrecht, Vice-Chairman John Beimers Trish Buhler Shelley Coburn, School District No. 35 Kimberley Lubinich Ron Madsen Dan Millsip
- Staff: Gerald Minchuk, Director of Development Services & Economic Development
- Absent: Constable Lisa Cormier, Langley RCMP Kim Mullin Jamie Schreder

## 1) <u>RECEIPT OF MINUTES</u>

MOVED BY Commission Member Buhler SECONDED BY Commission Member Madsen

THAT the minutes for the June 13, 2018 Advisory Planning Commission meeting be received.

## CARRIED

#### 2) <u>REZONING APPLICATION RZ 11-18/DEVELOPMENT PERMIT</u> <u>APPLICATION DP 13-18- 19610, 19618-19626, 19630-19632, 19638,</u> <u>19648-19650 -55A AVENUE & UNZONED PORTION OF CLOSED</u> <u>ROAD ON PLAN EPP83409</u>

The Director Development Services & Economic Development provided a brief overview of the planning context for the proposed Rezoning/Development Permit applications, and introduced Fred Adab, F..Adab Architects Inc. and Marlene Messer, PMG Landscape Architects who presented the proposed applications. Following discussion on building form and character, architectural design, lane closure, tandem parking, landscaping, Sustainability features, and CPTED security measures, it was:

MOVED BY Commission Member Madsen SECONDED BY Commission Member Lubinich

OPPOSED BY Commission Member Millsp, Member Buhler

That Rezoning Application RZ 11-18/Development Permit Application DP 13-18 to accommodate a 3-storey, 41-unit townhouse development located at 19610, 19618-19626, 19630-19632, 19638, 19648-19650-55A Avenue & Un-zoned Portion of Closed Road On Plan EPP83409 be approved, subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report be approved.

## <u>CARRIED</u>

#### 3) <u>REZONING APPLICATION RZ 10-18/DEVELOPMENT PERMIT</u> <u>APPLICATION DP 12-18- 5423, 5433, 19900, 19910, 19920, 19930</u> <u>BRYDON CRESCENT & UNZONED PORTION OF CLOSED</u> <u>ROAD ON PLAN EPP73909</u>

The Director Development Services & Economic Development provided a brief overview of the planning context for the proposed Rezoning/Development Permit applications, and introduced Wes Freisen, Points West Architecture, who presented the proposed applications. Following discussion on site plan, building form and character, building exterior, parking, lane closure, new pedestrian walkway and bridge, site landscaping, sustainability features and CPTED security measures, it was:

MOVED BY Commission Member Buhler SECONDED BY Commission Member Millsip

That Rezoning Application RZ 10-18/Development Permit Application DP 12-18 to accommodate a 127 unit, four-story condominium apartment located at 5423, 5433, 19900, 19910, 19920, 19930 Brydon Crescent & Un-zoned Portion of Closed Road on Plan EPP73909 be approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report be approved.

CARRIED

#### 4) <u>REZONING APPLICATION RZ 13-18 - 20555-56 AVENUE</u>

The Director Development Services & Economic Development provided a brief overview of the planning context for the proposed "microbrewery" Rezoning application, and introduced Bill Ulrich, Simcic & Ulrich Architects who presented the proposed application. Following discussion on proposed building tenant improvements, hours of operation, outdoor patio, occupant capacity, Provincial liquor licensing, it was:

MOVED BY Commission Member Millsip SECONDED BY Commission Member Buhler

That Rezoning Application RZ 13-18 to accommodate a 'microbrewery" located at 20555-56<sup>th</sup> Avenue be approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report be approved.

CARRIED

#### 5) <u>REZONING APPLICATION RZ 14-18/DEVELOPMENT PERMIT</u> <u>APPLICATION DP 14-18- 5475, 5483, 5493-BRYDON CRESCENT</u>

The Director Development Services & Economic Development provided a brief overview of the planning context for the proposed Rezoning/Development Permit applications, and introduced Lukas Wykpis and Eric Poxleitner, Keystone Architecture & Planning Ltd. who presented the proposed applications. Following discussion on site plan, building form and character, landscaping, sustainability features and CPTED security measures, it was:

MOVED BY Commission Member Beimers SECONDED BY Commission Member Lubinich

That Rezoning Application RZ 14-18/Development Permit Application DP 14-18 to accommodate a 78 unit, 5-storey townhouse development located at 5475, 5483, 5493- Brydon Crescent be approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report be approved.

#### CARRIED

#### Discussion:

Discussion ensued regarding the Council decision relating to tandem parking and that staff report back to the Advisory Planning Committee on action items arising from Committee motions.

Shelley Coburn, School District No. 35 Trustee expressed concerns the School District is facing due to significant development activity, reduced classroom sizes, and Provincial school funding.

#### 6) <u>Next Meetings:</u>

Wednesday, September 12, 2018

### 7) <u>ADJOURNMENT</u>

MOVED BY Commission Member Coburn SECONDED BY Commission Member Buhler

THAT the meeting adjourn at 9:15 P.M.

CARRIED

ADVISORY PLANNING COMMISSION CHAIRMAN

DIRECTOR OF DEVELOPMENT SERVICES & ECONOMIC DEVELOPMENT

Certified Correct

## **41 UNIT TOWNHOUSE DEVELOPMENT**

#### 19610-19648 55A AVE, LANGLEY



#### CONTACT LIST:

#### OWNER :

LEONE HOMES INC. 238-13986 CAMBIE ROAD RICHMOND , B.C. V6V 2K3 TEL : 604 418 8678 ARCHITECT :

F. ADAB ARCHITECTS INC. 130 - 1000 ROOSEVELT CRESCENT NORTH VANCOUVER, B.C. V7P 3R4 TEL: 604 987 3003

SURVEYOR: GREWAL & ASSOCIATES. 204-15299, 68TH AVE. SURREY, B.C. V3S 2C1 TEL : 604 597 8567

CIVIL ENGINEER : CENTRAS ENGINEERING LTD 216-2630 CROYDON DR. SURREY, B.C. V3S 6T3 TEL : 604 782 6927

LANDSCAPE ARCHITECT:

PMG LANDSCAPE ARCHITECTS C100-4185 STILL CREEK DRIVE, BURNABY, B.C. V5C 6G9 TEL : 604 297 0011

#### LIST OF DRAWINGS

- A-1.0 PROJECT INDEX CONTACTS LIST
- CONTEXT PLAN PROJECT STATISTICS A-1.1
- A-1.2 AERIAL MAP -CONTEXT PHOTOS
- A-1.3 SITE PLAN
- PERSPECTIVE VIEW FROM 55A AVE COLOURED ELEVATIONS A-1.4
- A-1.5 EXTERIOR FINISH
- A-1.6
- A-2.1a FLOOR PLANS BLOCK 1 (1ST & 2ND FLOORS)
- A-2.1b FLOOR PLANS BLOCK 1 (3RD FLOOR & ROOF PLAN) A-2.2a FLOOR PLANS BLOCKS 2-3 (1ST & 2ND FLOORS)
- A-2.2b FLOOR PLANS BLOCKS 2-3 (3RD FLOOR & ROOF PLAN) A-2.3a FLOOR PLANS - BLOCKS 4-5-6-7 (1ST & 2ND FLOORS)
- A-2.3b FLOOR PLANS BLOCKS 4-5-6-7 (3RD FLOOR & ROOF PLAN)

#### A-3.1a ELEVATIONS (SOUTH & EAST)- BLOCK 1

- A-3.1b ELEVATIONS (NORTH & WEST) BLOCK 1
- A-3.2a ELEVATIONS (NORTH) BLOCKS 2-3 A-3.2b ELEVATIONS (EAST & SOUTH) BLOCKS 2-3
- A-3.3a ELEVATIONS (SOUTH) BLOCKS 4-5-6-7
- A-3.3b ELEVATIONS (WEST & NORTH) BLOCKS 4-5-6-7
- A-4.1 BLOCK 1 SECTIONS
- A-4.2 BLOCKS 2-3 SECTIONS
- A-4.3 BLOCKS 4-5-6-7 SECTIONS
- DESIGN RATIONALE SITE CHARACTERISTICS AND CONTEXT-URBAN DESIGN, FORM AND CHARACTER A-5.1
- A-5.2 DESIGN RATIONALE - SUSTAINABILITY AND GREEN MEASURES - CPTED
- LANDSCAPE PLAN
- L1 L2 PLANTING PLAN
- L3 LANDSCAPE DETAILS

41 UNIT TOWNHOUSE DEVELOPMENT 19610-19648 55A AVENUE, LANGLEY

DRAWING TITLE:

COVER PAGE CONTACT LIST/INDEX

OCT 2017	SHEET NO:
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	OCT 2017 NTS. A.A. A.A.



F. ADAB

INC.



ARCHITECTS

#130-1000 ROOSEVELT CRESCENT NCRTH VINICOLVER, BC 17P 384 TEL: (IX4) 987-3003 FAX: (IX4) 987-3023 E-MAK: mfs@multgonladat.com

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LEONE HOMES INC. 238 - 13986 CAMBIE ROAD. RICHMOND, B.C. V6V 2K3

#### **PROJECT STATISTICS**

#### CIVIC ADDRESS :

19610, 19618/19626, 19630/19632,19638, 196480/19650, 55A AVENUE, LANGLEY, BC.

#### LEGAL DESCRIPTION :

LOT 112, PLAN 38427, LOT 2 OF STRATA PLAN LMS41, LOT 2 OF STRATA PLAN LMS28 LOT 3 PLAN 84735 AND LOT 1 OF STRATA PLAN LMS139 ALL OF SECTION 3, TOWNSHIP 8

#### LOT AREA :

ORIGINAL LOT AREA : 54,334.7 SQ.FT.= 5047.7 SQ.M.=1.247 ACRES LAND DEDICATED FOR NEW LANE : 3370 SQ.FT. = 313 SQ.M. LAND PURCHASED FROM CITY : 6153 SQ.FT. = 571.6 SQ.M.

NEW LOT AREA : 57,161 SQ.FT. = 5310.2 SQ.M. = 1.312 ACRES

#### ZONING :

EXISTING : RS1 - SINGLE FAMILY RESIDENTIAL PROPOSED : CD

#### LOT COVERAGE :

PROVIDED : 27,617 / 57,161 = 48%

#### FLOOR AREA :

PROVIDED : BLOCK 1 :13,336 SQ.FT. = 1,238.96 SQ.M. BLOCKS 2-3 :8,916 SQ.FT. = 828.32 SQ.M. BLOCKS 4-5-6-7 :8,103 SQ.FT. = 752.79 SQ.M

#### TOTAL : 63,580 SQ.FT. = 5,906.78 SQ.M.

FAR : PROVIDED : 63,580 / 57,161 = 1.11

#### NO. OF UNITS : 41

DENSITY : PROPOSED : 31.2 UNIT / ACRE

#### **BUILDING HEIGHT :**

ALLOWED : 3 STORYS PROVIDED : 3 STORYS

#### SETBACKS :

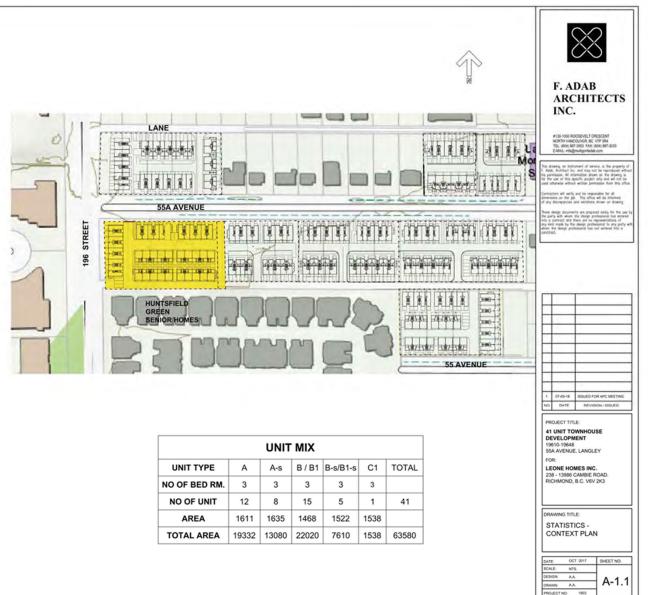
 PROVIDED :
 NORTH PL.
 : AVERAGE : 10'-0"

 SOUTH PL.
 : AVERAGE : 32'-3"
 WEST PL.
 : AVERAGE : 10'-0"

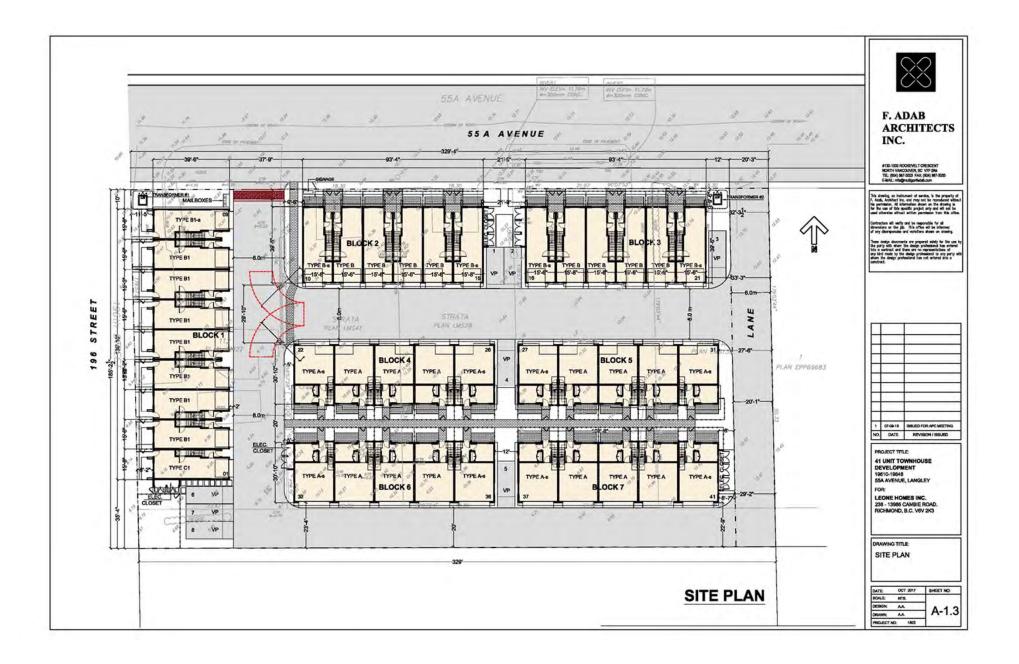
 EAST PL.
 : AVERAGE : 10'-0"
 EAST PL.
 : AVERAGE : 10'-0"

#### PARKING :

REQUIRED : 2 STALLS / TOWNHOUSE : 82 STALLS VISITORS : 0.2 /UNIT = 8.2 PROVIDED : 2 STALLS / TOWNHOUSE : 82 STALLS VISITORS : 8













PERSPECTIVE OF ROOF TOP PATIO



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SOLECT SV196

#### **Exterior Finishes and Colour**

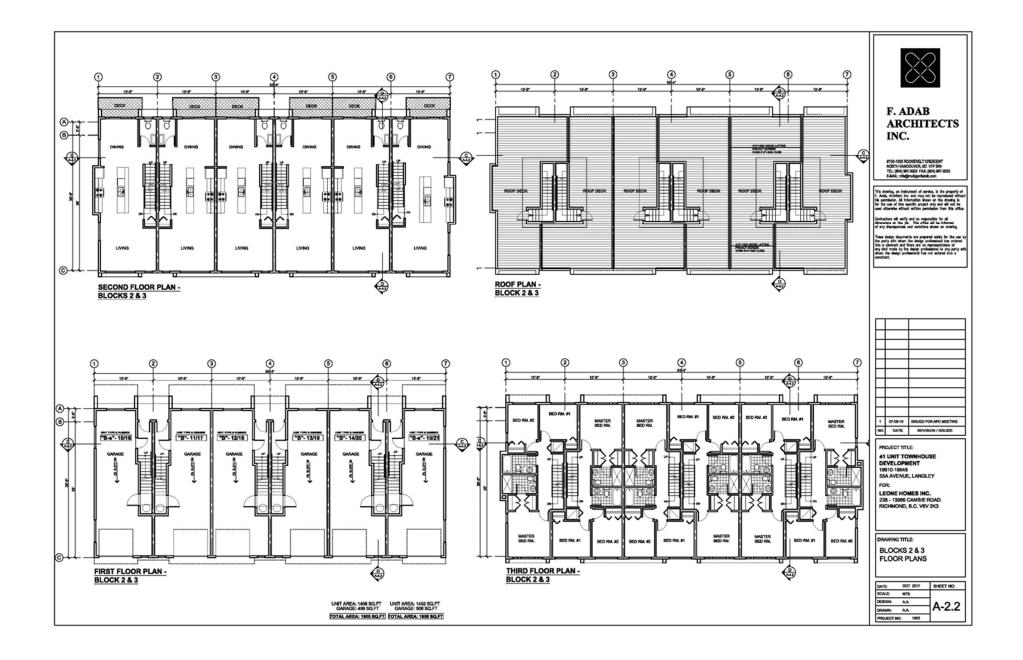
The selection of the exterior finishes is based on enhanced durability / longevity of the construction materials as part of a sustainable approach.

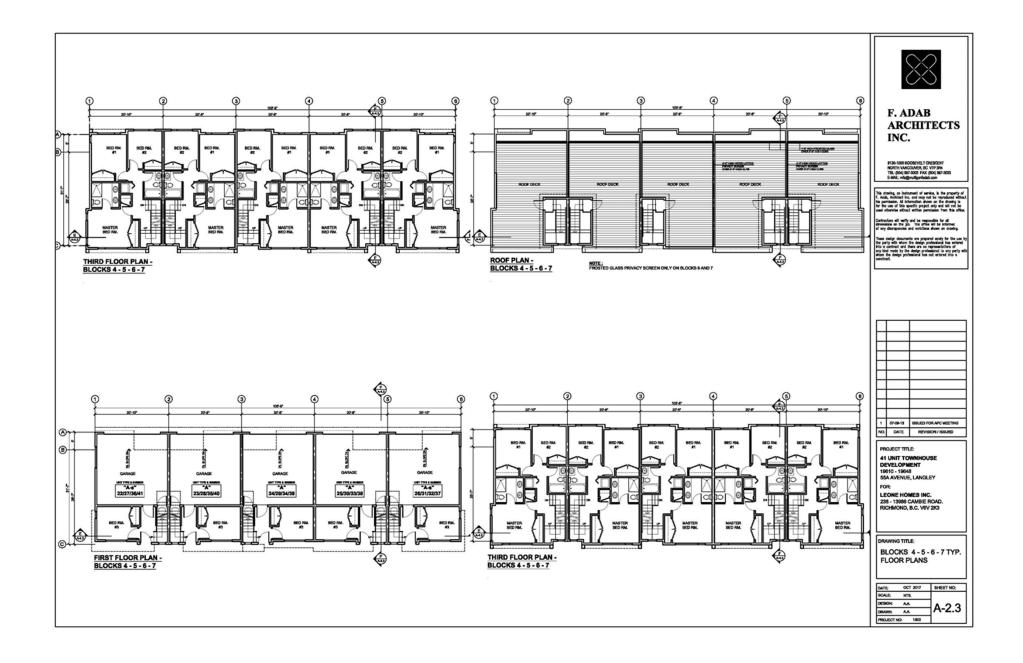
Emphasis is given on rich urban elements with stucco and brick being the dominant exposing material. Prefabricated hardy panels are used around the window frames and hardy siding between the frames.

Widows and railings are black resulting in further contrast between the exterior finishing materials.



#### **EXTERIOR FINISHES BRICK VENEER** F. ADAB CHARCOAL KLAYCOAT BY IXL ARCHITECTS INC. HARDIE PANEL ARCTIC WHITE SMOOTH BY JAMES HARDIE HARDIE LAP SIDING PEARL GRAY SMOOTH BY JAMES HARDIE STUCCO PAINT CHELSEA GRAY HC-168 BY BENJAMIN MOORE 1 07-09-18 ISSUED FOR APC MEETING ENTRY DOOR PAINT NO. DATE REVISION / ISSUED LYONS RED CC-68 BY BENJAMIN MOORE PROJECT TITLE 41 UNIT TOWNHOUSE DEVELOPMENT 19610-19648 55A AVENUE, LANGLEY FOR: LEONE HOMES INC. 238 - 13986 CAMBIE ROAD. RICHMOND, B.C. V5V 2K3 GARAGE DOOR PAINT CALM OC-22 BY BENJAMIN MOORE DRAWING TITLE: EXTERIOR FINISH **PVC SIDING** OCT 2017 SHEET NO: DATE BCALE: NTS. DESIGN: AA. DRAWN: AA. PROJECT NO: 1503 CARAMEL ZEBRAWOOD **REF #9 BY SAGIPER** A-1.6





#### Livability, Energy Saving and Green Measures

Many green building strategies have been incorporated into the project design including the following items:

- Where possible, operating windows are located on the opposite walls to draw ventilation across the occupied spaces.
- 2. The building envelope, glazing, and mechanical system will be designed based on the new energy code and in compliance with ASHRE 90, 2010
- Selection of the material is based on the use of low / non-toxic, low-maintenance, durable and sustainable products.
- Water efficient fixtures, energy efficient appliances and drought tolerance plants will be used to minimize the use of potable water.
- All units have private patios at grade, decks on 2nd floor and outdoor amenity on the roof decks, contributing to livability of the units and creating a family oriented environment.
- 6. Mechanical system is equipped with heat recovery system 'HRV" for recycling the heat energy.
- 7. All units have vehicular electric chargers in the garage.

#### Crime Prevention Through Environmental Design. "CPTED"

Liahona Security has been hired by the developer and provided a CPTED report for the proposed development. Architectural and the landscape designs have incorporated CPTED recommendations in their designs.

The rationale behind the CPTED strategy follows the principles introduced by Liahona Security and takes into account the standard measures as well as items specifically related to this proposal. These provisions are aimed to enhance safety and strengthen the perception of security.

#### The proposed CPTED measure fall into the following categories:

- Identifiable entries to the units with direct access to the street along with identifiable private and semi private patios along with the presence of the balconies on the 2nd floor creates a clear definition of hierarchy of space, a sense of territorial identity and sense of ownership
- The windows and the balconies along the 55 A Avenue and the lane ensure the outdoor presence of the people, which provide "eyes on the street" and security for the private and public spaces
- Lights would be installed on both sides of the townhouse entries and garage doors illuminating the entire buildings and internal road. Lights are also installed next to the signage and mail box. Outdoor lights are regulated by photo cell system.
- The access control is achieved by ensuring visible entrances overlooked by windows and balconies as well as defining the entrance ways and controlling the point of access to the site
- Brick has been introduced at the base of the buildings representing a durable and high quality base free of graffiti.
- Trees, shrubs and hedges are designed in a manner to increase visibility and avoid creating hidden spaces.



F. ADAB ARCHITECTS INC.

#150-1000 RDOBEVELT CRESCENT NORTH VANCOUVER, BC V7P SR4 TEL: (804) M7-3003 FAX: (804) M7-3033 E-WAL: mla@mutgorildab.com

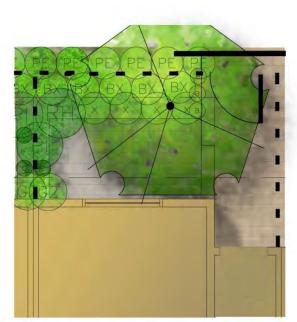


Contractors will writy and be responsible for all dimensions on the jub. This office will be informed of any discrepancies and varietions shown on drawing.

These design documents are prepared adapt for the use by the party with share the design professional has entered
into a contract and there are no representations of any kind made by the design professional to any party with whom the design professional has not entered into a
conduct.

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1	07-09-18	ISSUED FO	R APC MEETING		
NO.	DATE	REVISI	ON / ISSUED		
PROJECT TITLE: 41 UNIT TOWNHOUSE DEVELOPACT 1910-19048 SGA AVENUE, LANGLEY FOR LEONE HOMES INC. 238-13986 CAME: ROAD, RICHMOND, B.C. V87 2K3					
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BUXUS

PLANTING

PAVER COLOURS



PENNISETUM





ACER CAPILLIPES

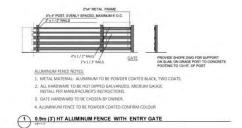




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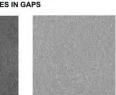












CHARCOAL-RANDOM-20% GRAY- FIELD

ENGINEERED BASE WITH GRAVEL AT VISITOR PARKING



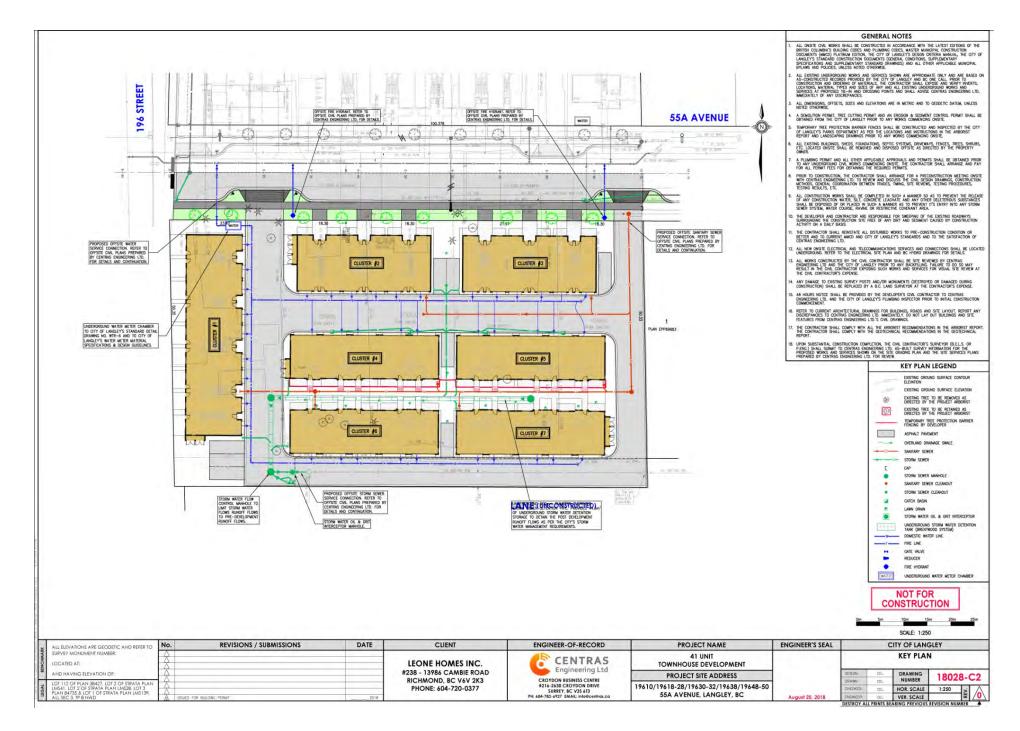
PMG PROJECT NUMBER

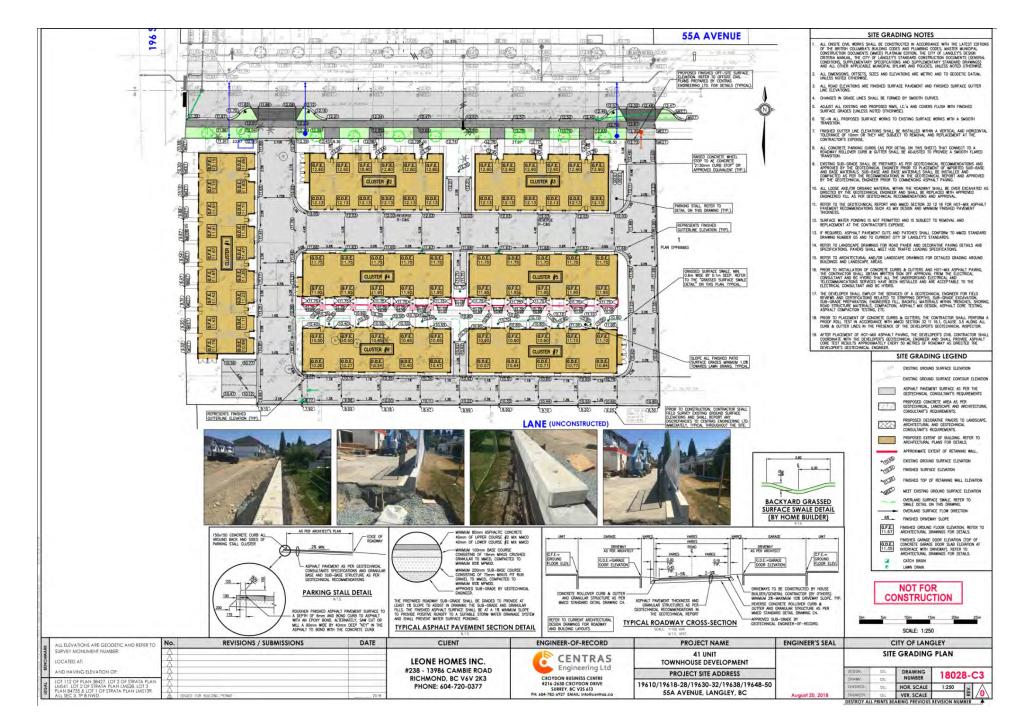
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SEAL







## ZONING BYLAW, 1996 NO. 2100, AMENDMENT NO. 156, 2018, NO. 3081

A Bylaw to amend City of Langley Zoning Bylaw, 1996, No. 2100 to add a new Comprehensive Development Zone (CD64) and rezone the property located 20555 -56<sup>th</sup> Avenue to that new zone.

WHEREAS Bylaw No. 2100, cited as the "Zoning Bylaw, 1996, No. 2100" was enacted by the Council of the City of Langley on the Tenth day of June, 1996;

AND WHEREAS Simcic & Urich Architects has made application to amend the said Bylaw No. 2100 to include a new Comprehensive Development (CD64) zone and to rezone Lot 54, Except; Part on Bylaw Plan 58428; District Lot 37, Group 2, New Westminster District Plan 35362 ("the said Lands") from the Downtown Commercial (C-1) Zone to the Comprehensive Development – 64 (CD64) Zone;

NOW THEREFORE, the Council of the City of Langley, in open meeting assembled, enacts as follows:

1) Bylaw No. 2100, cited as the "Zoning Bylaw, 1996, No. 2100" is hereby amended by including the following as the new Zone classification of Comprehensive Development - 64 (CD64) Zone:

## III. CD64 COMPREHENSIVE DEVELOPMENT ZONE

## 1. Intent

This Zone is intended to accommodate and regulate the development of a microbrewery use with downtown oriented commercial uses and facilities.

## 2. Permitted Land Uses

Land, buildings and structures shall be used for the uses as permitted in the following Zone only:

- (a) Uses permitted in the C1 Zone.
- (b) Microbrewery Use.

Bylaw No. 3081 Page 2

# 3. Lot Dimensions

The minimum size and width of lots which may be created by subdivision in this Zone are as follows:

Minimum		
Lot Size	Lot Width	
222 m <sup>2</sup>	n/a	
[2,389.66 ft <sup>2</sup> ]		

# 4. Size of Buildings and Structures

_	Maximum	
Building Type	# Units	Height
Principal Building	371 unit/ha <sup>(i)</sup>	46.0 m [150.91 ft]
Accessory Buildings and Structures	n/a	n/a

# 5. Lot Coverage

All buildings and structures combined shall not cover more than ninety (95) percent of the lot area.

# 6. Siting of Buildings and Structures

	Minimum Lot Line Setback			
Building Type	Front	Rear	Interior	Exterior
Principal Building	1.8 m 5.90 ft.	0.0 m 0.0 ft	0.0 m 0.0 ft	1.8 m 5.90ft.
Accessory Buildings and Structures	n/a	n/a	n/a	n/a

(i) Where storeys are used for residential purposes, all lot line setbacks shall be

a minimum of 6.0m (19.69 ft) with respect to such storeys.

# 7. Off-Street Parking and Loading

Off-street parking and loading shall be provided and maintained in accordance with Section I.E. of this Bylaw with the following exception:

Bylaw No. 3081 Page 3

# 8. Landscaping

Landscaping, Screening and Fencing shall be provided and maintained in accordance with Section I.F. of this Bylaw.

# 9. Special Regulations

(a) *Microbrewery Use* means a facility for the brewing of beer licensed by the Province of British Columbia: includes the following as accessory uses: lounge area for sampling product made on site, retail display and retail sales area.

# 10. Other Regulations

In addition, land use regulations including the following are applicable:

- (a) General provisions on use are set out in Section I.D. of this Bylaw.
- (b) Building Permits shall be subject to the City of Langley Building Bylaw and the Development Cost Charge Bylaw.
- (c) Subdivisions shall be subject to the City of Langley Subdivision Control Bylaw and the Development Cost Charge Bylaw.
- (d) Development Permits may be required in accordance with the Official Community Plan.
- (e) Sign Permits shall be subject to the City of Langley Sign Bylaw.
- 2) The said Bylaw No. 2100 is further amended to rezone "Lot 54, Except: Part on Bylaw Plan 58428; District Lot 37, Group 2, New Westminster District Plan 35362 the said lands contained within the heavy black outline appearing on Schedule "A", attached hereto and forming a part of this Bylaw, from Downtown Commercial (C1) Zone to the Comprehensive Development - 64 (CD64) Zone herein as the said lands.

3) This Bylaw may be cited for all purposes as the "City of Langley Zoning Bylaw, 1996 No. 2100, Amendment No. 156, 2018, No. 3081."

READ A FIRST AND SECOND TIME this twenty third day of August , 2018.

A PUBLIC HEARING, pursuant to Section 890 of the "Local Government Act" was held this -- day of, 2018.

THIRD READING of the Bylaw was given this -- day of , 2018.

APPROVAL OF THE MINISTRY OF TRANSPORTATION was received this -- day of , 2018.

RECONSIDERED, FINALLY PASSED AND ADOPTED this -- day of , 2018.

MAYOR

CORPORATE OFFICER



# **REZONING APPLICATION RZ 13-18**

Civic Address: Legal Description:

Applicant: Owner: 20555 – 56 Avenue Lot 54 Except: Part on Bylaw Plan 58428; District Lot 37, Group 2, New Westminster District, Plan 35362 Simcic & Urich Architects Eurocan Industries Inc.

20630 8376 2 8633 500 Ş 20644 \$2350 1567 50 20450-20500 5250 25635 20672 09 REMB 6894 77 8603 20621 12 N 6 63 BCD 6638 Logan Ave 83 1 20604 84 2064166376 75128 7 20679-91 **REM 54** 20501 20555 35362 Subject Property 86 S/E 58428 66263 NW3302 56 Ave 41 20560 ი 20562 20457 28855 239 07 58114 200 BCP19379 BCP79780 89 5071 56422 35829 62855 238 REM2 ane-A 5568 68464 22628 В 10394 W3447 20505 A 83053 15351 65502 20525 1 Sali St 20565 20567 Fraser Hwy 206 62106 NW 3304 2015\$207 5 NW1657 205 32050 20611 -33



# Advisory Planning Commission Report

# To: Advisory Planning Commission

Subject Rezoning Application RZ 13-18

From: Development Services & Economic Development Department File #: 6620.00 Doc #:

Date: July 20, 2018

# **COMMITTEE RECOMMENDATION:**

THAT Rezoning Application RZ 13-18 to accommodate a "Microbrewery" at 20555-56<sup>th</sup> Avenue be approved subject to execution of a Development Servicing Agreement in compliance with the conditions outlined in the Director of Development Services & Economic Development report.

# PURPOSE OF REPORT:

To consider a Rezoning Application and Development Permit Application by Simcic Uhrich Architects to accommodate a "Microbrewery" at 20555-56<sup>th</sup> Avenue.

# POLICY:

The subject property is zoned C1 Downtown Commercial Zone pursuant to Zoning Bylaw No. 2100, which currently does not permit "microbrewery use". In addition, the subject property is designated as Downtown Commercial in our Official Community Plan. One of the "Fundamental Objectives" articulated within our OCP under 'Economic Development' is "to facilitate the strengthening and diversification of the local economy".



### COMMENTS/ANALYSIS:

# Background Information:

Applicant: Owner: Civic Addresses: Legal Description:	Simcic & Ulrich Architects Eurocan Industries Inc. 20555-56 <sup>th</sup> Avenue Lot 54, Except: Part on Bylaw Plan 58428; District Lot 37, Group 2, New Westminster District Plan 35362
Site Area:	7,333 m2
Total Building Area:	31,124 ft <sup>2</sup>
Total Parking Required:	93 spaces, including 3 handicap designated stalls
Total Parking Provided:	106 spaces, including 3 handicap designated stalls
Existing Zoning:	C1 Downtown Commercial Zone
Proposed Zoning:	CD 64 Comprehensive Development Zone
OCP Designation:	Downtown Commercial
Variances Requested:	None
Development Cost	Not Applicable
Charges:	
Community Amenity	Not Applicable
Charge:	

# **Engineering Requirements:**

These requirements have been issued for a rezoning for a proposed **Microbrewery Use.** These requirements may be subject to change upon receipt of a development application.

# a) <u>The developer is responsible for the following work which shall be</u> <u>designed and approved by a Professional Engineer:</u>

1. If a new water service connection and meter is required for the proposed microbrewery use. The developer's engineer will determine the appropriate main tie in locations and size the connections for the necessary capacity.



2. Water meters are required for each water connection and are to be installed outside in a vault away from any structure, in accordance with the City's water meter specifications, at the developer's cost.

# Discussion:

The applicant is proposing to locate a "microbrewery" in the former Thrift Store space at *Highland Village Shopping Centre* Unit #5 -20555 -56<sup>th</sup> Avenue. "*Microbrewery*" is not currently permitted in the C1 Downtown Commercial Zone. Since the applicant is proposing to utilize an existing building without an addition, no Development Permit is required.

In addition to City of Langley approval, a microbrewery is licensed as a "*Manufacturer's License*" by the Provincial Liquor Control and Licensing Branch (LCBC) and is defined as "a facility for the brewing of beer licensed by the Province of British Columbia: includes the following accessory uses; lounge area for sampling product made on site, retail display area, and retail sales area".

The proposed "*Farm Country Brewing*" proposes to operate its Lounge and Retail Sales Area from Sunday-Wednesday Noon-9pm, Thursday-Saturday Noon-11pm and employ 8-12 people.

# Fire Department Comments:

Langley City Fire-Rescue Service has reviewed the attached plans and provided preliminary comments to the applicant. The department will review, and make further comment, as the project continues to the building permit design stage.

# Advisory Planning Commission:

In accordance with Development Application Procedures Bylaw No. 2488, the subject applications will be reviewed by the Advisory Planning Commission at the August 8, 2018 meeting. A copy of the APC minutes will be presented to Langley City Council at the August 23, 2018 Special Council meeting.

# **BUDGET IMPLICATIONS:**

N/A.



# **ALTERNATIVES:**

- 1. Require changes to the applicant's proposal.
- 2. Deny application.

Prepared by:

Jorald Minehold

Gerald Minchuk, MCIP Director of Development Services & Economic Development

Concurrence:

Concurrence:

Rick Bomhof, P.Eng. Director of Engineering, Parks & Environment

Attachment(s):

Rory Thompson, Fire Chief





# MINUTES OF THE ADVISORY PLANNING COMMISSION MEETING

# HELD IN LANGLEY CITY HALL CKF COMMUNITY BOARDROOM

# WEDNESDAY, AUGUST 8, 2018 7:00 PM

- Present: Councillor Jack Arnold, Chairman Councillor Paul Albrecht, Vice-Chairman John Beimers Trish Buhler Shelley Coburn, School District No. 35 Kimberley Lubinich Ron Madsen Dan Millsip
- Staff: Gerald Minchuk, Director of Development Services & Economic Development
- Absent: Constable Lisa Cormier, Langley RCMP Kim Mullin Jamie Schreder

# 1) <u>RECEIPT OF MINUTES</u>

MOVED BY Commission Member Buhler SECONDED BY Commission Member Madsen

THAT the minutes for the June 13, 2018 Advisory Planning Commission meeting be received.

# CARRIED

# 2) <u>REZONING APPLICATION RZ 11-18/DEVELOPMENT PERMIT</u> <u>APPLICATION DP 13-18- 19610, 19618-19626, 19630-19632, 19638,</u> <u>19648-19650 -55A AVENUE & UNZONED PORTION OF CLOSED</u> <u>ROAD ON PLAN EPP83409</u>

The Director Development Services & Economic Development provided a brief overview of the planning context for the proposed Rezoning/Development Permit applications, and introduced Fred Adab, F..Adab Architects Inc. and Marlene Messer, PMG Landscape Architects who presented the proposed applications. Following discussion on building form and character, architectural design, lane closure, tandem parking, landscaping, Sustainability features, and CPTED security measures, it was:

MOVED BY Commission Member Madsen SECONDED BY Commission Member Lubinich

OPPOSED BY Commission Member Millsp, Member Buhler

That Rezoning Application RZ 11-18/Development Permit Application DP 13-18 to accommodate a 3-storey, 41-unit townhouse development located at 19610, 19618-19626, 19630-19632, 19638, 19648-19650-55A Avenue & Un-zoned Portion of Closed Road On Plan EPP83409 be approved, subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report be approved.

# <u>CARRIED</u>

# 3) <u>REZONING APPLICATION RZ 10-18/DEVELOPMENT PERMIT</u> <u>APPLICATION DP 12-18- 5423, 5433, 19900, 19910, 19920, 19930</u> <u>BRYDON CRESCENT & UNZONED PORTION OF CLOSED</u> <u>ROAD ON PLAN EPP73909</u>

The Director Development Services & Economic Development provided a brief overview of the planning context for the proposed Rezoning/Development Permit applications, and introduced Wes Freisen, Points West Architecture, who presented the proposed applications. Following discussion on site plan, building form and character, building exterior, parking, lane closure, new pedestrian walkway and bridge, site landscaping, sustainability features and CPTED security measures, it was:

MOVED BY Commission Member Buhler SECONDED BY Commission Member Millsip

That Rezoning Application RZ 10-18/Development Permit Application DP 12-18 to accommodate a 127 unit, four-story condominium apartment located at 5423, 5433, 19900, 19910, 19920, 19930 Brydon Crescent & Un-zoned Portion of Closed Road on Plan EPP73909 be approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report be approved.

CARRIED

## 4) <u>REZONING APPLICATION RZ 13-18 - 20555-56 AVENUE</u>

The Director Development Services & Economic Development provided a brief overview of the planning context for the proposed "microbrewery" Rezoning application, and introduced Bill Ulrich, Simcic & Ulrich Architects who presented the proposed application. Following discussion on proposed building tenant improvements, hours of operation, outdoor patio, occupant capacity, Provincial liquor licensing, it was:

MOVED BY Commission Member Millsip SECONDED BY Commission Member Buhler

That Rezoning Application RZ 13-18 to accommodate a 'microbrewery" located at 20555-56<sup>th</sup> Avenue be approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report be approved.

CARRIED

# 5) <u>REZONING APPLICATION RZ 14-18/DEVELOPMENT PERMIT</u> <u>APPLICATION DP 14-18- 5475, 5483, 5493-BRYDON CRESCENT</u>

The Director Development Services & Economic Development provided a brief overview of the planning context for the proposed Rezoning/Development Permit applications, and introduced Lukas Wykpis and Eric Poxleitner, Keystone Architecture & Planning Ltd. who presented the proposed applications. Following discussion on site plan, building form and character, landscaping, sustainability features and CPTED security measures, it was:

MOVED BY Commission Member Beimers SECONDED BY Commission Member Lubinich

That Rezoning Application RZ 14-18/Development Permit Application DP 14-18 to accommodate a 78 unit, 5-storey townhouse development located at 5475, 5483, 5493- Brydon Crescent be approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report be approved.

# CARRIED

# Discussion:

Discussion ensued regarding the Council decision relating to tandem parking and that staff report back to the Advisory Planning Committee on action items arising from Committee motions.

Shelley Coburn, School District No. 35 Trustee expressed concerns the School District is facing due to significant development activity, reduced classroom sizes, and Provincial school funding.

# 6) <u>Next Meetings:</u>

Wednesday, September 12, 2018

# 7) <u>ADJOURNMENT</u>

MOVED BY Commission Member Coburn SECONDED BY Commission Member Buhler

THAT the meeting adjourn at 9:15 P.M.

CARRIED

ADVISORY PLANNING COMMISSION CHAIRMAN

DIRECTOR OF DEVELOPMENT SERVICES & ECONOMIC DEVELOPMENT

Certified Correct

LANGLEY BC



#### FARM COUNTRY BREWING

#5 - 20555 Sóth Avenue Langley BC SIMCIC + UHRICH ARCHITECTS

# Our Story

Farm Country Brewing began as a dream between founders Travis and Arnold who wanted to share their love of craft beer with the community they grew up in. Langley was and still largely is farm country! Growing up here taught us the values of putting in a hard days work and helping out your fellow neighbour to get the job done. In the country when the work day is over and the weekend has arrived time well spent with family and friends is what life's all about!

Here at Farm Country Brewing we were drawn to craft beer for the **high quality handcrafted flavourful brews**, but we found out that craft beer is so much more. It's about creativity and collaboration, supporting your local community, and getting back to friendly customer service from days gone by. It's these values that we look forward to sharing with the good people of Langley and the surrounding Fraser Valley. We hope our beers join you as you gather with friends and family to celebrate life's many achievements.

# Our Brewing Style

Langley has historic roots as a farming community and is now one of the fastest growing areas in B.C. for young families. It's this unique blend of tradition and youthful enthusiasm that inspires us to create beers that are fresh, flavourful and innovative, yet still stay true to the traditions of old world styles. Whether you're a craft beer enthusiast or new to the game, we've handcrafted a beer for you. Farm Country beers are brewed to reward hard work and accompany good times!



#### FARM COUNTRY BREWING

#5 - 20555 56th Avenue Langley BC SIMCIC + UHRICH ARCHITECTS

# Breweries

Brassneck Brewery



FARM COUNTRY BREWING

#5 - 20555 56th Avenue Langley BC Dageraad Brewery



Field House Brewery



SIMCIC + UHRICH ARCHITECTS

# Design Concept



# Exterior

Referencing the typologies of local barn buildings, the exterior utilizes a wood screen to create a play of light sifting through similar to a wall of an old barn.

FARM COUNTRY BREWING

#5 - 20555 Sóth Avenue Langley BC SIMCIC + UHRICH ARCHITECTS

# Design Concept



#### FARM COUNTRY BREWING

#5 - 20555 56th Avenue Langley BC

## Interior

The brewery lounge will be a very warm and welcoming space for people of all ages. The interiors draws inspiration from the horizon line of farm fields and the contrasts of texture and colour between the field and the sky.

SIMCIC + UHRICH ARCHITECTS

# Branding Concept

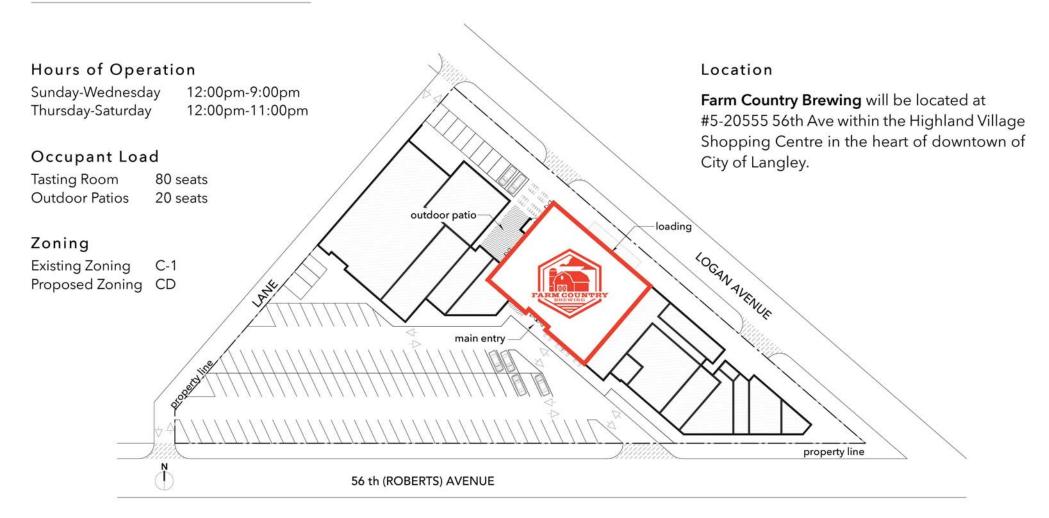


# **Colour** Palette

#### FARM COUNTRY BREWING

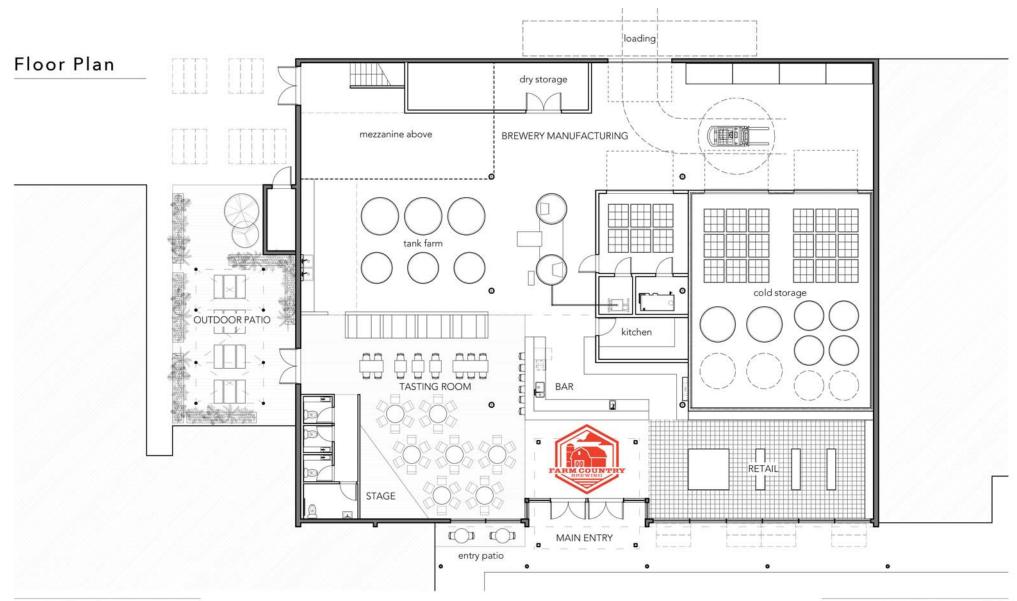
#5 - 20555 56th Avenue Langley BC SIMCIC + UHRICH ARCHITECTS

# Site Plan

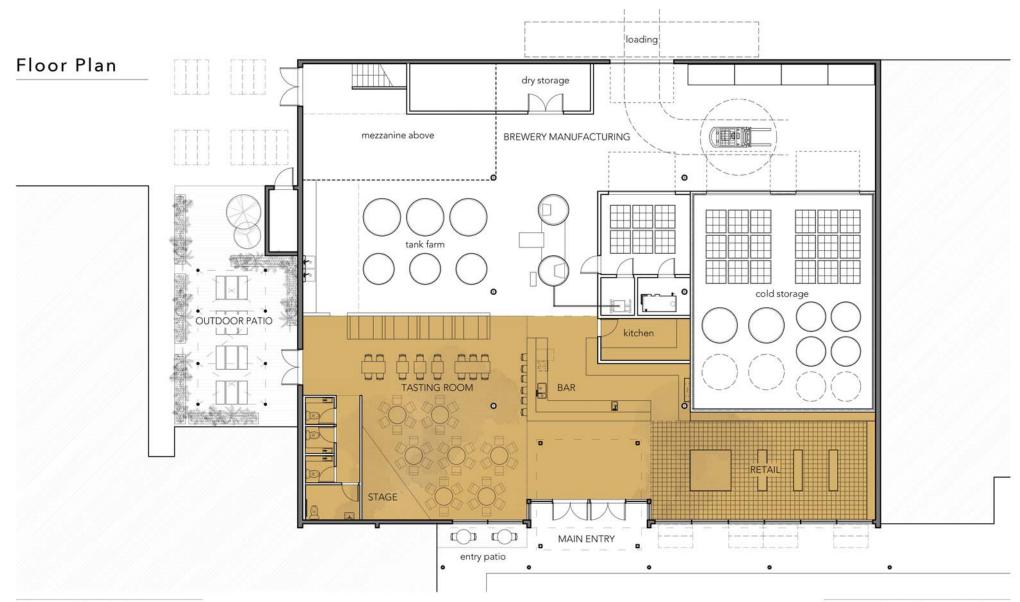


#### FARM COUNTRY BREWING

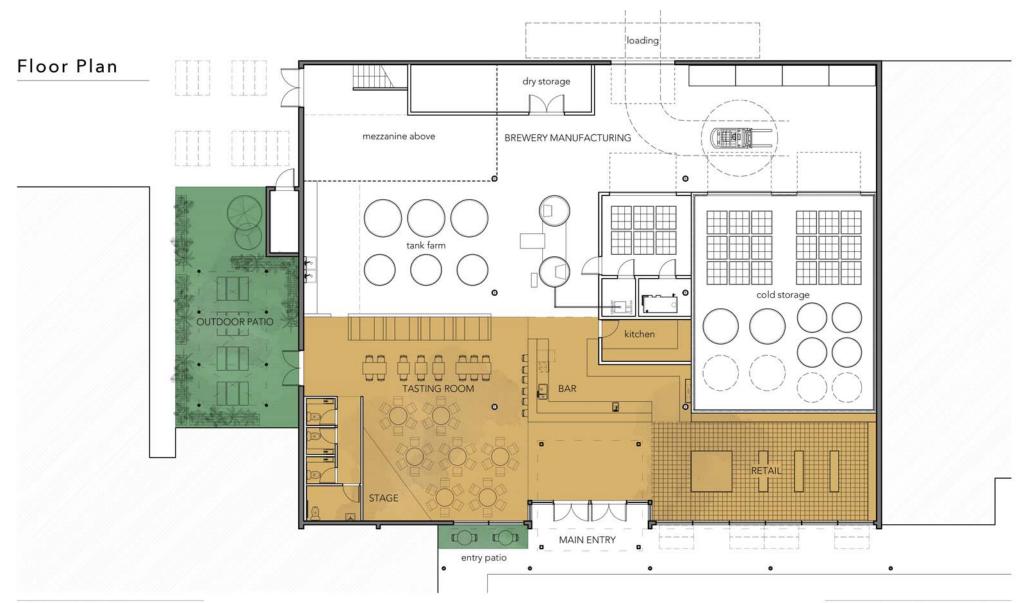
#5 - 20555 Sóth Avenue Langley BC SIMCIC + UHRICH ARCHITECTS



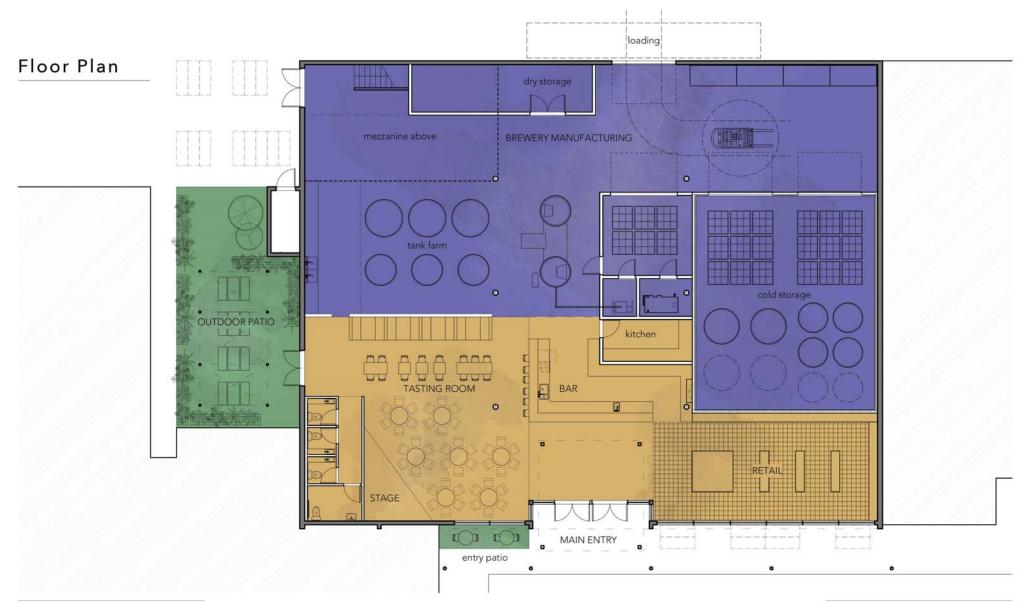
#5 - 20555 56th Avenue Langley BC SIMCIC + UHRICH ARCHITECTS



#5 - 20555 Sóth Avenue Langley BC SIMCIC + UHRICH ARCHITECTS



#5 - 20555 Sóth Avenue Langley BC SIMCIC + UHRICH ARCHITECTS



#5 - 20555 Sóth Avenue Langley BC SIMCIC + UHRICH ARCHITECTS

# Elevations



#### FARM COUNTRY BREWING

#5 - 20555 56th Avenue Langley BC SIMCIC + UHRICH ARCHITECTS



#5 - 20555 56th Avenue Langley BC SIMCIC + UHRICH ARCHITECTS



#5 - 20555 Sóth Avenue Langley BC SIMCIC + UHRICH ARCHITECTS

# Paula Kusack

From: Sent: To: Subject: WebInfo September-11-18 8:06 PM Paula Kusack Fwd: Support for Bylaw 3081

Sent from my iPhone

Begin forwarded message:

From: Natalie Pullman Date: September 11, 2018 at 2:23:13 PM PDT To: <<u>info@langleycity.ca</u>> Subject: Support for Bylaw 3081

Hello!

On behalf of my partner and myself, I am emailing my support for the above bylaw to allow for a future Craft Brewery in Downtown Langley. We live at 201-20460 Douglas Crescent, Langley. Unfortunately we cannot make the Public Hearing on Monday. I hope it goes well!

Thank you Natalie Pullman and Matthew Gabrick.



# ZONING BYLAW, 1996, NO. 2100 AMENDMENT NO. 157, 2018, BYLAW NO. 3082 DEVELOPMENT PERMIT APPLICATION DP 14-18

To consider a Rezoning Application and Development Permit Application by Whitetail Homes Inc. to accommodate a 5-storey, 78-unit condominium apartment development.

The subject properties are currently zoned RS1 Single Family Residential Zone in Zoning Bylaw No. 2100 and designated "High Density Residential" in the Official Community Plan. All lands designated "High Density Residential" are subject to a Development Permit to address building form and character.

# **Background Information:**

Applicant:	Keystone Architecture & Planning Inc.
Owners:	Whitetail Homes Inc.
Civic Addresses:	5493, 5483, 5475 Brydon Crescent
Legal Description:	Lots 29, 30, 31, Section 3, Township 8,
	New Westminster District Plan 16572
Site Area:	.98 acres
Lot Coverage:	34.2%
Total Parking Required:	116 spaces, including 16 visitor spaces
Total Parking Provided:	116 spaces, including 16 visitor spaces
Existing Zoning:	RS1 Single Family Residential Zone
Proposed Zoning:	CD 65 (Comprehensive Development
	Zone)
OCP Designation:	High Density Residential
Variances Requested:	None
Development Cost	\$986,706 (includes \$73,723.50 DCC
Charges:	Credit)
Community Amenity	\$156,000.00
Charge:	



## ZONING BYLAW, 1996, No. 2100 AMENDMENT NO. 157

BYLAW No. 3082

A Bylaw to amend City of Langley Zoning Bylaw, 1996, No. 2100 to add a new Comprehensive Development Zone (CD65) and to rezone the property located at 5493, 5483, 5475 Brydon Crescent to the new zone.

WHEREAS the *Local Government Act* authorizes a local government to zone areas of a municipality and to make regulations pursuant to zoning;

NOW THEREFORE the Council of the City of Langley, in open meeting assembled, enacts as follows:

# 1. Title

This bylaw shall be cited as the "Zoning Bylaw 1996, No. 2100 Amendment No. 157, 2018, No. 3082".

### 2. Amendment

 Bylaw No. 2100, cited as the "Zoning Bylaw, 1996, No. 2100" is hereby amended by adding in Part VII Comprehensive Development Zones the following as the new Zone classification of Comprehensive Development – 65 (CD65) Zone: immediately after Comprehensive Development - 64 (CD64) Zone:

# *"JJJ. CD65 COMPREHENSIVE DEVELOPMENT ZONE*

### 1. Intent

This Zone is intended to accommodate and regulate a 5-storey, 78unit condominium apartment development.

# 2. Permitted Uses

The Land, buildings and structures shall only be used for the following uses only:

(a) Multiple-Unit Residential; and

- 1. Accessory uses limited to the following:
  - (i) *Home Occupations* excluding bed and breakfast and *child care centre*.

# 3. Site Dimensions

The following lot shall form the site and shall be zoned CD65 Comprehensive Development Zone on the Zoning Map, City of Langley Zoning Bylaw, 1996, No. 2100, Schedule "A":

(a) PID: 010-219-293

Lot 29, Section 3, Township 8, New Westminster District, Plan 16572

- (b) PID: 009-894-918 Lot 30, Section 3, Township 8, New Westminster District, Plan 16572
- (c) PID: 004-492-447 Lot 31, Section 3, Township 8, New Westminster District, Plan 16572

# 4. Siting and Size of Buildings and Structures and Site Coverage

The location, size and site coverage of the buildings and structures of the Development shall generally conform to the plans and specifications comprising 24 pages and dated July 23, 2018 prepared by Keystone Architecture & Planning Ltd. and M2 Landscape Architecture one copy of which is attached to Development Permit No. 14-18.

# 5. Special Regulations

Special regulations shall comply with subsection 9 Special Regulations prescribed in the respective zones under different Parts of this bylaw.

# 6. Other Regulations

In addition, land use regulations including the following are applicable:

a. General provisions on use are set out in Section I.D. of this bylaw;

- b. Building Permits shall be subject to the City of Langley Building and Plumbing Regulation Bylaw and the Development Cost Charge Bylaw; and
- c. Subdivisions shall be subject to the City of Langley Subdivision and Development Servicing Bylaw, and the *Land Title* Act."

READ A FIRST AND SECOND TIME this twenty third day of August, 2018.

A PUBLIC HEARING, pursuant to Section 464 of the "Local Government Act" was held this -- day of -- , 2018.

READ A THIRD TIME this -- day of --, 2018.

FINALLY ADOPTED this -- day of --, 2018.

MAYOR

CORPORATE OFFICER



# **REZONING APPLICATION RZ 14-18 DEVELOPMENT PERMIT APPLICATION DP 14-18**

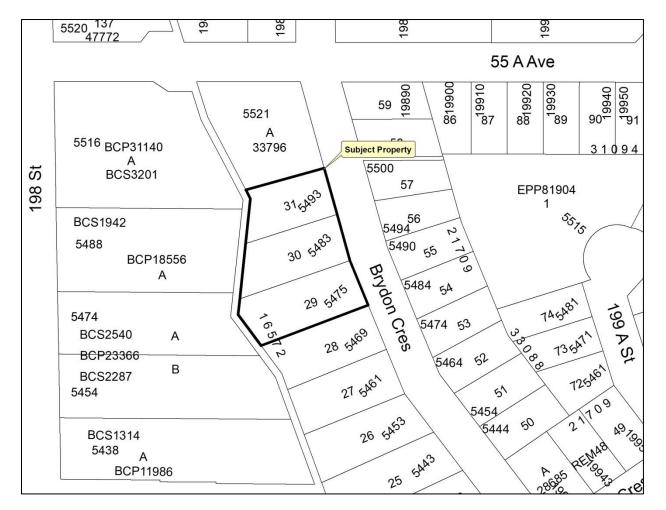
Civic Address: 5475, 5483, 5493 Brydon Crescent

L. Gosselin

Legal Description: Lots 29, 30, 31, Section 3, Township 8, New Westminster District, Plan 16572

Applicant: Owner:

1165114 B.C. Ltd., T. Koziel, T. Kump, M. Kump





# Advisory Planning Commission Report

# To: Advisory Planning Commission

# Subject Rezoning Application RZ 14-18 Development Permit Application DP 14-18

From: Development Services & Economic Development Department File #: 6620.00 Doc #:

Date: July 19, 2018

# **COMMITTEE RECOMMENDATION:**

THAT Rezoning Application RZ 14-18 and Development Permit Application DP 14-18 to accommodate a 5 storey, 78 unit condominium apartment located at 5475, 5483 and 5493 Brydon Crescent be approved subject to execution of a Development Servicing Agreement in compliance with the conditions outlined in the Director of Development Services & Economic Development report.

# **PURPOSE OF REPORT:**

To consider a Rezoning Application and Development Permit Application by Whitetail Homes Inc. to accommodate a 5 storey, 78 unit condominium apartment.

# POLICY:

The subject properties are zoned RS1 Single Family Residential in Zoning Bylaw No. 2100 and designated as High Density Residential in the Official Community Plan. All lands designated as High Density Residential are subject to a Development Permit to address building form and character.



### COMMENTS/ANALYSIS:

### **Background Information:**

Applicant: Owner: Civic Addresses: Legal Description:	Keystone Architecture & Planning Ltd. Whitetail Homes Inc. 5475, 5483, 5493 Brydon Crescent Lots 29, 30, 31, Section 3, Township 8, New Westminster District Plan 16572
Site Area:	.98 acre
Lot Coverage:	34.2%
Total Parking Required:	116 spaces (including 16 visitor spaces)
Total Parking Provided:	116 spaces (including 16 visitor spaces)
Existing Zoning:	RS1 Single Family Residential Zone
Proposed Zoning:	CD 65 Comprehensive Development Zone
OCP Designation:	High Density Residential
Variances Requested:	None
Development Cost	\$986,706 (includes \$73,723.50 DCC
Charges:	Credit)
Community Amenity	\$156,000
Charge:	

# Engineering Requirements:

The City's Zoning Bylaw, 1996, #2100 has requirements concerning landscaping for buffer zonings, parking and loading areas, and garbage and recycling containers, all of which applies to this design.

A) <u>The developer is responsible for the following work which shall be designed</u> by a Professional Engineer:

- A Qualified Environmental Professional (QEP) must be engaged to complete an assessment of the proposed development to ensure compliance with the Riparian Area Regulations. Setbacks from the Brydon Creek should be shown on all plans, and protection of the riparian area must be part of the Erosion and Sediment control plan for all phases of work in accordance with the City of Langley Watercourse Protection Bylaw #2518.
- 2. Conduct a water flow test and provide fire flow calculations by a Professional Engineer to determine if the existing water network is



adequate for fire flows. Replacement of the existing watermain may be necessary to achieve the necessary pressure and flows to conform to Fire Underwriters Survey (FUS) "Water Supply for a Public Fire Protection, a Guide to Recommended Practice, 1995".

- 3. Additional C71P fire hydrants may be required to meet bylaw and firefighting requirements. Hydrant locations must approved by the City of Langley Fire Department.
- 4. New water and sanitary and storm sewer service connections are required. The developer's engineer will determine the appropriate main tie in locations and size the connections for the necessary capacity. The capacity of the existing water and sewer mains should be assessed and any upgrades required servicing the site shall be designed and installed at the Developer's expense. All existing services shall be capped at the main, at the Developer's expense, upon application for Demolition permit.
- 5. A stormwater management plan for the site is required. Rainwater management measures used on site shall limit the release rate to mitigate flooding and environmental impacts as detailed in the Subdivision and Development Bylaw.
- 6. The site layout shall be designed by a civil engineer to ensure that the parking and access layout meets minimum design standards, including setbacks from property lines. Appropriate turning templates should be used to prove parking stalls and drive-aisles are accessible by the design vehicle.
- 7. The condition of the existing pavement surrounding the site shall be assessed by a geotechnical engineer. Pavements shall be adequate for an expected road life of 20 years under the expected traffic conditions for the class of road. Road construction and asphalt overlay designs shall be based on the analysis of the results of Benkelman Beam tests and test holes carried out on the existing road which is to be upgraded. If the pavement is inadequate it shall be remediated, at developer's cost.
- 8. The existing pavement on Brydon Crescent frontage requires top lift. This requirement will be fulfilled by a cash-in-lieu payment to the City for future top lift paving.
- 9. Eliminate the existing overhead hydro/tel wiring and poles along the frontage by replacing with underground hydro/tel infrastructure.
- 10. Street lighting on Brydon Crescent fronting the development shall be upgraded to LED fixtures to meet current City standards.



11. Existing driveway crossings along the development frontage to be removed and replaced with new sidewalk curb and gutter to match existing.

# <u>B) The developer is required to deposit the following bonding and connection fees:</u>

- 1. The City would require a Security Deposit based on the estimated construction costs of installing civil works, as approved by the Director of Engineering, Parks and Environment.
- The City would require inspection and administration fees in accordance to the Subdivision Bylaw based on a percentage of the estimated construction costs. (See Schedule A – General Requirement - GR5.1 for details).
- 3. A deposit for a storm, sanitary and water connection is required, which will be determined after detailed civil engineering drawings are submitted, sealed by a Professional Engineer.
- 4. The City would require a \$20,000 bond for the installation of a water meter to current standards.

NOTE: Deposits for utility services or connections are estimates only. The actual cost incurred for the work will be charged. The City will provide the developer with an estimate of connections costs, and the Developer will declare in writing that the estimate is acceptable.

C) The developer is required to adhere to the following conditions:

- 1. Undergrounding of hydro, telephone and cable services to the development site is required.
- 2. All survey costs and registration of documents with the Land Titles Office are the responsibility of the developer/owner.
- 3. A water meter is required to be installed outside in a vault away from any structures in accordance to the City's water meter specifications at the developer's cost. A double detector check valve assembly is required to be installed outside away from any structure in a vault as per the City's specifications.



- 4. An approved backflow prevention assembly must be installed on the domestic water connection immediately upon entering the building to provide premise isolation.
- 5. A "Stormceptor" or equivalent oil separator is required to treat site surface drainage.
- 6. A complete set of "as-built" drawings sealed by a Professional Engineer shall be submitted to the City after completion of the works. Digital drawing files in *.pdf* and *.dwg* format shall also be submitted.
- 7. The selection, location and spacing of street trees and landscaping shall be in accordance with the City of Langley's Official Community Plan Bylaw, 2005, No. 2600. The tree species shall be Magnolia 'Vulcan' and 'Little Gem.'
- 8. Stormwater run-off generated on the site shall not impact adjacent properties, or roadways.
- Garbage and recycling enclosures shall accommodated on the site and be designed to meet Metro Vancouver's "Technical Specifications for Recycling and Garbage Amenities in Multi-family and Commercial Developments - June 2015 Update."

# Discussion:

The applicant is proposing to redevelop three existing single residential properties with a contemporary, 79 unit, 5-Storey condominium apartment building. Access to the underground parkade for tenant and visitor parking is off Brydon Crescent. The proposed condominium offers a wide range of unit types to provide a various market conditions. A variety of architectural elements are incorporated into the contemporary design and form and character of the building.

The proposed development benefitted from a Crime Prevention Through Environmental Design (CPTED) review by a qualified consultant whose recommendations were incorporated into the plans.

The subject application complies with the Official Community Plan's Development Permit Area Guidelines for Multifamily Residential Areas.

## Fire Department Comments:

Langley City Fire-Rescue Service has reviewed the attached plans and provided preliminary comments to the applicant. The department will review, and make further comment, as the project continues to the building permit design stage.



## Advisory Planning Commission:

In accordance with Development Application Procedures Bylaw No. 2488, the subject applications will be reviewed by the Advisory Planning Commission at the August 8, 2018 meeting. A copy of the APC minutes will be presented to Langley City Council at the August 23, 2018 Special Council meeting.

## **BUDGET IMPLICATIONS:**

In accordance with Bylaw No. 2482, the proposed development would contribute \$986,706 to Development Cost Charge accounts and \$156,000 in Community Amenity Charges.

## ALTERNATIVES:

- 1. Require changes to the applicant's proposal.
- 2. Deny application.

Prepared by:

here Minchah

Gerald Minchuk, MCIP, RPP Director of Development Services & Economic Development

Concurrence:

Concurrence:

Rick Bomhof, P.Eng. Director of Engineering, Parks & Environment

Attachment(s):

Rory Thompson, Fire Chief





## MINUTES OF THE ADVISORY PLANNING COMMISSION MEETING

# HELD IN LANGLEY CITY HALL CKF COMMUNITY BOARDROOM

## WEDNESDAY, AUGUST 8, 2018 7:00 PM

- Present: Councillor Jack Arnold, Chairman Councillor Paul Albrecht, Vice-Chairman John Beimers Trish Buhler Shelley Coburn, School District No. 35 Kimberley Lubinich Ron Madsen Dan Millsip
- Staff: Gerald Minchuk, Director of Development Services & Economic Development
- Absent: Constable Lisa Cormier, Langley RCMP Kim Mullin Jamie Schreder

# 1) <u>RECEIPT OF MINUTES</u>

MOVED BY Commission Member Buhler SECONDED BY Commission Member Madsen

THAT the minutes for the June 13, 2018 Advisory Planning Commission meeting be received.

# CARRIED

## 2) <u>REZONING APPLICATION RZ 11-18/DEVELOPMENT PERMIT</u> <u>APPLICATION DP 13-18- 19610, 19618-19626, 19630-19632, 19638,</u> <u>19648-19650 -55A AVENUE & UNZONED PORTION OF CLOSED</u> <u>ROAD ON PLAN EPP83409</u>

The Director Development Services & Economic Development provided a brief overview of the planning context for the proposed Rezoning/Development Permit applications, and introduced Fred Adab, F..Adab Architects Inc. and Marlene Messer, PMG Landscape Architects who presented the proposed applications. Following discussion on building form and character, architectural design, lane closure, tandem parking, landscaping, Sustainability features, and CPTED security measures, it was:

MOVED BY Commission Member Madsen SECONDED BY Commission Member Lubinich

OPPOSED BY Commission Member Millsp, Member Buhler

That Rezoning Application RZ 11-18/Development Permit Application DP 13-18 to accommodate a 3-storey, 41-unit townhouse development located at 19610, 19618-19626, 19630-19632, 19638, 19648-19650-55A Avenue & Un-zoned Portion of Closed Road On Plan EPP83409 be approved, subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report be approved.

# <u>CARRIED</u>

## 3) <u>REZONING APPLICATION RZ 10-18/DEVELOPMENT PERMIT</u> <u>APPLICATION DP 12-18- 5423, 5433, 19900, 19910, 19920, 19930</u> <u>BRYDON CRESCENT & UNZONED PORTION OF CLOSED</u> <u>ROAD ON PLAN EPP73909</u>

The Director Development Services & Economic Development provided a brief overview of the planning context for the proposed Rezoning/Development Permit applications, and introduced Wes Freisen, Points West Architecture, who presented the proposed applications. Following discussion on site plan, building form and character, building exterior, parking, lane closure, new pedestrian walkway and bridge, site landscaping, sustainability features and CPTED security measures, it was:

MOVED BY Commission Member Buhler SECONDED BY Commission Member Millsip

That Rezoning Application RZ 10-18/Development Permit Application DP 12-18 to accommodate a 127 unit, four-story condominium apartment located at 5423, 5433, 19900, 19910, 19920, 19930 Brydon Crescent & Un-zoned Portion of Closed Road on Plan EPP73909 be approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report be approved.

CARRIED

## 4) <u>REZONING APPLICATION RZ 13-18 - 20555-56 AVENUE</u>

The Director Development Services & Economic Development provided a brief overview of the planning context for the proposed "microbrewery" Rezoning application, and introduced Bill Ulrich, Simcic & Ulrich Architects who presented the proposed application. Following discussion on proposed building tenant improvements, hours of operation, outdoor patio, occupant capacity, Provincial liquor licensing, it was:

MOVED BY Commission Member Millsip SECONDED BY Commission Member Buhler

That Rezoning Application RZ 13-18 to accommodate a 'microbrewery" located at 20555-56<sup>th</sup> Avenue be approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report be approved.

CARRIED

## 5) <u>REZONING APPLICATION RZ 14-18/DEVELOPMENT PERMIT</u> <u>APPLICATION DP 14-18- 5475, 5483, 5493-BRYDON CRESCENT</u>

The Director Development Services & Economic Development provided a brief overview of the planning context for the proposed Rezoning/Development Permit applications, and introduced Lukas Wykpis and Eric Poxleitner, Keystone Architecture & Planning Ltd. who presented the proposed applications. Following discussion on site plan, building form and character, landscaping, sustainability features and CPTED security measures, it was:

MOVED BY Commission Member Beimers SECONDED BY Commission Member Lubinich

That Rezoning Application RZ 14-18/Development Permit Application DP 14-18 to accommodate a 78 unit, 5-storey townhouse development located at 5475, 5483, 5493- Brydon Crescent be approved subject to execution of a Development Servicing Agreement and compliance with the conditions outlined in the Director of Development Services & Economic Development's report be approved.

## CARRIED

## Discussion:

Discussion ensued regarding the Council decision relating to tandem parking and that staff report back to the Advisory Planning Committee on action items arising from Committee motions.

Shelley Coburn, School District No. 35 Trustee expressed concerns the School District is facing due to significant development activity, reduced classroom sizes, and Provincial school funding.

## 6) <u>Next Meetings:</u>

Wednesday, September 12, 2018

# 7) <u>ADJOURNMENT</u>

MOVED BY Commission Member Coburn SECONDED BY Commission Member Buhler

THAT the meeting adjourn at 9:15 P.M.

CARRIED

ADVISORY PLANNING COMMISSION CHAIRMAN

DIRECTOR OF DEVELOPMENT SERVICES & ECONOMIC DEVELOPMENT

Certified Correct



#### sheet schedule

SD0.01	COVER PAGE
SD1.01	PROJECT DATA
SD1.02	CONTEXT PLANS
SD1.20	SITE PLAN
SD1.21	SITE SECTIONS
SD1.33	3D MASSING PERSPECTIVES
SD1.34	SITE PERSPECTIVES
SD2.01	UNIT PLANS
SD2.02	UNIT PLANS
SD2.03	UNIT PLANS
SD3.01	P2 LEVEL PLAN
SD3.02	P1 LEVEL PLAN
SD3.03	1st LEVEL PLAN
SD3.04	2nd LEVEL PLAN
SD3.05	3rd LEVEL PLAN
SD3.06	4th LEVEL PLAN

 SD3.07
 5th LEVEL PLAN

 SD3.08
 ROOF LEVEL PLAN

 SD4.01
 BUILDING ELEVATIONS

 SD4.02
 BUILDING ELEVATIONS

luc gosselin

104-3550 mt. lehman road abbotsford, bc v4x 2m9 T 604.864.0714 F 604.626.2214

keystone architecture & planning ltd. T 604.850.0577 F 1.855.398.4578 110 - 2881 garden street abbotsford, bc v2t 4x1



	BRYDON GREEN 2	COVER PAGE	ISSUED FOR DEVELOPMENT PERMIT		500.01
kevstonearch.ca	5475, 5483 & 5493 BRYDON CRESENT, LANGLEY CITY	SCALE: N.T.S.	07/23/18 REVISION #: CITY OF LANGLEY FILE # - XXX-XXX PROJECT NIMBRE: 18-113		300.01

0.1. project data	
PROJECT:	BRYDON GREEN (RESIDENTIAL)
PROPOSED ZONING	CD (COMPREHENSIVE DEVELOPMENT ZONE)
CIVIC ADDRESS:	5475, 5483 & 5493 BRYDON CRESENT, LANGLEY CITY, B.C.
LEGAL DESCRIPTION :	LOTS 29, 30, 31, SECTION 3, TOWNSHIP 8, NEW WESTMINSTER DISTRICT, PLAN 16572
VARIANCES APPLIED FOR:	
BYLAW EXEMPTIONS:	
MAXIMUM BUILDING HEIGHT:	5 STOREYS
MINIMUM BUILDING ELEVATION:	
TOTAL SITE AREA GROSS :	42,824 S.F. (3,978 S.M.) (0.98 ACRES)
TOTAL FAR :	72.812 S.F. (RESIDENTIAL) - 2.307 S.F. (AMENITY SPACE) = 70.505 S.F. / 42.824 S.F. = 1.65
IOTAL PAR :	72,612 S.F. (RESIDENTIAL) - 2,307 S.F. (AMENITT SPACE) = 70,305 S.F. 742,624 S.F. = 1.65
TOTAL LOT COVERAGE:	14,651 S.F. / 42,824 S.F. = 34.2%
BUILDING HEIGHT :	5 STOREY

0.2. parking			
REQUIRED (BYLAW REQUIREMENT)			
	UNITS / S.F.	FACTOR	TOTAL
TENANT (2 BED & FLEX, 2 BED)	42	*1.3	54 (53.3)
TENANT (1 BED & FLEX, 1 BED, STUDIO)	36	*1.2	44 (43.2)
VISITOR	78	*0.2	16 (15.6)
TOTAL STALLS			114
PROVIDED	SMALL CAR	H/C	TOTAL
TENANT (P2 FLOOR)	14	0	40
TENANT (P1 FLOOR)	16	5	59 (INCLUDING 2 EV STALLS)
VISITOR (P1 FLOOR)	6	1	16
TOTAL STALLS	26	6	115
BIKE PARKING REQUIRED (BYLAW REQUIREMENT)	UNITS	FACTOR	TOTAL
BIKE STALLS ( RESIDENT / UNIT)	78	*0.5	39
BIKE STALLS ( VISITOR / BLDG)	1	*6 / BLDG	6 45
IOTAL STALLS			45
BIKE PARKING PROVIDED			ΤΟΤΑΙ
BIKE STALLS (RESIDENT / PARKADE)			39
BIKE STALLS (VISITOR / PARKADE)			6
TOTAL STALLS			45
			40
STORAGE LOCKER REQUIRED (BYLAW REQUIREMENT)	UNITS	FACTOR	TOTAL
STORAGE LOCKER (RESIDENT / PARKADE)	78	1/UNIT	78
,			
STORAGE LOCKER PROVIDED			TOTAL
STORAGE LOCKER (RESIDENT / PARKADE)			78

0.3. unit (	count						
RESIDENTIAL	1st FLOOR	2nd FLOOR	3rd FLOOR	4th FLOOR	5th FLOOR	TOTAL	
2 BED & FLEX	0	1	1	1	1	4	5.1%
2 BED	7	7	8	8	8	38	48.7%
1 BED & FLEX	4	4	4	4	4	20	25.7%
1 BED	4	3	2	2	2	13	16.7%
STUDIO	0	0	1	1	1	3	3.8%
TOTAL UNITS	15	15	16	16	16	78	100%

JNIT TYPE	BEDROOMS	1ST	2ND	3RD	4TH	5TH	TOTAL	AREA	TOTAL AREA
А	2 BED	2	2	2	2	2	10	866 S.F.	8,660 S.F.
в	1 BED	2	2	2	2	2	10	600 S.F. (x6) / 604 S.F. (x4)	6,016 S.F.
B1	1 BED	1					1	609 S.F.	609 S.F.
B2	1 BED	1					1	601 S.F.	601 S.F.
B3	1 BED		1				1	664 S.F.	664 S.F.
B4	1 BED & FLEX			1	1	1	3	715 S.F.	2,145 S.F.
С	1 BED & FLEX	1	1	1	1	1	5	677 S.F. (x4) / 680 S.F. (x1)	3,388 S.F.
D	1 BED & FLEX	1					1	684 S.F.	684 S.F.
D1	1 BED & FLEX		1				1	738 S.F.	738 S.F.
D2	2 BED			1	1	1	3	788 S.F.	2,364 S.F.
E	2 BED	2	2	2	2	2	10	893 S.F. (x8) / 894 S.F. (x2)	8,932 S.F.
E1	2 BED	1	1	1	1	1	5	899 S.F. (x3) / 901 S.F. (x2)	4,499 S.F.
E2	2 BED	1	1	1	1	1	5	908 S.F.	4,540 S.F.
E3	2 BED	1	1	1	1	1	5	1,019 S.F.	5,095 S.F.
F	1 BED & FLEX	1	1	1	1	1	5	752 S.F.	3,760 S.F.
F1	1 BED & FLEX	1	1	1	1	1	5	690 S.F.	3,450 S.F.
G	2 BED & FLEX		1	1	1	1	4	1,020 S.F.	4,080 S.F.
н	STUDIO			1	1	1	3	451 S.F.	1,353 S.F.
TOTAL		15	15	16	16	16	78		61,578 S.F.

NOTE: ALL NON-GROUND ORIENTED UNITS HAVE PRIVATE DECKS PROVIDED (MIN 50 S.F. EACH)

RESIDENTIAL	UNITS	AMENITY	CIRCULATION	TOTAL	
1ST	11,571 S.F.	461 S.F.	2,619 S.F.	14,651 S.F	
2ND	12,096 S.F.	461 S.F.	1,651 S.F.	14,208 S.F	
3RD	12,637 S.F.	461 S.F.	1,553 S.F.	14,651 S.F	
4TH	12,637 S.F.	461 S.F.	1,553 S.F.	14,651 S.F	
5TH	12,637 S.F.	461 S.F.	1,553 S.F.	14,651 S.F	
TOTAL	61,578 S.F.	2,305 S.F.	8,929 S.F.	72,812 S.F.	
PARKADE					
P2	16,744 S.F.				
P1	28,846 S.F.				
TOTAL	45,590 S.F.			45,590 S.F.	
GRAND TOTAL				118,402 S.F.	
FLOOR AREA SUMMARY					
EFFICIENCY				84.6%	
GROSS BLDG AREA				72,812 S.F.	
NET UNIT AREA				61,578 S.F.	
NET CIRCULATION AREA NDOOR AMENITY				8,929 S.F. 2,305 S.F.	

						_
	BRYDON GREEN 2	PROJECT DATA	ISSUED FOR DEVELOPMENT PERMIT		SD1 01	
keystonearch.ca	5475, 5483 & 5493 BRYDON CRESENT, LANGLEY CITY	SCALE:	07/23/18 REVISION #: CITY OF LANGLEY FILE # - XXX-XXX PROJECT NUMBER: 18-113		501.01	

### **BRYDON GREEN 2 / MULTI-FAMILY RESIDENTIAL**



# looking north west



# looking south west



# looking west



**BRYDON GREEN 2** 5475, 5483 & 5493 BRYDON CRESENT, LANGLEY CITY **CONTEXT PLANS** SCALE: 1" = 200'-0"



**ISSUED FOR DEVELOPMENT PERMIT** 07/23/18 REVISION #: CITY OF LANGLEY FILE # - XXX-XXX PROJECT NUMBER: 18-113

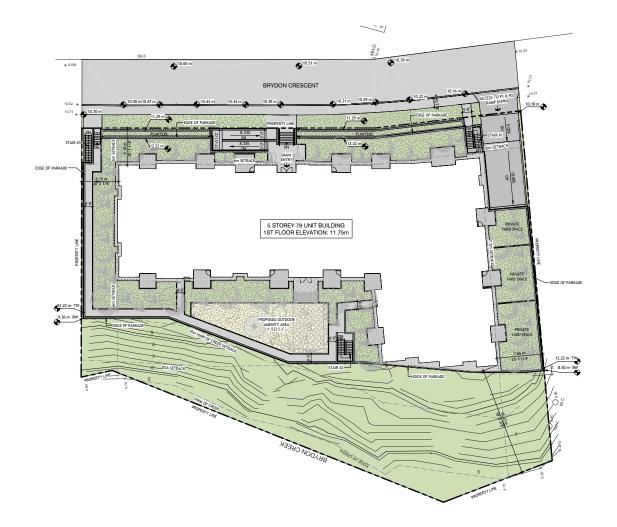
SD1.02



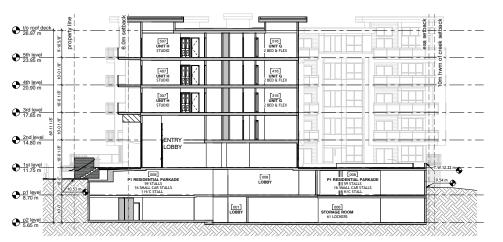
# context plan



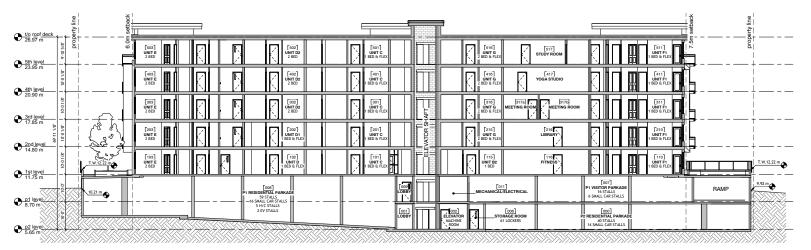
# satellite plan







site section a



site section b



BRYDON GREEN 2 5475, 5483 & 5493 BRYDON CRESENT, LANGLEY CITY SITE SECTIONS SCALE: 3/32" = 1'-0" 
 ISSUED FOR DEVELOPMENT PERMIT

 07/23/38
 REVISION #:

 CITY OF LANGLEY FILE #:- XXX-XXX

 PROJECT NUMBER: 18-113



north east perspective



north west perspective



south east perspective





BRYDON GREEN 2 5475, 5483 & 5493 BRYDON CRESENT, LANGLEY CITY **3D MASSING PERSPECTIVES** SCALE: 12" = 1'-0"

SD1.33

### **BRYDON GREEN 2 / MULTI-FAMILY RESIDENTIAL**



front entry



corner frame



courtyard entry





# entry stair & ramp

keystonearch.ca

BRYDON GREEN 2 5475, 5483 & 5493 BRYDON CRESENT, LANGLEY CITY SITE PERSPECTIVES

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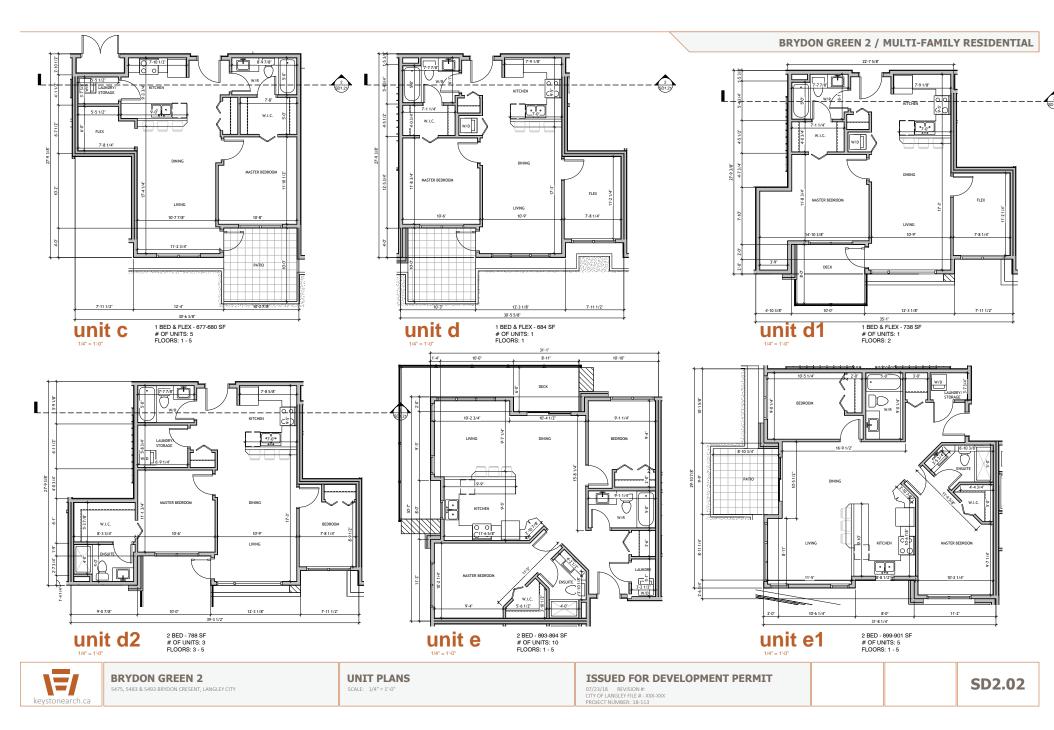
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 REVISION #:

 CITV OF LANGLEY FILE #: - XXX-XXX

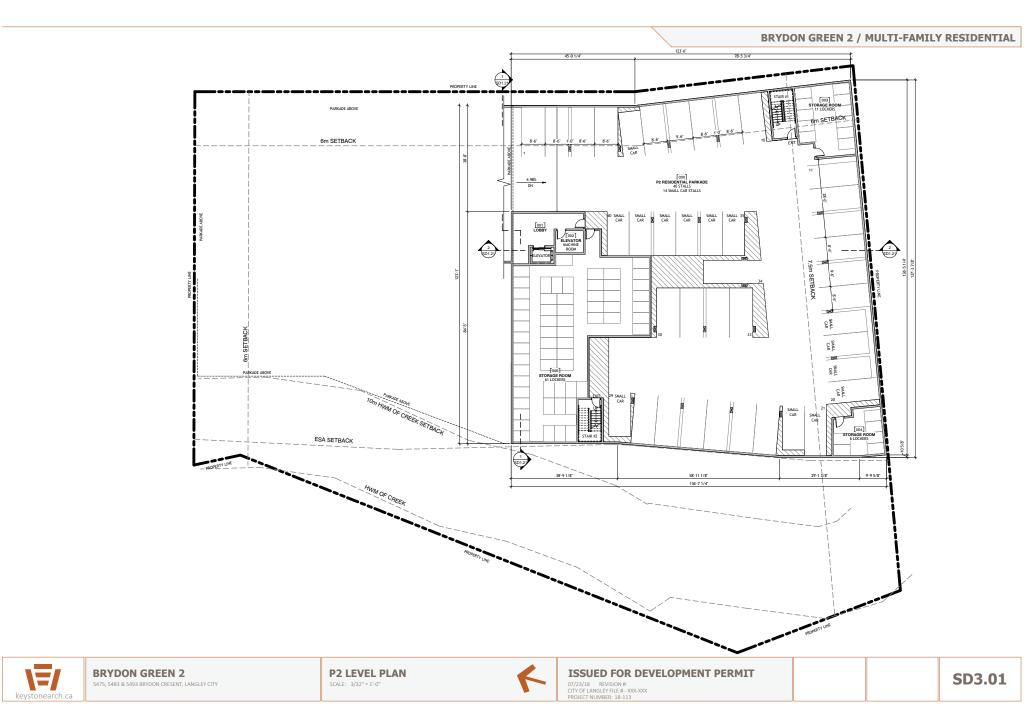
 PROJECT NUMBER: 18-113

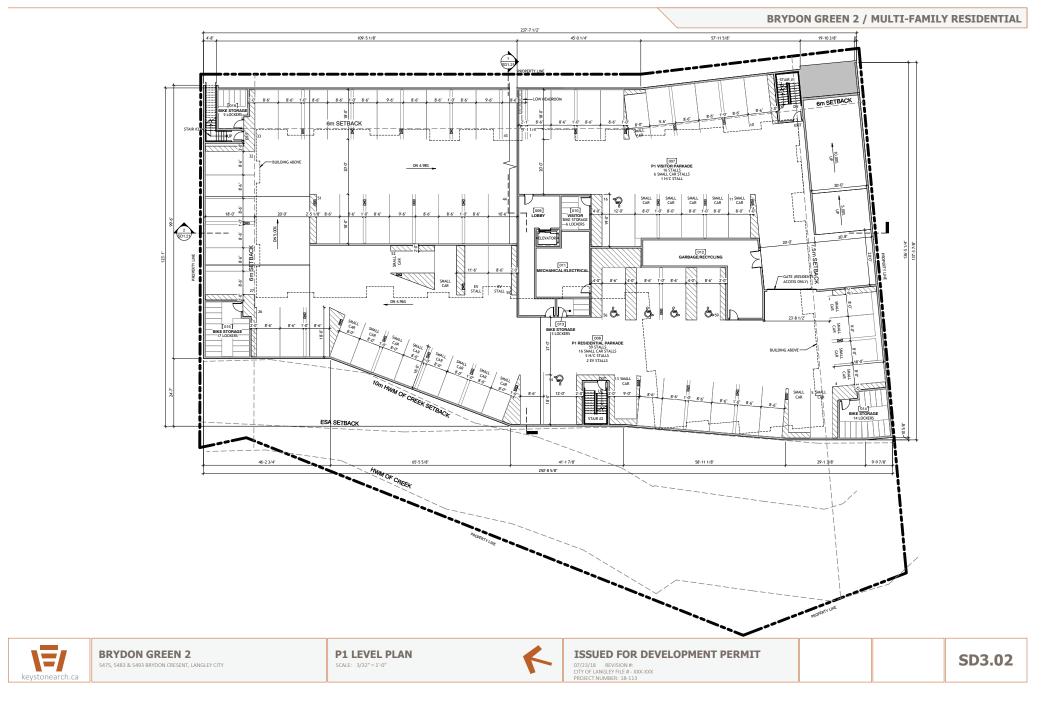
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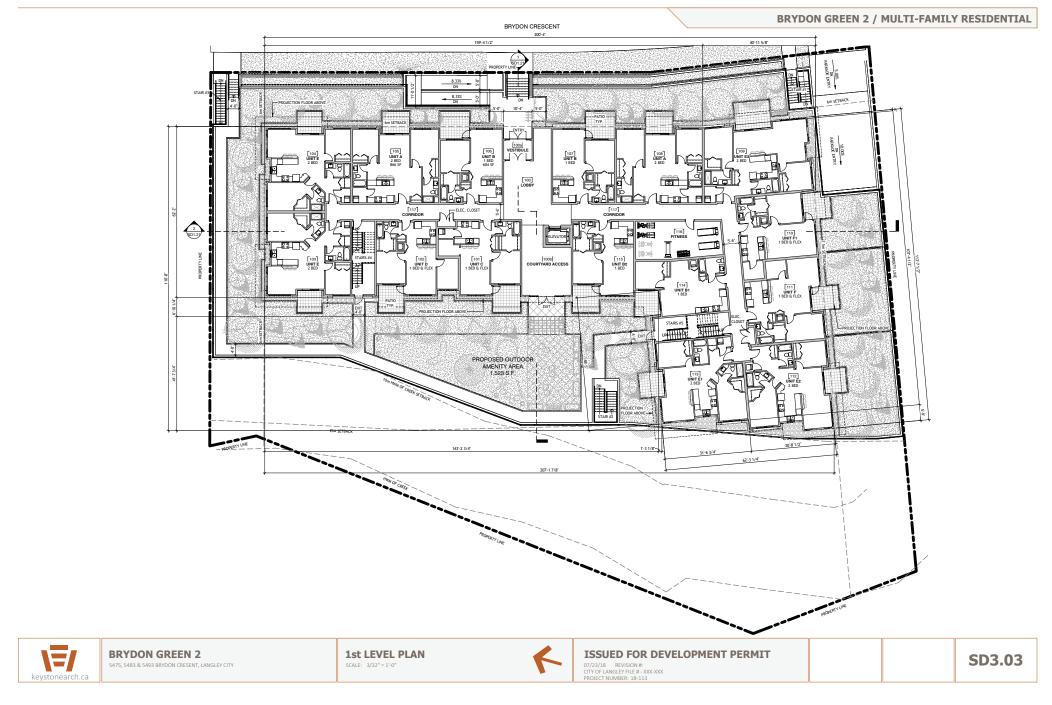


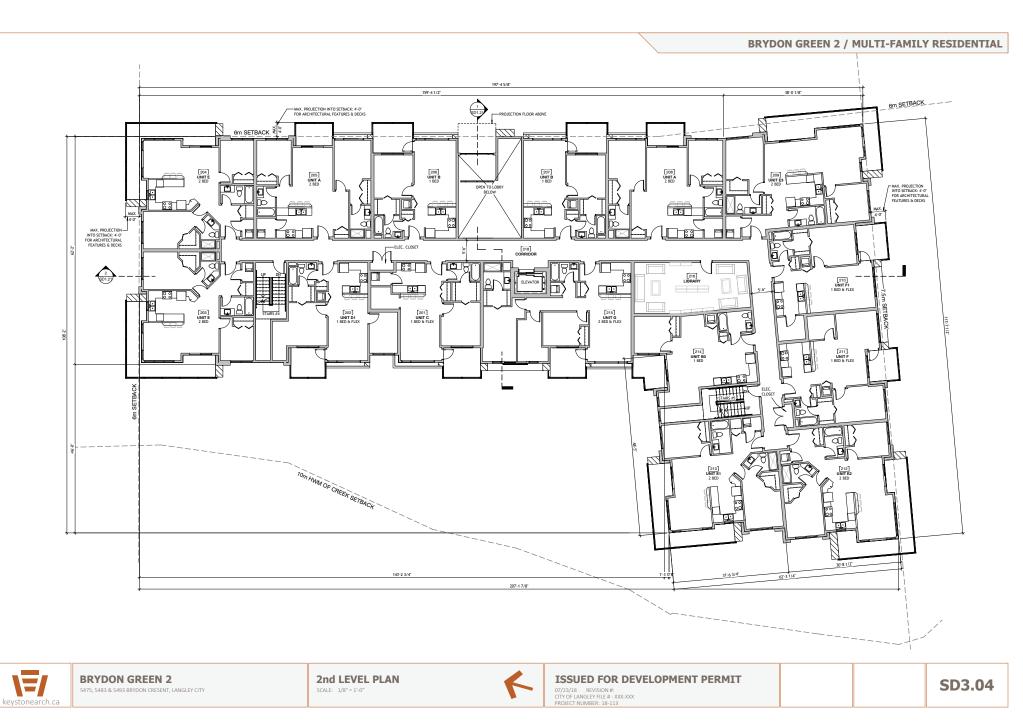


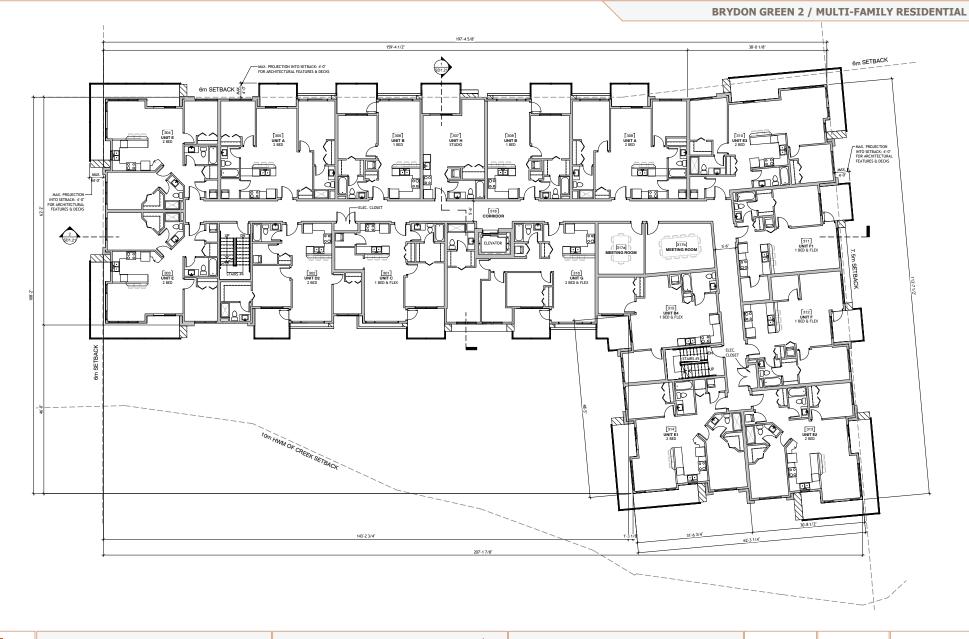












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**3rd LEVEL PLAN** SCALE: 1/8" = 1'-0" 
 ISSUED FOR DEVELOPMENT PERMIT

 07/23/18
 REVISION #:

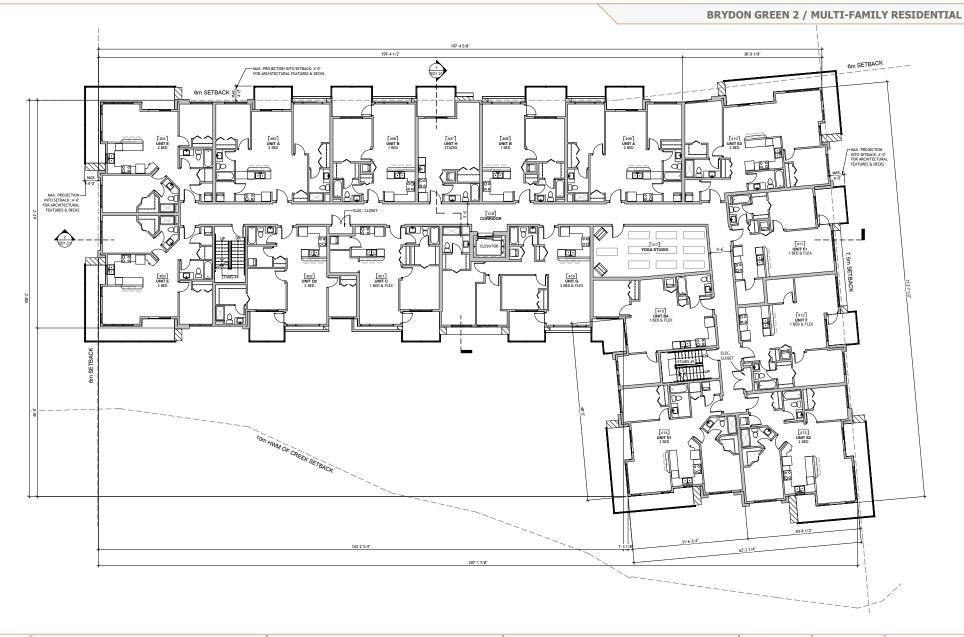
 CITY OF LANGLEY FILE # - XXXX-XXX

 PROJECT NUMBER: 18-313

IT

SD3.05

F

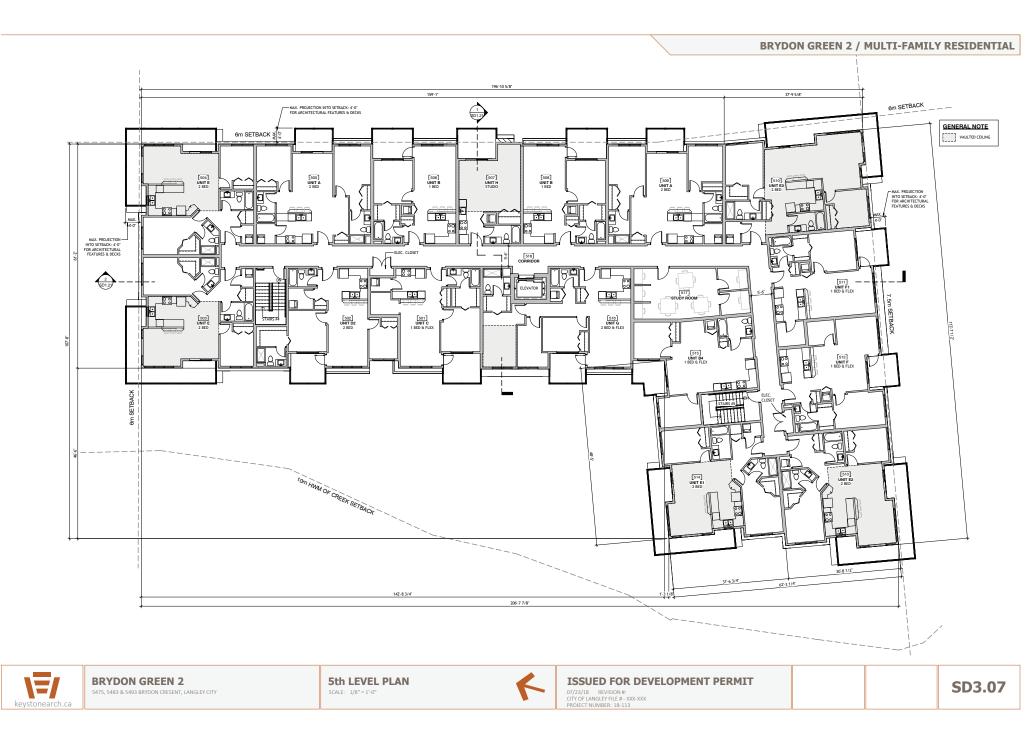


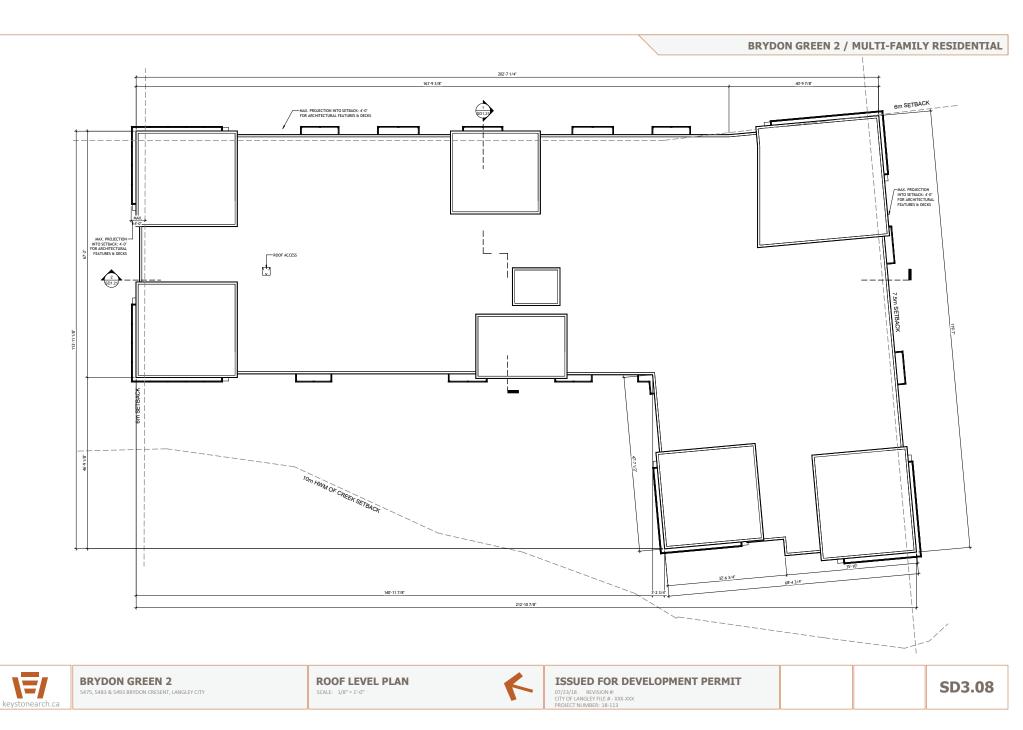


4th LEVEL PLAN SCALE: 1/8" = 1'-0" DISSUED FOR DEV 07/23/18 REVISION #: CITY OF LANGLEY FILE #- XXX-XXX PROJECT NUMBER: 18-113

ISSUED FOR DEVELOPMENT PERMIT

SD3.06







# east elevation



#### material legend CEMENT BOARD SMOOTH PANEL SIDING (W/EASY TRIM ALUM. REVEALS): 'JAMES HARDIE': COLOUR: 'LIGHT MIST' 2 CEMENT BOARD SMOOTH PANEL SIDING (W/EASY TRIM ALUM. REVEALS): - 'JAMES HARDIE': COLOUR: 'MIDNIGHT BLACK' 3 CEMENT BOARD SMOOTH PANEL SIDING (W/EASY TRIM ALUM. REVEALS): - 'JAMES HARDIE': COLOUR: 'MONTEREY TAUPE' CEMENT BOARD SMOOTH PANEL SIDING (W/EASY TRIM ALUM. REVEALS): - 'JAMES HARDIE': COLOUR: 'NIGHT GRAY' 5 CEMENT BOARD SMOOTH PANEL SIDING (W/EASY TRIM ALUM. REVEALS): - 'JAMES HARDIE': COLOUR: 'ARCTIC WHITE' E CEMENT BOARD CEDARMILL HORIZONTAL LAP SIDING (6' EXPOSURE): - 'JAMES HARDIE', COLOUR: IRON GRAY' CEMENT BOARD CEDARMILL HORIZONTAL LAP SIDING (6° EXPOSURE): 'JAMES HARDIE', COLOUR: 'LIGHT MIST' 8 CEMENT BOARD CEDARMILL HORIZONTAL LAP SIDING (6' EXPOSURE): - 'JAMES HARDIE', COLOUR: 'MIDNIGHT BLACK' ALUMINUM FACED COMPOSITE (AL13): - 'ARCHITECTURAL PANEL SYSTEM', COLOUR: 'CAYENNE 10 WINDOW VINYL: - COLOUR: 'BLACK EXT. / WHITE INT.' 11 SLIDING PATIO DOOR VINYL: - COLOUR: 'BLACK EXT. / WHITE INT.' 12 EXTERIOR ALUMINUM GUARD/RAILING: - COLOUR: 'BLACK' 13 HARDIE TRIM (SMOOTH): - 'JAMES HARDIE', COLOUR: 'IRON GRAY' 14 HARDIE FASCIA BOARD (SMOOTH): - 'JAMES HARDIE', COLOUR: 'ARCTIC WHITE' 15 METAL FLASHING: · 'GENTEK', COLOUR: 'SLATE 523' 16 CONCRETE WALL: - COLOUR: 'CLEAR SEALER' 17 REVEAL: - 'EASYTRIM', COLOUR: 'CLEAR ANODIZED' 18 EXTERIOR METAL DOOR: - 'BENJAMIN MOORE', COLOUR: GRAY 19 BRICK: • MODULAR FACE BRICK, COLOUR: GRAY

# south elevation



BRYDON GREEN 2 5475, 5483 & 5493 BRYDON CRESENT, LANGLEY CITY **BUILDING ELEVATIONS** SCALE: 1/8" = 1'-0" 
 ISSUED FOR DEVELOPMENT PERMIT

 07/23/18
 REVISION #:

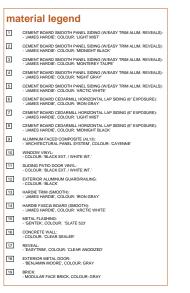
 CITY OF LANGLEY FILE #- XXX-XXX

 PROLECT NUMBER: 18-113

SD4.01



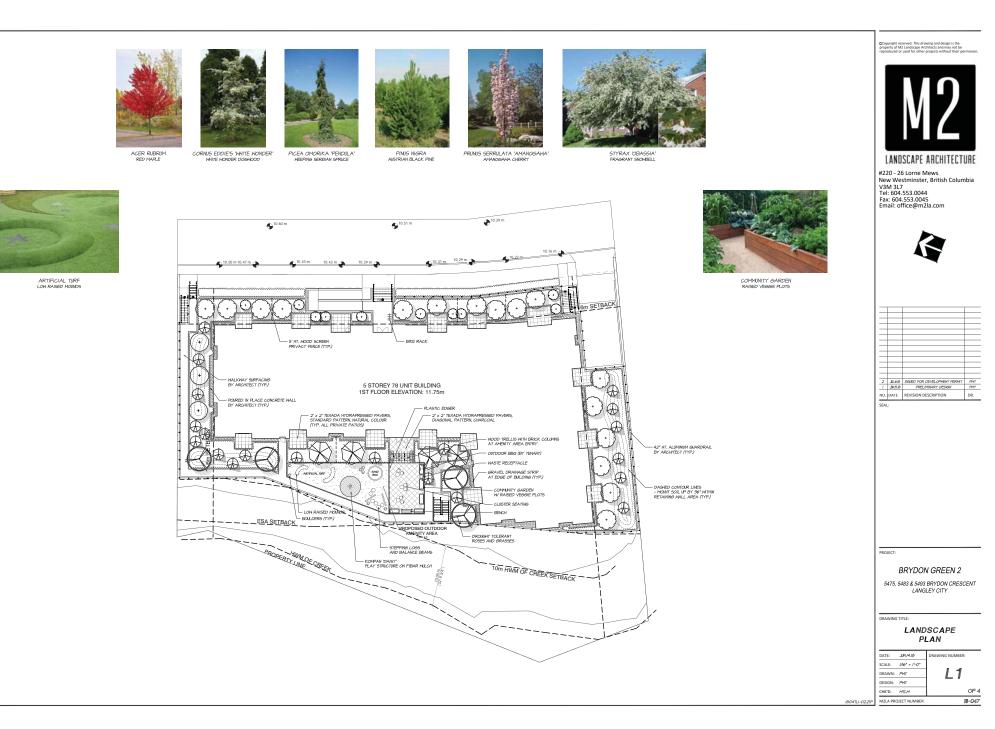


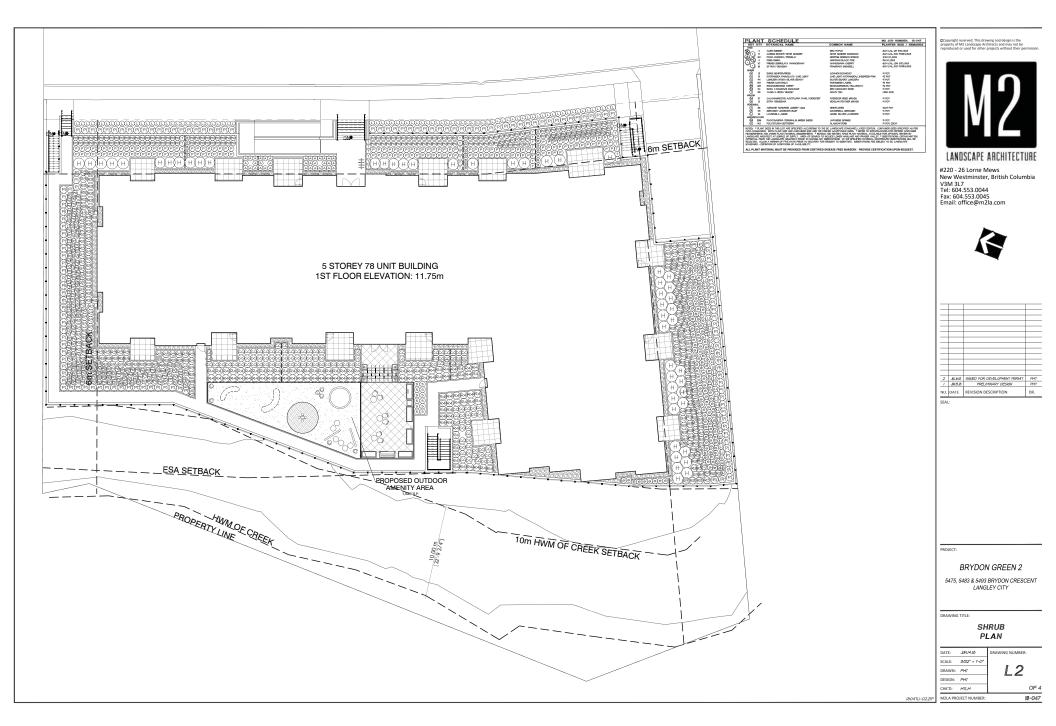




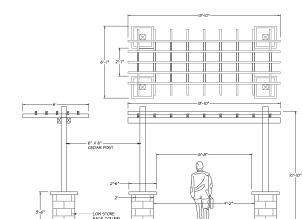
BRYDON GREEN 2 5475, 5483 & 5493 BRYDON CRESENT, LANGLEY CITY **BUILDING ELEVATIONS** SCALE: 1/8" = 1'.0" ISSUED FOR DEVELOPMENT PERMIT 07/23/18 REVISION #: CITY OF LANGLEY FILE #- XXXXXX PROJECT NUMBER: 18-113

SD4.02

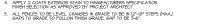
















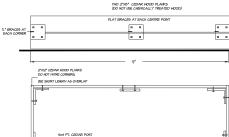




 $\bigcirc$ 

2x4 CEDAR-

1x2 NAILER-





RAISED VEGGIE PLOTS @ COMMUNITY GARDEN

3/4"=1'-0

 $\binom{2}{2}$ 

(13) SCALE:











	TOP OF PAVERS TO MATCH FINISHED GRADE -	
MIN I' DELDING SAND - CONSISTENTISSUBSUBSUBSUBSUBSUBSUBSUBSUBSUBSUBSUBSUB	FILTER FABRIC	

NOTE: 2' × 2' TEXADA HYDRAPRESSED SLABS FOR ALL PRIVATE PATIO AREAS PAVERS TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS (ABBOTSFORD CONCRETE)

DCopyright reserved. This drawing and design is the property of M2 Landscape Architects and may not b reproduced or used for other projects without their



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OF 4

RT ONE GENERAL REQUIREMENTS	PART THREE SOFT LANDSCAPE DEVELOPMENT	PART THREE SOFT LANDSCAPE DEVELOPMENT - CONT	PART THREE SOFT LANDSCAPE DEVELOPMENT - CONT	©Copyright reserved. This drawing and design is property of M2 Landscape Architects and may no reproduced or used for other projects without th
UTERNES	3.1 SETERTION OF EXISTING TREES .1. Prior to any work on site - protect individual trees or plant groupings indicated as retained on landscape plans as regulation retention areas. .1. In some instances that Landscape Architect will sign trees or areas to remain. Stansa tree retention areas at a start-op maring with that Landscape Architect.	<ol> <li>Application Rates</li> <li>3.1 Send Mintarie: 136 log/ha (125 bla/acrel)</li> </ol>	30.4 For all plant material, the Landscape Architect reserves the right to extend the Contractor's responsibility for another growing season if, in his opinion, leaf development and arowsh is not sufficient to assume force satisfactory arowsh.	22
COCC Dec 2 LATEST EXMON poly with all articles in the Beneral Conditions of Contract in conjunction with this section unless supersoded by other Contract Documents.	3.1 In some instances the Landscape Architect will tog trees or areas to remain. Discuss tree reterios areas at a start-up meeting with the Landscape Architect. 2. A structual barrier most be installed to delimente claurino boundaries. Refer to obmical barrier debil. Il detail not revealed, combr with local municipal repairments.	Territizer: 112 kg/sa (100 lbs/kore)     J.3 Costal Walflower No. Where specified, apply C1 lbs/kore) (0/4 lb. 11b. of grass seed)	<ol> <li>For a first and set of the statement of the</li></ol>	
B.C. Landscape Standard, LATEST EEMINN, prepared by the B.C. Society of Landscape Architects and the B.C. Landscape II. Nersary Association, jointly, All work and materials Il meet standards as set out in the B.C. Landscape Standard unless supersided by this specification or as directed by Landscape Architect with written instruction.	A representation must be accounted to design or design or design or design of the set of the s	.8.4 Notice: 8.4.1 At the time of Tender provide a complete chart of all components of the mic proposed including mulch, tackiller, water etc. Stoped sites require tackiller. 8.1.1 At the time of Tender provide a complete chart of all components of the mic proposed including mulch, tackiller, water etc. Stoped sites require tackiller.	mattemance standards is a minimum of Level Three Helium, Refer to Section 3.11, Establishment Plantbrance. .16.5. The Landscape Contractor is responsible to replace any plant material or repair any curstruction included in the Contract that is damaged or stalam with the issuance of the Arethicke of Concellance.	
MASTER MUNCPAI, SPECIFICATIONS & STANDARD DETAGS, LATEST EDITION, prepared by the Consulting Engineers of British Cokabia, Baadoulders and Henry Construction sociation, and the Munckai Engineers Division	A Do not stackpile sol, construction materials, or escavaled materials within vegetation refertion areas.	Aux internation     Aux internation     Aux international analysis is available, comply with results.     Aux international analysis is approved, comply with sail analysis recommendations.		
scolarer, wie nie minispacielymiers ownoni STANDARD FOR LANDSCAPE INRIGATION SYSTEM, LATEST EDITION Propared by the irrigation industry Association of British Columbia.	5 De not park, fuel or service vehicles within vegetation retention areas.	3. According measure the quantities of each of the materials to be charged into the task either by mass or by a consortly accepted system of mass-calibrated variane measurements. The networks shall be added to the task which is being title with water, in the following sequence, seed, for there. Theready include a bimageneous sharry. After charging addition water are time which to be indicative of the constraint water task of our entit has in the Dates.	3.W INSTALLING LANGSCAPE ON STRUCTURES 1. Variety that declarase and resteriors material is consisted a keeping and a sensibility before beginging werk. Forbart Landscape Architect for instructions if not in stars	
HUNCEPAL BYLAMS AND ENGINEERING SPECIFICATIONS WHERE NOTED.	.6 No dobris fires, clearing fires or irrash borning shall be penalited within regetation retention areas.			
STWG	3. No escueitos, drais or service trendes nor any other disruption shall be penalitied within vegetation releation areas without a review of the proposed escreachment by the Landscape Architect.	.10 Distribute starry uniformity over the surface of the area to be hydroseeded. Blend application into previous applications and existing grass areas to form uniform surfaces.	<ol> <li>Coordinate work with construction of planters and planter drainage.</li> <li>Verify that planter drains are in place and positive drainage to real drains is present prior to placing any drain resk or soil.</li> </ol>	
A correct look over than one mosth) test for all greeing medium to be used on this site is required. Previde and pay for testing by an independent testing facility - apprend by the Landscape Architect. Deliver growing medium test results to Landscape Architect for review and approval prior to placement. Their to Saction 3.4 Growing deal Testing for procedere.	8 Do not cut branches or mosts of reliained trees without the approval of the Landscape Architect.	.IT Open up: Remove all materials and other debris resulting from seeding operations from the job site.	3 Provide clean not at all through-stab drain locations. Use 30km mix. dia PVC Pipe Filled with drain rock unless specific drawing defail shows. 4 Isotal drain rock venits for a winimum digits of 41 OWmicer alternate sheet drain if specified, Isotal sheet drain as per manufacturer's recommendations.	
dum Testing for procedure. Owner reserves the right to test ar re-test materials. Contractor responsible to you for testing if materials do not meet specification.	9 Any damage to existing vegetation intended for preservation will be subject to evaluation by an LS.A. Contilled Antonist using the "Guide for Plant Appraisal", LATEST EDITION.	2. Maintenance dispin autoritativance intendingly data sending and contrines for 60 days stifts Salaturatid (consplaints and and) exception of the salaturation of		
RMTTALS	BITTEX 31 Represent plotting of equivalent value to the disturbance will be required. The cost of the evolvation and of the represent plotting will be the responsibility of the General Contextor and or the personal regrounded for the disturbance.		5 Enver drain resk for alternate sheet drain it specified on drawing details with filter fabric lapping 6° ("Elima) at all edges. Obtain approval of drainage system prior to placing growing median.	
Any alternate products differing from that contained in the contract documents must be pre-approved by the Landscape Architect.	.10 In municipalities with specific tree retention/replacement bylaws ensure compliance to bylaws.	U. Accuptance of the barged frame forces frames prepare prevalence of a specified prevalence in the prepared barged prevalence of the specified prevalence of the prepared barged prevalence of the prevalence	6 Place an even layer of 25 - 50m clean washed pump sand over filter fabric.	
Submittels to consist of product sample or manufacturer's product description.	.11 In situations where required construction may distart existing vegetation intended for preservation, contact Landscape Architect for review prior to commencing construction.	days after substantial completion, areas meeting the conditions above will be taken over by the Owner. Areas sended in Fall will be accepted in Spring one month after start of growing season, provided that the above conditions for acceptance are fulfilled.	3. Place graving seelins to depths specified in Section 35 above for various surface treatments. Brifer to Draving details for any light weight Filter required to alter grade. Use Synorean black new relation is shaped to provide seconds surface transition at edges. But each pixes tightly together and onew with filter failers to greened sall from any straing howmand.	LANDSCAPE ARCHITE
E REVEN Used the consol the Landscape Architect's Contract with the Gener and where the Landscape Architect is the dissipated reviewer, the Landscape Architect will observe instruction as is necessary in their optimis to confirm conformance to the plane and specifications. Contact Owners Representative to arrange for alto observation at the	17 EMAIN	3.0 LAWA ABEAS - SODDMG	mg amg dominan. 3/11 (S1/ALCHMDHT MANTENANCE Drevide a separate price for this section)	
ntruction as is necessary in their option to confirm conformance to the plane and specifications. Confact Dowers Representative to arrange for site observation at the propriate times. Allow two days addies. Observation schedula may include tot will ad to finded to the following 1. Start by Site Henring, General Confract-Toter 1 and yield chainces, a meeting with the general contractor to review tree preservation incoses, general landscope incuses	1. Excise subgrade is prepared to contrars to digiths specified in Section 35, Erowing Medium Supply, below. Where planting is indicated close to existing trees, prepare sublide planting poderts for auterial indicated on the planting plan. Shape subgrade to eliminate free shandeg water and conform to the site grading and drainage plan.	3 General: Treat all areas defined as laws areas on the landscape plan between all property lines of the project including all boulevands to edge of reads and lanes.	3.1 calvaciamente in material calvalate a separate price for most section. 3.1 letest: The latest of "establishment" waletenance is to provide sufficient care to newly installed plant material for a relatively short period of time to ensure or increase.	#220 - 26 Lorne Mews
	2 De slopes in excess of 31 trench subgrade across slope to 150mm (011 minimum at 15m (5 112) intervals minimum.	<ol> <li>Graving Median: Canyly with Section 2.2.1, Growing Median. Prior to solding, request an inspection of the finished grade, and depth and candifice of graving median by the Landscape Architect.</li> </ol>	1. Hote: The betat of "relationment" analyses are provide conflicted care to endy included plant entropic termination of an analysing particular provide of the terms of term	New Westminster, British Co V3M 317
a monoper reparaments. IS Starb () Set Needon, Landscape Centract ID separate). At the start of wark with Owner's Representative, Set Superintendent and Landscape Centractor; a meeting is to Intel to review reparched work and to workly the acceptability of the subgrade and general after conditions to the Landscape Centractor. Provide graving median test results. This meeting.	3 Scarily the entire subgrade immediately prior to placing graving medium. Re-calificate where vehicular traffic results in compaction during the construction procedures. Ensure that all planting areas are smoothly confound after light compaction to finished grades.	.3 Time of Sadding: Sod from April 1st to October 1st. Further extensions may be obtained on concurrence of the Landscape Architect.	Kaintenance Period: Provide maintenance of installed landscaping for 12 months following substantial completion.	Tel: 604.553.0044
Progress Sile Visits: To abserve materials and varianizable as necessary through the course of the varis. Review of different aspects of the varis may be dealt with an single visit. Such elements may include Site Layout, Roogh Grading, Graving Medium - quality, depths, finish grading, Drainage and Drainage Materials; Lawns or Grass areas;	A Eliminate standing water from all finished grades. Previde a smooth, firm and even serface and conform to grades shown on the Landscape Drawings. Do not exceed musikum and minimum eraderits defined by the B.C. Landscape Standard.	A Sod Supply: Conform to all conditions of B.C. Landscape Standard, Section 8, B.C. Standard for Turigrams Sod.	3 Reliated Skandards and Legislation: B.C. Landscape Standard, Latent edition, Fartikizer Code, B.C. Positicide Control Act.	Fax: 604.553.0045
ring -plant material including negativities with suppliers, nursery inspections, plant sizes, quality, planting practice and layout, tree support; Malch, krigation zeros; Pigy Epigenety, Site Foundare; and other elements of the site development where the Landscape Architect is the designated reviewer such as Pedestrian Paving, and the second section of the state of the block.	maximum examining preserve screecing net us, canosigne annuma. 5. Construct swales from to line and grade, smooth and free of sags or high points. Minimum slape 28, maximum side slapes WSK. Assure positive drainage to collection points.	5 Specified Turfyraus by area Table 2 beinw. TABLE 2 SPECIFIED TUBFBBASS BY AREA	A. Site Review: In addition to the inspections at substantial completion, at Final progress draw application, and at the end of the guarantee period, there should be three other reviews draining the 32 workst attesded by the Clarinzator and a designated representative of the Dwarer. Relation a logicity and reporting procedures and sobalt to the compared programmatizion.	Email: office@m2la.com
The sensition of the sensitive sensi	Source of the following maximum Register, Lawrence and Lawrence plantings 21.	TALE 2 SPECIFICI INFORMAS BY MEA Jeres Description Description Description Description Description No. 17 Previou No. 17 Previou Restrictly Disc for sur, Persees for shade		1
The condition of the contract. The second se	7 Toisted sol/mulch elevation at building to comply with municipal requirements.	CLASS 1 Lawin, all areas noted on drawings as lawn in urban No. 1 Presium Xentucky Blue for sun, Pescues for shade development sites including boutevard grass	5. Scheduling: Prepare a schedule of anticipated wisits and schedi to designated representative at start-up: Maintenance operations shall be carried out predominately during the growing season between March Int and November 2010, Inverver visits at other times of the year may be required.	1
Warrardy linvine Prior to the completion of the waranty period (+/- 11 months after issuance of the Certificate of Completion), review all waranty material and report amendations for waranty replacement.	8 Inform Landscape Architect of completion of finish grade prior to placement at seed, soil, plants or walch.	Unit         Status         Builty finds         Provide           Umain         Status         Status         Status         Status           Umain         Status         Status         Status         Status         Status           Umain         Status	.6 Maintenance Level Comply with B. C. Landscape Standard, Section 10, Table 7, Maintenance Level "Medium".	1
INVISHP	33 LUNGS/PE DIMMNE 1. Robited Work: Growing median and Finish Grading, Grass areas, Trees Struits and Groundowers, Manters, Orb Malo.		<ol> <li>Natorials: Cample with Part Two of this specification.</li> <li>Fartilizers: To the requirements of the R.C. Landscape Standard. Fermulations and rates as required by sell testing.</li> </ol>	1
Waless otherwise instructed in the Contract Documents, the preparation of the subgrade shall be the responsibility of the General Contractor. Placement of growing medium utilitates acceptance of the subgrade by the Landscape Contractor. Any subsequent corrections to the subgrade required are the responsibility of the Landscape Contractor.	2 Work included. Site finish grading and surface drainage. Installation of any drainage systems detailed on landscape plans. Note: Catch basins shown on landscape plans for	.6 Line: The line shall be as defined in Section 2.2.3, Maheriala. Apply air raises recommended in required soil test. Porfer to Section 3.4 for method.	1.7. Heritakers to the reparameters of the KLL classical statistic terminations and notes as required by soir testing.     8. Plant Material Establishment:     8. Plant Material Establishment:     8. Note the plant for the type of the plant set loss tensory test INI days between Applied to and July Statistics.	
All work and superintendence shall be performed by personnel sililard in tandscape contracting. In addition, all personnel applying herbicides and/or pesticides shall held a reret ticence issued by the appropriate authorities.	correlation only, control scope of work prior to bid. 21. Coordinate all introduces drainings work with rest of site drainings, Refer to expine ring drawings and specifications for connections and other drainings work. 23. To be a score to a vision of all schools at VIST and American and independent utilities and a to a rest and and an experiment of the school o	3 Feetilizer: Defec to Section 222 Maherida. Apply specified feetilizer all rates shown in the required out lead. Apply with a mechanical spreader. Cuttinate into growing medium 40 hours prior to sociding. Apply separately from line.	8.1 Watering. During the first growing season, water new plants at least every ten INI days between April fat and July 31st, and every twenty [20] days between August 1st and September 55%. Himmun 25 galaxis per tree per application. During the second growing season, water new plants at least every twenty days between April 1 and July 31	
rrett Locese issued by the appropriate autometer. A site visit is required to become familiar with site consitions before bidding and before start of vark.	2. Werk holded. Site holds paid paid under de Wang, held lifet in if any drawpersystem de hold on landcoop plans. Heln Caldo basins since an indexcop plans for constraints and our plans in the constraints and our plans. If the constraints and our plans is the constraints and our plans. If the constraints and our plans is the constraints and our plans. If the constraints and our plans is the constraints and our plans. If the constraints and our plans is the constraints and our plans. If the constraints and our plans is the constraints and our plans. If the constraints and our plans is the constraints and our plans. If the constraints and our plans is the constraints and our plans. If the constraints and our plans is the constraints and our plans. The constraints are also plans is the constraints and our plans is the constraints and our plans is the constraints and our plans. The constraints are also plans is the constraints and our plans is the constraints and our plans is the constraints and our plans. The constraints are also plans is the constraints and our plans is t	J. Soding. Prepare a scoret, Ima, vern surface for laping and Lay and staggered with sections closely batted, when teerstapping or gaps, month and even with adjoining areas and real lightly. Writer to obtain ministere penetration of 3° to 4° O Roal. Comply with requirements of ICL Landscope Standard Section 8, 9C Standard for Turtigrous Sol.	and once between August for and Suptember 31st. Apply water at a rate and duration such that the water content reaches field capacity to the full depth of the growing medium. Apply water upon when the water content reaches 32st of field capacity. Provide and impact with water in the event that any advantic impacts with a super term mail auctions are hown on the constraints' excited. Chandid and work field has decay address and impact with water in the event that any advantic impacts with a super term mail auctions.	
Confirm location of all services before proceeding with any work.	3 Encurios	were were superposed were to boom measure protection or 3 to 4 (1 – Kons. Longly with requirements of BC Landscape Standard Section B, BC Standard for Tarigram Sol.	so more ner sown-served of the entrol. Someware approximate on where some one moves unly Welle Fairfalt has pointraries the set ruly as required. 82 Multi-Ministain matches in the original areas and to the original depths. 83 Weel Control: Reserved at Weel from all uses at least noise are peak (unless the movies essent) to holoso or influention to a maximum depth of Bleve boost-wallies or it	
Notify Landscape Architect of any discrepancies. Obtain approval from Landscape Architect prior to deniating from the plans.	3.1 De fresching and backfilling in accordance with engineering details and specifications. 3.2 Lag chains an prepared lead, from 56 time and grade with inverts smooth and free of sags or high points. Ensure barrel of each pipe is in contact with lead throughout full learnin.	3 Ministenance Begin maintenance immediately after sodding and continue for 60 days after Substantial Completion and until accepted by the Owner. Protect sodded areas from damage with temporary wire or twine fences complete with signage until laws is taken over by the Owner. Noter to obtain moisture penetration of 3" to 4" (T-Non) at	necessary, by the use of herbicides. 8.4 Pest and Disasse Control: Inspect all planted areas for pests and diseases periodically and at least every two months during the growing season by an experienced	
Take appropriate measures in avoid environmental durage. Do not domp any waste materials into water bodies. Conform with all federal, provincial and local statutes and Addimes.	Institution of the second seco	3 Nativasce. Bogin advances handshrily after solding and carlines for 60 keys after facturated Completion and write scraptisfy the View. Protein Solid areas from daming with they prover, view to best transce coupled with a post after a divert basis on early the Advances and a solid areas and in their with sensors, the solid areas and and and a solid areas and a solid areas and a solid areas and a solid areas and at their with sensors, the solid areas and and and areas and a solid areas and a solid areas and a solid areas and at their the sensors and and and and and areas and a solid areas and a solid areas and a solid areas and a solid areas and a solid areas and and and and a solid areas and a solid areas and a solid areas and a solid areas and at the solid areas and and and and a solid areas and a solid areas and a solid areas and a solid areas and a solid areas and a solid areas and and a solid areas and a solid areas and a solid areas and a solid areas and a solid areas and a solid areas and a solid areas and a solid areas and a solid areas and a solid areas and a solid areas and a solid areas and a solid areas areas and a solid areas and a solid areas areas and a solid areas and a solid area	<ol> <li>Further Linkshould California</li> <li>Stratistics from the transmission of the set of the se</li></ol>	
Collect and dispose of all debris and/or excess material from landscape operations. Keep paved serfaces clean and repair damage resulting from landscape work. Repairs are to be considered role to final excentions.	3.5 Halo joints hight in accordance with narwfacturer's directions. 3.6 Do not allow water to thew through the pipes during construction except as approved by Engineer.	through the tod base medium is separed. If a second s	ters, Loose, repart or replace the salescensory, loadwale as travels giv were and his after the print growing season eachy ware unge trees require commung support in the option of the salescene Architect. All flagging of gry wires shall be visible and in poor repair. 3.6. "Provinc: Instanct all trees will be due to the very the committy during the repaires and the repaire all due due to closured word. Maintain the subtrait have	
ne to be completed prior to final acceptance. 8 Where new vork connects with existing, and where existing work is altered, assile good to match existing andistanted condition.	3.1 Nake valurlight connections to uniting drains, new or existing manifeles or catribusins where indicated or as directed by Landscape Architect. 3.8 Physynphrone ends of pipe with valurlight clean out caps. 3.9 Example of unit case in which with ends on a low offers the value of each to united without is detailer without Mines.	.10 Acceptance of Laws Areas: The furt shall be reasonably will established, with no apparest doud spits or bare spats and shall be reasonably free of veeds IIn B.C. Landscape Standard, Section 19 Nationaux Acceptance, Use behaviours in Areasany for word reasonal unless other conditions of contract forhid their san. After the lawn has been of a flace hark, areas settler file conditions show will be false over by the Ower.	of the plant. Carry out clipping or shaping only if required in the naintravance contract for specific varieties or conditions. AT Fertilizing: Droc during the twelve month period of establishment maintenance fertilize stands, trees and groundcovers according to soil analysis requirements.	
<ul> <li>Meter ter ware consistent of the control of the contr</li></ul>	3.5 Sector and a cover pipe with start near inductive community as a starting of the start of the sector start of the sector of	33 PLINTS AND PLINTING	3 France is controlled and in the set of	
ADDANTES I Guarantee all materials and workmasship for a minimum period of one full year from the date of Certificate of Completion.	3.12 Back HT resolution of Trench as indicated. 3.13 Protect subdrains from Hostattion during installation.	33 PLANTS AND PLANTING .1 Confirm to planting layout as shown on Landscope Plans.	3.1 watering the beam are personal, registre systems of ener welface is apply water to call a duction a personal area (or, consider), second a call and call and the prace is maintained in a turgid condition. Spepily and irrigate with water in the event of any irrigation system mailmention, or incomplete installation are non-second personal area (or, construction) and irrigate with water in the event of any irrigation system mailmention, or incomplete installation are non-second personal area (or, construction).	
Refer to individual sections for specific warranties.		2 Obtain approval of Landscape Architect for layout and preparation of planting prior to commencement of planting operations.	field capacity to the full depth of the growing median. Apply water again when the water cantent reaches 25X of field capacity. 3.2 Week, insect and Disease Control: Inspect grass areas each time they are moved for weeks, insect pents, and diseases and treat prompity when necessary by appropriate	
T TWO SCOPE OF WORK	<ol> <li>Scalar representation sample or growing measure proposes on rule on mit project to an magnetioner submetory. Provide neutrinocation Accument provide to placing. Test Tread's to locade 31.9 Presid accesseria. X content of answit, and sitt, day and creation.</li> </ol>	3 Haire edge of beds with smooth clean defined lines.	manual methods, or by the use of chamicals in compliance with the B.C.S.LA/RCLINA: Landscape Standards latest edition. XIII bruadicaled weeds in grassed areas by a general application of a suitable herbiolde if the weed population exceeds 10 Bruadieal weeds or 90 annual weeds or weedy grusses per L4 square meters. This application shall reduce	
0PE OF WORK	Solar representative saved or graving reduce properties from an This project is an independent lakeratory. Provide tend results to Lakerage Architect prior to project, Sect controls to lacking.     Section 2019 Section 2	A Thes of Particip AS Their free, shedow and groundervers only during periods that are served for such work as determined by local weather conditions when seasonal conditions are likely to or our executive shedpittion of plats to their new localise.		
Other conditions of Contract may apply. Confirm Scope of Work at time of tender.	AV Carbonningsheets.		3.5 Mexing and Triming - All revers. The first four cuts shall be a sharp refersy type nover. Excess grass clipping shall be removed after each cut. How all grassed areas with scharp refer retary mover when the grass reaches a height of 60m. How to a height of 40m. Edge with a nechanical vertical cutting edger once per year in March.	
Work includes supply of all related items and performing all operations necessary to complete the work in accordance with the drawings and specifications and generally mints of the following	3.5 introlevel inclusion source ( weir Churchenie) (1) Supply all growing medium required for the performance of the Cantract. Do not load, transport or spread growing medium when it is so well that its structure is likely to be demaged.	3 Tradeois 3. Majote analysis and conference in the requerements of the BL Landrage Streader (LISTSTETTRS, unless second city develop Read Schedul or this specification, 3. Majote and Landrage Develop (Schedul Tradeois and BL Cando Call, Schedul R. (2004) Schedul for California Tradeois and Endo 3. The and the stread Schedul Read Schedul Read Schedul R. (2004) Schedul For California Tradeois Tradeois and Endo 3. The and the stread Schedul Read Schedul Read Schedul R. (2004) Schedul For California Tradeois and Endo 3. The and the stread Schedul Read Sche	<ol> <li>Fording America and America a</li></ol>	
11 Online Transfer Tyrner of Hermonian Design:     21 Online Transfer Tyrner of Hermonian Design:     21 Online Tyrner Tyrner Online Tyrner     21 Online Tyrner Tyrner Online Tyrner     21 Online Tyrner Tyrner Online     21 Online	2. Supply all proving medium administrates as required by the soil test. Amended proving medium must meet the specification for growing medium as defined in Table One for the statistics areas	5.11 where to built, Landscape Stratural, Section 9, Party and Pathrolg and in Section 17, BUAN Standard for Container University for minimum standards. 5.12 Refer to Pland Schedule for specific plant and container sizes and comply with requirements. 5.17 Plant unbrief abilities fram serves within the container size and the moments to whitefund the size elimets.	depth of Winn, I-F1 and reases cores. .9.7 Repairs: Re-grade, re-seed or re-sod when necessary to restore damaged or failing grass areas. Match the grass varieties in the surrounding area. Re-sod, if required, Non-solute the overalize scores to Bas and between field bit and land. When between Sectember 54 of Sectember 550. Sectember 34 and and and the Ref	2 JIL630 ISSUED FOR DEVELOPMENT PE 1 JIN530 PRELIMINARY DESIGN
2.1 France strating and Lamospie Charlogie. 2.3 Sopply and placement of growing medium. 2.4 Taction of intervention medium and/or with toronal	<ol> <li>Thoroughly mix required amendments into the full depth of the graving medium.</li> <li>Special mines may be required for various situations. Refer to drawing notes for instructions.</li> </ol>		in opposing sectors, include contract york or an opposition of an opposition of an opposition of the rescale opposition and the rest an	1 JREJØ PRELMINARY DESKR NO. DATE REVISION DESCRIPTION
25 Supply and incorporation of additives to meet requirements of nail test and Table One. 26 Proparation of planting bods, supply of plant material and planting.	<ol> <li>Spice in mice any exception for winter sections, more in to down precision microscoles.</li> <li>Hace the anoded provide median in all greas and planting areas. Spiced growing nodium is uniform layers net exceeding 6° (55mil), over uniform subgrade free of standing unif.</li> </ol>	A Review A1 Review at the source of supply and/or collection point does not prevent subsequent rejection of any or all planting stack at the site.		SEAL:
<ol> <li>Preparation of rough grass areas, supply of materials and seeding.</li> <li>Preparation of Lawn areas, supply of materials and sodding.</li> </ol>	statung wher.	Advantage     The of search includes the Lawer National and Fraser Valley. Refer to Plant Schedule for any estension of area.     Supp proof of the availability of the specified plant material within 30 days of the award of the Contract.		SEAL:
c// subply and publication of in convinues. 21) Maintenance of planted and seeded/sodied areas with accepted by Owner. 211 SPARITYPEC: Establishment Maintenance. Section 3.11.	A1 0-gradii A1 Seeded and solded lawn	4 5400		
22 Other work Work other than this list, not specified by Landscape Architect.	4 - Millione algebrit if greedy reduce placed and comparise to HSR. 41. Departure 42. Departure 42. The rest part of the Structures	3 - Section 2011 31. Other writes apprecial of the Landscape Architect prior to making any substitutions to the specified naterial. Non-approved substitutions will be rejected. 32. Allow a minimum of 5 days prior to dishary for regular to subdistrist. 33. Substitutions are majorite in Clustocape Strutumeri, e-definition of Conditions of Availability.		
NTUSALS 1. Graving Medium Conferm to BC Landscope Standard for definitions of imported and on-site topoali. Refer to Table One below.	A.14 Tree & large should pitsdepth to confirm to depth of rootball – with shall be at least twice the width of the root ball with saccer shaped sides.			
TALLE CAR. PROFERENCE OF GROWING BEING AND	un. Maria Mada 121 Ingelintera	<ol> <li>Plant Species &amp; Locations</li> <li>Plant shall be two in anne and of the height, caliper and size of root hall as shown on the landscape/site plan plant schedule. Caliper of frees is ho be indexs if (55n) shown york.</li> </ol>		
Antications Low Traffic Plantino Areas	A23 Low without automatic imigation	bere grote. 3.2. Pier al specifiel specifie in the location as shown on the landcope drivings. Metrily Landcope Architect if coefficing red-or underground/ownhead services are encountered. 3.3 Univariant or given planting location will only be allowed after review of the proposed drivisition by the Landcope Architect.		
Trees and Large Strubs Lown Areas and Planters Graving Medium Types 21, 2H 2P	A-2.5 Trees and speciese standors			
Texture Parcent Of Dry Weight at Total Growing Medium	A.2.1 Hasawa in cepts growing medium/planting nall around existing frees, structs and obstacles.     Manually spread growing medium/planting nall around existing frees, structs and obstacles.	30 Escavation: 30.1 Trees and large stratus Documents a sourcer shaped free pit to the depth of the rootball and to at least twice the width of the rootball. Assure that filiabled grade is at the original rate may assure at.		
Description         Feature (1) appr (1) ap	In period of groups areas, feather proving melium out to national degree and blend into existing grades.	31 Uranage of Planting Natas 31.1 Trends chaloge of planting Natas 31.1 Trends chaloge of planting Six where required is on sloped conditions, break not the side of the planting bit to allow drainage down slope, and in flat conditions, woood to rain the result allow imprevious types. Whill the Landscope Architect views in a desinge of planting bits in Ethink.		
AR Gravel 0 - 5% 0 - 5% 0 - 5%	.7 Finisted grades shall conform to the elevations shown on landscape and site plans.			
Percent Of Dry Weight of Growing Medium Excluding Gravel	3.6 EXCEN ERASS AVEA - SEEMAG 1. General: Rough greas areas are refer of the drawlegs as "Bough Greas". Treat all areas defined as reagh greas between all property lines of the project including all budweens to the specific of reads and tures.	12 Planting and Fertilizing Procedures: 12.1 Plant at trees and shorts with the roots placed in their natural graving position. If bartagoed, losen around the top of the ball and cut away or first under. Bo not pull bartaging much the ball, calcularly momen carbinate aithout highing the restability. After setting in place, cit Heins, For wire balants, dip and reasons top three roots of		
Sanda - Longer Han 0.05mm 56 - 8000 30 - 9000 40 - 8000 40 - 8000 40 - 8000 5000 5	boulevands to edge of roads and lates.	bortap from under the ball. Cardially remove carbiners without injuring the nortballs. After settled in place, cat heirs. For wire basishis, dip and resove toy three rooks of vire.		
201 Jarger Han (J02am 9 - 25% 9 - 5% 9 - 25% Swalter Han (J02am	Preparation of Surfaces. To IR.C. Landscape Standard Class 3 Areas (Bough grass) Section 2113     Chain motify so illy matchaidal manas of chain's new Shimi in any dimension.     Za Bought and the off or patiest and the or patiest and for control for failures.	vec. 21. These placing hadron years (integrating hadron years) in the market place in the transmission of the transmission		
saalar faa 0.65m Dig: saalar faa 0.45m I - 25% I - 5% I - 25%	<ol> <li>Binging grade surfaces to allow for waintenance specified and for positive drainage.</li> <li>The of Scoding Seed from early spring (peraruly April tot) to late fall September 15th of each year. Further infensions may be obtained on concurrence of the Landscope Archivert.</li> </ol>	.12.4 Where frees are in laws areas, provide a clean cut matched 990am (3 ft.) diameter circle centered on the free.		
sealer than OHDen Control Cont		.13 Shaking of Trees: .131 Use two 2'\2'\3' stakes, unless superseded by municipal requirements. Set stakes minimum 2 Hz in soil. Do not drive stake through nonthall.		
Organic Content (ceast): 3 - 10% 3 - 5% 10 - 20%	4. Seed Supply 3 Testing. WI used must be obtained from a recopized used supplier and shall be No. 1 grass mixture dollwared in containers bearing the following information: A.1. Audyobic Atte sound matter A.2. Proceedings of such and type	.32 Leave the true carefully sertical33 To with pre-approad connectal, flat wown polypropytane fabric balt, minimum with film (3/4*). Approved product: Arbor To - available from Deeplace.		
Organic Content Interiorit         3 - 5X         3 - 5X         15 - 20X           Axidity (pH)         6.0 - 7.0         6.4 - 7.0         6.5 - 6.5	A2. Percentage of each used type C. Cont Michael Mit could be added to advect conference in the Oxfor Mathematication which is disations and	3. Disciption     10 Section 47 mm.     11 Section 72 of data, yellins spectradity is weaking any section 5 of data weaking 21 to a vid. Se of the staff section 5 of the staff sectin 5 of the staff section 5 of the staff sectin 5 of the staff sect		PROJECT
Drainage Percelation shall be such that no standing vater is visible 40 minutes after at least 10 minutes of moderate to heavy rain or irrigation.	5 Setti Stellarus Al analisis and its rated as strong performers in the Paulit Nethwest and are subject to direct approvid. XXX result by Transfer Stellarus Stella	U. Busine		PRUJECT:
Fertilizer: An organic and/or inorganic compound contriating Mitrogen (N), Plauphale (25), and Potash (soluble 2) in propertiess required by sail test.	53X Saturn Percential Rye 53X Kietricky Bhagrain	1.3.1 Links pruving to the minimum necessary to remove dead or injured branches. Preserve the natural character of the plants, do not out the leader. Use only clean, sharp tasks. Make all cuts clean and out to the branch collar leaving no studis. Shape affected areas so as not to retain water. Remove damaged natural.		
Line: Ground agricultural linestone. Must requirements of the B.C. Landscape Standard.	For Wildflower Areas use a michane of Wildflowers with Rand Fescues (Terralinis Coastal Wildflowers) with Rand Fescue or pro-approved alternate.	.5 Middle B1 Middle Manual and the 3.07 - 1765 - Teal date for several date in several date for the several date f		BRYDON GREEN
Bryanic Additive Commercial compast product to the requirements of the B.C. Landscape Standard, LATEST EDITION and pre-approved by the Landscape Architect. commended suppliers: Yardworks, The Answer Barden Products, Fraser Richmond Salis & Fikre, Stream Organics Management.	<ol> <li>Fertilizer: Michanical seeding Apply a complete synthetic slow-relaxes fertilizer with maximum 25% water soluble mitrogen and a formulation ratio of 18-18-18 - 55% solphum area conted; 10: Synthiftika-fored using a mechanical operator.</li> </ol>	.15 Protocomp 151. Helicity algorithm process with an even layer of mulci to 2-V2 - 1° (05 - Yinn) depth. Confirm placement of mulci in areas labeled "Groundover Area" on drawings. Hulch a 3 ft. [200ma] dameter circle around trees in Lawa areas, leave a clean edge.		5475, 5483 & 5493 BRYDON CI
Sand-Dean, washed pamp sand to neet requirements of the B.C. Landscape Standard.	7. Seeding. Apply seed at a rate of 102x/H (MMIss /acrel with a mechanical spreader. Incorporate seed into the top 1/4" formi of soil and lightly compact.	.36 Acceptance .35.1 The establishment of all plant waterial is the responsibility of the Landscape Contractor.		LANGLEY CITY
Coopested Bark Mulch - New ICHT' wins Fir/Henlack bark chips and files, free of churks and sticles, dark brown in colour and free of all sol, stones, roots or other transmum wither. Fresh crases in colour bark will be rejected.	Acceptance Provide adequate protection of the sended areas with canditions of acceptance have been net. Comply with Section 37 Hydroseeding.	17 Plant Material Maintenance 171 Maintain all start autorial for 68 days after Landscare work has received a Castillinia of Constation		
transmission where, reveal organic solutions was or reported. Herbiddes and Pesticides: If used, must conferent to all federal, provincial and local statutes. Appliers must hald current ficenses issued by the appropriate antionities in	3.7 HYDRISEEDWG .1. May be used as an alternate to wechanical seeding in rough grass areas.			
	2 Hoy not be used in areas of lown unless pre-approved by the Landscape Architect prior In bidding.	The Owner is responsible to supply water at no extra cast to the Contract. Confirm source of veter prior to beginning work. 17.3 Use appropriate measures to combut prests or diseases damaging plant material. Comply with all local governing statutures and guidelines for chanical control.		DRAWING TITLE:
Fitter Fairio: A non-biologradable blanket ar other fittering nonkerare that will allow the passage of water bet not files call particles. Esch as MBARI N4 NL, 650.00 N44 A MECE 4545 or alternate product pre-approved by the Landscope Architect.)	3 Preparation and Growing Medium. 3.1 In Junvas all Rough Yanto Catolina 3.5 Rough Granss. 32 White apprecise for use in a vesse of Lawa, compty with Section 3.8 Lawa Areas: Sodding.	.17.4 Plant material which fails to survive shall be replaced in the next appropriate season as determined by the Landscape Architect. .17.5 Repair Temparties, stations, and gay when, when necessary.		
Drainage Piping If required-Schedule 40 PVC nominal sizes.	3.2 Where approved for use is areas of laws, couply with Section 3.8 Laws Areas: Soddieg.	.rcm namumi anexi Heldreity vield Treix. (Appearance Ieeni 2, ISL: Landscape Standard, Diapfor 'BL .17.7 Maintain milds In specified depths.		LANDSCAPE
Drain Rack- Clean, round, inert, durable, and have a maximum size of them and containing no material smaller than Nem.	A Protection: Ensure that fortilizer is solation does not come in contact with the folgage of any frees, sknubs, or after susceptible vegetation. Do not spray seed or multition algebra and ensure that any structure of the structure should be added and a structure structure should be added and any one supervised and structures from Gauge. When contabulation because, reserve sealing and pro to schization and addy ensure supervised by the Ladorage Architect of Architect	30 Plant Morrarty: 311 Replace all analtic factory plant material eccept Hose designabed "Specimen" for a seried of ose 10 year after the Certificate of Constantion, Specimer all weakfortway		SPECIFICATIO
Plant Material: To the requirements of the B.C. Landscape Standard. Refer to 3.9, Plants and Planting. All plant material must be provided from a certified disease free samp. Provide proof of certification.		plant material designated "Specimen" for a partie of the IZI years after the Certificate of Completion. Replace all unsatisficationy trees and startes and continue to replace these until the specified number is complete and satisfactory in the Lundscape Architect. Such replacement shall be unbject in the entitication, inspection and agreeval as		DATE: JR(4.6 DRAWING NU
See: Refer to individual sections in this specification.	<ol> <li>Much shall caused of virgin wood fibre or recycled paper fibre designed for hydraulic seeding and dyed for ease of wonitoring application. It using recycled paper material for wood fibre substitute use USX Dy weight. Canderson 5.8.C. Landscope Standard for match requirements.</li> </ol>	specified for the original planting, and shall not constitute an entra to the Contract. 30.2 Those Plants, identified as bardy within one zone of the Conada Department of Agriculture famal class for the area, specified by the Landscape Architect and installed by		
Supplier and installars of supportal block wats is previde engineered drawlegs for all wats: signed and sualed drawlegs for all wats, indevidually, in eccess of Line, or abilitations of values collectively in excess of Line. Installations must be reviewed and signed off by Certified Professional Expineer; incode cost of engineering services in other exists.	A Water: Shall be free of any inpunities that may have an injurious effect on the success of seeding or may be launchal to the environment.	8 And American Program Constraints and the second to a second of the second of th		SCALE: -
	3. Equipment: Due industry standard hydraulic seeler/hudcher explaned with the task volume certified by an identification plate or sticker afficied in plain view on the explaned. The hydraulic celer/hudcher shall be capable of a public beto in a the natival late a language starty and the subtry in a homogeneous starty and the	.is.3 A review may be requested outing the latter part of the varianty graving season. All plant material showing will developed tolloge, healthy gravith and load forming, will then be failed over.		DRAWN: PMT
Niscellaneous: Any other material necessary to complete the project as shown on the drawings and described hernin.	www.w.w.opprex	11		DESIGN: PMT
Piscellaneous: Any other naterial necessary to complete the project is shown in the drawings and described herein.				CHK'D: MTLM



**EXPLANATORY MEMO** 

# DISCHARGE OF LAND USE CONTRACT NO. 05-73

# **BYLAW NO. 3083**

The purpose of Bylaw No. 3083 is to authorize the discharge of Land Use Contract No. 05-73 from the property located at 4538 – 204 Street.

The owner has applied to have Land Use Contract No. 05-73 discharged from the title of the property to facilitate a Building Permit application for a secondary suite.

City Council has the authority to discharge a land use contract pursuant to Section 546 of the *Local Government Act*.

The City amended Zoning Bylaw 1996, No. 2100 in December 2006 to allow secondary suites. Current records indicate that 290 suites have been approved or are in the building permit application process for approval. In the same timeframe, 676 property owners discharged the land use contracts affecting their single family residential lots. There are 477 single family residential lots still affected by land use contracts in the City.



# DISCHARGE OF LAND USE CONTRACT NO. 05-73

# **BYLAW NO. 3083**

A Bylaw to authorize the discharge of Land Use Contract No. 05-73 from the specified property.

**WHEREAS** Land Use Contract No. 05-73 is registered against titles legally described in Schedule "A".

**AND WHEREAS** the registered owners of the Lands have applied to have Land Use Contract No. 05-73 discharged from title to the Lands.

**AND WHEREAS** Council has the authority to discharge a land use contract pursuant to section 546 of the *Local Government Act*,

**NOW THEREFORE**, the Council of the City of Langley, in open meeting assembled, enacts as follows:

- 1. The Land Use Contract registered in the Land Title Office under K13898 is hereby discharged against the title legally described in Schedule "A" which is attached and forms part of this bylaw.
- 2. The Mayor and Corporate Officer of the City of Langley are authorized to execute such documents on behalf of the City as may be necessary for the purpose aforesaid.

3. This Bylaw may be cited for all purposes as "Discharge of Land Use Contract No. 05-73 Bylaw, 2018, No. 3083".

**READ A FIRST AND SECOND TIME** this 23<sup>rd</sup> day of July, 2018.

**A PUBLIC HEARING**, pursuant to Section 464 of the "Local Government Act" was held this ----- day of ------, 2018.

READ A THIRD TIME this ------ day of -----, 2018.

FINALLY ADOPTED this ------ of -----, 2018.

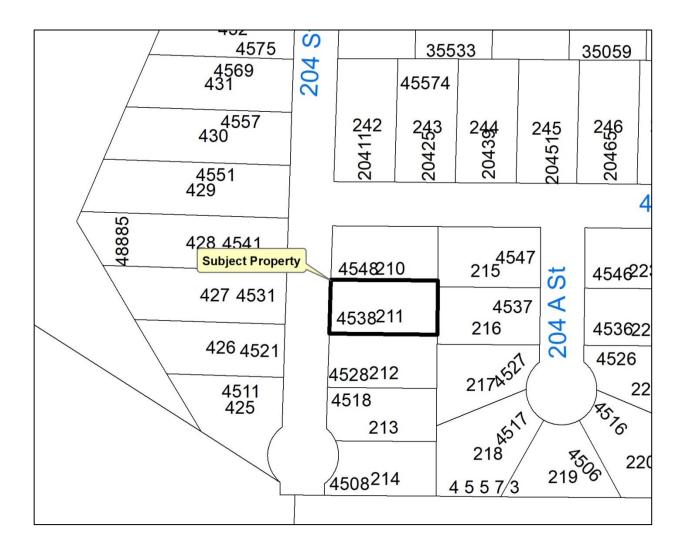
MAYOR

CORPORATE OFFICER

## **BYLAW NO. 3083**

## SCHEDULE "A"

Civic Address:4538 – 204 StreetLegal Description:Lot 211, North East Quarter Section 35, Township 7, New<br/>Westminster District, Plan 45573PID:002-359-260Applicant:A. WhiteOwner:A. White, G. White





# **EXPLANATORY NOTE**

# DISCHARGE OF LAND USE CONTRACT NO. 01-73

# **BYLAW NO. 3084**

The purpose of Bylaw No. 3084 is to authorize the discharge of Land Use Contract No. 01-73 from the property located at 4945 – 205A Street.

The owner has applied to have Land Use Contract No. 01-73 discharged from the title of the property to facilitate a Building Permit application for a secondary suite.

City Council has the authority to discharge a land use contract pursuant to Section 546 of the *Local Government Act*.

The City amended Zoning Bylaw 1996, No. 2100 in December 2006 to allow secondary suites. Current records indicate that 290 suites have been approved or are in the building permit application process for approval. In the same timeframe, 676 property owners discharged the land use contracts affecting their single family residential lots. There are 477 single family residential lots still affected by land use contracts in the City.



# DISCHARGE OF LAND USE CONTRACT NO. 01-73

# **BYLAW NO. 3084**

A Bylaw to authorize the discharge of Land Use Contract No. 01-73 from the specified property.

**WHEREAS** Land Use Contract No. 01-73 is registered against titles legally described in Schedule "A".

**AND WHEREAS** the registered owners of the Lands have applied to have Land Use Contract No. 01-73 discharged from title to the Lands.

**AND WHEREAS** Council has the authority to discharge a land use contract pursuant to section 546 of the *Local Government Act*,

**NOW THEREFORE**, the Council of the City of Langley, in open meeting assembled, enacts as follows:

- 1. The Land Use Contract registered in the Land Title Office under J130310 is hereby discharged against the title legally described in Schedule "A" which is attached and forms part of this bylaw.
- 2. The Mayor and Corporate Officer of the City of Langley are authorized to execute such documents on behalf of the City as may be necessary for the purpose aforesaid.

3. This Bylaw may be cited for all purposes as "Discharge of Land Use Contract No. 01-73 Bylaw, 2018, No. 3084".

**READ A FIRST AND SECOND TIME** this 23<sup>rd</sup> day of July 2018.

**A PUBLIC HEARING**, pursuant to Section 464 of the "Local Government Act" was held this ----- day of ------, 2018.

READ A THIRD TIME this ------ day of -----, 2018.

FINALLY ADOPTED this ------ of -----, 2018.

MAYOR

CORPORATE OFFICER

### **BYLAW NO. 3084**

### SCHEDULE "A"

Civic Address: Legal Description:

PID: Applicant: Owner: 4945 – 205A Street Lot 124, District Lot 304, Group 2, New Westminster District, Plan 44877 006-123-953 M. Khatan 1073399 B.C. Ltd.

