

Project Data

Zoning check list	
civic address	6141 200th Street, City of Langley, BC V2Y 1A2 PID: 615-863-254 Lot B Section 10 Township 8 NWD Plan 84272 Survey drawing by Bennett Land Surveying - Topographic Survey of Part of Lot B Section 10 Township 8 NWD Plan 84272
legal address	C2 Service Commercial Zone
survey	Occupancy classification
zoning	Group A-2
number of stories	1 storey
streets facing building	200 Street & Langley By-Pass (2)
existing mail site area	47369.61 m2 (50682.24 R2 or 11.70 acres)
existing mail gross floor area	10,425.12 m2 (112,177 R2)
existing gross floor area of subject CRU	591.71 m2 (6369.47 R2)
new gross floor area proposed to be added	154.59 m2 (1663.99 R2)
open space area	proposed: 189,381 m2 (1,351,259 R2) 17%
new mail approx. gross floor area	10,579.738 m2 (113,879.352 R2)
new gross floor area of subject CRU	746.33m2 (8033.46 R2)
existing use of subject CRU	eating establishment
proposed use of subject CRU	eating establishment
density / floor area ratio (FAR)	allowed: 0.5 FAR (23,094.805 m2) existing: 0.21 (10,425.12 m2) proposed: 0.22 (10,579.738 m2)
lot coverage	allowed: 90% (42,632.649 m2) existing: 21% (10,425.12 m2) proposed: 22% (10,579.738 m2)
yards & setbacks	required: front: 4.50m (14.76 R) rear: 0.0m (0.0 R) interior: 0.0m (0.0 R) proposed: 4.50m (14.76 R) front: 4.50m (14.76 R) rear: 0.0m (0.0 R) interior: 0.0m (0.0 R) exterior: 4.50m (14.76 R)
building height	allowed: 10.0 m (49.21) proposed: 7.62 m (25.00) 637 parking stalls
existing parking	5.6 spaces per 93m2 (1001.07 R2)
existing parking ratio	for existing use (eating establishment) of subject CRU: eating establishment 3.0 spaces per 93m2 (1001.07 R2) of gross floor area or fraction thereof Part 1 Administration And Enforcement/E, Off-Street Parking and Loading/L, Off-Street Parking Requirements
required parking	for proposed use (eating establishment) of subject CRU: eating establishment 5.6 spaces per 93m2 (1001.07 R2) of gross floor area or fraction thereof Class 1: 1.0 space per 500m2 of gross floor area or 1.0 space per 10 employees Part 1 Administration And Enforcement/E, Off-Street Parking and Loading/L, Bicycle Parking Requirements
bicycle parking	existing: 28 bicycle spaces (7 racks) required: 22 bicycle spaces Part 1 Administration And Enforcement/E, Off-Street Parking and Loading/L, Loading Requirements
loading	required: 1 space for 465 m2 (5005.38R2) 2 space for 465 m2 - 2323 m2 (5005.38R2 +25005.38R2) + 1 space each additional 2323 m2 (25005.38R2) or fraction thereof 5 no significant new GFA is proposed to be added to the mall, therefore the loading requirements remain unchanged refer to landscape plans LD 0-L0.1-L0.2
landscape	

Code Analysis BCBC 2018

Zoning Bylaw Reference / Notes

refer to BCBC 2018 table 3.1.2.1

area derived from CDL's Webmap and based on the following description: 6131 200 ST Langley BC V2Y 1A2 PID: 615-863-254 (mall site area Willowbrook Park)

area derived from "Topographic Survey of Part of Lot B Section 10 Township 8 NWD Plan 84272"

refer to plan A0.05

refer to plan A0.04

refer to plan A0.05

refer to plan A0.05

Official Community Plan Bylaw
Service Commercial



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Architectural Symbols

Grid Bubble	1
Text Tag Note	NAB
Keynote	1
Window Tag	W1
Exterior Wall Tag	W1
Partition Tag	P1
Floor Tag	F1
Roof Tag	R1
Door Tag	123
Detail Tag	123
Building Section Marker	123
Revision Marker	123
Plan Elevation Marker	123
Room Tag	ROOM NAME
Interior Elevation	123
Design Grade Elevation	123
Drawing Title	123

Project Description

Project includes full demolition of existing building.
New building will include:
-Covered entry.
-Main lounge.
-Dining area.
-Covered patio
-Area for a seasonal patio.
Service area such as:
-Washrooms (both men and women, including universal).
-Staff area.
-Kitchen.
-Storage.
-Service platform.
-Enclosed garbage area.

Architectural Drawing List

A0 General	
A0.00	Cover
A0.01	Location Plan
A0.02	Existing Context: Plan
A0.03	Existing/Proposed Site Overlay
A0.04	Code Analysis
A0.05	Site Coverage Calculation
A0.06	Site Coverage Plan
A0.07	Demolition Plan
A0.10	FAR Overlay
A0.11	Existing Grade
A0.12	Proposed Grade
A0.13	Shadow Study
A0.14	Shadow Study
A1 Plans	
A1.00	Proposed Site Plan
A1.01	Proposed Main Level
A1.02	Roof Plan
A2 Sections	
A2.01	Sections
A2.02	Sections
A3 Elevations	
A3.01	Elevations
A3.02	Elevations
A10 Signage	
A10.01	Signage Proposal

Landscape

L0.0	Cover
L0.1	Plan
L0.2	Plan (Plant)
L0.3	Sections

Arborist Report

T0.1	Existing Tree Management Plan
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Civil

C0.3	Preliminary Servicing Plan
C0.4	Preliminary Grading Plan*

Survey

	Site Survey
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note: architectural drawings print full
scale when printed at 22" x 34"

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Date	Issue Notes
23-05-20	BP Application
23-06-20	Response to BP comments
23-06-20	Response to BP meeting
23-06-20	Response to BP comments
23-06-20	Response to BP comments

No.	Date App.	Revision Notes
1	23-05-20	BP Application

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scale NTS	drawn by DM/JM
status BP	reviewed by RSA/AC

Cover

A0.00

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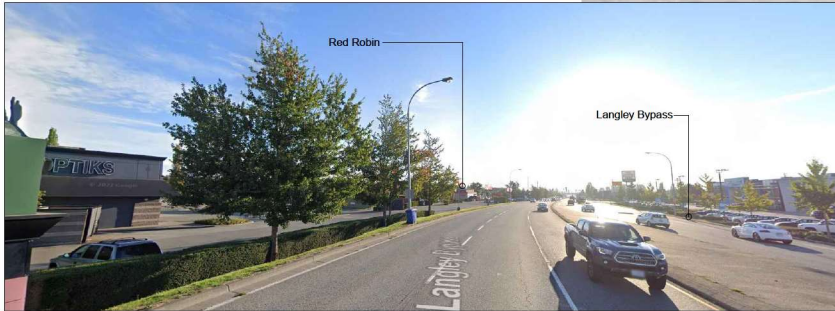
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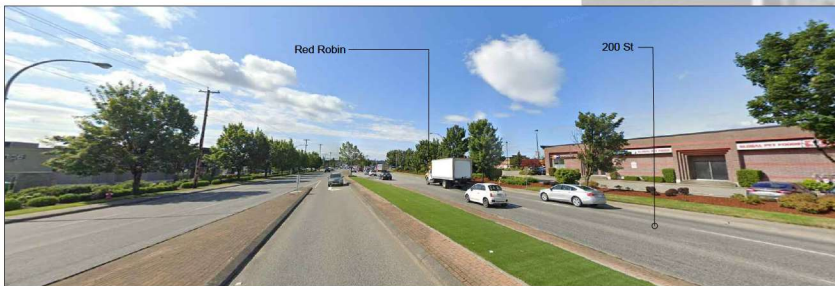
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1 View from Langley Bypass looking East
NTS



2 View from 200 St looking North
NTS



3 View from 200 St looking South
NTS



4 Location Plan
1/80" = 1' 0"

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22-03-08	DP Application	
22-04-07	Response to DP comments	
22-04-13	Response to DP meeting	
22-04-27	Response to DP comments	
22-09-08	Response to DP comments	

No. Date Appr Revision Notes
22-06-09 DP Revision 1
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status	reviewed by
DP	RSA/AC

Location
plan

A0.01



1 Existing Building from 200 St (East Elevation)
NTS



2 Existing Building from parking (North Elevation)
NTS

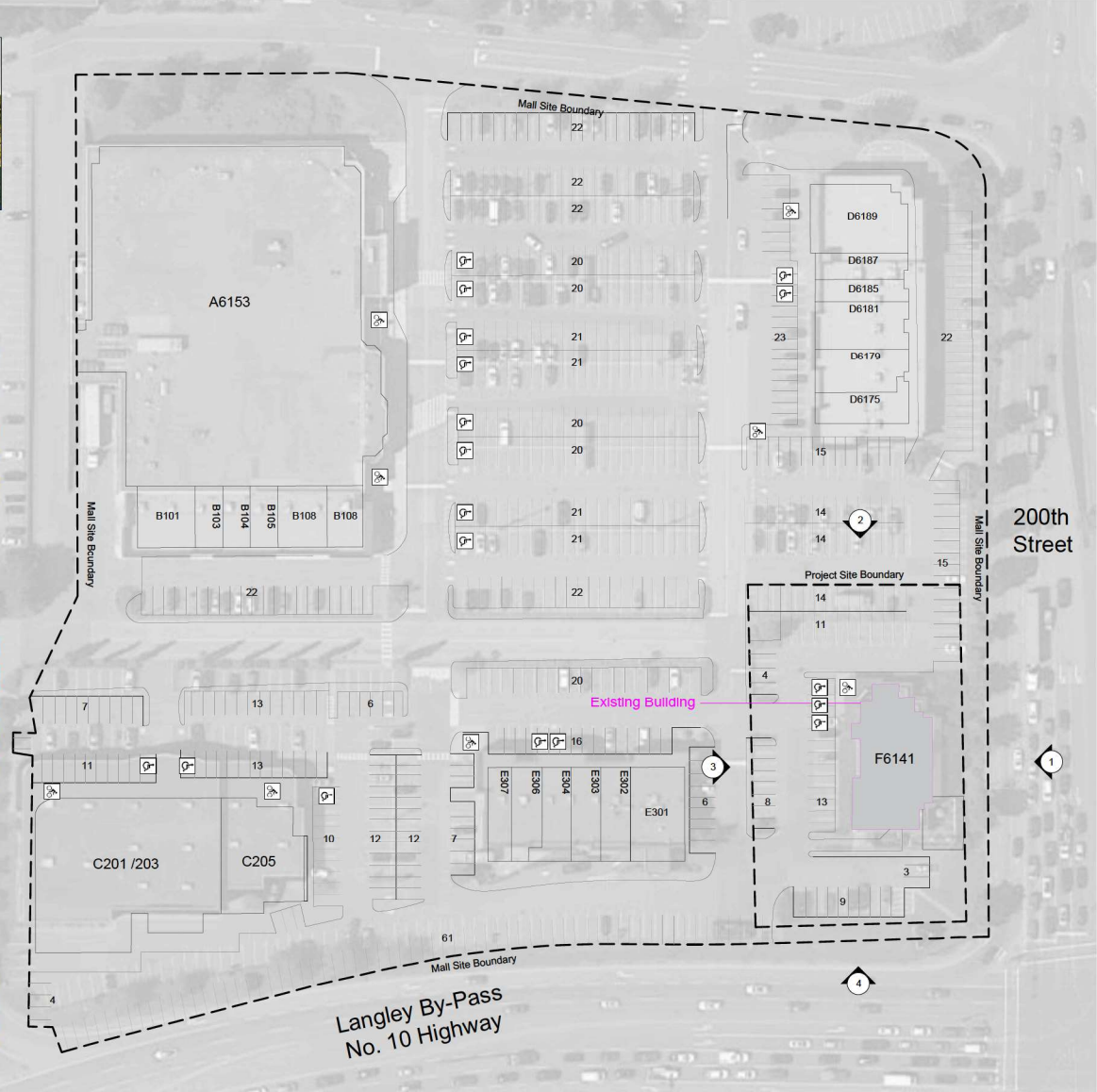


3 Existing Building from parking (West Elevation)
NTS



4 Existing Building from Langley Bypass (South Elevation)
NTS

5 Context Plan
1/40" = 1" 0"



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22-03-08	DP Application
22-05-09	Response to DP comments
22-06-13	Response to DP meeting
22-08-22	Response to DP comments
22-09-08	Response to DP comments

No.	Date Appr	Revision Notes
1	22-06-09	DP Revision 1

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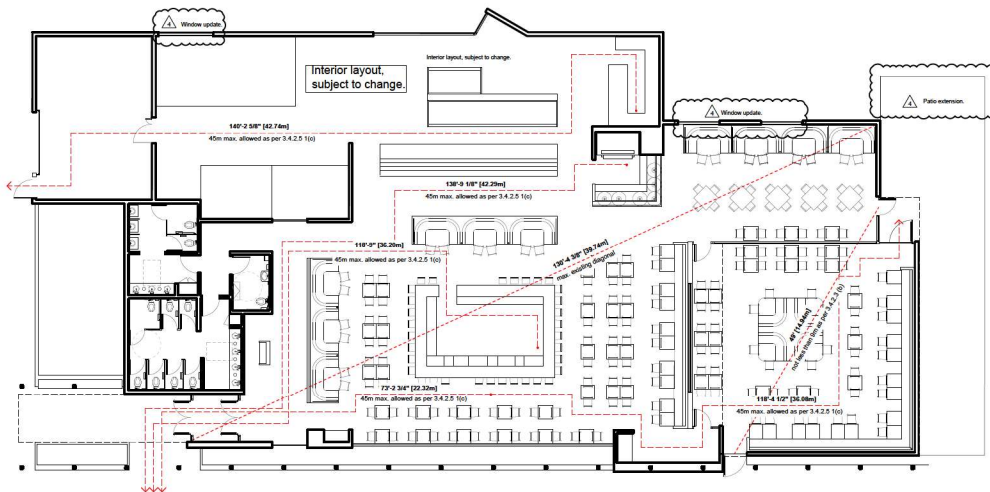
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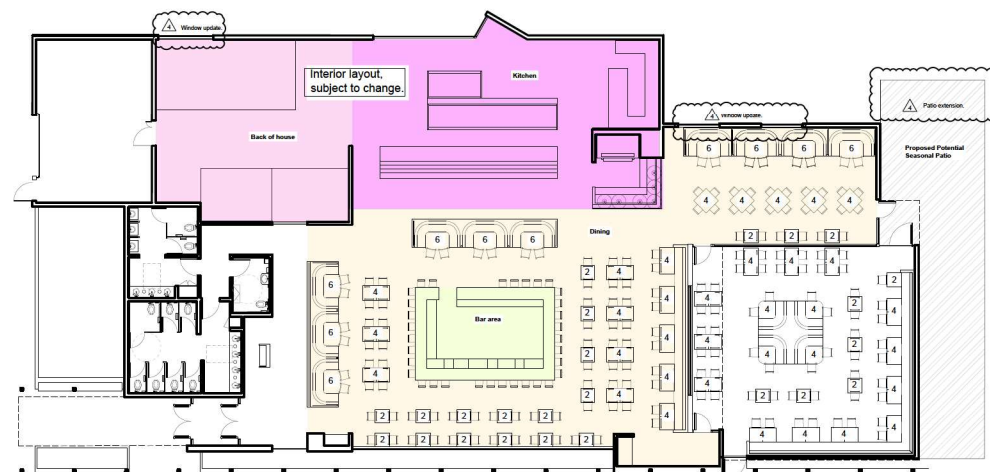
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DP	RSAAW

**Existing
Context
Plan**

A0.02



1 Exits-Proposed Main Level



2 Occupant Load-Proposed Main Level

Exit Width Calculation as per 3.4.3.2 of BCBC 2018

	Factor as per 3.4.3.2 (1)	Occupant Load	Required Width	as per table 3.4.3.2-A	Provided Width
Exit doorways	6.1 mm	x 213 people =	1299.3 mm	(800mm min.)	2x1219.20 mm (48") 1x1016.00 mm (40") 1x965.20 mm (38") 4x972.00 mm (38-1/4")

Occupant Load Calculation as per Table 3.1.17.1 of BCBC 2018

Room	Area	Calculation	Occupant Load
Dining	3018.34 sq ft / 280.412m ²	seats= 164	164 people
Bar area	380.019 sq ft / 35.305m ²	seats= 33	33 people
Kitchen	1562.956 sq ft / 145.203m ²	9.30m ² /person=15.61	16 people
Back of house	1023.806 sq ft / 95.114m ²	46.00m ² /person=2.06	2 people
Women's washrooms	294.672 sq ft / 27.378m ²	N/A	
Men's washrooms	186.290 sq ft / 17.306m ²	N/A	
Universal washroom	60.583 sq ft / 5.628m ²	N/A	
Garbage area	557.828 sq ft / 51.624m ²	N/A	
Dining Vestibule	333.996 sq ft / 31.029m ²	N/A	
Total	7414.299 sq ft / 688.810m²		215 people
Patio	1351.259 sq ft / 125.318m ²	seats= 80	80 people
Potential seasonal patio		seats= 62	62 people

Washrooms Calculation as per table 3.7.2.2-A of BCBC 2018

	People	#WC Required
Occupant Load	295 people	
Occupant Load reduction as per 3.7.2.2 (2)	-10 people	
Reduced Occupant Load	285 people	
Male	143 people	as per table 3.7.2.2-A 3 WC
Female	143 people	as per table 3.7.2.2-A 6 WC
Total		9 WC

provided; 5 for men, 7 for women (12), 1 being Universal (13).

3 Exit width/occupant load/washroom count summary

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Date	Issue Notes
22-03-08	DP Application
22-05-09	Response to DP comments
22-06-10	Response to DP comments
22-08-02	Response to DP comments
22-09-08	Response to DP comments

No.	Date App.	Revision Notes
1	22-05-09	DP Revision 1
2	22-06-10	DP Revision 2
3	22-08-02	DP Revision 3
4	22-09-08	DP Revision 4

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status DP	reviewed by RSA/AC

Code
Analysis

A0.04

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Date: 22-02-08 DP Application
22-02-08 Response to DP comments
22-04-12 Response to DP meeting
22-08-02 Response to DP comments
22-09-08 Response to DP comments

No. Date App. Revision Notes
A1 22-05-09 DP Revision 1
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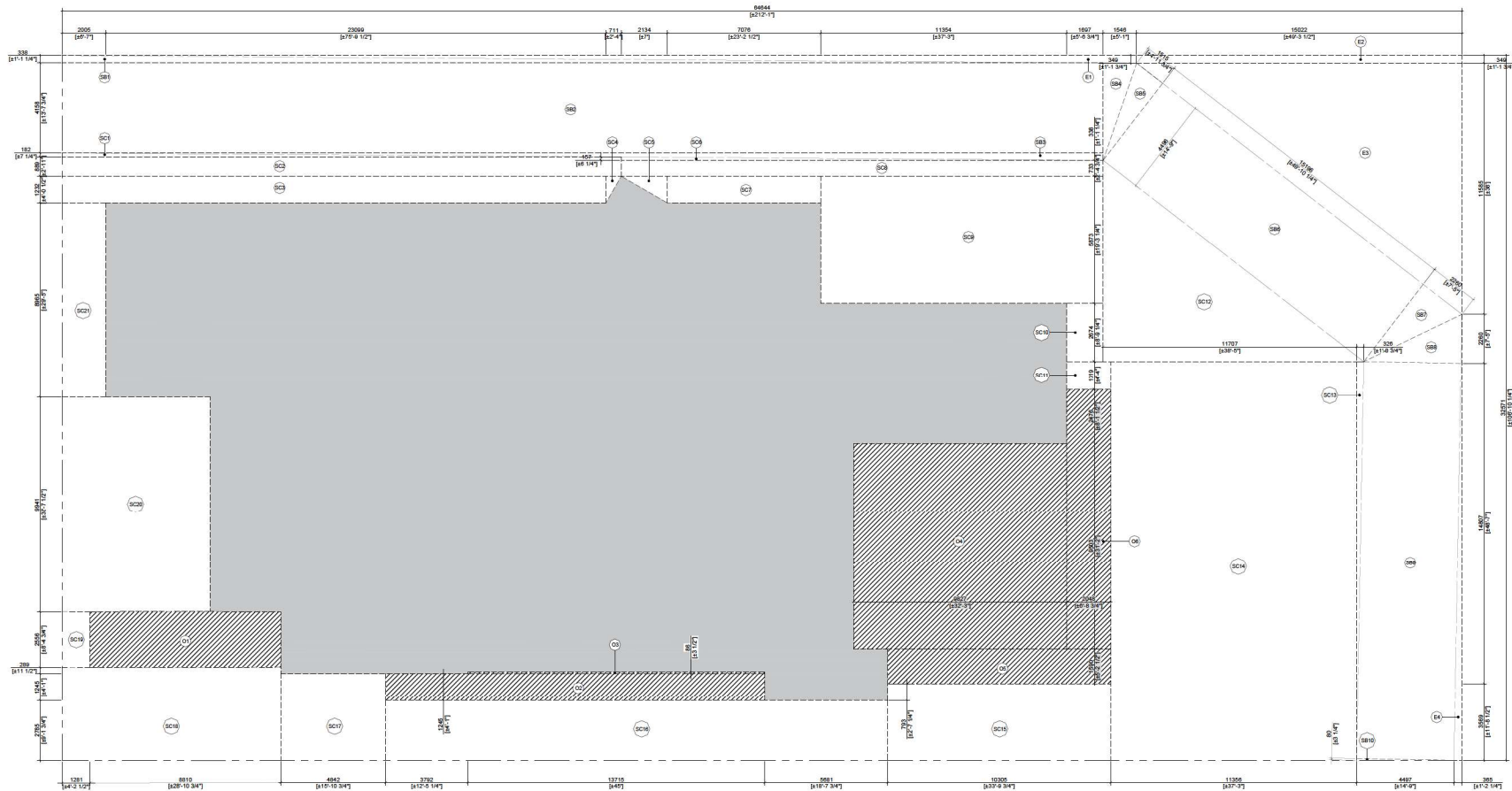
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status: DP
drawn by: DMJ/JH
reviewed by: RSA/AC

**Site
Coverage
Calculation**

A0.05



1 Overlay Site Plan
1/8" = 1' 0"

GROSS PERIMETER AREA			
	Width (mm)	Length (mm)	Area (sq.m)
Gross Perimeter Area	32872	64645	2105.625 (22854.75 sq.ft)
Area Deductions			
E1	346	45623	8.905 (triangle)
E2	346	15022	5.243 (triangle)
E3	11585	15022	87.015 (triangle)
E4	20837	385	3.766 (triangle)
Subtotal			104.880
Total Net Area			2000.835 (21537.831 sq.ft)

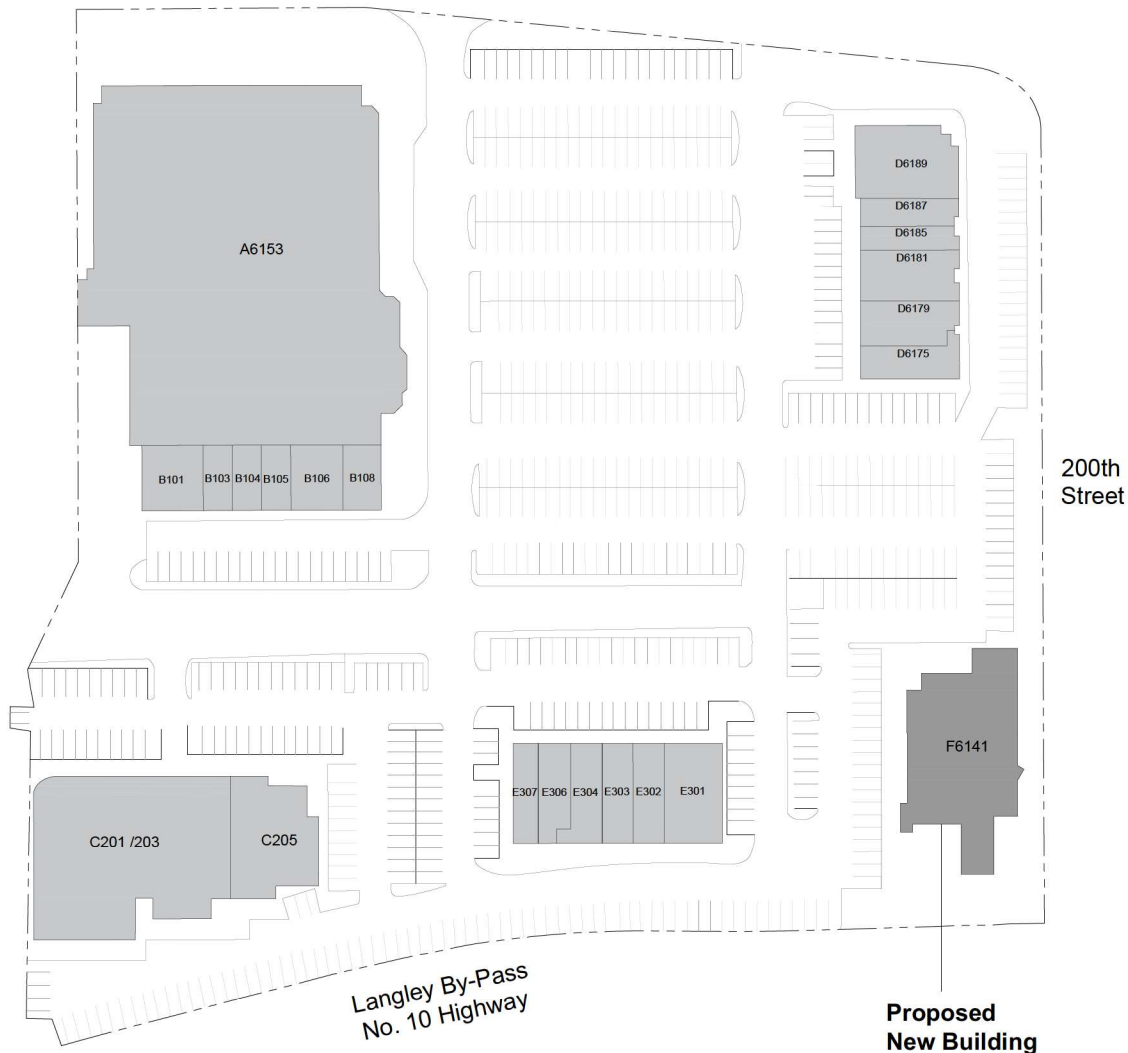
SITE COVERAGE CALCULATION			
	Width (mm)	Length (mm)	Area (sq.m)
Exterior Space			
SC1	182	2816	2.349 (triangle)
SC2	888	2816	22.800 (triangle)
SC3	1232	25105	30.829 (triangle)
SC4	1232	711	0.439 (triangle)
SC5	1232	2104	1.310 (triangle)
SC6	157	22280	1.747 (triangle)
SC7	1232	7076	6.719 (triangle)
SC8	735	22280	16.371 (triangle)
SC9	5873	13051	76.846 (triangle)
SC10	2674	1667	4.538 (triangle)
SC11	1310	2046	2.701 (triangle)
SC12	6280	12023	63.433 (triangle)
SC13	18457	328	3.008 (triangle)
SC14	18457	11306	209.098 (triangle)
SC15	3070	10305	36.786 (triangle)
SC16	2778	23188	64.370 (triangle)
SC17	4020	4642	19.485 (triangle)
SC18	4320	10562	43.597 (triangle)
SC19	2590	1281	3.274 (triangle)
SC20	8641	6831	67.907 (triangle)
Subtotal			690.487
Total Excludable Exterior Area			690.487 (7432.197 sq.ft)

SITE COVERAGE CALCULATION			
	Width (mm)	Length (mm)	Area (sq.m)
Setback			
SB1	338	48076	8.125 (triangle)
SB2	4158	48076	199.900 (triangle)
SB3	338	48076	8.125 (triangle)
SB4	4498	1546	3.473 (triangle)
SB5	1515	4498	3.409 (triangle)
SB6	4498	15196	68.321 (triangle)
SB7	2280	4498	5.060 (triangle)
SB8	2280	4467	5.060 (triangle)
SB9	18377	4467	82.641 (triangle)
SB10	80	4467	0.180 (triangle)
Subtotal			384.335
Total Excludable Exterior Area			384.335 (4136.893 sq.ft)

SITE COVERAGE CALCULATION			
	Width (mm)	Length (mm)	Area (sq.m)
Area Deductions			
Covered Areas			
O1	2208	8910	22.518 (triangle)
O2	1240	17807	21.756 (triangle)
O3	86	13715	1.179 (triangle)
O4	9503	9627	93.388 (triangle)
O5	1560	10205	16.265 (triangle)
O6	11679	2048	24.533 (triangle)
Subtotal			179.758
Total Excludable Interior Area			179.758 (1933.245 sq.ft)

BUILDING AREA			
	Width (mm)	Length (mm)	Area (sq.m)
Gross Perimeter Area	32872	64645	2000.83
Area Deductions			
Excludable Uncovered Area			1074.803
Excludable Covered Area			179.758
Subtotal			1254.561
Total Net Area			846.333 (9103.451 sq.ft)

FAR Legend
Included in FAR calculation
Covered outdoor area, not included in FAR calculation
Garbage enclosure, included in FAR calculation
Open areas, not included in FAR calculation
Exterior wall assembly zone, included in FAR calculation



1 Context Plan
1/40" = 1' 0"

SITE COVERAGE SUMMARY			
		Area (sq.m)	
Site Area		★ 47369.617	
Area Additions			
Zone A			
	A6153	5048.351	SafeWay
Zone B			
	B101	151.710	H & R Block
	B103	81.197	Edward Jones
	B104	81.011	Soccerwest
	B105	78.967	CK Nail Salon
	B106	143.906	Sally Beauty
	B108	104.794	Insure BC
Zone C			
	C201/203	1493.973	MEC
Zone D	C205	500.933	Optiks International
	D6175	154.497	M & M Food Market
	D6179	205.673	Jenny Craig
	D6181	271.462	Global Pet Foods
	D6185	135.731	Running Room
	D6187	121.703	W. park Dental Center
	D6189	414.161	Scotiabank
Zone E			
	E301	243.498	Dairy Queen
	E302	97.176	Wild Birds Unlimited
	E303	96.990	Sonu Haircut
	E304	147.158	Pizza Hut
	E306	147.251	Red Wings Shoes
	E307	113.063	Purolator
Proposal			
	F6141	746.333	King Taps
Subtotal			
Total Net Area		10579.738 [113879.352 sq.ft]	
Site Coverage		22%	

FAR Legend

- Net Area of existing buildings in the site
- Net Area of proposed building
- ★ Site area based on information from City of Langley Data Base

Required by Law Parking

Required by Law 3 per 93m2
Required by Law 5% (of provided stalls) for handicapped

Required Parking

Regular stalls	325
HC	17
Total Provided:	342

Existing Parking

Regular stalls	620
HC	17
Total Provided:	637

2 Site Coverage Summary
NTS

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Date	Issue Notes
22-02-08	DP Application
22-02-09	Response to DP comments
22-04-13	Response to DP meeting
22-04-27	Response to DP comments
22-07-08	Response to DP comments

No.	Date App.	Revision Notes
1	22-05-09	DP Revision 1

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scale	drawn by
As noted	DMJ/JH
status	reviewed by
DP	RSAAW

Site
Coverage
Plan

A0.06

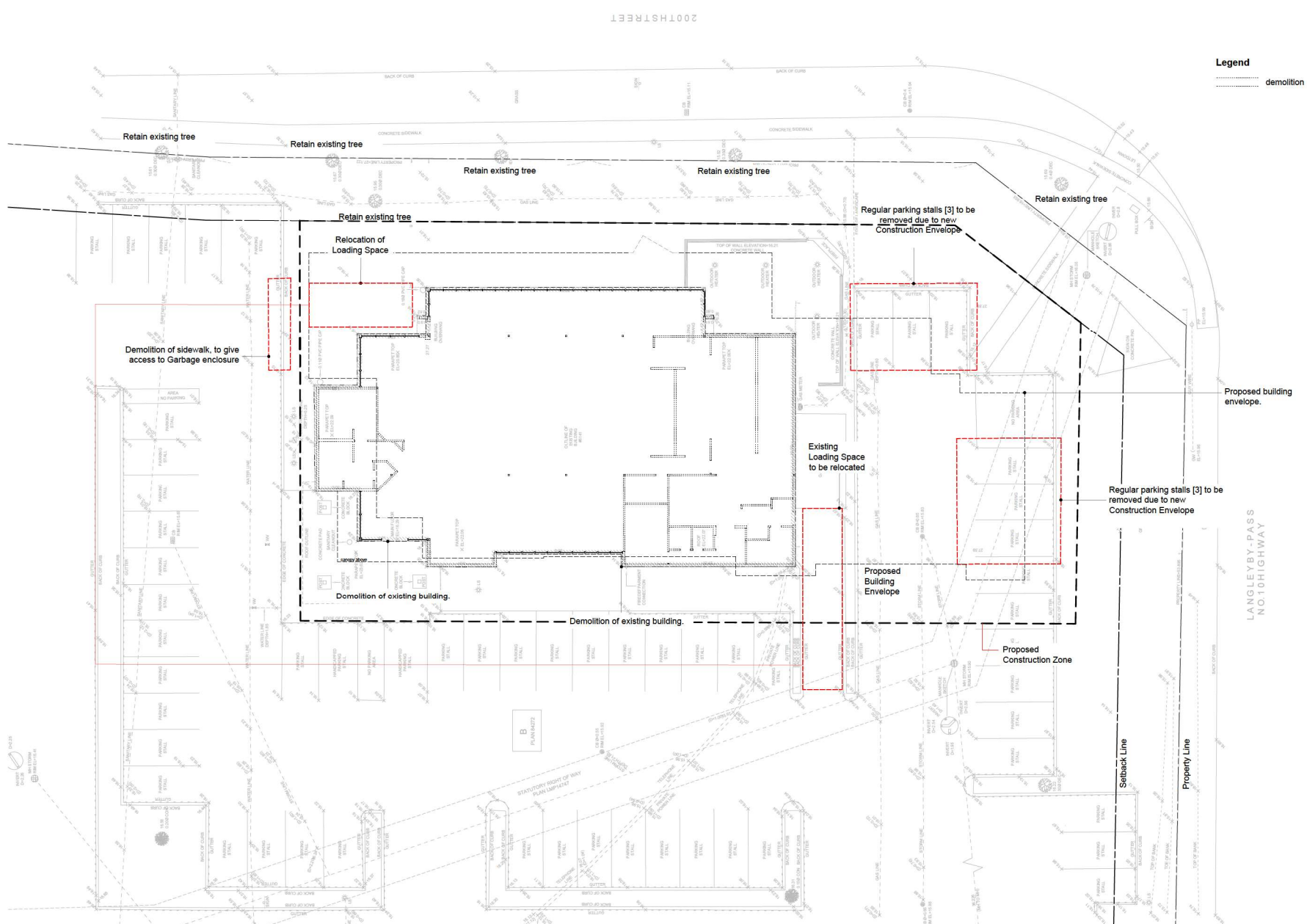
Date	Issue Notes
22-03-08	GP Application
22-05-09	Response to GP comments
22-06-13	Response to AGP meeting
22-08-02	Response to GP comments
22-09-08	Response to GP comments

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Demolition Plan

A0.07



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22-09-08	Response to DP comments

No.	Date App.	Revision Notes
1	22-05-09	DP Permission 1

"when printed @ 22x34"

**RSA
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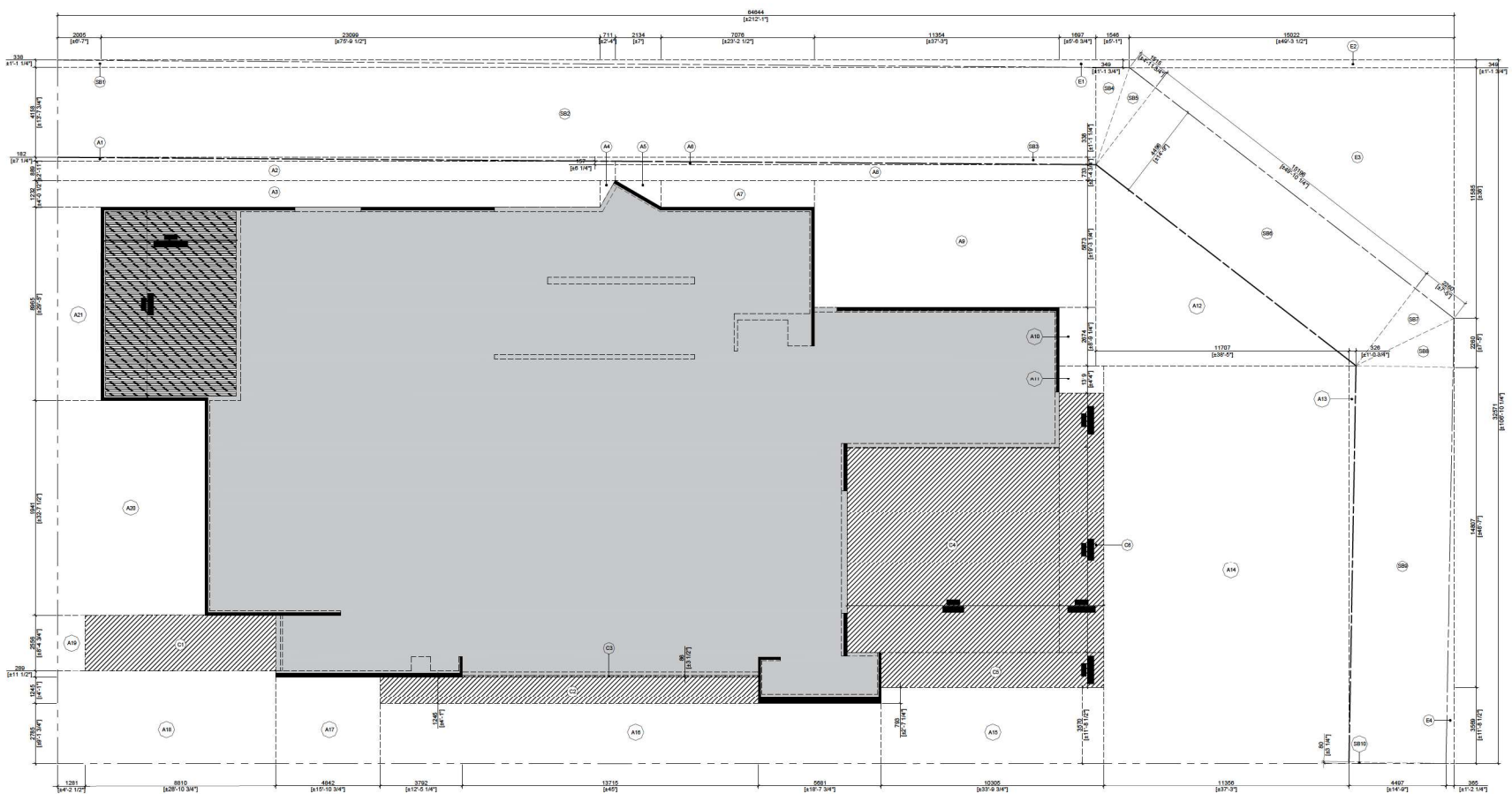


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**FAR
Overlay
A0.10**



1 Overlay FAR Site Plan
1/8" = 1' 0"

GROSS PERIMETER AREA FAR CALCULATION			
	Width (mm)	Length (mm)	Area (sq. m)
Gross Perimeter Area	32572	84845	2705.820 [2705.820 sq. m]
Area Deductions			
E1	349	40623	8.650 (triangle)
E2	349	15022	5.243
E3	11585	15022	87.010 (triangle)
E4	20537	365	3.795 (triangle)
Subtotal			104.698
Total Net Area			2601.122 [2601.122 sq. m]

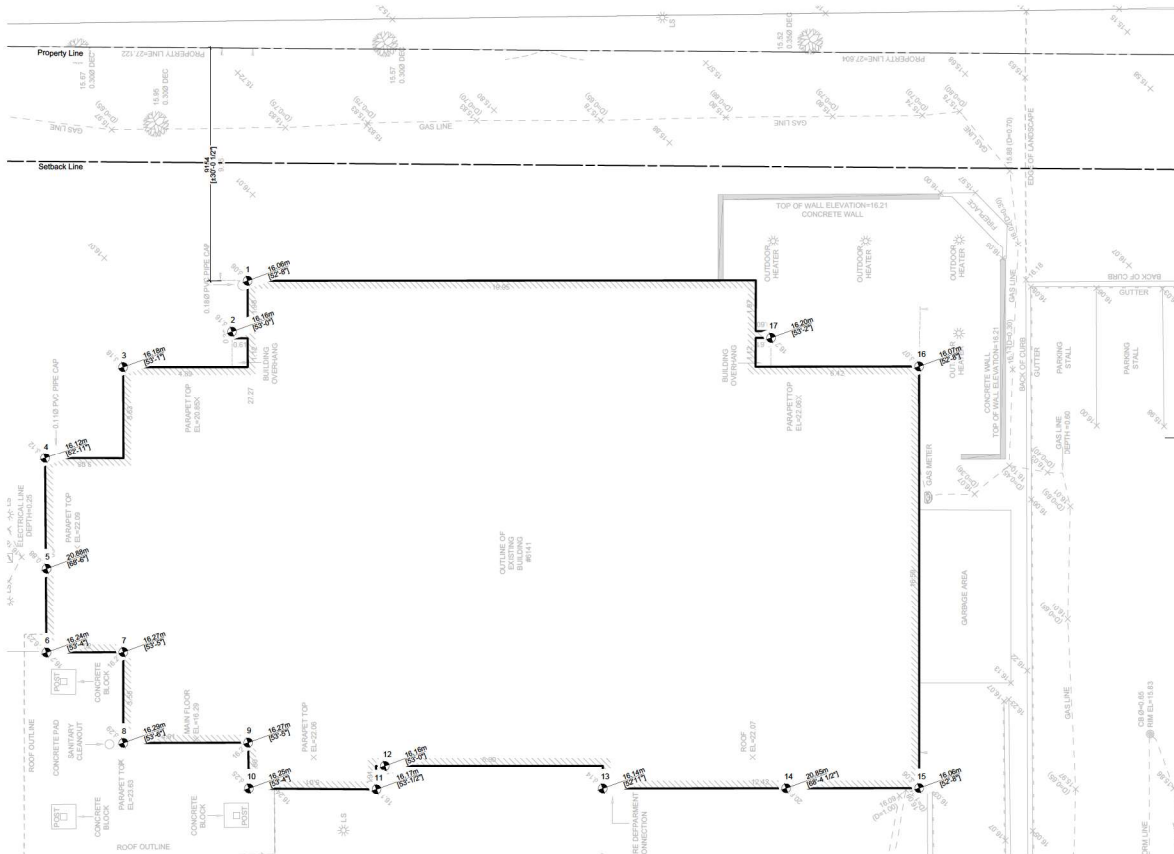
LEVEL 1: EXTERIOR AREA EXCLUSION			
	Width (mm)	Length (mm)	Area (sq. m)
Exterior Space			
A1	182	25018	3.340 (triangle)
A2	889	25816	22.950
A3	1232	29105	35.826
A4	1232	711	0.870 (triangle)
A5	1232	2134	1.315 (triangle)
A6	157	22280	1.747 (triangle)
A7	1232	7018	8.718
A8	733	22280	16.317
A9	5873	13051	76.940
A10	2674	1697	4.535
A11	1519	2948	2.701
A12	8280	12033	55.833 (triangle)
A13	18457	328	6.058 (triangle)
A14	18457	11356	208.958
A15	3570	10305	36.780
A16	2776	23188	64.370
A17	4020	4942	19.880
A18	4320	10062	43.587
A19	2558	1281	3.274
A20	6941	851	5.907
A21	8965	2005	17.975
Subtotal			690.467
Total Excludable Exterior Area			690.467 [690.467 sq. m]

LEVEL 1: EXTERIOR AREA EXCLUSION			
	Width (mm)	Length (mm)	Area (sq. m)
Setback			
S81	338	48078	8.135 (triangle)
S82	4158	48078	199.060
S83	338	48078	8.135 (triangle)
S84	4488	1548	3.475 (triangle)
S85	1515	4488	3.408 (triangle)
S86	4488	15196	68.321
S87	2280	4488	5.080 (triangle)
S88	2280	4487	5.080 (triangle)
S89	18377	4487	82.641
S910	80	4487	0.180 (triangle)
Subtotal			384.335
Total Excludable Exterior Area			384.335 [384.335 sq. m]

LEVEL 1: COVERED AREA EXCLUSION			
	Width (mm)	Length (mm)	Area (sq. m)
Covered Areas			
C1	2558	8810	22.518
C2	1245	17507	21.798
C3	88	13715	1.179
C4	6003	9827	59.186
C5	1580	10385	16.385
C6	11979	2548	24.533
Subtotal			176.798
Total Excludable Interior Area			176.798 [176.798 sq. m]

LEVEL 1: FAR CALCULATION			
	Width (mm)	Length (mm)	Area (sq. m)
Gross Perimeter Area	32572	84845	2705.820
Area Deductions			
Excludable Uncovered Area			1074.803
Excludable Covered Area			176.798
Subtotal			1251.601
Total Net Area			748.333 [748.333 sq. m]

- FAR Legend**
- Included in FAR calculation
 - Covered outdoor area, not included in FAR calculation
 - Garbage enclosure, included in FAR calculation
 - Open areas, not included in FAR calculation
 - Exterior wall assembly zone, included in FAR calculation



1 Building Grade Plan

2 Existing Average Grade Summary

Existing Average grade

as per topographic survey plan of part
of LOT B Section 10 Township 8 NWD PLAN 84272.

Existing grades	Value
1	16.06m/52'-8"
2	16.10m/53'-0"
3	16.18m/53'-1"
4	16.12m/52'-11"
5	20.88m/68'-8"
6	16.24m/53'-4"
7	16.27m/53'-5"
8	16.29m/53'-6"
9	16.27m/53'-5"
10	16.25m/53'-4"
11	16.17m/53'-1/2"
12	16.16m/53'-0"
13	16.14m/52'-11"
14	20.85m/68'-4 1/2"
15	16.06m/52'-8"
16	16.07m/52'-8"
17	16.20m/53'-2"
Subtotal	284.37m/932'-11 3/4"
Average natural grade (284.37/17)	16.73m/54'-10"

*Survey plan 84272 info. shown only for grade references.

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Date	Issue Notes
22-03-08	DP Application
22-05-09	Response to DP comments
22-06-13	Response to DP meeting
22-08-21	Response to DP comments
22-09-08	Response to DP comments

No.	Date Appr.	Revision Notes
1	22-05-09	DP Revision 1
2	22-06-13	DP Revision 2

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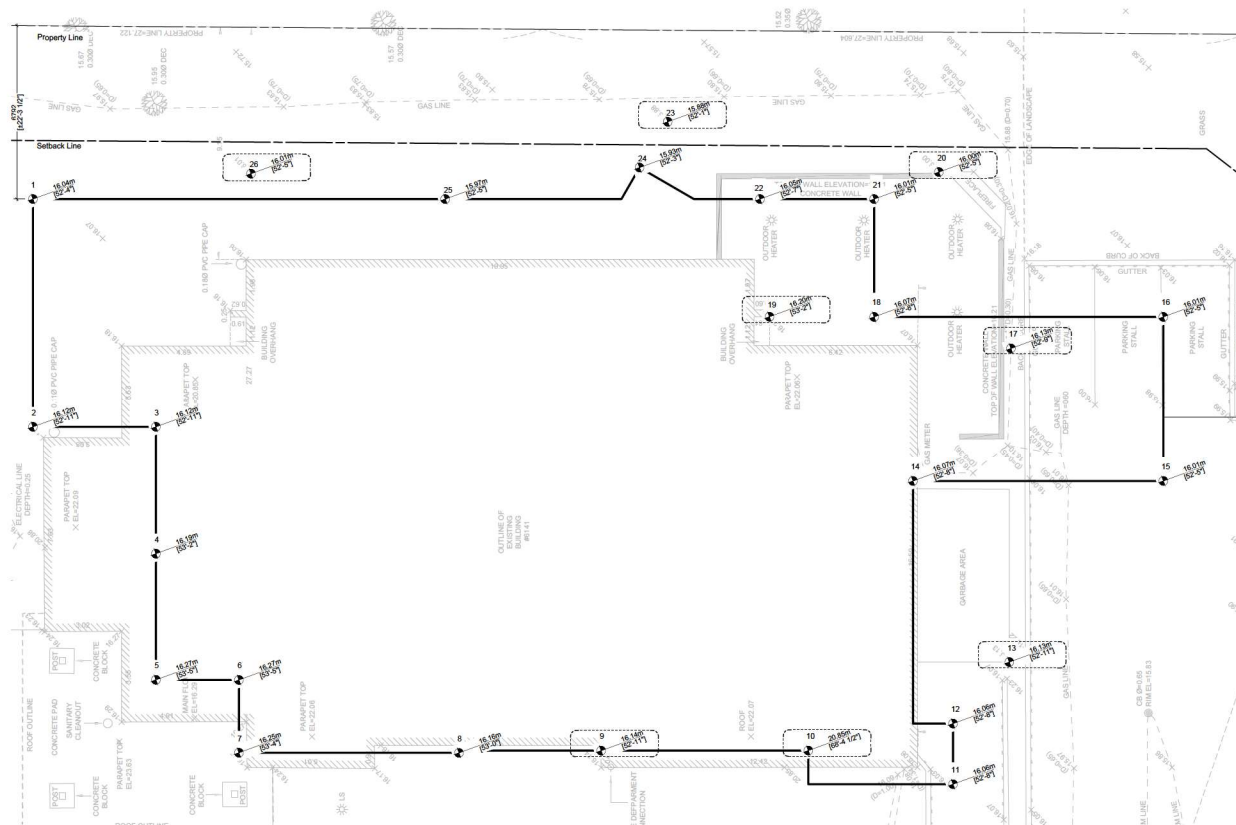
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scale 1/8"=1'-0"	drawn by DMJ/JM
status DP	reviewed by RSA/AC

Existing
Grade

A0.11



1 Building Grade Plan

Proposed Average grade

as per topographic survey plan of part of LOT B Section 10 Township 8 NWD PLAN 8

Existing grades	Value
1	16.04m/52'-4"
2	16.12m/52'-11"
3	16.12m/52'-11"
4	16.19m/53'-2"
5	16.27m/53'-5"
6	16.27m/53'-5"
7	16.25m/53'-4"
8	16.16m/53'-0"
9	16.14m/52'-11"
10	20.85m/68'-4 1/2"
11	16.06m/52'-8"
12	16.06m/52'-8"
13	16.13m/52'-11"
14	16.07m/52'-8"
15	16.01m/52'-5"
16	16.01m/52'-5"
17	16.13m/52'-9"
18	16.07m/52'-8"
19	16.20m/53'-2"
20	16.00m/52'-5"
21	16.01m/52'-5"
22	16.05m/52'-7"
23	15.88m/52'-1"
24	15.93m/52'-3"
25	15.97m/52'-5"
26	16.01m/52'-5"
Subtotal	423.00m/1387'-10"
Average natural grade (423.00/26)	16.27m/53'-5"

*Survey plan 84272 info. shown only for grade references.

Reference grades.

2 Proposed Average Grade Summary

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Date	Issue Notes
22-03-20	DP Application
22-05-20	Response to DP comments
22-06-22	Response to DP meeting
22-08-22	Response to DP comments
22-09-22	Response to DP meeting

No.	Date App.	Revision Notes
1	22-05-20	DP Revision 1
2	22-06-22	DP Revision 2

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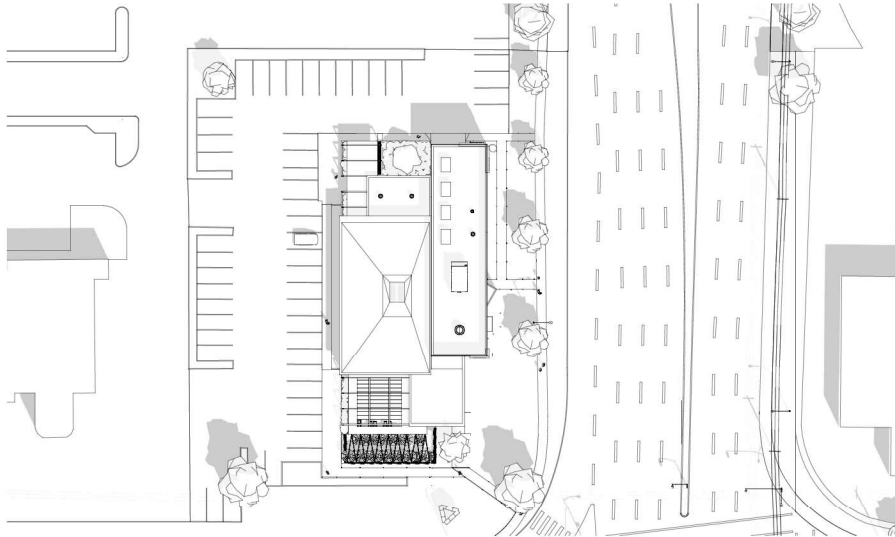
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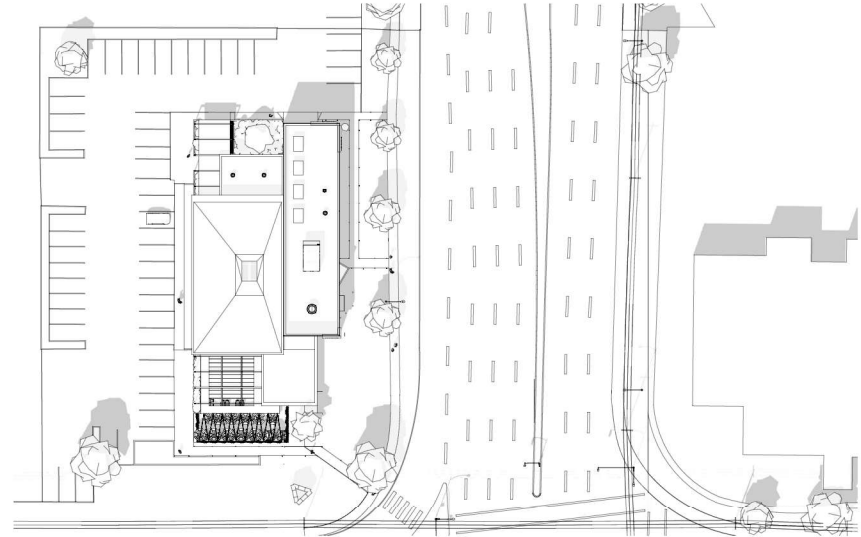
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status	reviewed by
DP	RSANAC

Proposed
Grade

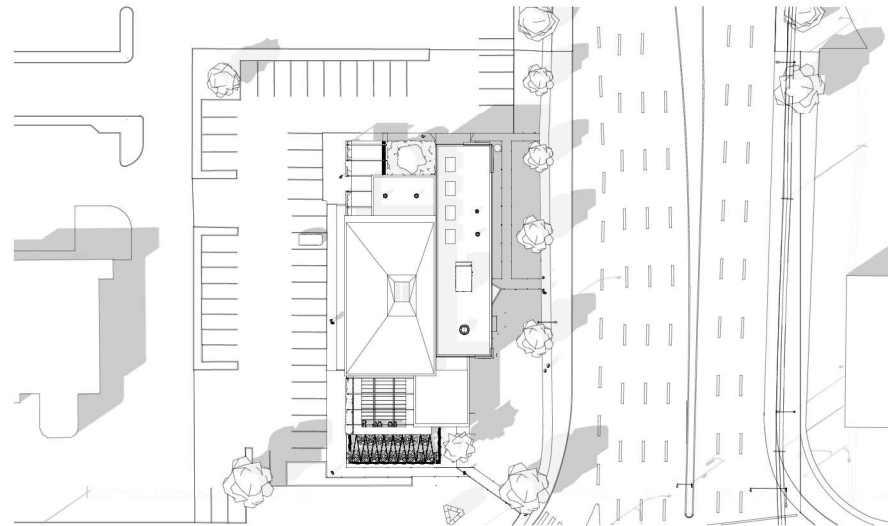
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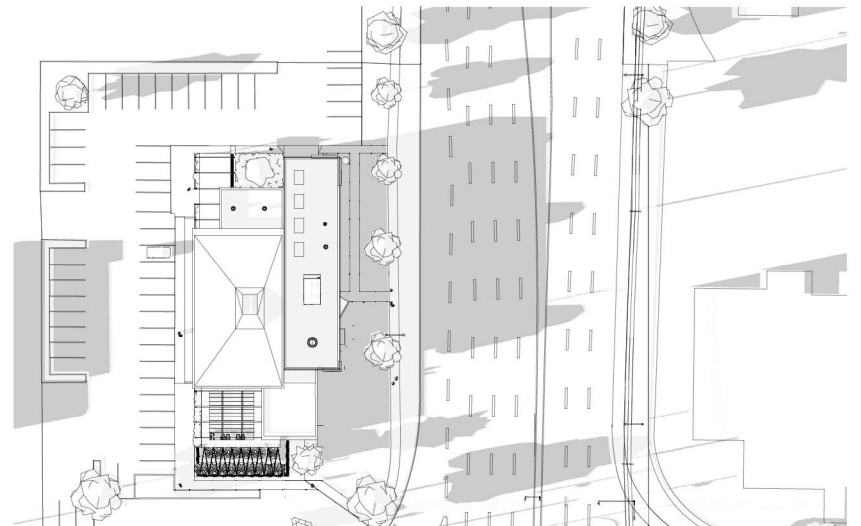
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2 Shadow study UTC -8.00 Equinox 03.20 12:00 P.M.



3 Shadow study UTC -8.00 Equinox 03.20 2:00 P.M.



4 Shadow study UTC -8.00 Equinox 03.20 4:00 P.M.

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Date	Issue Notes
22-03-08	DP Application
22-05-08	Response to DP comments
22-06-12	Response to DP meeting
22-08-07	Response to DP comments
22-09-08	Response to DP comments

No.	Date Appr.	Revision Notes
001	22-05-08	DP Revision 1
002	22-06-13	DP Revision 2

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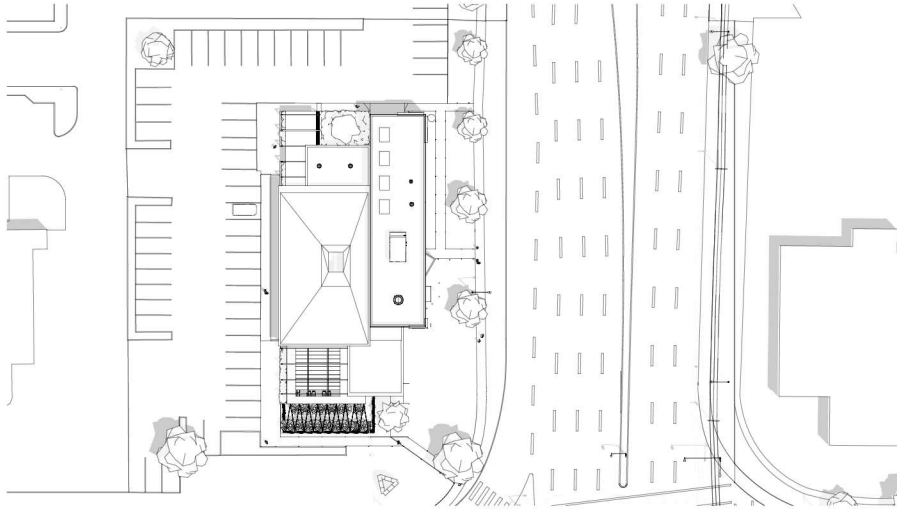
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status
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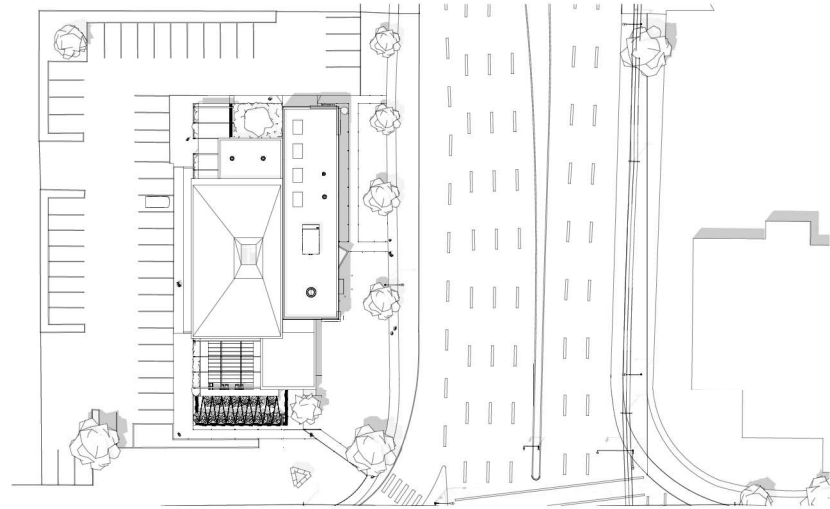
drawn by
DMJ/JM
reviewed by
RSA/AC

**Shadow
Study**

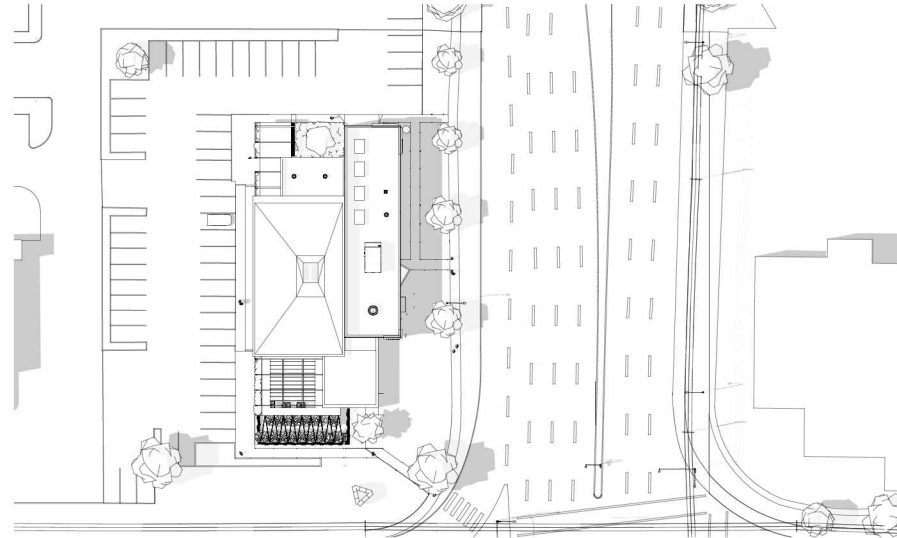
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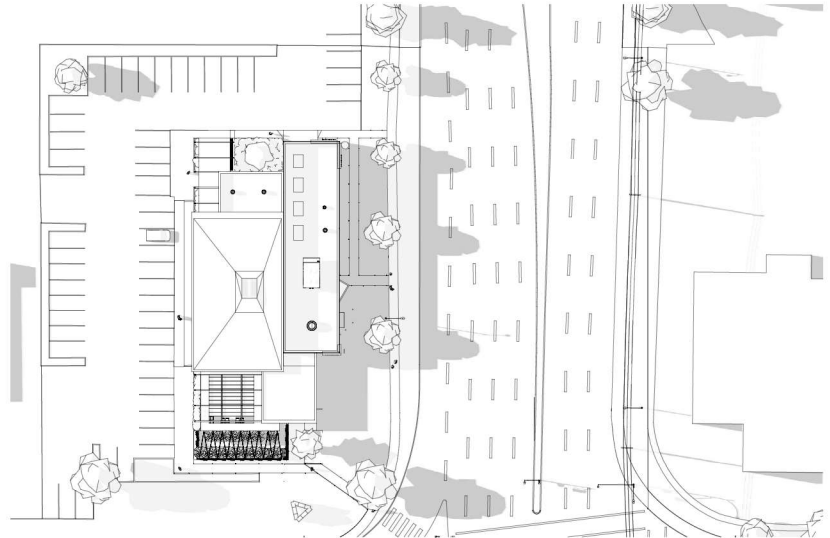
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3 Shadow study UTC -8.00 Solstice 06.21 2:00 P.M.



4 Shadow study UTC -8.00 Solstice 06.21 4:00 P.M.

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Date	Issue Notes
22-03-20	DP Application
22-05-20	Response to DP comments
22-06-21	Response to DP meeting
22-08-21	Response to DP comments
22-09-22	Response to DP comments

No.	Date Appr.	Revision Notes
01	22-05-20	DP Revision 1
02	22-06-21	DP Revision 2

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status
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reviewed by
RSA/AC

**Shadow
Study**

A0.14

Date	Issue Notes
22-03-08	DP Application
22-05-09	Response to DP comments
22-06-13	Response to ADP meeting
22-08-02	Response to DP comments
22-09-08	Response to DP comments

No.	Date Appr.	Revision Notes
1 DPR1	22-05-09	DP Revision 1
2 DPR2	22-05-13	DP Revision 2
3 DPR3	22-08-02	DP Revision 3
4	22-06-08	DP Revision 4

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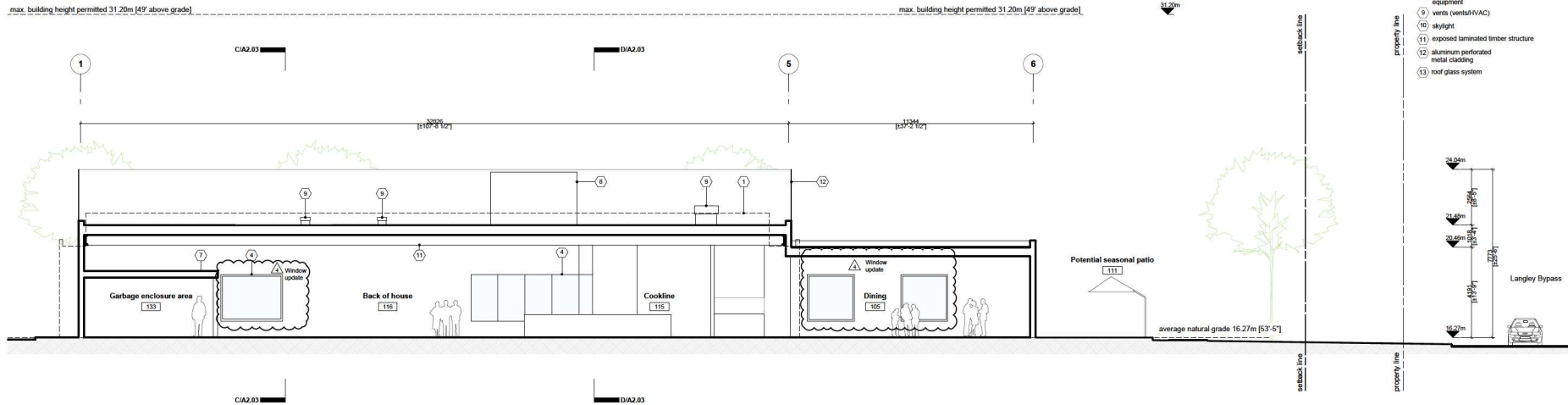
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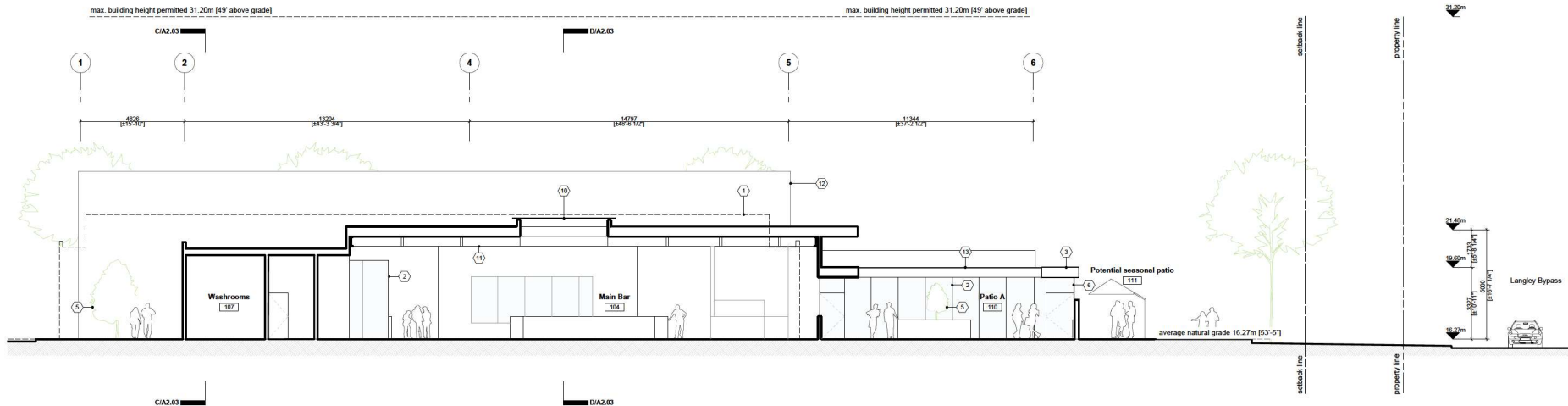
status reviewed by
DP RSA/AC

Proposed Site Plan

A1.00



1 Section-AA



2 Section-BB

Keynotes

- ① dashed line indicates existing building envelope shown for reference only
- ② frameless sealed units
- ③ steel canopy
- ④ glazing unit
- ⑤ feature tree
- ⑥ multi slider clear glazing
- ⑦ service platform
- ⑧ potential mechanical equipment
- ⑨ vents (ventil-FVAC)
- ⑩ skylight
- ⑪ exposed laminated timber structure
- ⑫ aluminum perforated metal cladding
- ⑬ roof glass system

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Date	Issue Notes
22-03-08	DP Application
22-05-09	Response to DP comments
22-06-13	Response to DP meeting
22-08-02	Response to DP comments
22-09-08	Response to DP comments

No.	Date Appr.	Revision Notes
001	22-05-09	DP Revision 1
002	22-06-13	DP Revision 2
003	22-08-02	DP Revision 3
004	22-09-08	DP Revision 4

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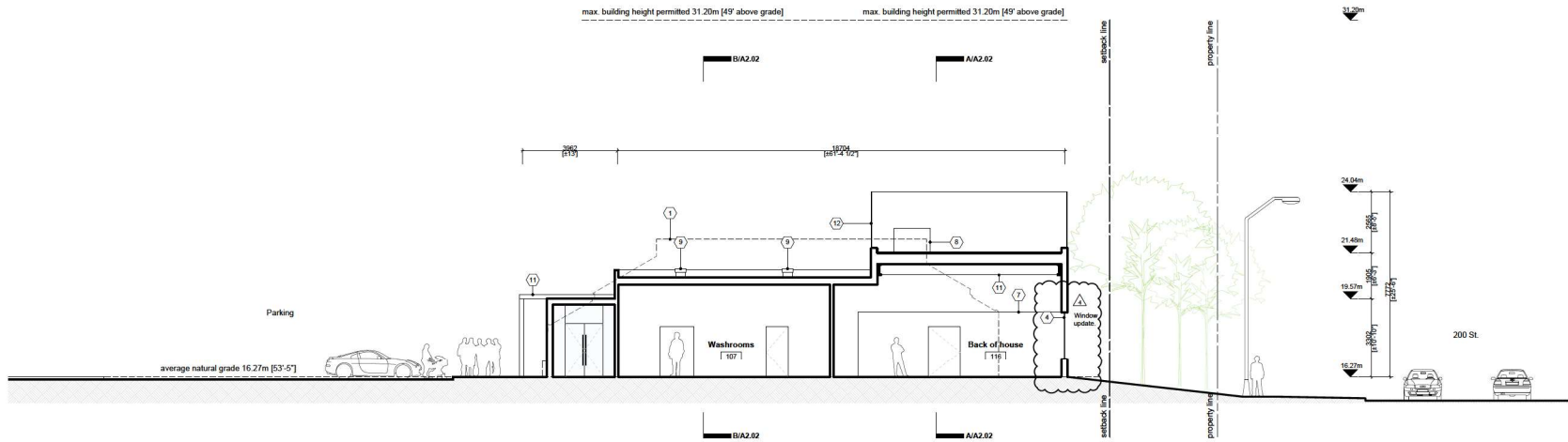
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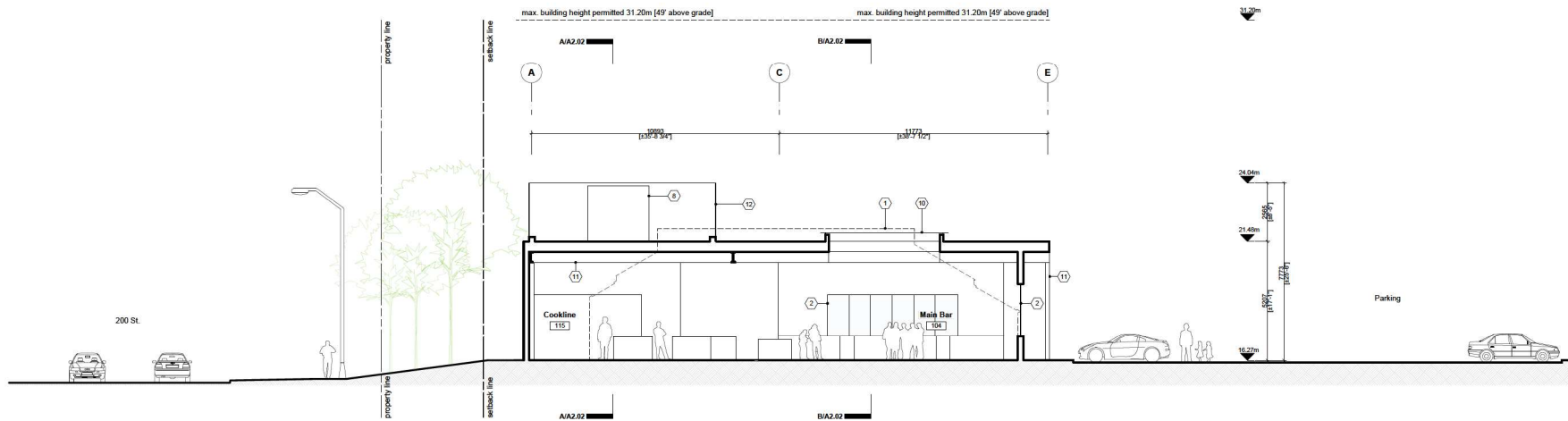
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status DP	reviewed by RSA/AC

Sections

A2.01



3 Section-CC



4 Section-DD

Keynotes

- 1 dashed line indicates existing building envelope shown for reference only
- 2 frameless sealed units
- 3 steel canopy
- 4 glazing unit
- 5 feature tree
- 6 multi sideclear glazing
- 7 service platform
- 8 potential mechanical equipment
- 9 vents (verduh-VAC)
- 10 skylight
- 11 exposed laminated timber structure
- 12 aluminum perforated metal cladding
- 13 roof glass system

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No.	Date	Appr.	Revision Notes
1	22-05-09	DP	DP Application
2	22-05-09	DP	Response to DP comments
3	22-06-13	DP	DP Revision 2
4	22-08-02	DP	Response to DP comments
5	22-08-02	DP	DP Revision 3
6	22-09-26	DP	Response to DP comments
7	22-09-26	DP	DP Revision 4

No.	Date	Appr.	Revision Notes
1	22-05-09	DP	DP Application
2	22-05-09	DP	Response to DP comments
3	22-06-13	DP	DP Revision 2
4	22-08-02	DP	Response to DP comments
5	22-08-02	DP	DP Revision 3
6	22-09-26	DP	Response to DP comments
7	22-09-26	DP	DP Revision 4

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Sections

A2.02

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Date	Issue Notes
22-03-08	DP Application
22-05-09	Response to DP comments
22-06-13	DP Revision-2
22-08-02	DP Revision-3
22-08-08	DP Revision-4

No.	Date Appr	Revision Notes
1	22-05-09	DP Application
2	22-06-13	DP Revision-2
3	22-08-02	DP Revision-3
4	22-08-08	DP Revision-4

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Keynotes

- ① Existing building to be demolished



1 West Elevation



2 East Elevation

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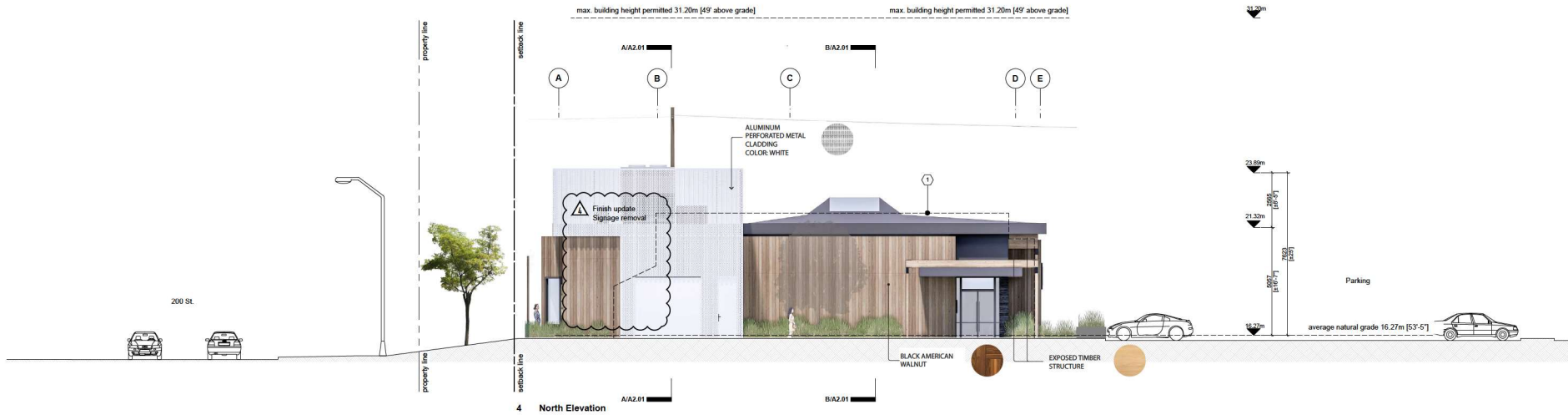
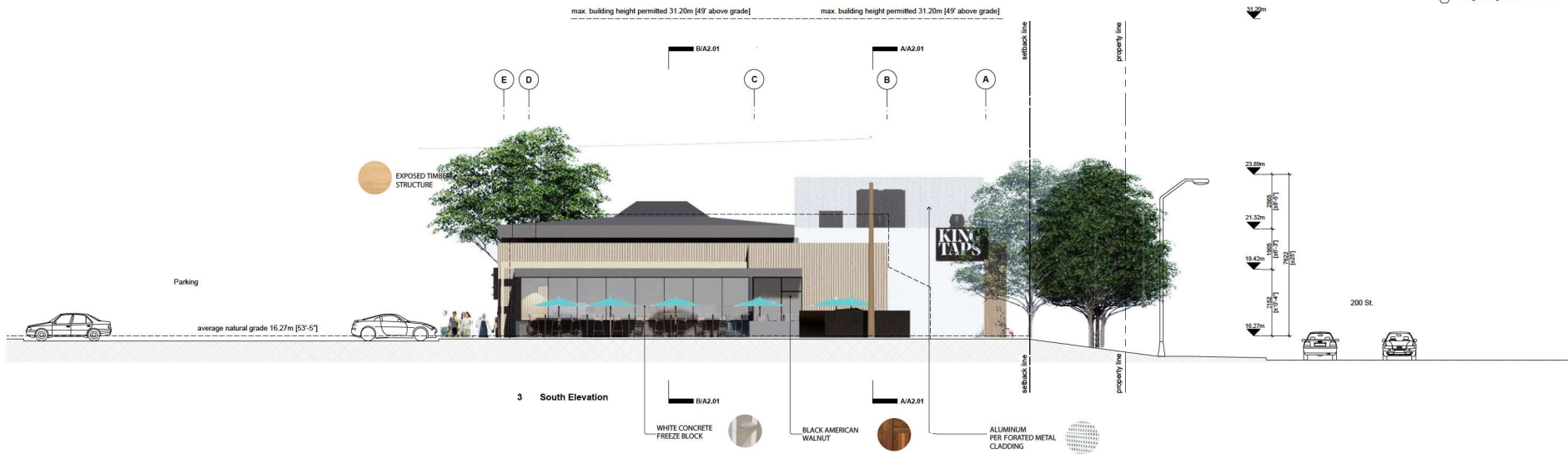
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scale
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status
DP

drawn by
DMJ/KW
reviewed by
RSA/AC

Elevations

A3.01



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Date	Issue Notes
22-03-08	DP Application
22-05-09	Response to DP comments
22-06-13	Response to DP meeting
22-08-02	Response to DP comments
22-09-08	Response to DP comments

No.	Date	Issue Notes
01	22-05-09	DP Application
02	22-06-13	Response to DP comments
03	22-08-02	Response to DP meeting
04	22-09-08	Response to DP comments

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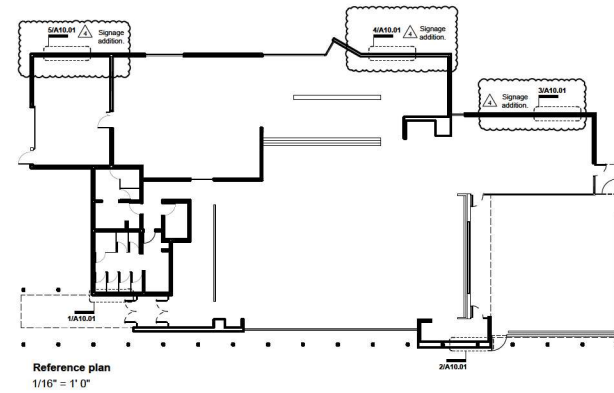
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status DP reviewed by RSA/AC

Elevations

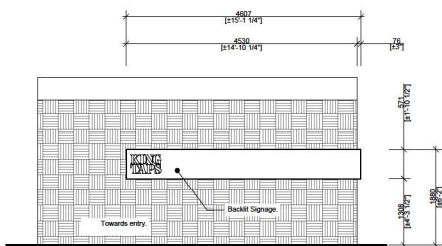
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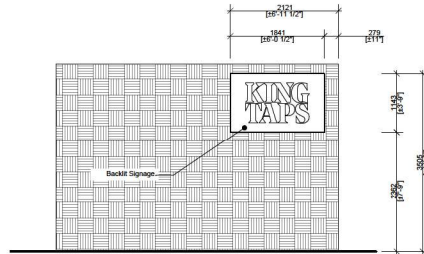
No.	Date App.	Revision Notes
22-01-08	DP Application	
22-02-01	Response to DP comments	
22-04-13	Response to DP meeting	
22-08-02	Response to DP comments	
22-09-08	Response to DP comments	



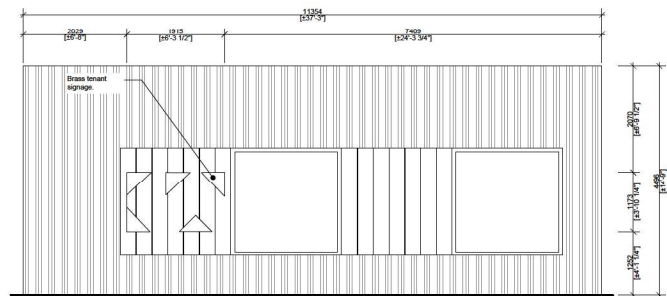
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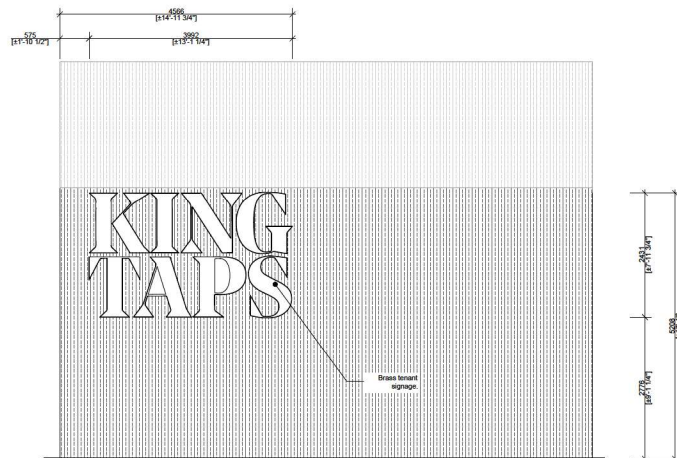
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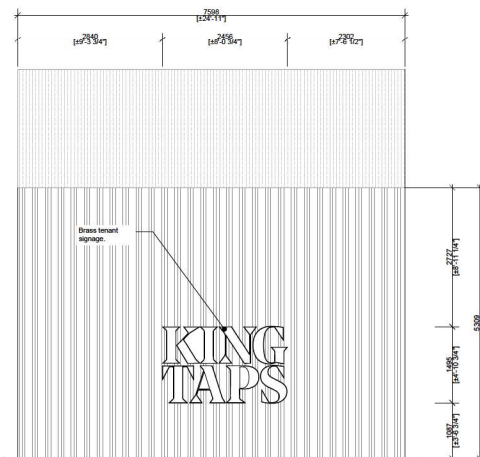
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1/4" = 1' 0"



3 Signage Detail
1/4" = 1' 0"



4 Signage Detail (East Elevation)
1/4" = 1' 0"



5 Signage Detail
1/4" = 1' 0"

No.	Date App.	Revision Notes
22-01-08	DP Application	
22-02-01	Response to DP comments	
22-04-13	Response to DP meeting	
22-08-02	Response to DP comments	
22-09-08	Response to DP comments	

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scale as noted	drawn by DMJ/JW
status DP	reviewed by RSAA/MC

Signage
Proposal

A10.01