



sheet schedule

SD0.01	COVER PAGE	SD3.10	RENDERED ELEVATIONS
SD1.01	CONTEXT PLANS	SD3.11	RENDERED ELEVATIONS
SD1.10	PROJECT DATA	SD3.12	3D RENDERINGS
SD1.11	PROJECT DATA	SD3.13	3D RENDERING
SD1.12	FSR PLANS	SD3.14	3D RENDERINGS
SD1.13	FSR PLANS	SD3.15	3D RENDERINGS
SD1.20	DESIGN RATIONALE	SD3.16	3D RENDERINGS
SD2.01	SITE PLAN	SD3.20	ENLARGED ELEVATIONS
SD2.10	1st LEVEL PLAN	SD4.07	MATERIAL BOARD
SD2.11	2nd LEVEL PLAN	SD5.01	STREETSCAPES
SD2.12	3rd LEVEL PLAN	SD5.10	SHADOW STUDY - MARCH
SD2.13	4th LEVEL PLAN	SD5.11	SHADOW STUDY - JUNE
SD2.14	5th LEVEL PLAN	SD5.12	SHADOW STUDY - SEPTEMBER
SD2.15	6th LEVEL PLAN	SD5.20	3D MASSING PERSPECTIVES
SD2.16	ROOF LEVEL PLAN	SD5.21	3D MASSING PERSPECTIVES
SD2.20	P1 LEVEL PLAN	SD6.01	SITE SECTIONS
SD3.01	BUILDING ELEVATIONS	SD6.02	PLANTER SECTIONS
SD3.02	BUILDING ELEVATIONS	SD6.10	ENLARGED SECTIONS
SD3.03	BUILDING ELEVATIONS	SD7.01	SURVEY PLAN
		SD7.02	SITE LAYOUT PLAN

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meridian apartments - keystone



point apartments - keystone



lincoln apartments - keystone (under construction)



200 st looking south

location

THE PROPOSED DEVELOPMENT IS LOCATED IN CITY OF LANGLEY ON THE SOUTHEAST CORNER OF MICHAUD CRESCENT AND 200 STREET.

linwood park

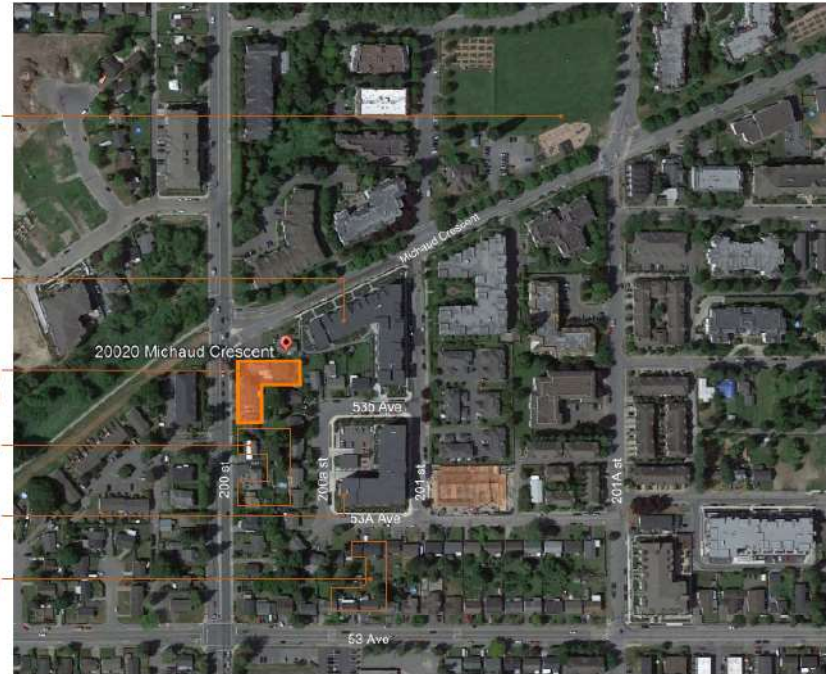
point apartments

the hudson development location

lincoln apartments

meridian apartments

ra 53a apartments



location map



aerial view looking n/e

meridian apartments

lincoln apartments

the hudson development location



keystonearch.ca

THE HUDSON

20020 & 20010 MICHAUD CRESCENT, 5380 & 5370 200 STREET, 5371 & 5381 200A STREET, AND 20031 53B STREET, CITY OF LANGLEY, BC

CONTEXT PLANS

SCALE: N.T.S.



RE-ISSUED FOR DEVELOPMENT PERMIT

21-09-24 REVISION #: 2

PROJECT NUMBER: 21-121



SD1.01

0.1.0 project data

PROJECT:	THE HUDSON
PROPOSED ZONING:	CO (COMPREHENSIVE DEVELOPMENT ZONE)
EXISTING ZONING:	R51 (SINGLE FAMILY RESIDENTIAL)
CIVIC ADDRESS:	5370 200 STREET; 5380 200 STREET; 20010 MICHAUD CRESCENT; 20020 MICHAUD CRESCENT; 5371 200A STREET; 5381 200A STREET; 20031 538 STREET
LEGAL DESCRIPTION (CORRESPONDING WITH ADDRESS ORDER):	LOT 43 DISTRICT LOT 305 GROUP 2 NWD PLAN 33810; LOT 42 DISTRICT LOT 305 GROUP 2 NWD PLAN 33810; LOT 56 DISTRICT LOT 305 GROUP 2 NWD PLAN 32496; LOT 57 DISTRICT LOT 305 GROUP 2 NWD PLAN 32496; LOT 94 DISTRICT LOT 305 GROUP 2 NWD PLAN 33845; LOT 95 DISTRICT LOT 305 GROUP 2 NWD PLAN 33845; LOT 96 DISTRICT LOT 305 GROUP 2 NWD PLAN 33845
VARIANCES APPLIED FOR:	WALL-MOUNT BIKE STALL PERMITTED: 40%; PROVIDED : 49%
BYLAW EXEMPTIONS:	N/A
BUILDING AREA DEFINITION (BCBC 2018):	THE GREATEST HORIZONTAL AREA OF A BUILDING ABOVE GRADE WITHIN THE OUTSIDE SURFACE OF EXTERIOR WALLS OR WITHIN THE OUTSIDE SURFACE OF EXTERIOR WALLS AND THE CENTER-LINE OF FIREWALLS.
FSR DEFINITION (ZONING):	THE GROSS FLOOR AREA (GFA) DIVIDED BY THE SITE'S (LOT'S) AREA.
GROSS FLOOR AREA DEFINITION (ZONING):	ALL THE AREA OF THE FLOOR ENCLOSED BY THE OUTSIDE EDGE OF THE EXTERIOR WALLS OF A BUILDING, INCLUDING STAIRWAYS, ELEVATOR SHAFTS, STORAGE ROOMS AND MECHANICAL ROOMS.
FINISHED GRADE (ZONING):	THE LOWEST AVERAGE LEVELS OF THE PROPOSED GRADES ADJACENT TO EACH EXTERIOR WALL OF A BUILDING.
PROPOSED GRADE (ZONING):	THE AVERAGE BETWEEN THE ELEVATIONS IMMEDIATELY ADJACENT TO THE EXTERIOR BUILDING WALL AND THE NATURAL ELEVATION AT THE PROPERTY LINE. THESE MEASUREMENTS SHALL BE TAKEN AT 5.0 METRE INTERVALS ALONG THE EXTERIOR BUILDING WALLS AT RIGHT ANGLES TO THE WALLS, EXCLUDING DRIVEWAYS, STAIRS AND RAMPS.
BUILDING HEIGHT DEFINITION (ZONING):	FOR ALL OTHER USES WHERE MEASURED IN METRES, THE VERTICAL DISTANCE MEASURED IN METRES FROM THE FLOOR OF THE FIRST STOREY TO THE CEILING OF THE UPPERMOST STOREY; AND FOR ALL OTHER USES WHERE MEASURED IN STOREYS, THE NUMBER OF STOREYS FROM THE FIRST STOREY TO THE UPPER MOST STOREY.
MAXIMUM BUILDING HEIGHT (ZONING & BCBC 2018):	6 STOREYS (ZONING) / 6 STOREYS (BCBC 3.2.2)
MINIMUM BUILDING ELEVATION:	REQUIRED - XX.XXm (FROM CIVIL ENGINEER); PROPOSED - XX.XXm
FINISHED GRADE (ZONING):	9.92m
LOWEST AVERAGE GRADE (BCBC 2018):	9.72m
PROPOSED BUILDING HEIGHT (ZONING):	6 STOREY - 19.01m (REFER TO BUILDING HEIGHT DEFINITION ABOVE)
PROPOSED BUILDING HEIGHT (BCBC 2018):	6 STOREY - 15.89m (REFER TO BCBC 2018, GROUP C 3.2.2.50 (1)(c))
1ST STOREY TO UPPERMOST FLOOR LEVEL:	MAXIMUM - 18m (BCBC 2018, GROUP C 3.2.2.50 (1)(c), GROUP D 3.2.2.58 (1)(c)); PROPOSED - 15.89m
1ST STOREY TO UPPERMOST COMBUSTIBLE ROOF:	MAXIMUM - 25m (BCBC 2018, GROUP C 3.2.2.50 (2)(c), GROUP D 3.2.2.58 (2)(c), NON-COMBUSTIBLE ROOF CONSTRUCTION IF > 25m) PROPOSED - 22.22m
FIRE ACCESS ROUTE TO UPPERMOST FLOOR LEVEL:	MAXIMUM - 20m (BCBC 2018 3.2.5.6(2)); PROPOSED - 17.89m
SITE AREA ("LOT" PER ZONING):	GROSS: 56,154 SF (5,217 SM) (1.29 ACRES) NET (AFTER DEDICATIONS): 53,607 SF (4,980 SM) (1.23 ACRES)
LOT COVERAGE:	18,822 SF / 56,154 SF = 33.5%
BUILDING AREA:	WEST OF FIREWALL: 14,167 SF (1,316.16 SM); EAST OF FIREWALL: 4,655 SF (432.46 SM)
GROSS FLOOR AREA (NOT INCLUDING PARKADE):	110,186 SF (10,236.6 SM)
GROSS FLOOR AREA (PARKADE ONLY):	46,861 SF (4,353.51 SM)
FSR:	110,186 SF / 56,154 SF (SITE AREA) = 1.96
DENSITY (UNITS/HA):	113/0.5217 = 217 UNITS PER HECTARE
SETBACKS:	NORTH: 6.0m NORTHEAST: 4.0m (SEE VARIANCE REQUEST ABOVE) EAST: 6.0m (FROM ROAD DEDICATION ALONG SOUTHEAST P/L) SOUTH: 4.0m (SEE VARIANCE REQUEST ABOVE) WEST: 4.0m (FROM ROAD DEDICATION P/L; SEE VARIANCE REQUEST ABOVE)
NUMBER OF STREETS:	1
GARBAGE & RECYCLING REQUIREMENTS (PER VANCOUVER TECHNICAL SPECS):	REQUIRED GARBAGE AND RECYCLING SPACE: [(0.31 SM x DWELLING UNITS (DU)) + 8 SM = (0.31 SM x 113 DU) + 8 SM = 43.03 SM (463 SF)] RECYCLING SPACE AS PART OF OVERALL: [(0.16 SM x DWELLING UNITS (DU)) + 5 SM = (0.16 SM x 113 DU) + 5 SM = 23.08 SM (248 SF)] ADDITIONAL "FLEX SPACE": (RECYCLING SPACE/2) = (23.08 SM/2) = 11.54 SM (124 SF) TOTAL REQUIRED SPACE = 43.03 SM + 11.54 SM = 54.57 SM (587 SF) TOTAL PROVIDED SPACE = 73.7 SM (793 SF)
AMENITY SPACE:	REQUIRED: INDOOR AMENITY SPACE 2.3 SM (24.76 SF) PER DWELLING UNIT FOR ALL BUILDINGS CONTAINING MORE THAN 20 UNITS. 24.76 SF x 113 UNITS = 2,798 SF (260 SM). PROVIDED: 4,766 SF (442.74 SM)

0.2.0 gross floor area summary notes

1. GROSS FLOOR AREA IS MEASURED TO OUTSIDE FACE OF EXTERIOR SHEATHING. NO EXCLUSIONS.

0.2.1 gross floor area summary (level)

LEVEL / AREA TYPE	AREA SF	AREA m ²	AREA %	COMMENTS
P1 LEVEL				
CIRCULATION	377 SF	35.01 m ²	0.2%	
PARKADE	43903 SF	4078.69 m ²	28.0%	
SERVICE ROOMS/SHAFTS	677 SF	62.93 m ²	0.4%	
STORAGE	1904 SF	176.88 m ²	1.2%	
	46861 SF	4353.51 m²	29.8%	
1ST LEVEL				
CIRCULATION	3308 SF	307.33 m ²	2.1%	
INDOOR AMENITY	4766 SF	442.74 m ²	3.0%	
OFFICE	136 SF	12.65 m ²	0.1%	
RESIDENTIAL	10149 SF	942.88 m ²	6.5%	
SERVICE ROOMS/SHAFTS	50 SF	4.64 m ²	0.0%	
STORAGE	89 SF	8.29 m ²	0.1%	
	18498 SF	1718.53 m²	11.8%	
2ND LEVEL				
CIRCULATION	1685 SF	175.13 m ²	1.2%	
RESIDENTIAL	15707 SF	1459.24 m ²	10.0%	
SERVICE ROOMS/SHAFTS	50 SF	4.62 m ²	0.0%	
STORAGE	487 SF	45.26 m ²	0.3%	
	18129 SF	1684.26 m²	11.5%	
3RD LEVEL				
CIRCULATION	1842 SF	171.16 m ²	1.2%	
RESIDENTIAL	16271 SF	1511.59 m ²	10.4%	
SERVICE ROOMS/SHAFTS	50 SF	4.65 m ²	0.0%	
STORAGE	487 SF	45.26 m ²	0.3%	
	18650 SF	1732.68 m²	11.9%	
4TH LEVEL				
CIRCULATION	1842 SF	171.16 m ²	1.2%	
RESIDENTIAL	16271 SF	1511.63 m ²	10.4%	
SERVICE ROOMS/SHAFTS	50 SF	4.62 m ²	0.0%	
STORAGE	487 SF	45.26 m ²	0.3%	
	18650 SF	1732.68 m²	11.9%	
5TH LEVEL				
CIRCULATION	1842 SF	171.16 m ²	1.2%	
RESIDENTIAL	15750 SF	1463.19 m ²	10.0%	
SERVICE ROOMS/SHAFTS	50 SF	4.62 m ²	0.0%	
STORAGE	487 SF	45.26 m ²	0.3%	
	18129 SF	1684.24 m²	11.5%	
6TH LEVEL				
CIRCULATION	1842 SF	171.16 m ²	1.2%	
RESIDENTIAL	15750 SF	1463.21 m ²	10.0%	
SERVICE ROOMS/SHAFTS	50 SF	4.62 m ²	0.0%	
STORAGE	487 SF	45.26 m ²	0.3%	
	18129 SF	1684.26 m²	11.5%	
AREA GRAND TOTAL	157047 SF	14590.15 m²	100.0%	

0.2.2 gross floor area summary (area type)

LEVEL / AREA TYPE	AREA SF	AREA m ²	AREA %	COMMENTS
CIRCULATION	12940 SF	1202.12 m ²	8.2%	
INDOOR AMENITY	4766 SF	442.74 m ²	3.0%	
OFFICE	136 SF	12.65 m ²	0.1%	
PARKADE	43903 SF	4078.69 m ²	28.0%	
RESIDENTIAL	89897 SF	8351.74 m ²	57.2%	
SERVICE ROOMS/SHAFTS	977 SF	90.73 m ²	0.6%	
STORAGE	4429 SF	411.47 m ²	2.8%	
AREA GRAND TOTAL	157047 SF	14590.15 m²	100.0%	



THE HUDSON

20020 & 20010 MICHAUD CRESCENT, 5380 & 5370 200 STREET, 5371 & 5381 200A STREET, AND 20031 538 STREET, CITY OF LANGLEY, BC

PROJECT DATA

SCALE:

RE-ISSUED FOR DEVELOPMENT PERMIT

21-09-24 REVISION #: 2

PROJECT NUMBER: 21-121



SD1.10

0.3.0 unit count summary

UNIT TYPE	UNIT COUNT	UNIT TYPE %	COMMENTS
1 BED	41	36.3%	
1 BED & FLEX	10	8.8%	
2 BED	34	30.1%	
2 BED & FLEX	12	10.6%	
2 BED + FLEX (ADAPTABLE)	5	4.4%	
2 BED ADAPTABLE	1	0.9%	
3 BED + FLEX	5	4.4%	
STUDIO	5	4.4%	
TOTAL UNITS: 113		100.0%	

0.4.0 unit floor area summary notes

- ALL UNIT AREAS ARE MEASURED TO THE FOLLOWING: A) EXTERIOR WALL: EXTERIOR SIDE OF SHEATHING. B) PARTY WALL: CENTER OF WALL. C) CORRIDOR/STAIR/ELEVATOR WALL: FULL THICKNESS OF WALL.
- AREAS GIVEN ON DRAWINGS AND IN SCHEDULES ARE NOT TO BE CONSIDERED LEGAL STRATA AREAS. CONFIRM STRATA AREAS BY SURVEY ON SITE.

0.4.1 unit floor area summary

UNIT	UNIT TYPE	COUNT	UNIT AREA SF (1SF)	UNIT AREA m ² (1m ²)	TOTAL UNIT AREA SF	TOTAL UNIT AREA m ²
UNIT A	STUDIO	5	500 SF	46 m ²	2498 SF	232.03 m ²
UNIT B	1 BED	5	620 SF	58 m ²	3098 SF	287.81 m ²
UNIT B	1 BED	6	621 SF	58 m ²	3727 SF	346.28 m ²
UNIT B	1 BED	3	622 SF	58 m ²	1866 SF	173.40 m ²
UNIT B	1 BED	6	623 SF	58 m ²	3740 SF	347.44 m ²
UNIT B	1 BED	1	624 SF	58 m ²	624 SF	58.01 m ²
UNIT B	1 BED	3	625 SF	58 m ²	1874 SF	174.06 m ²
UNIT B	1 BED	2	629 SF	58 m ²	1258 SF	116.85 m ²
UNIT B2	1 BED	5	672 SF	62 m ²	3361 SF	312.22 m ²
UNIT B.1	1 BED	1	625 SF	58 m ²	625 SF	58.09 m ²
UNIT B.1	1 BED	1	629 SF	58 m ²	629 SF	58.45 m ²
UNIT B.1	1 BED	4	631 SF	59 m ²	2522 SF	234.30 m ²
UNIT B.2	1 BED	2	687 SF	64 m ²	1374 SF	127.65 m ²
UNIT B.2	1 BED	2	688 SF	64 m ²	1376 SF	127.86 m ²
UNIT C	1 BED & FLEX	2	720 SF	67 m ²	1440 SF	133.76 m ²
UNIT C	1 BED & FLEX	3	819 SF	76 m ²	2457 SF	228.29 m ²
UNIT C1	1 BED & FLEX	2	747 SF	69 m ²	1494 SF	138.77 m ²
UNIT C1.1	1 BED & FLEX	1	725 SF	67 m ²	725 SF	67.35 m ²
UNIT C1.2	1 BED & FLEX	2	812 SF	75 m ²	1623 SF	150.81 m ²
UNIT D	2 BED	4	891 SF	83 m ²	3564 SF	331.08 m ²
UNIT D1	2 BED	3	730 SF	68 m ²	2191 SF	203.51 m ²
UNIT D1.1	2 BED	1	794 SF	74 m ²	794 SF	73.79 m ²
UNIT D1.1	2 BED	1	795 SF	74 m ²	795 SF	73.87 m ²
UNIT D2 (A)	2 BED ADAPTABLE	1	909 SF	84 m ²	909 SF	84.47 m ²
UNIT D.1	2 BED	1	878 SF	82 m ²	878 SF	81.59 m ²
UNIT D.1	2 BED	3	879 SF	82 m ²	2636 SF	244.86 m ²
UNIT D.1	2 BED	6	884 SF	82 m ²	5302 SF	492.58 m ²
UNIT D.1	2 BED	4	886 SF	82 m ²	3544 SF	329.28 m ²
UNIT D.1	2 BED	1	887 SF	82 m ²	887 SF	82.41 m ²
UNIT D.1	2 BED	1	890 SF	83 m ²	890 SF	82.68 m ²
UNIT D.2	2 BED	5	902 SF	84 m ²	4508 SF	418.80 m ²
UNIT D.3	2 BED	2	954 SF	89 m ²	1909 SF	177.32 m ²
UNIT D.4	2 BED	2	942 SF	88 m ²	1884 SF	175.01 m ²
UNIT E	2 BED & FLEX	6	968 SF	90 m ²	5810 SF	539.79 m ²
UNIT E	2 BED & FLEX	4	972 SF	90 m ²	3887 SF	361.10 m ²
UNIT E	2 BED & FLEX	1	973 SF	90 m ²	973 SF	90.35 m ²
UNIT E	2 BED & FLEX	1	976 SF	91 m ²	976 SF	90.69 m ²
UNIT E1 (A)	2 BED + FLEX (ADAPTABLE)	2	1007 SF	94 m ²	2014 SF	187.12 m ²
UNIT E1.1 (A)	2 BED + FLEX (ADAPTABLE)	1	985 SF	91 m ²	985 SF	91.49 m ²
UNIT E1.2 (A)	2 BED + FLEX (ADAPTABLE)	1	1143 SF	106 m ²	1143 SF	106.17 m ²
UNIT E1.2 (A)	2 BED + FLEX (ADAPTABLE)	1	1144 SF	106 m ²	1144 SF	106.25 m ²
UNIT F	3 BED + FLEX	5	1250 SF	116 m ²	6249 SF	580.56 m ²
UNIT TOTALS: 113					90182 SF	8378.21 m²

0.5.0 parking stall / bicycle storage data

MIXED-USE VEHICLE PARKING STALL DATA					
	UNITS / AREA	CURRENT FACTOR	REQUIRED STALLS	PROPOSED FACTOR	PROPOSED STALLS
STUDIO / 1 BED	56 UNITS	*1.2	68 STALLS	*1.0	56 STALLS REQUIRED
2 BED	52 UNITS	*1.3	68 STALLS	*1.25	65 STALLS REQUIRED
3 BED	5 UNITS	*1.3	7 STALLS	*1.45	8 STALLS REQUIRED
RESIDENTIAL TOTAL	113 UNITS		143		129 REQUIRED; 134 PROVIDED
VISITOR	113 UNITS	*0.20	0.20(113) = 22.6 = 23 STALLS	*0.15	0.15(113) = 16.95 = 17 REQUIRED; 19 PROVIDED
ACCESSIBLE		5% OF TOTAL STALLS	0.05(166) = 8.3 = 9 STALLS	5% OF TOTAL STALLS REQUIRED; 0.05(146) = 7.3 = 8 REQUIRED	8 PROVIDED
SMALL CAR (RESIDENT)		40% MAX OF TOTAL STALLS (67 MAX ALLOWABLE)	UP TO 58 STALLS ALLOWED	60% MAX OF TOTAL STALLS (72 MAX ALLOWABLE)	31 STALLS
SMALL CAR (VISITOR)			UP TO 9 STALLS ALLOWED		1 STALLS
TOTAL STALLS			166		146 REQUIRED; 153 PROVIDED
		CURRENT FACTOR / SIZE	REQUIRED	PROPOSED FACTOR / SIZE	PROPOSED
LOADING		9m x 3m x 3.6m (LWH)	1	9m x 3m x 3.6m (LWH)	1
ELECTRIC VEHICLE CHARGING			12 INSTALLED; REMAINING STALLS EV-READY		12 INSTALLED; REMAINING STALLS EV-READY
MOTORCYCLE		N/A	N/A	N/A	14 STALLS PROVIDED
BIKE PARKING STALLS REQUIRED (BYLAW REQUIREMENT)					
		UNITS	FACTOR	REQUIRED	PROVIDED
TENANT (UNIT) (CLASS 1)		113 UNITS	*0.5	56.5	57 (49% WALL-MOUNT)
VISITOR / EMPLOYEE (CLASS 2)			6 SPACES PER BUILDING	6	12

0.6.0 storage summary

STORAGE LOCKER REQUIREMENT BUILDING WITH ELEVATORS: A MINIMUM OF 5.67m² (200 F²) PER UNIT WITH A LOCKER HEIGHT OF AT LEAST 1.8m (5.9ft)

UNIT TYPE	ROOM NAME	VOLUME	# OF UNIT	COMMENTS
A	-	-	5	5 STORAGE LOCKERS PROVIDED IN STORAGE ROOMS ON 2nd - 6th LEVELS
B	W/D, STORAGE	5.75 m ² / 203 F ²	26	
B.1	-	-	6	6 STORAGE LOCKERS PROVIDED IN STORAGE ROOMS ON 2nd - 6th LEVELS
B.2	W/D, STORAGE	5.75 m ² / 203 F ²	4	
B2	W/D, STORAGE	5.75 m ² / 203 F ²	5	
C	W/D, STORAGE	5.75 m ² / 203 F ²	5	
C1	W/D, STORAGE	5.75 m ² / 203 F ²	2	
C1.1	W/D, STORAGE	5.75 m ² / 203 F ²	1	
C1.2	W/D, STORAGE	5.75 m ² / 203 F ²	2	
D	W/D, STORAGE	5.75 m ² / 203 F ²	4	
D1	-	-	3	3 STORAGE LOCKERS PROVIDED IN STORAGE ROOMS ON 2nd - 6th LEVELS
D1.1	-	-	2	2 STORAGE LOCKERS PROVIDED IN STORAGE ROOMS ON 2nd - 6th LEVELS
D2 (A)	W/D, STORAGE	6.63 m ² / 234 F ²	1	
D.1	W/D, STORAGE	5.75 m ² / 203 F ²	16	
D.2	W/D, STORAGE	5.75 m ² / 203 F ²	5	
D.3	W/D, STORAGE	5.75 m ² / 203 F ²	2	
D.4	W/D, STORAGE	6.12 m ² / 216 F ²	2	
E	-	-	12	12 STORAGE LOCKERS PROVIDED IN STORAGE ROOMS ON 2nd - 6th LEVELS
E1 (A)	W/D, STORAGE	7.62 m ² / 269 F ²	2	
E1.1 (A)	W/D, STORAGE	7.62 m ² / 269 F ²	1	
E1.2 (A)	W/D, STORAGE	7.62 m ² / 269 F ²	2	
F	STORAGE	6.31 m ² / 223 F ²	5	
TOTAL			113	28 STORAGE LOCKERS REQUIRED TOTAL 34 STORAGE LOCKERS PROVIDED IN COMMON STORAGE ROOMS FROM 2nd - 6th LEVELS



THE HUDSON

20020 & 20010 MICHAUD CRESCENT, 5380 & 5370 200 STREET, 5371 & 5381 200A STREET, AND 20031 53B STREET, CITY OF LANGLEY, BC

PROJECT DATA

SCALE:

RE-ISSUED FOR DEVELOPMENT PERMIT

21-09-24 REVISION #: 2

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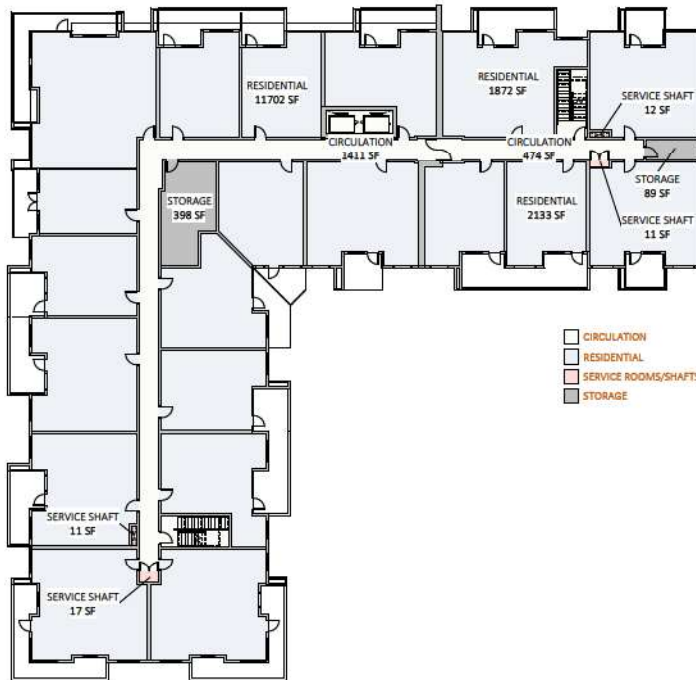
SD1.11



1st level

1/16" = 1'-0"

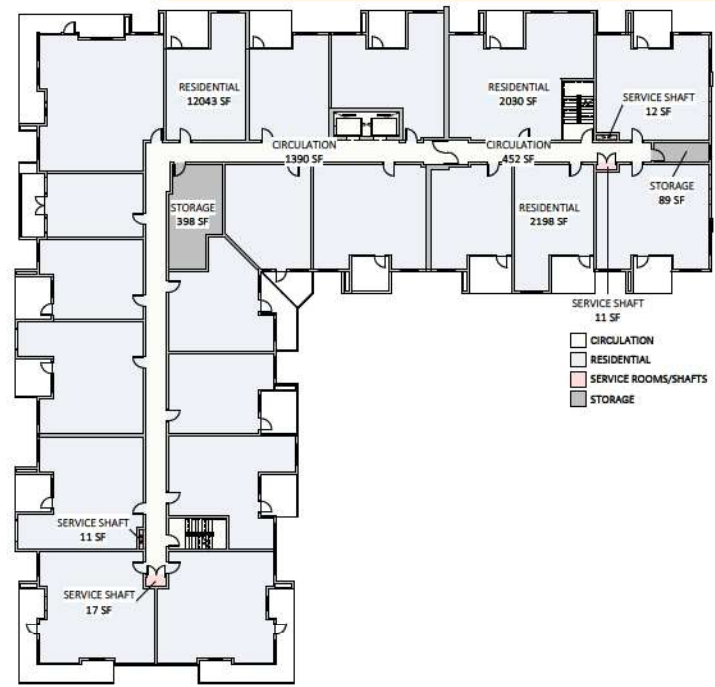
- CIRCULATION
- INDOOR AMENITY
- OFFICE
- RESIDENTIAL
- SERVICE ROOMS/SHAFTS
- STORAGE



2nd level

1/16" = 1'-0"

- CIRCULATION
- RESIDENTIAL
- SERVICE ROOMS/SHAFTS
- STORAGE



3rd/4th level

1/16" = 1'-0"

- CIRCULATION
- RESIDENTIAL
- SERVICE ROOMS/SHAFTS
- STORAGE



THE HUDSON

20020 & 20010 MICHAUD CRESCENT, 5380 & 5370 200 STREET,
5371 & 5381 200A STREET, AND 20031 53B STREET, CITY OF LANGLEY, BC

FSR PLANS

SCALE: 1/16" = 1'-0"



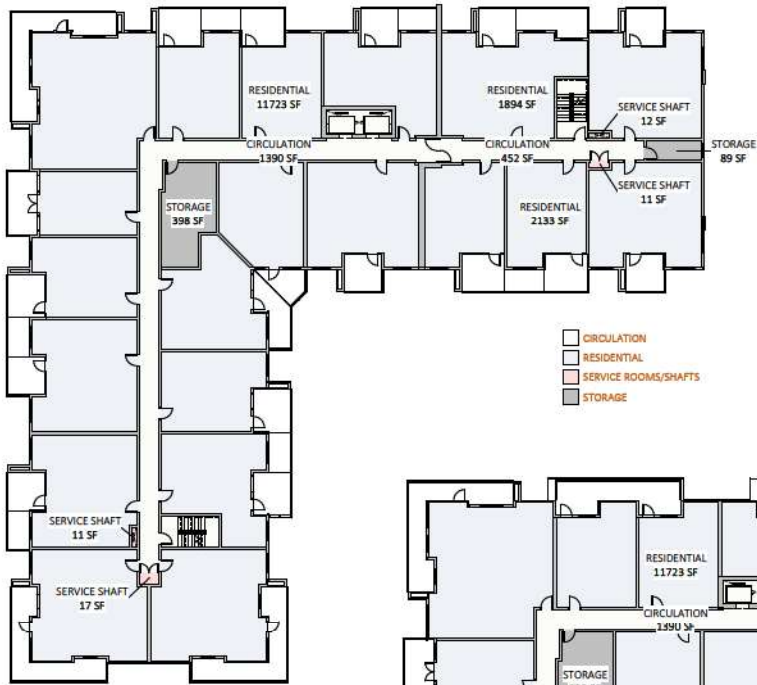
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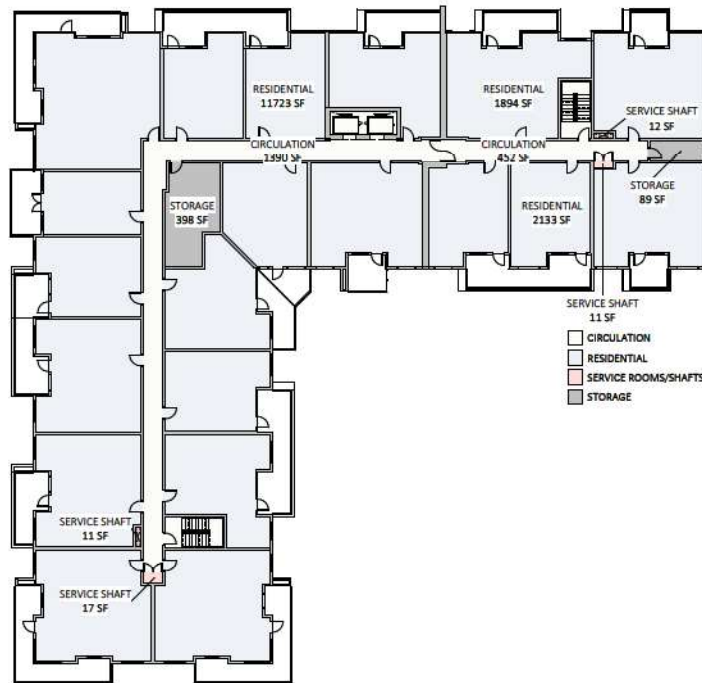
PROJECT NUMBER: 21-121



SD1.12



CIRCULATION
 RESIDENTIAL
 SERVICE ROOMS/SHAFTS
 STORAGE



CIRCULATION
 RESIDENTIAL
 SERVICE ROOMS/SHAFTS
 STORAGE

5th level

1/16" = 1'-0"

6th level

1/16" = 1'-0"

0.6.0 fsr floor area summary notes

1. FSR IS MEASURED TO OUTSIDE FACE OF SHEATHING
2. EXCLUSIONS: NONE APPLICABLE.

0.6.1 fsr floor area summary

LEVEL / AREA TYPE	AREA SF	AREA m ²	AREA %	COMMENTS
STORAGE	89 SF	8.29 m ²	0.1%	
1ST LEVEL	487 SF	45.26 m ²	0.4%	
2ND LEVEL	487 SF	45.26 m ²	0.4%	
3RD LEVEL	487 SF	45.26 m ²	0.4%	
4TH LEVEL	487 SF	45.26 m ²	0.4%	
5TH LEVEL	487 SF	45.26 m ²	0.4%	
6TH LEVEL	487 SF	45.26 m ²	0.4%	
SERVICE ROOMS/SHAFTS	2525 SF	234.60 m²	2.3%	
1ST LEVEL	50 SF	4.63 m ²	0.0%	
2ND LEVEL	50 SF	4.62 m ²	0.0%	
3RD LEVEL	50 SF	4.65 m ²	0.0%	
4TH LEVEL	50 SF	4.62 m ²	0.0%	
5TH LEVEL	50 SF	4.62 m ²	0.0%	
6TH LEVEL	50 SF	4.62 m ²	0.0%	
RESIDENTIAL	89906 SF	8352.55 m²	81.6%	
1ST LEVEL	10158 SF	943.69 m ²	9.2%	
2ND LEVEL	15707 SF	1459.24 m ²	14.3%	
3RD LEVEL	16271 SF	1511.59 m ²	14.8%	
4TH LEVEL	16271 SF	1511.63 m ²	14.8%	
5TH LEVEL	15750 SF	1463.19 m ²	14.3%	
6TH LEVEL	15750 SF	1463.21 m ²	14.3%	
OFFICE	136 SF	12.65 m²	0.1%	
1ST LEVEL	136 SF	12.65 m ²	0.1%	
INDOOR AMENITY	4757 SF	441.95 m²	4.3%	
1ST LEVEL	4757 SF	441.95 m ²	4.3%	
CIRCULATION	3308 SF	307.33 m²	3.0%	
1ST LEVEL	1885 SF	175.13 m ²	1.7%	
2ND LEVEL	1842 SF	171.16 m ²	1.7%	
3RD LEVEL	1842 SF	171.16 m ²	1.7%	
4TH LEVEL	1842 SF	171.16 m ²	1.7%	
5TH LEVEL	1842 SF	171.16 m ²	1.7%	
6TH LEVEL	1842 SF	171.16 m ²	1.7%	
AREA GRAND TOTAL	110186 SF	10236.64 m²	100.0%	

0.6.2 fsr calculation

1. 110,186 SF / 96,154 SF (SITE AREA) = 1.96



THE HUDSON

20020 & 20010 MICHAUD CRESCENT, 5380 & 5370 200 STREET,
5371 & 5381 200A STREET, AND 20031 53B STREET, CITY OF LANGLEY, BC

FSR PLANS

SCALE: N.T.S.



RE-ISSUED FOR DEVELOPMENT PERMIT

21-09-24 REVISION #: 2

PROJECT NUMBER: 21-121



SD1.13

design rationale

project description

LOCATED AT THE SOUTHEAST CORNER OF MICHAUD CRESCENT AND 200TH STREET, THIS PROPOSED DEVELOPMENT IS A SIX-STORY, WOOD-FRAME MULTI-FAMILY RESIDENTIAL BUILDING WITH 113 UNITS ON TOP OF A PARTIALLY RAISED PARKADE PODIUM. THE PODIUM PROVIDES SECURITY AND AMENITY SPACES FOR THE RESIDENTS WITH A LARGE MULTI-USE LANDSCAPED OUTDOOR AMENITY SPACE TO THE NORTH AND SPACIOUS UNIT PATIOS AROUND THE FIRST LEVEL.

environmental sustainability

THE DEVELOPMENT ADDRESSES ENVIRONMENTAL SUSTAINABILITY THROUGH:

- RENEWABLE BASED WOOD BUILDING MATERIALS
- NO-WATER AND LIGHT-COLOURED SURFACES TO REDUCE WATER USAGE AND HEAT ISLAND EFFECT
- SHADED GLAZING TO REDUCE SOLAR HEAT GAIN DURING THE SUMMER
- MINIMAL EXTERIOR PARKING SURFACES
- BIKE RACKS AND STORAGE THROUGHOUT
- LARGE OPEN GREEN SPACES WITH GREENERY IN RAISED WOOD PLANTERS
- DARK SKY COMPLIANT EXTERIOR LIGHTING SYSTEMS REDUCING LIGHT POLLUTION
- WATER EFFICIENT LANDSCAPING AND PLUMBING SYSTEMS
- NATURAL VENTILATION THROUGH OPERABLE WINDOWS AND ENERGY EFFICIENT HVAC SYSTEMS, STORAGE AND COLLECTION OF RECYCLABLES



main entry along 200th street

massing, form & character

THE SITING AND MASSING OF THE BUILDING IS ORGANIZED ALONG THE 200TH STREET FACE AND DESIGNED TO ALLOW NATURAL DAYLIGHT INTO THE UNITS THROUGH LARGE WINDOWS AND BALCONY PROJECTIONS. OUTDOOR AMENITY SPACE IS STRATEGICALLY POSITIONED AT THE NORTHWEST CORNER OF THE SITE TO RECEIVE AFTERNOON/EVENING SUN WHEN THE SPACE WILL MOST COMMONLY BE ENJOYED.

THE BUILDING FAÇADE IS RHYTHMICALLY DIVIDED UP AND MASSED VERTICALLY AND HORIZONTALLY IN SUCH A WAY TO CREATE A SENSE OF INDIVIDUALITY AND BRING SENSE OF A REDUCED SCALE TO THIS BUILDING. WITH A GROUND FLOOR LEVEL SCALED TO ALLOW A STREET-FRIENDLY AND INVITING CONNECTION WITH THE TWO STREET FACES. THE EXPOSED PARKADE PORTIONS ARE SURFACE TREATED AND LINE WITH A VEGETATIVE BUFFER AND ARE PERMEABLE FROM THE STREET BY MEANS OF WIDE STAIRS AND RAMPS.

THE EXTERIOR TREATMENT REFLECTS THAT OF AN URBAN CONTEMPORARY VERNACULAR WITH THE USE OF GRAY, WHITE AND BLUE TONES WITH WOOD INSET FEATURES TO GIVE A SENSE OF WARMTH AND WELCOMING AS A LIVABLE PLACE WITHIN THE CITY OF LANGLEY. FEATURE COLOUR PROJECTIONS AROUND THE BUILDING ADD HIGHLIGHTS OF COLOUR AND VISUAL INTEREST ON A BACKDROP OF NEUTRAL, SMOOTH SURFACED MATERIALS. THIS FORMS A RHYTHM WHICH BREAKS UP AND REDUCES THE SCALE OF THE FAÇADE ALONG THE STREET. SIMULTANEOUSLY, RUSTIC WOOD-LOOK SIDING AND WOOD TRIM ELEMENTS AT ROOF AND BALCONY FASCIAS ACCENT THE FAÇADE WITH WARM HUES. MATERIALS CONSIST OF A BLEND OF BRICK & CEMENTITIOUS CLADDING ALONG THE BALCONY PROJECTIONS THAT BOTH ARTICULATE A LOWER SCALE AT THE STREET AND COURTYARD ENTRIES, AND ALSO ALLOW A SENSE OF INTEREST, OPENNESS AND LIVABILITY AT THE UPPER EXTERIOR INTERFACES WITH THE PUBLIC REALM WITH ENHANCED VIEWS ALLOWING RESIDENTS TO EXPERIENCE THE OUTDOORS WHILE MAINTAINING PRIVACY WITHIN THEIR HOMES.

crime prevention

CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN PRINCIPLES (CPED) HAVE BEEN INCORPORATED BY MEANS OF NATURAL SURVEILLANCE THROUGHOUT THE DEVELOPMENT. THIS IS PROMOTED BY CLEAR VIEWING LINES FROM FROM RESIDENTIAL TO SHARED SPACES, WELL-LIT WALKWAYS AND ACCESS POINTS, AND SECURE, CLEARLY-DEFINED PEDESTRIAN AND PARKING ENTRANCES.

REFER ALSO TO ATTACHED DOCUMENTS BY JCR DESIGN LTD. AND VAN DER ZALM + ASSOCIATES INC.



northwest perspective



THE HUDSON

20020 & 20010 MICHAUD CRESCENT, 5380 & 5370 200 STREET, 5371 & 5381 200A STREET, AND 20031 53B STREET, CITY OF LANGLEY, BC

DESIGN RATIONALE

SCALE:

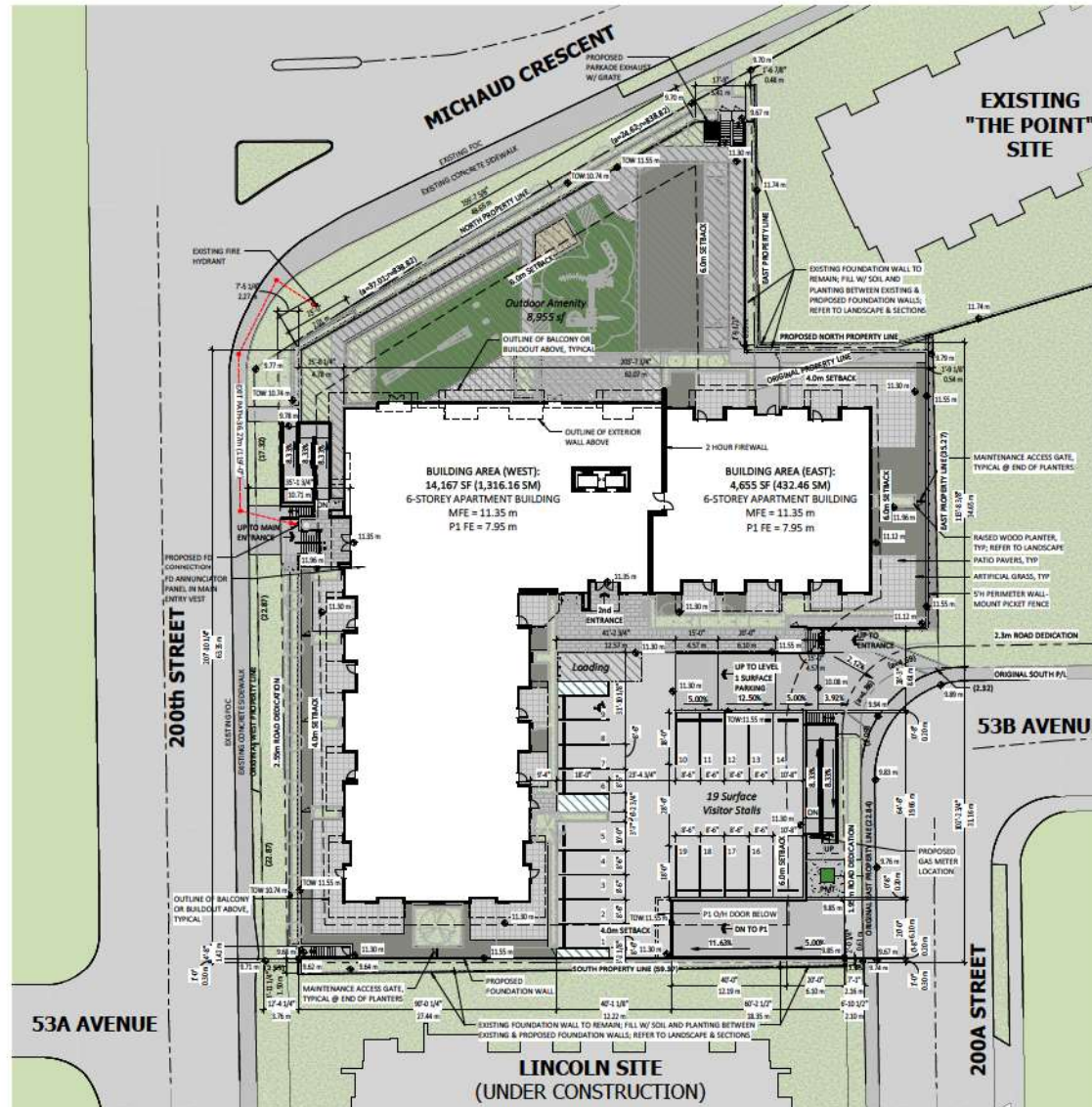
RE-ISSUED FOR DEVELOPMENT PERMIT

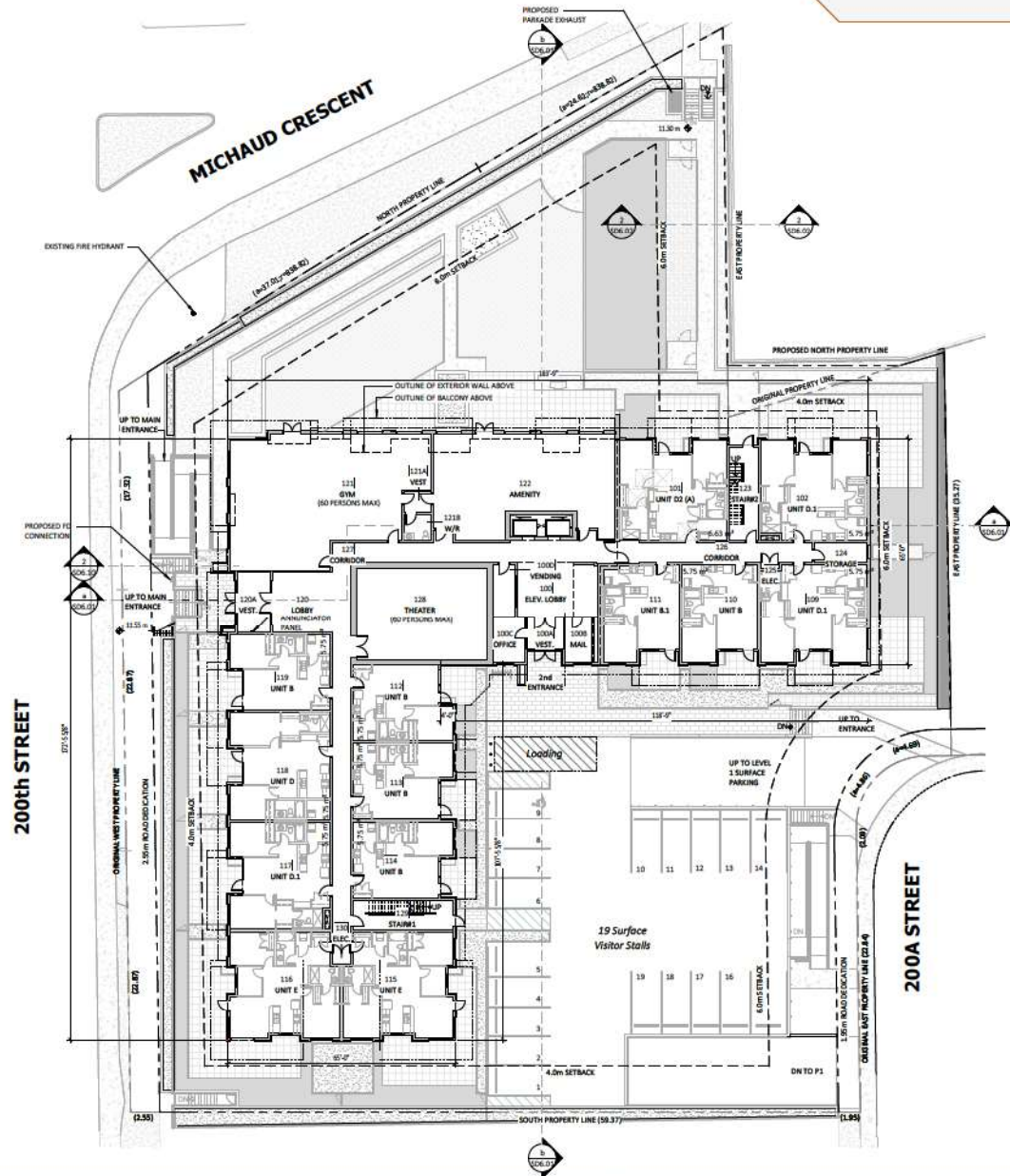
21-09-24 REVISION #: 2

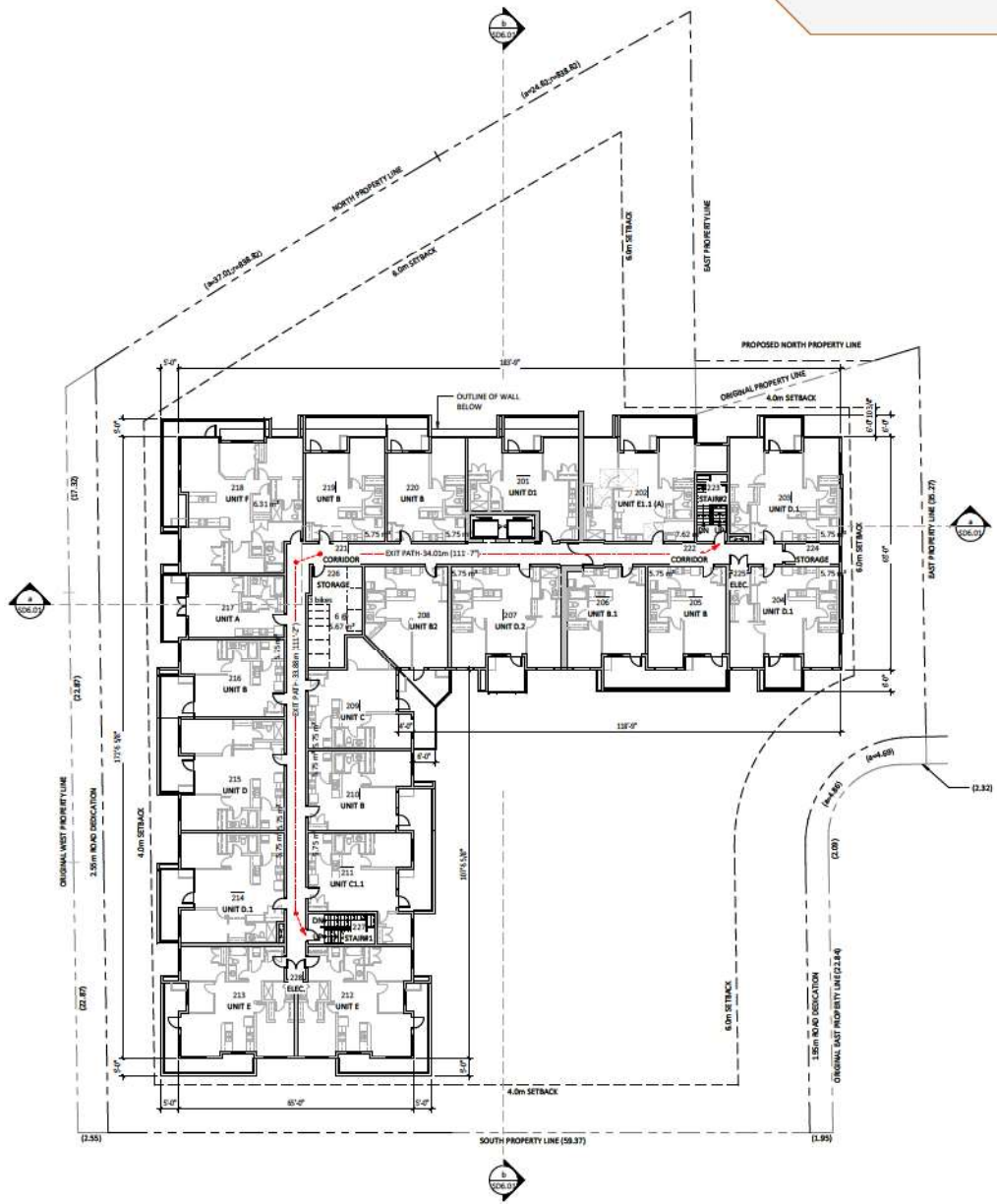
PROJECT NUMBER: 21-121



SD1.20







THE HUDSON

20020 & 20010 MICHAUD CRESCENT, 5380 & 5370 200 STREET,
5371 & 5381 200A STREET, AND 20031 538 STREET, CITY OF LANGLEY, BC

2nd LEVEL PLAN

SCALE: 1/16" = 1'-0"



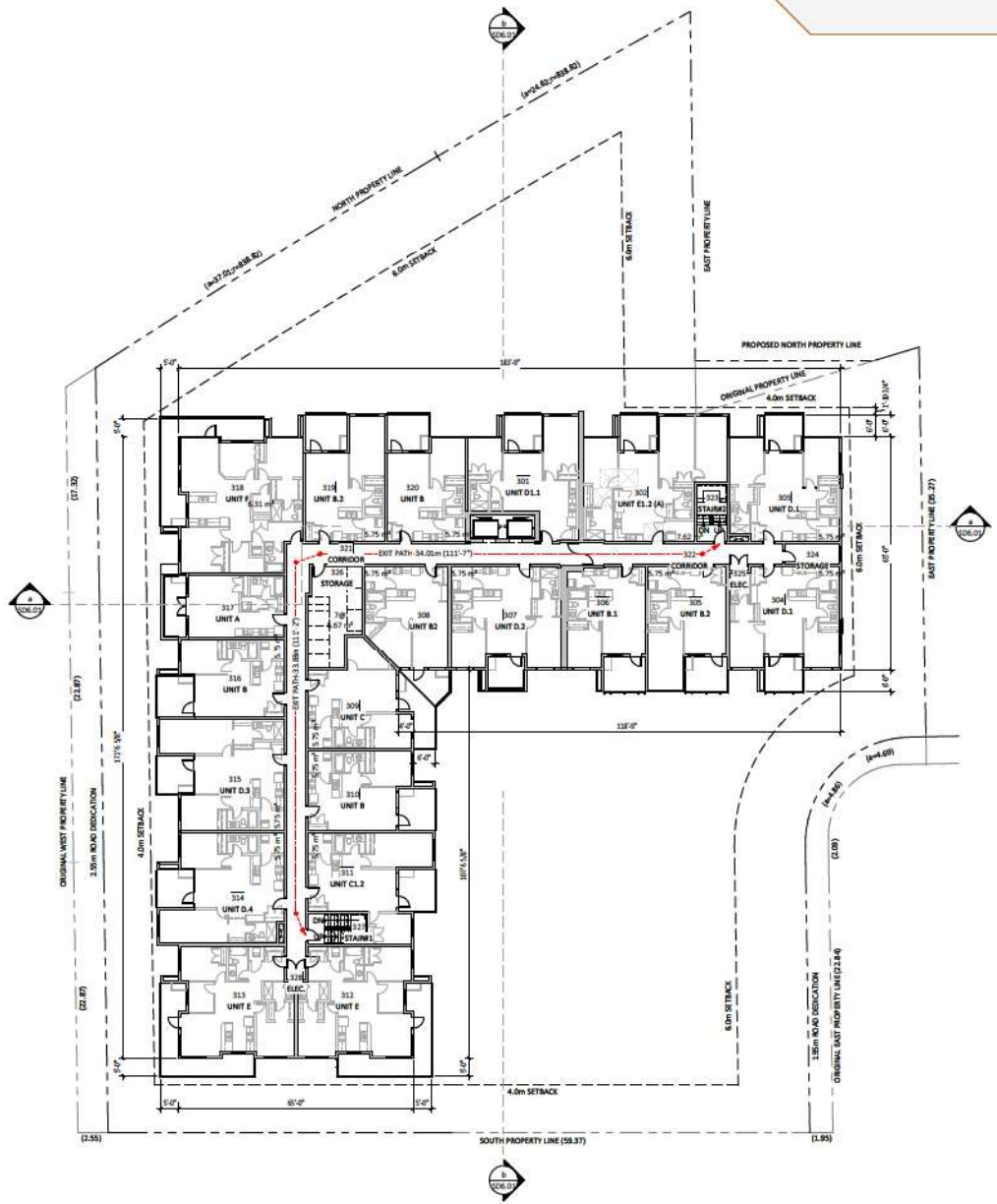
RE-ISSUED FOR DEVELOPMENT PERMIT

21-09-24 REVISION #: 2

PROJECT NUMBER: 21-121



SD2.11



THE HUDSON
 20020 & 20010 MICHAUD CRESCENT, 5380 & 5370 200 STREET,
 5371 & 5381 200A STREET, AND 20031 538 STREET, CITY OF LANGLEY, BC

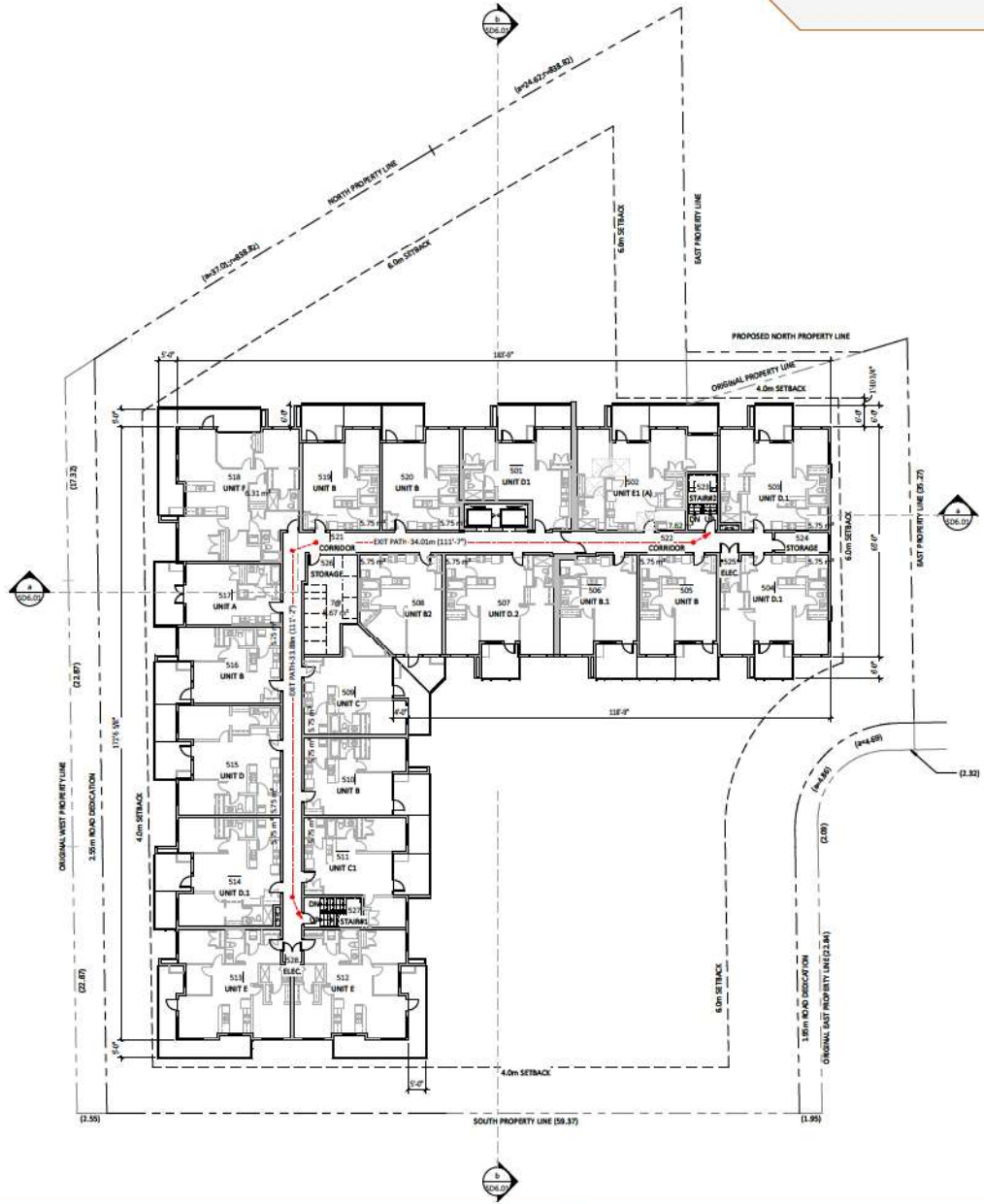
3rd LEVEL PLAN
 SCALE: N.T.S.



RE-ISSUED FOR DEVELOPMENT PERMIT
 21-09-24 REVISION #: 2
 PROJECT NUMBER: 21-121



SD2.12



THE HUDSON
 20020 & 20010 MICHAUD CRESCENT, 5380 & 5370 200 STREET,
 5371 & 5381 200A STREET, AND 20031 538 STREET, CITY OF LANGLEY, BC

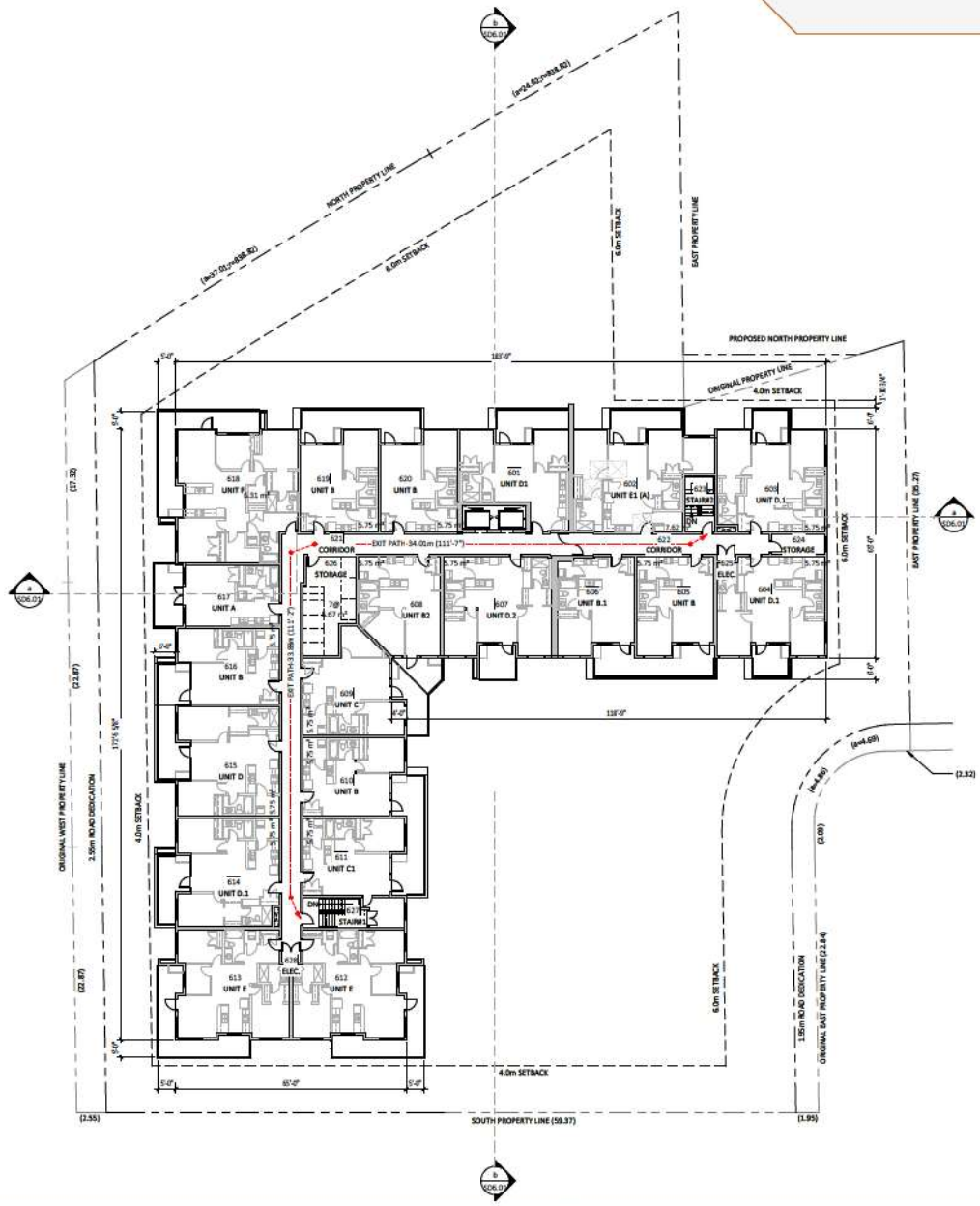
5th LEVEL PLAN
 SCALE: N.T.S.



RE-ISSUED FOR DEVELOPMENT PERMIT
 21-09-24 REVISION #: 2
 PROJECT NUMBER: 21-121



SD2.14



THE HUDSON
 20020 & 20010 MICHAUD CRESCENT, 5380 & 5370 200 STREET,
 5371 & 5381 200A STREET, AND 20031 538 STREET, CITY OF LANGLEY, BC

6th LEVEL PLAN
 SCALE: 1/16" = 1'-0"


RE-ISSUED FOR DEVELOPMENT PERMIT
 21-09-24 REVISION #: 2
 PROJECT NUMBER: 21-121



SD2.15



west elevation

1" = 10'-0"

material legend

- CEMENT BOARD SMOOTH PANEL SIDING (C/W COLOUR MATCHED REVEALS) - JAMES HARDIE, COLOUR: LIGHT MIST - EASY TRIM 5/16" REVEAL PANEL SYS.
- CEMENT BOARD SMOOTH PANEL SIDING (C/W COLOUR MATCHED REVEALS) - JAMES HARDIE, COLOUR: ARCTIC WHITE - EASY TRIM 5/16" REVEAL PANEL SYS.
- CEMENT BOARD SMOOTH PANEL SIDING (C/W COLOUR MATCHED REVEALS) - JAMES HARDIE, COLOUR: GRAY SLATE - EASY TRIM 5/16" REVEAL PANEL SYS.
- CEMENT BOARD SMOOTH PANEL SIDING (C/W COLOUR MATCHED REVEALS) - JAMES HARDIE, COLOUR: MEDIUM DARK GRAY - EASY TRIM 5/16" REVEAL PANEL SYS.
- CEMENT BOARD SMOOTH PANEL SIDING (C/W COLOUR MATCHED REVEALS) - JAMES HARDIE, COLOUR: EVENING BLUE - EASY TRIM 5/16" REVEAL PANEL SYS.
- CEMENT BOARD CEDARMILL HORIZONTAL LAP SIDING (BY EXPOSURE) - JAMES HARDIE, COLOUR: TRIM GRAY
- CEMENT BOARD (BOARD & BATTEN) SMOOTH VERTICAL SIDING WITH TRIM BOARD - JAMES HARDIE, COLOUR: MEDIUM DARK GRAY
- BRICK (60mmx64mmx190mm) - MULTIFL MATERIALS COLOUR: EBONY, TEXTURE: MISSION - MORTAR COLOUR: MEDIUM GRAY
- PVC EXTERIOR CLADDING PROFILE CHANNELLED - SAGEPER, SAGEWALL, COLOUR: WALNUT CEDAR
- NOT USED
- NOT USED
- CEMENT BOARD FASCIA BOARD, TEXTURE: SMOOTH - JAMES HARDIE, COLOUR: WINDGRAY
- CEMENT BOARD FASCIA BOARD, TEXTURE: SMOOTH - JAMES HARDIE, COLOUR: EVENING BLUE
- CEMENT BOARD FASCIA BOARD, TEXTURE: SMOOTH - JAMES HARDIE, COLOUR: MATCH TO WALNUT CEDAR
- ROOF SOFFIT - COLOUR: WOOD FINISH
- ALUMINUM/GLASS PATIO PRIVACY SCREEN - COLOUR: BLACK ANODIZED
- CURTAIN WALL (BIDD' IT SYSTEM 3) - SANNIFER, COLOUR: BLACK ANODIZED, C/W GRAY SPANDREL PANEL
- ALUMINUM PICKET BALCONY RAILINGS - COLOUR: BLACK ANODIZED
- ALUMINUM PICKET RAILING/AC GUARD RAILING/ GUARD RAILING - COLOUR: BLACK ANODIZED
- CONCRETE WALL - COLOUR: CLEAR SEALER
- NOT USED
- PLASTER - AS PER LANDSCAPING
- CONCRETE WALL: BRICK PATTERN STAMPED - COLOUR AND PATTERN TO MATCH WITH BUILDING EXTERIOR BRICK
- CEMENT BOARD SMOOTH PANEL SIDING (C/W COLOUR MATCHED REVEALS) - JAMES HARDIE, COLOUR: DARK GRAY - EASY TRIM 5/16" REVEAL PANEL SYS.
- CEMENT BOARD CEDARMILL HORIZONTAL LAP SIDING (BY EXPOSURE) - JAMES HARDIE, COLOUR: ARCTIC WHITE

NOTES:

- MATERIAL TERMINATIONS AND INTERSECTIONS WITH OTHER MATERIALS REQUIRE MOC-UPLS AS PER PROJECT MANUAL.
- ALL CLADDING MATERIALS SHOWN RETURN AT BUILDING PERIMETER RECESSES U.N.O.



north elevation

1" = 10'-0"

<p>keystonearch.ca</p>	<p>THE HUDSON 20020 & 20010 MICHAUD CRESCENT, 5380 & 5370 200 STREET, 5371 & 5381 200A STREET, AND 20031 538 STREET, CITY OF LANGLEY, BC</p>	<p>BUILDING ELEVATIONS SCALE: 1" = 10'-0"</p>	<p>RE-ISSUED FOR DEVELOPMENT PERMIT 21-09-24 REVISION #: 2 PROJECT NUMBER: 21-121</p>			<p>SD3.01</p>
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east elevation

1" = 10'-0"

material legend

- 1 CEMENT BOARD SMOOTH PANEL SIDING (C/W COLOUR MATCHED REVEALS);
- JAMES HARDIE, COLOUR: LIGHT MIST - EASY TRIM 5/16" REVEAL PANEL SYS.
- 2 CEMENT BOARD SMOOTH PANEL SIDING (C/W COLOUR MATCHED REVEALS);
- JAMES HARDIE, COLOUR: ARCTIC WHITE - EASY TRIM 5/16" REVEAL PANEL SYS.
- 3 CEMENT BOARD SMOOTH PANEL SIDING (C/W COLOUR MATCHED REVEALS);
- JAMES HARDIE, COLOUR: GRAY SLATE - EASY TRIM 5/16" REVEAL PANEL SYS.
- 4 CEMENT BOARD SMOOTH PANEL SIDING (C/W COLOUR MATCHED REVEALS);
- JAMES HARDIE, COLOUR: MEDIUM DARK GRAY - EASY TRIM 5/16" REVEAL PANEL SYS.
- 5 CEMENT BOARD SMOOTH PANEL SIDING (C/W COLOUR MATCHED REVEALS);
- JAMES HARDIE, COLOUR: EVENING BLUE - EASY TRIM 5/16" REVEAL PANEL SYS.
- 6 CEMENT BOARD CEDAR/MILL HORIZONTAL LAP SIDING (S' EXPOSURE);
- JAMES HARDIE, COLOUR: IRON GRAY
- 7 CEMENT BOARD (BOARD & BATTEN), SMOOTH VERTICAL SIDING WITH TRIM BOARD
- JAMES HARDIE, COLOUR: MEDIUM DARK GRAY
- 8 BRICK (80mmx64mmx130mm)
- MATERIAL MATERIALS: COLOUR: EBON, TEXTURE: MESSING
- MORTAR COLOUR: MEDIUM GRAY
- 9 PVC EXTERIOR CLADDING, PROFILE: CHANNELLED;
- SAGEPEP, SAGEWALL, COLOUR: WALNUT CEDAR
- 10 NOT USED
- 11 NOT USED
- 12 CEMENT BOARD FASCO BOARD, TEXTURE: SMOOTH;
- JAMES HARDIE, COLOUR: IRON GRAY
- 13 CEMENT BOARD FASCO BOARD, TEXTURE: SMOOTH;
- JAMES HARDIE, COLOUR: EVENING BLUE
- 14 CEMENT BOARD FASCO BOARD, TEXTURE: SMOOTH;
- JAMES HARDIE, COLOUR: MATCH TO WALNUT CEDAR
- 15 ROOF SOFFIT;
- COLOUR: WOOD FINISH
- 16 ALUMINUM/GLASS PATIO PRIVACY SCREEN;
- COLOUR: BLACK ANODIZED
- 17 CURTAIN WALL (5500 UT SYSTEM 3);
- SAMSPEP, COLOUR: BLACK ANODIZED, C/W GRAY SPANDREL PANEL
- 18 ALUMINUM PICKET BALCONY RAILING;
- COLOUR: BLACK ANODIZED
- 19 ALUMINUM PICKET RAILING/ AC GUARD RAILING/ GUARD RAILING;
- COLOUR: BLACK ANODIZED
- 20 CONCRETE WALL;
- COLOUR: CLEAR SEALER
- 21 NOT USED
- 22 PLASTER
- AS PER LANDSCAPING
- 23 CONCRETE WALL: BRICK PATTERN STAMPED
- COLOUR AND PATTERN TO MATCH WITH BUILDING EXTERIOR BRICK
- 24 CEMENT BOARD SMOOTH PANEL SIDING (C/W COLOUR MATCHED REVEALS);
- JAMES HARDIE, COLOUR: DARK GRAY - EASY TRIM 5/16" REVEAL PANEL SYS.
- 25 CEMENT BOARD CEDAR/MILL HORIZONTAL LAP SIDING (S' EXPOSURE);
- JAMES HARDIE, COLOUR: ARCTIC WHITE

NOTES:
1. MATERIAL TERMINATIONS AND INTERSECTIONS WITH OTHER MATERIALS REQUIRE MOCK-UPS AS PER PROJECT MANUAL.
2. ALL CLADDING MATERIALS SHOWN RETURN AT BUILDING PERIMETER RECESSES U.N.C.



south elevation

1" = 10'-0"



THE HUDSON
20020 & 20010 MICHAUD CRESCENT, 5380 & 5370 200 STREET,
5371 & 5381 200A STREET, AND 20031 53B STREET, CITY OF LANGLEY, BC

BUILDING ELEVATIONS
SCALE: 1" = 10'-0"

RE-ISSUED FOR DEVELOPMENT PERMIT
21-09-24 REVISION #: 2
PROJECT NUMBER: 21-121



SD3.02



north elevation at michaud crescent

1" = 10'-0"

material legend

- 1 CEMENT BOARD SMOOTH PANEL SIDING (C/W COLOUR MATCHED REVEALS);
- JAMES HARDIE, COLOUR: 'ARCTIC WHITE' - EASY TRIM 5/16" REVEAL PANEL SYS.
- 2 CEMENT BOARD SMOOTH PANEL SIDING (C/W COLOUR MATCHED REVEALS);
- JAMES HARDIE, COLOUR: 'ARCTIC WHITE' - EASY TRIM 5/16" REVEAL PANEL SYS.
- 3 CEMENT BOARD SMOOTH PANEL SIDING (C/W COLOUR MATCHED REVEALS);
- JAMES HARDIE, COLOUR: 'GRAY SLATE' - EASY TRIM 5/16" REVEAL PANEL SYS.
- 4 CEMENT BOARD SMOOTH PANEL SIDING (C/W COLOUR MATCHED REVEALS);
- JAMES HARDIE, COLOUR: 'MEDIUM DARK GRAY' - EASY TRIM 5/16" REVEAL PANEL SYS.
- 5 CEMENT BOARD SMOOTH PANEL SIDING (C/W COLOUR MATCHED REVEALS);
- JAMES HARDIE, COLOUR: 'EVENING BLUE' - EASY TRIM 5/16" REVEAL PANEL SYS.
- 6 CEMENT BOARD CEDAR/MILL HORIZONTAL LAP SIDING (6" EXPOSURE);
- JAMES HARDIE, COLOUR: 'MEDIUM DARK GRAY'
- 7 CEMENT BOARD BOARD & BATTEN, SMOOTH VERTICAL SIDING WITH TRIM BOARD
- JAMES HARDIE, COLOUR: 'MEDIUM DARK GRAY'
- 8 BRICK (80mmx64mmx130mm)
- MUTUAL MATERIALS COLOUR: 'EBONY', TEXTURE: 'MISSION'
- MODULAR COLOUR: 'MEDIUM GRAY'
- 9 PVC EXTERIOR CLADDING, PROFILE: CHAMFERED;
- SAGIFER, SAGIWALL, COLOUR: 'WALNUT CEDAR'
- 10 NOT USED
- 11 NOT USED
- 12 CEMENT BOARD FACIA BOARD, TEXTURE: 'SMOOTH';
- JAMES HARDIE, COLOUR: 'WIND GRAY'
- 13 CEMENT BOARD FACIA BOARD, TEXTURE: 'SMOOTH';
- JAMES HARDIE, COLOUR: 'EVENING BLUE'
- 14 CEMENT BOARD FACIA BOARD, TEXTURE: 'SMOOTH';
- JAMES HARDIE, COLOUR: 'MATCH TO WALNUT CEDAR'
- 15 ROOF SOFFIT;
- COLOUR: 'WOOD FINISH'
- 16 ALUMINUM/GLASS PATIO PRIVACY SCREEN;
- COLOUR: 'BLACK ANODIZED'
- 17 CURTAIN WALL (1800 LIT SYSTEM 1);
- 'FARNBERG', COLOUR: 'BLACK ANODIZED', C/W GRAY SPANDREL PANEL
- 18 ALUMINUM POCKET BALCONY RAILING;
- COLOUR: 'BLACK ANODIZED'
- 19 ALUMINUM POCKET RAILING/ AC GUARD RAILING/ GUARD RAILING;
- COLOUR: 'BLACK ANODIZED'
- 20 CONCRETE WALL;
- COLOUR: 'CLEAR SEALER'
- 21 NOT USED
- 22 PLASTER;
- AS PER LANDSCAPING
- 23 CONCRETE WALL BRICK PATTERNS EXAMERD
- COLOUR AND PATTERN TO MATCH WITH BUILDING EXTERIOR BRICK
- 24 CEMENT BOARD SMOOTH PANEL SIDING (C/W COLOUR MATCHED REVEALS);
- JAMES HARDIE, COLOUR: 'DARK GRAY' - EASY TRIM 5/16" REVEAL PANEL SYS.
- 25 CEMENT BOARD CEDAR/MILL HORIZONTAL LAP SIDING (6" EXPOSURE);
- JAMES HARDIE, COLOUR: 'ARCTIC WHITE'

NOTES:
1. MATERIAL TERMINATIONS AND INTERSECTIONS WITH OTHER MATERIALS REQUIRE MOCK-UPS AS PER PROJECT MANUAL.
2. ALL CLADDING MATERIALS SHOWN RETURN AT BUILDING PERIMETER RECESSES U.N.O.



west elevation



north elevation



THE HUDSON

20020 & 20010 MICHAUD CRESCENT, 5380 & 5370 200 STREET,
5371 & 5381 200A STREET, AND 20031 53B STREET, CITY OF LANGLEY, BC

RENDERED ELEVATIONS

SCALE: N.T.S.

RE-ISSUED FOR DEVELOPMENT PERMIT

21-09-24 REVISION #: 2

PROJECT NUMBER: 21-121



SD3.10



east elevation



south elevation



northwest perspective



THE HUDSON

20020 & 20010 MICHAUD CRESCENT, 5380 & 5370 200 STREET,
5371 & 5381 200A STREET, AND 20031 53B STREET, CITY OF LANGLEY, BC

3D RENDERINGS

SCALE: N.T.S.

RE-ISSUED FOR DEVELOPMENT PERMIT

21-09-24 REVISION #: 2

PROJECT NUMBER: 21-121



SD3.12



northwest perspective - night view



northeast perspective



THE HUDSON

20020 & 20010 MICHAUD CRESCENT, 5380 & 5370 200 STREET,
5371 & 5381 200A STREET, AND 20031 53B STREET, CITY OF LANGLEY, BC

3D RENDERINGS

SCALE: N.T.S.

RE-ISSUED FOR DEVELOPMENT PERMIT

21-09-24 REVISION #: 2

PROJECT NUMBER: 21-121



SD3.14



southeast perspective



west main entrance



north outdoor amenity



south entrance



THE HUDSON

20020 & 20010 MICHAUD CRESCENT, 5380 & 5370 200 STREET,
5371 & 5381 200A STREET, AND 20031 53B STREET, CITY OF LANGLEY, BC

3D RENDERINGS

SCALE: N.T.S.

RE-ISSUED FOR DEVELOPMENT PERMIT

21-09-24 REVISION #: 2

PROJECT NUMBER: 21-121



SD3.16



main entrance

1/4" = 1'-0"



second entrance

1/4" = 1'-0"

material legend

- 1 CEMENT BOARD SMOOTH PANEL SIDING (C/W COLOUR MATCHED REVEALS);
- JAMES HARDIE; COLOUR: LIGHT MIST - EASY TRIM 5/16" REVEAL PANEL SYS.
- 2 CEMENT BOARD SMOOTH PANEL SIDING (C/W COLOUR MATCHED REVEALS);
- JAMES HARDIE; COLOUR: ARCTIC WHITE - EASY TRIM 5/16" REVEAL PANEL SYS.
- 3 CEMENT BOARD SMOOTH PANEL SIDING (C/W COLOUR MATCHED REVEALS);
- JAMES HARDIE; COLOUR: GRAY SLATE - EASY TRIM 5/16" REVEAL PANEL SYS.
- 4 CEMENT BOARD SMOOTH PANEL SIDING (C/W COLOUR MATCHED REVEALS);
- JAMES HARDIE; COLOUR: MEDIUM DARK GRAY - EASY TRIM 5/16" REVEAL PANEL SYS.
- 5 CEMENT BOARD SMOOTH PANEL SIDING (C/W COLOUR MATCHED REVEALS);
- JAMES HARDIE; COLOUR: EVENING BLUE - EASY TRIM 5/16" REVEAL PANEL SYS.
- 6 CEMENT BOARD CEDARMILL HORIZONTAL LAP SIDING (6" EXPOSURE);
- JAMES HARDIE; COLOUR: IRON GRAY
- 7 CEMENT BOARD (BOARD & BATTEN), SMOOTH VERTICAL SIDING WITH TRIM BOARD
- JAMES HARDIE; COLOUR: MEDIUM DARK GRAY
- 8 BRICK (60mmx64mmx190mm)
- MUTUAL MATERIALS; COLOUR: EBONY, TEXTURE: MISSION
- MORTAR COLOUR: MEDIUM GRAY
- 9 PVC EXTERIOR CLADDING, PROFILE: CHANNELLED;
- SAGBERY; SAGIMALL, COLOUR: WALNUT CEDAR
- 10 NOT USED
- 11 NOT USED
- 12 CEMENT BOARD FASCOA BOARD, TEXTURE: SMOOTH;
- JAMES HARDIE; COLOUR: IRON GRAY
- 13 CEMENT BOARD FASCOA BOARD, TEXTURE: SMOOTH;
- JAMES HARDIE; COLOUR: EVENING BLUE
- 14 CEMENT BOARD FASCOA BOARD, TEXTURE: SMOOTH;
- JAMES HARDIE; COLOUR: MATCH TO WALNUT CEDAR
- 15 ROOF SOFFIT;
- COLOUR: WOOD FINISH
- 16 ALUMINUM/GLASS PATIO PRIVACY SCREEN;
- COLOUR: BLACK ANODIZED
- 17 CURTAIN WALL (SSD UT SYSTEM 1);
- XAWNEEK, COLOUR: BLACK ANODIZED, C/W GRAY SPANDREL PANEL
- 18 ALUMINUM PICKET BALCONY RAILING;
- COLOUR: BLACK ANODIZED
- 19 ALUMINUM PICKET RAILING/ AC GUARD RAILING/ GUARD RAILING;
- COLOUR: BLACK ANODIZED
- 20 CONCRETE WALL;
- COLOUR: CLEAR SEALER
- 21 NOT USED
- 22 PLANTER
- AS PER LANDSCAPING
- 23 CONCRETE WALL: BRICK PATTERN STAMPED;
- COLOUR AND PATTERN TO MATCH WITH BUILDING EXTERIOR BRICK
- 24 CEMENT BOARD SMOOTH PANEL SIDING (C/W COLOUR MATCHED REVEALS);
- JAMES HARDIE; COLOUR: DARK GRAY - EASY TRIM 5/16" REVEAL PANEL SYS.
- 25 CEMENT BOARD CEDARMILL HORIZONTAL LAP SIDING (6" EXPOSURE);
- JAMES HARDIE; COLOUR: ARCTIC WHITE

NOTES:
 1. MATERIAL TERMINATIONS AND INTERSECTIONS WITH OTHER MATERIALS REQUIRE MOCK-UPS AS PER PROJECT MANUAL.
 2. ALL CLADDING MATERIALS SHOWN RETURN AT BUILDING PERIMETER RECESSES UN.L.O.



THE HUDSON

20020 & 20010 MICHAUD CRESCENT, 5380 & 5370 200 STREET,
 5371 & 5381 200A STREET, AND 20031 538 STREET, CITY OF LANGLEY, BC

ENLARGED ELEVATIONS

SCALE: 1/4" = 1'-0"

RE-ISSUED FOR DEVELOPMENT PERMIT

21-09-24 REVISION #: 2

PROJECT NUMBER: 21-121



SD3.20



west elevation

1" = 10'-0"

material legend

- 1 CEMENT BOARD SMOOTH PANEL SIDING (C/W COLOUR MATCHED REVEALS);
- JAMES HARDIE: COLOUR: LIGHT MIST - EASY TRIM 5/16" REVEAL PANEL SYS.
- 2 CEMENT BOARD SMOOTH PANEL SIDING (C/W COLOUR MATCHED REVEALS);
- JAMES HARDIE: COLOUR: ARCTIC WHITE - EASY TRIM 5/16" REVEAL PANEL SYS.
- 3 CEMENT BOARD SMOOTH PANEL SIDING (C/W COLOUR MATCHED REVEALS);
- JAMES HARDIE: COLOUR: GRAY SLATE - EASY TRIM 5/16" REVEAL PANEL SYS.
- 4 CEMENT BOARD SMOOTH PANEL SIDING (C/W COLOUR MATCHED REVEALS);
- JAMES HARDIE: COLOUR: MEDIUM DARK GRAY - EASY TRIM 5/16" REVEAL PANEL SYS.
- 5 CEMENT BOARD SMOOTH PANEL SIDING (C/W COLOUR MATCHED REVEALS);
- JAMES HARDIE: COLOUR: EVENING BLUE - EASY TRIM 5/16" REVEAL PANEL SYS.
- 6 CEMENT BOARD CEDAR/MILL HORIZONTAL LAP SIDING (6" EXPOSURE);
- JAMES HARDIE: COLOUR: IRON GRAY
- 7 CEMENT BOARD (BOARD & BATTEN) SMOOTH VERTICAL SIDING WITH TRIM BOARD
- JAMES HARDIE: COLOUR: "MEDIUM DARK GRAY"
- 8 BRICK (80mmx64mmx190mm)
- MULTIFLUX MATERIALS: COLOUR: EBONY, TEXTURE: MISSION
- MORTAR COLOUR: "MEDIUM GRAY"
- 9 PVC EXTERIOR CLADDING, PROFILE: CHANNELLED;
- SAGEFER, SAGEWALL, COLOUR: "WALNUT CEDAR"
- 10 NOT USED
- 11 NOT USED
- 12 CEMENT BOARD FASCO BOARD, TEXTURE: "SMOOTH";
- JAMES HARDIE: COLOUR: "IRON GRAY"
- 13 CEMENT BOARD FASCO BOARD, TEXTURE: "SMOOTH";
- JAMES HARDIE: COLOUR: "EVENING BLUE"
- 14 CEMENT BOARD FASCO BOARD, TEXTURE: "SMOOTH";
- JAMES HARDIE: COLOUR: "MATCH TO WALNUT CEDAR"
- 15 ROOF SOFFIT;
- COLOUR: WOOD FINISH
- 16 ALUMINUM/GLASS PATIO PRIVACY SCREEN;
- COLOUR: "BLACK ANODIZED"
- 17 CURTAIN WALL (880 UT SYSTEM 3);
- XANXESS, COLOUR: "BLACK ANODIZED", C/W GRAY SPANDREL PANEL;
- COLOUR: "BLACK ANODIZED"
- 18 ALUMINUM PICKET BALCONY RAILING;
- COLOUR: "BLACK ANODIZED"
- 19 ALUMINUM PICKET RAILING/ AC GUARD RAILING/ GUARD RAILING;
- COLOUR: "BLACK ANODIZED"
- 20 CONCRETE WALL;
- COLOUR: "CLEAR SEALER"
- 21 NOT USED
- 22 PLASTER
- AS PER LANDSCAPING
- 23 CONCRETE WALL: BRICK PATTERN STAMPED;
- COLOUR AND PATTERN TO MATCH WITH BUILDING EXTERIOR BRICK;
- 24 CEMENT BOARD SMOOTH PANEL SIDING (C/W COLOUR MATCHED REVEALS);
- JAMES HARDIE: COLOUR: DARK GRAY - EASY TRIM 5/16" REVEAL PANEL SYS.
- 25 CEMENT BOARD CEDAR/MILL HORIZONTAL LAP SIDING (6" EXPOSURE);
- JAMES HARDIE: COLOUR: "ARCTIC WHITE"

NOTES:
1. MATERIAL TERMINATIONS AND INTERSECTIONS WITH OTHER MATERIALS REQUIRE MOCK-UPS AS PER PROJECT MANUAL.
2. ALL CLADDING MATERIALS SHOWN RETURN AT BUILDING PERIMETER RECESSES U.N.O.

5. hardie panel - evening blue



2. hardie panel - arctic white



9. pvc siding - walnut cedar



3. hardie panel - gray slate



1. hardie panel - light mist



4. hardie board - medium dark gray



8. brick - ebony



7. hardie board & batten - medium dark gray



24. hardie board - dark gray



25. hardie lap - arctic white



THE HUDSON

20020 & 20010 MICHAUD CRESCENT, 5380 & 5370 200 STREET,
5371 & 5381 200A STREET, AND 20031 538 STREET, CITY OF LANGLEY, BC

MATERIAL BOARD

SCALE: N.T.S.

RE-ISSUED FOR DEVELOPMENT PERMIT

21-09-24 REVISION #: 2

PROJECT NUMBER: 21-121



SD4.07



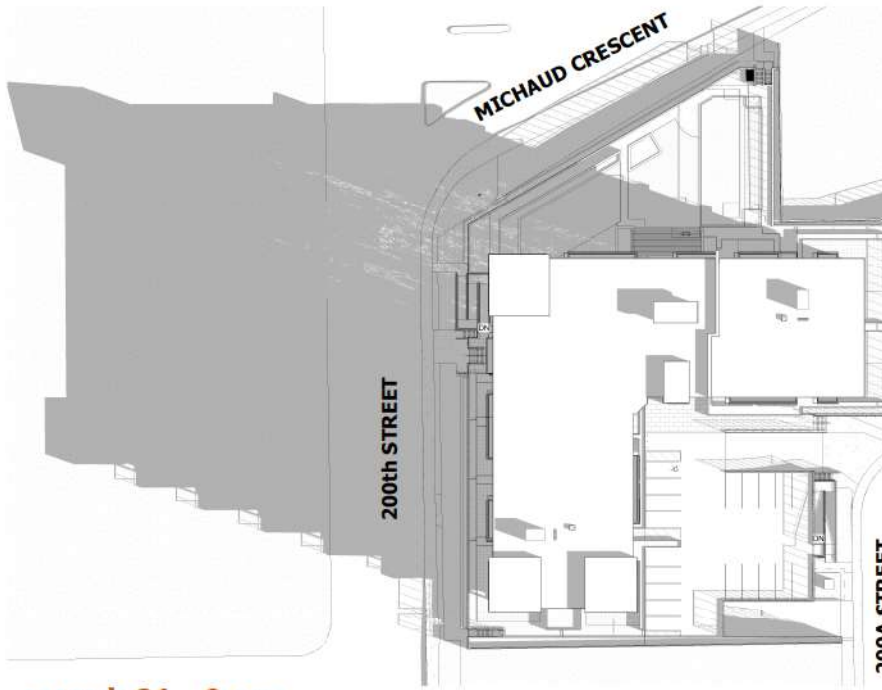
200th street streetscape

3/32" = 1'-0"

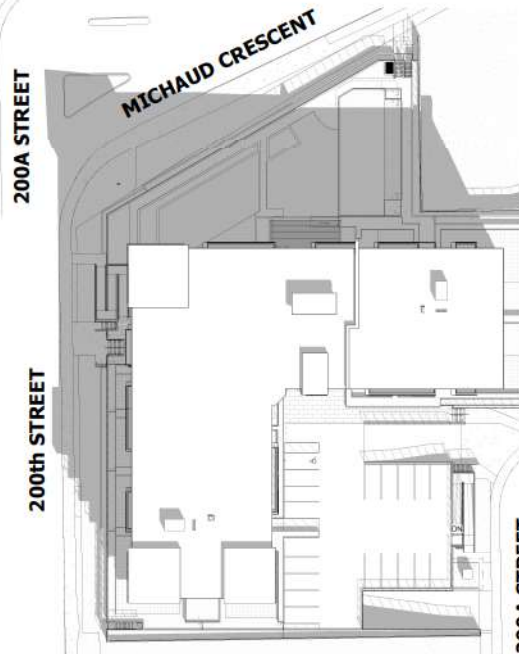


Michaud Crescent streetscape

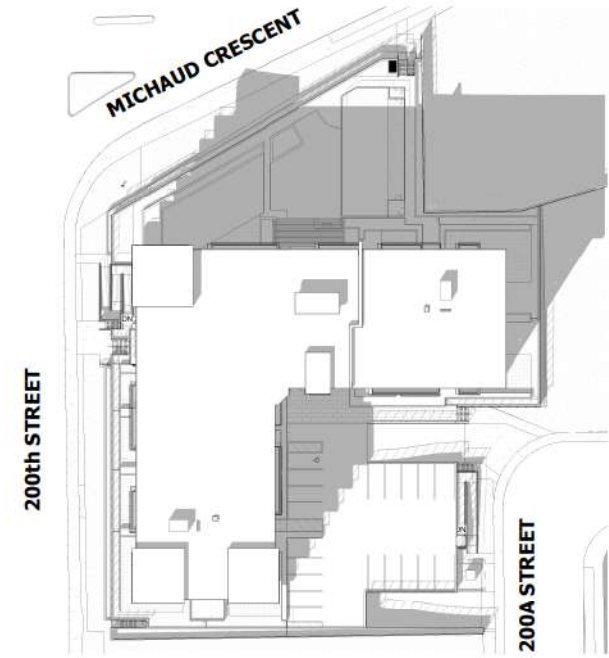
3/32" = 1'-0"



march 21 - 9 am
1" = 30'-0"

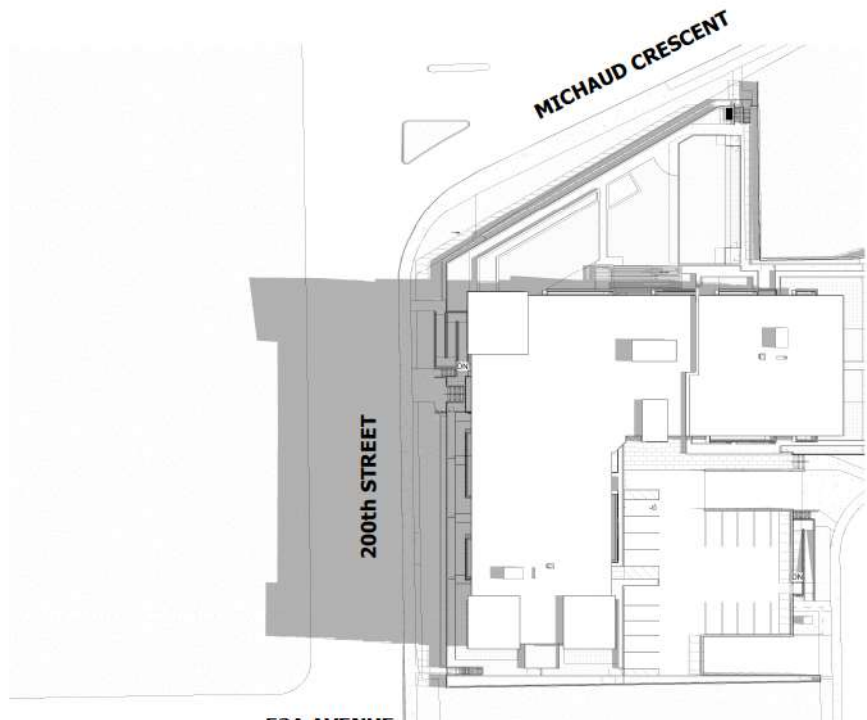


march 21 - 12 pm
1" = 30'-0"

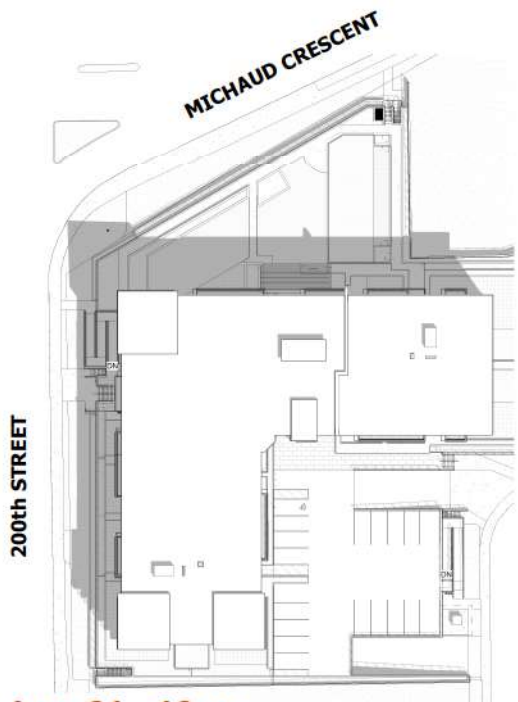


march 21 - 3 pm
1" = 30'-0"

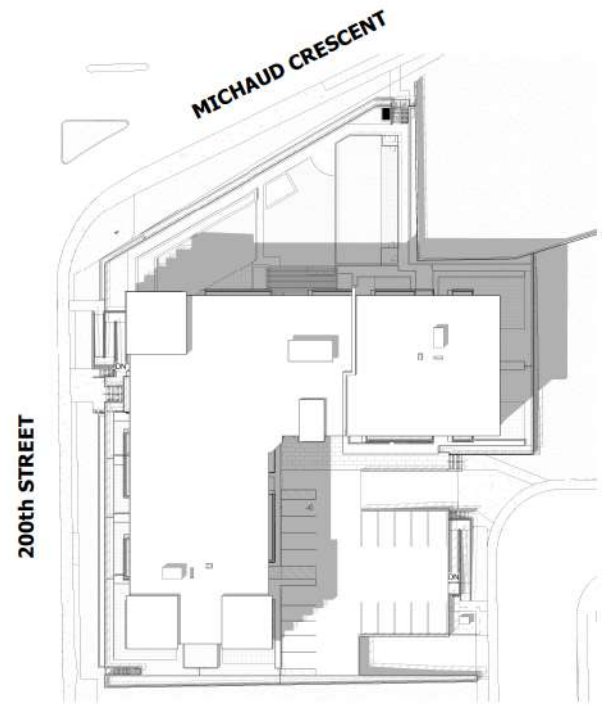




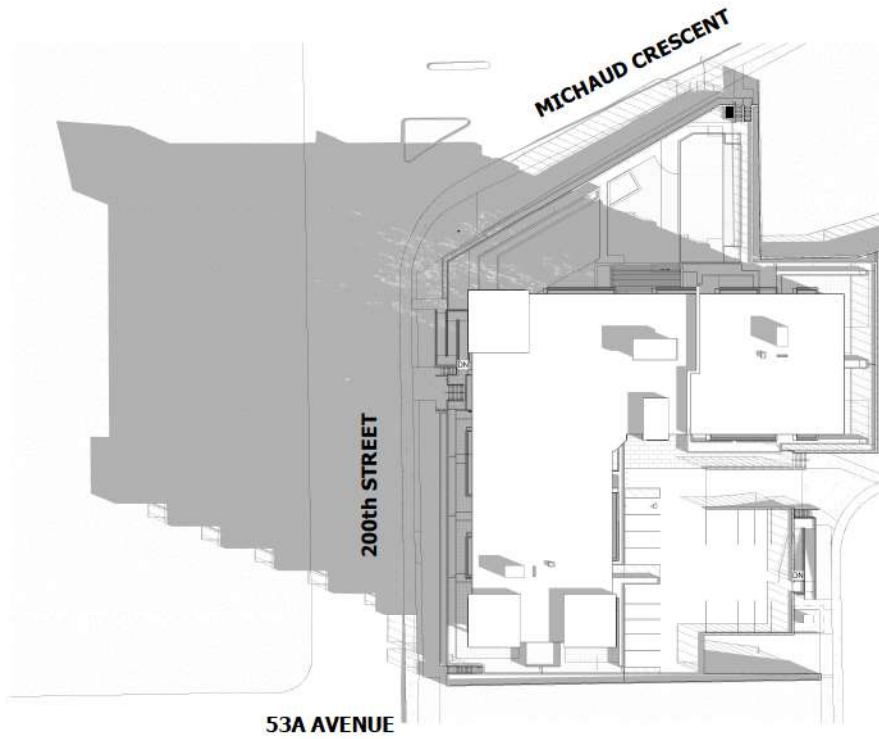
june 21 - 9 am 53A AVENUE
1" = 30'-0"



june 21 - 12 pm
1" = 30'-0"



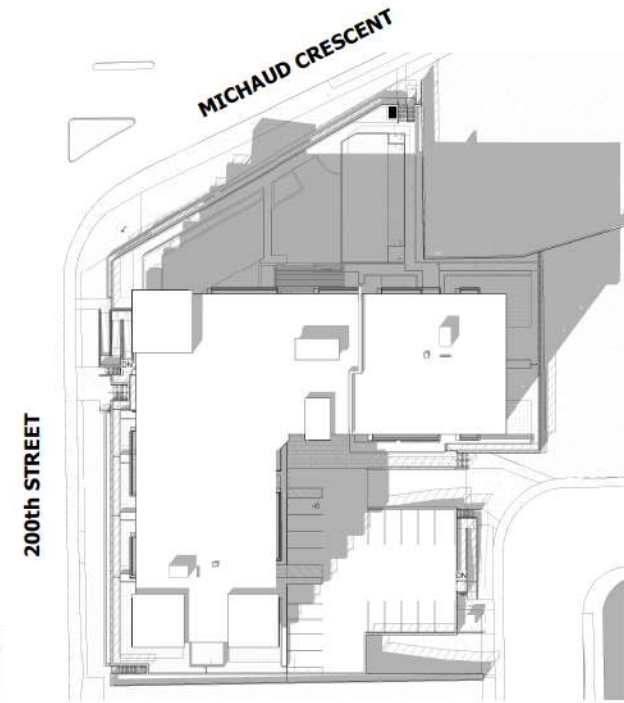
june 21 - 3 pm
1" = 30'-0"



september 21 - 9 am
1" = 30'-0"



september 21 - 12 pm
1" = 30'-0"



september 21 - 3 pm
1" = 30'-0"



keystonearch.ca

THE HUDSON

20020 & 20010 MICHAUD CRESCENT, 5380 & 5370 200 STREET,
5371 & 5381 200A STREET, AND 20031 53B STREET, CITY OF LANGLEY, BC

SHADOW STUDY - SEPTEMBER

SCALE: N.T.S.



RE-ISSUED FOR DEVELOPMENT PERMIT

21-09-24 REVISION #: 2

PROJECT NUMBER: 21-121



SD5.12



north west corner



north east corner



THE HUDSON

20020 & 20010 MICHAUD CRESCENT, 5380 & 5370 200 STREET,
5371 & 5381 200A STREET, AND 20031 538 STREET, CITY OF LANGLEY, BC

3D MASSING PERSPECTIVES

SCALE: N.T.S.

RE-ISSUED FOR DEVELOPMENT PERMIT

21-09-24 REVISION #: 2

PROJECT NUMBER: 21-121



SD5.20



south east corner



south west corner



THE HUDSON

20020 & 20010 MICHAUD CRESCENT, 5380 & 5370 200 STREET,
5371 & 5381 200A STREET, AND 20031 538 STREET, CITY OF LANGLEY, BC

3D MASSING PERSPECTIVES

SCALE: N.T.S.

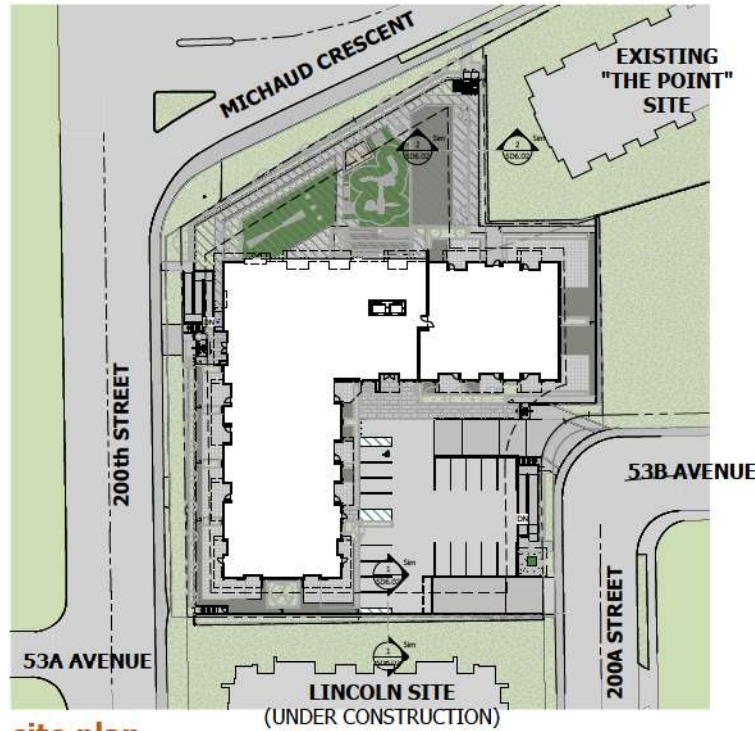
RE-ISSUED FOR DEVELOPMENT PERMIT

21-09-24 REVISION #: 2

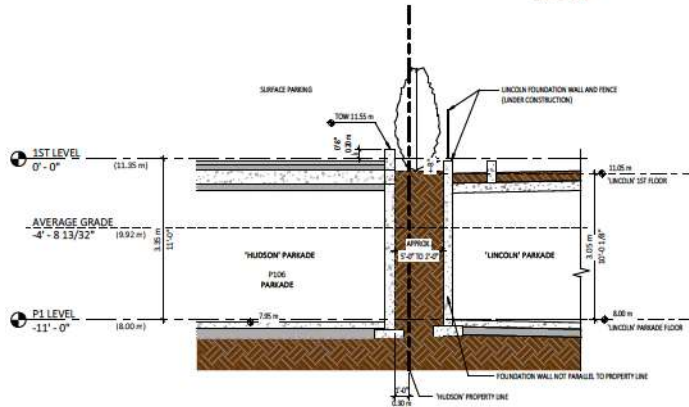
PROJECT NUMBER: 21-121



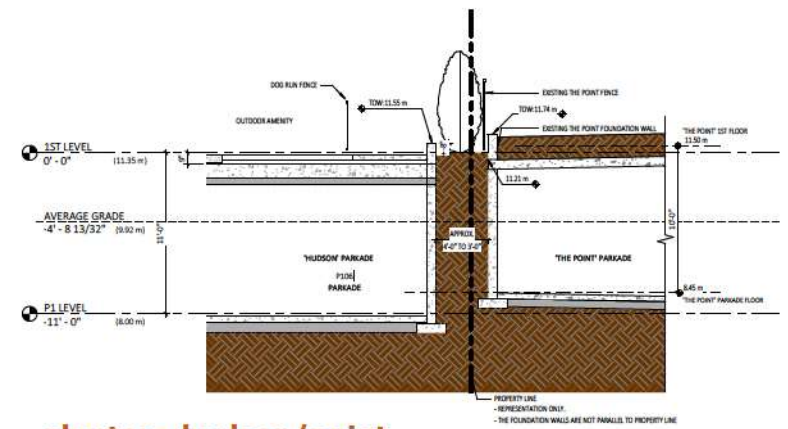
SD5.21



site plan
1/32" = 1'-0"



planter - hudson/lincoln
1/4" = 1'-0"



planter - hudson/point
1/4" = 1'-0"



THE HUDSON

20020 & 20010 MICHAUD CRESCENT, 5380 & 5370 200 STREET,
5371 & 5381 200A STREET, AND 20031 53B STREET, CITY OF LANGLEY, BC

PLANTER SECTIONS

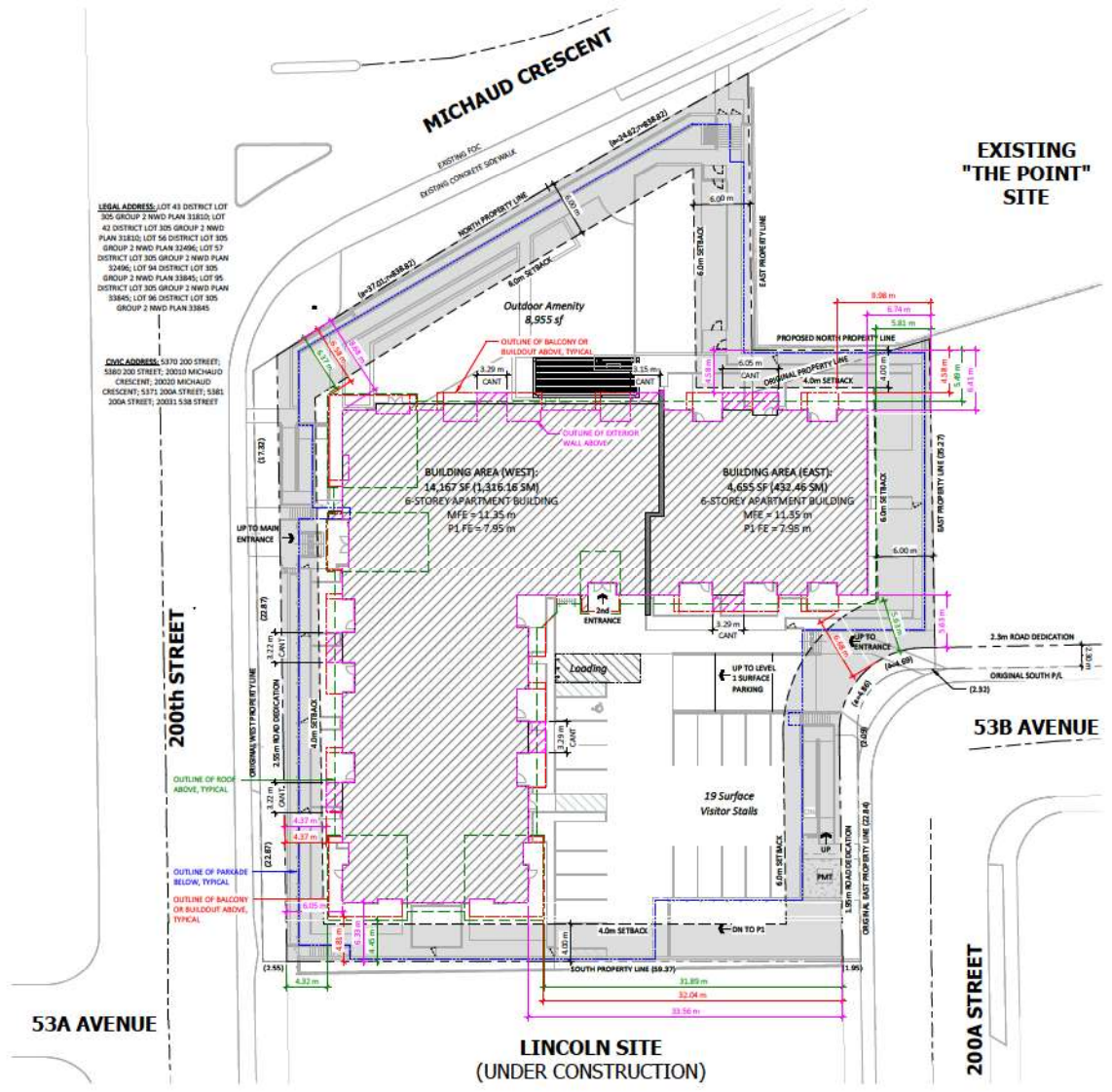
SCALE: N.T.S.



RE-ISSUED FOR DEVELOPMENT PERMIT

21-09-24 REVISION #: 2
PROJECT NUMBER: 21-121





site layout legend

- ⋄ ARC LENGTH (m)
- r RADIUS (m)
- MFE MAIN FLOOR ELEVATION (m ABOVE SEA LEVEL)
- FE FLOOR ELEVATION (m ABOVE SEA LEVEL)
- BALC BALCONY
- CANT CANTILEVERED (CONDITIONED SPACE)
- STRK SETBACK

- INDICATES OUTLINE OF BALCONY OR BUILDOUT ABOVE
- INDICATES OUTLINE OF EXTERIOR WALL
- INDICATES OUTLINE OF ROOF ABOVE
- INDICATES OUTLINE OF PARKADE

The Hudson

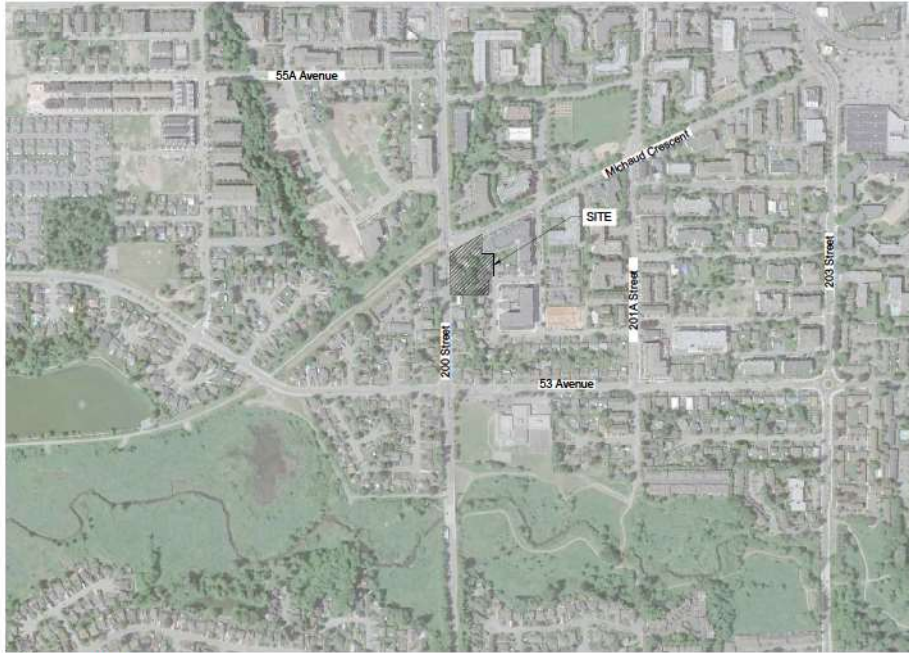
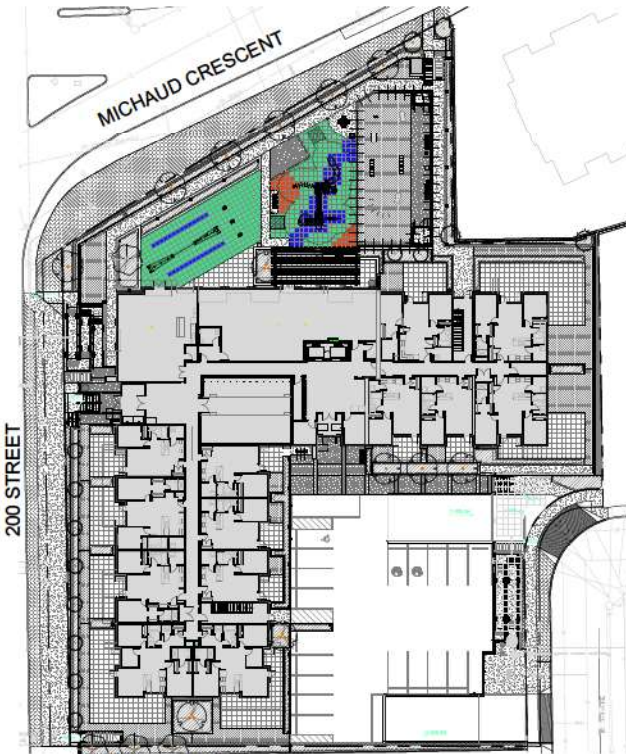
Issued for Building Permit

Contact Information	Other Key Contacts:	
<p>VDZ+A Project Landscape Architecture</p> <p>Fort Langley Studio 100 - 9181 Church Street Fort Langley, British Columbia, V1M 2R8</p> <p>Mount Pleasant Studio 102-3535 Kingsway Vancouver, British Columbia, V5T 3J7</p> <p>Primary project contact: Andrew Danielson andrew@vdz.ca o. 604 545 0531</p> <p>Alternate contacts (in case away): Mark van der Zalm Principal Landscape Architect mark@vdz.ca o. 604 545 0520</p>	<p>Tannin Developments Project Owner</p>	<p>Keystone Architecture & Planning Ltd. Project Building Architecture</p> <p>300-33131 South Fraser Way Abbotsford, BC V2S 2B1 o. 604 850 0577</p>
<p>Legal Address and Description:</p> <p>5370 200th Street: Lot 43 District Lot 305 Group 2 NWD Plan 31810 Parcel ID: 006-678-952 5380 200th Street: Lot 43 District Lot 305 Group 2 NWD Plan 31810 Parcel ID: 006-678-912 30010 Michaud Cr: Lot 56 District Lot 305 Group 2 NWD Plan 32496 Parcel ID: 002-332-019 20025 Michaud Cr: Lot 57 District Lot 305 Group 2 NWD Plan 32496 Parcel ID: 006-656-405 5371 200A Street: Lot 94 District Lot 305 Group 2 NWD Plan 33845 Parcel ID: 006-888-551 5381 200A Street: Lot 94 District Lot 305 Group 2 NWD Plan 33845 Parcel ID: 006-888-551 20031 538 Ave: Lot 96 District Lot 305 Group 2 NWD Plan 33845 Parcel ID: 006-888-526</p>		

Sheet List Table

Sheet Number	Sheet Title
L-01	COVER PAGE
L-02	TREE MANAGEMENT PLAN
L-03	OVERALL SITE PLAN
L-04	SITE PLAN NORTH
L-05	SITE PLAN SOUTH
L-06	SITE PLAN EAST
L-07	PLANTING PLAN NORTH
L-08	PLANTING PLAN SOUTH
L-09	PLANTING PLAN EAST
LS-01	SECTIONS
LD-01	DETAILS

LD-02	DETAILS
LD-03	DETAILS
LD-04	DETAILS
LD-05	DETAILS
LD-06	DETAILS
LN-01	GENERAL NOTES
LN-02	GENERAL NOTES



No.	By	Description	Date
8	AD	Issued for Building Permit	Sept 21, 2022
7	AD	Issued for Pre-Building Permit	June 16, 2022
6	AD	Issued for 90% BP	May 13, 2022
5	AD	Issued for 60% BP	Apr 22, 2022
4	AD	Issued for 30% BP	Mar 25, 2022
3	AD	Re-issued for DP	Sept 22, 2021
2	AD	Issued for Development Permit	Sept 3, 2021
1	AD	Issued for Development Permit	June 29, 2021

REVISIONS TABLE FOR DRAWINGS
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No.	By	Description	Date

REVISIONS TABLE FOR SHEET

Project:
 THE HUDSON

Location:
 5382 - 200 Street
 Langley, B.C.

Drawn: AD
 Checked: AD
 Approved: MVDZ
 Scale: AS SHOWN

Stamp: PROJECT ARCHT. Mark van der Zalm 303 2023-07-26

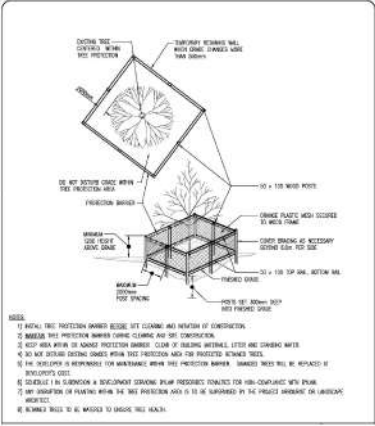
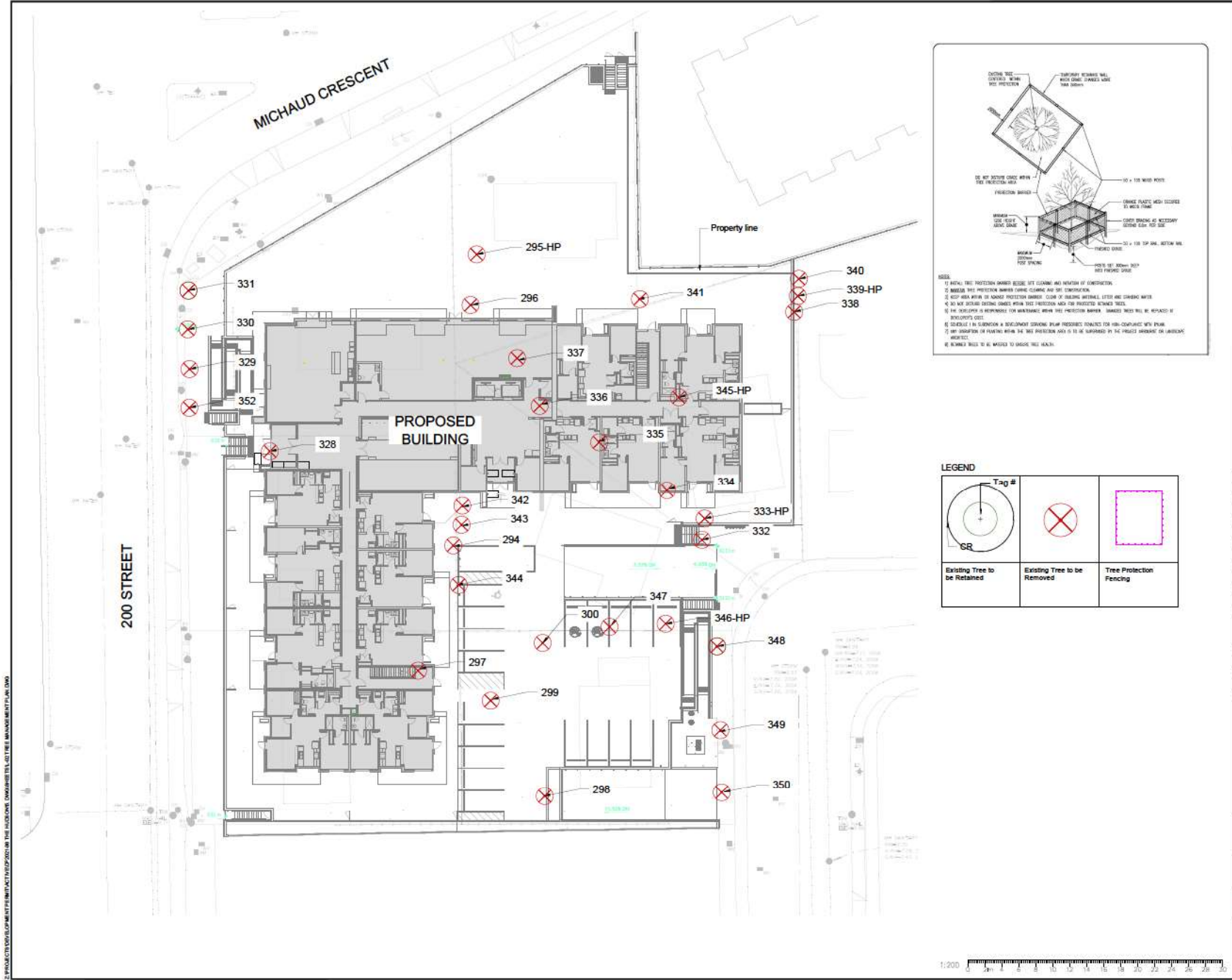
CONTRACTOR SHALL CHECK ALL DIMENSIONS OF THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT IMMEDIATELY. THE CONSULTANT SHALL NOT BE RESPONSIBLE FOR ANY DISCREPANCY OR OMISSIONS AND INDICATIONS WITH THE EXCEPTED PROPERTY OF THE OWNER AND SHALL BE AVAILABLE AT THE COMPLETION OF THE WORK. ALL DIMENSIONS AND WORK SHALL BE MEASURED AND CHECKED BY THE CONTRACTOR. DIMENSIONS SHALL BE SHOWN AS SHOWN ON THE DRAWING.

Drawing Title:
COVER PAGE



VDZ Project #
DP2021-38

Drawing #
L-01



LEGEND

	Tag #		
Existing Tree to be Retained		Existing Tree to be Removed	Tree Protection Fencing

VDZ+A
 FORT LANGLEY STUDIO MOUNT PLEASANT STUDIO
 330-9281 Church St 333-3551 Kingsway
 Fort Langley, BC 100-30000, BC
 VIM 2R6 VST 2J7
 www.vdz.ca 604-882-0524

No.	By	Description	Date
8	AD	Issued for Building Permit	Sept 21, 2022
7	AD	Issued for Pre-Building Permit	June 16, 2022
6	AD	Issued for 80% BP	May 13, 2022
5	AD	Issued for 60% BP	Apr 22, 2022
4	AD	Issued for 30% BP	Mar 25, 2022
3	AD	Re-issued for DP	Sept 22, 2021
2	AD	Issued for Development Permit	Sept 3, 2021
1	AD	Issued for Development Permit	June 28, 2021

REVISIONS TABLE FOR DRAWINGS

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No.	By	Description	Date
1	DY	Issued for Admittal Report	2021-06-17

REVISIONS TABLE FOR SHEET

No.	By	Description	Date
-----	----	-------------	------

Project:
THE HUDSON

Location:
 5382 - 200 Street
 Langley, B.C.

Drawn:
 DY

Checked:
 KM

Approved:
 MVDZ

Scale:
 1:200



CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE FIELD AND REPORT ANY DISCREPANCY TO THE CONSULTANT AND THE CONSULTANT. ALL DIMENSIONS AND SPECIFICATIONS ARE THE SOLE PROPERTY OF THE CONSULTANT AND SHALL BE VALIDATED AT THE COMPLETION OF THE WORK. ALL DIMENSIONS AND SPECIFICATIONS SHALL BE VALIDATED AT THE COMPLETION OF THE WORK. ALL DIMENSIONS AND SPECIFICATIONS SHALL BE VALIDATED AT THE COMPLETION OF THE WORK. ALL DIMENSIONS AND SPECIFICATIONS SHALL BE VALIDATED AT THE COMPLETION OF THE WORK.

Drawing Title: TREE MANAGEMENT PLAN



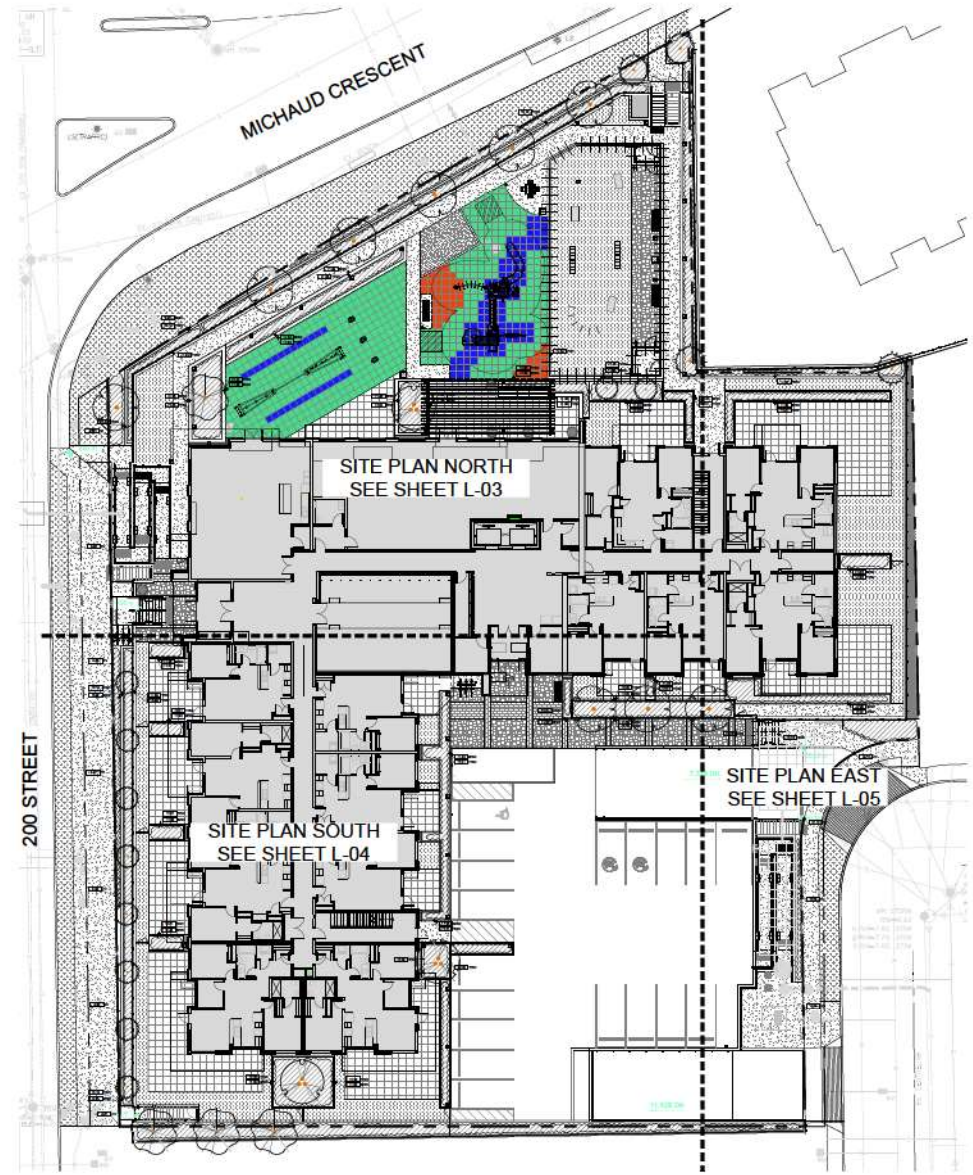
VDZ Project # DP2021-38

Drawing # L-02

2. PROJECT DEVELOPMENT IMPACT INVESTIGATION FOR THE HUDSON, OWNERSHIP OF THE TREE MANAGEMENT PLAN

PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	Acer palmatum 'Bloodgood' / Bloodgood Japanese Maple	B&B	5cm		3
	Liquidambar styraciflua 'Slender Silhouette' / Slender Silhouette Sweet Gum	B&B	5cm		10
	Magnolia x 'Daybreak' / Daybreak Magnolia	B&B	5cm		4
	Parrotia persica 'Inge's Ruby Vase' TM / Ruby Vase Persian Parrotia	B&B	5cm		6
	Picea pungens 'Frostal' / Frostal Blue Spruce	B&B	2.5m H		4



VDZ+A
 FORT LANGLEY STUDIO MOUNT PLEASANT STUDIO
 330-9381 Church St 333-3351 Kingsway
 Fort Langley, BC 1000000, BC
 VIM 2B6 WST 37
 www.vdz.ca 604-882-0524

No.	By	Description	Date
8	AD	Issued for Building Permit	Sept 21, 2022
7	AD	Issued for Pre-Building Permit	June 16, 2022
6	AD	Issued for 90% BP	May 13, 2022
5	AD	Issued for 80% BP	Apr 22, 2022
4	AD	Issued for 30% BP	Mar 25, 2022
3	AD	Re-issued for DP	Sept 22, 2021
2	AD	Issued for Development Permit	Sept 3, 2021
1	AD	Issued for Development Permit	June 28, 2021

REVISIONS TABLE FOR DRAWINGS
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No.	By	Description	Date

REVISIONS TABLE FOR SHEET

Project:
THE HUDSON

Location:
5382 - 200 Street
Langley, B.C.

Drawn:
AD

Checked:
AD

Approved:
MVDZ

Scale:
1:200



Original Sheet Size:
24"x36"

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE FIELD AND REPORT ANY DISCREPANCY TO THE CONSULTANT AND THE PROJECT MANAGER. ALL DIMENSIONS AND SPECIFICATIONS ARE THE SOLE RESPONSIBILITY OF THE OWNER AND SHALL BE FURNISHED AT THE COMPLETION OF THE WORK. ALL DIMENSIONS AND SPECIFICATIONS SHALL BE FURNISHED TO THE CONTRACTOR IN WRITING AND SHALL BE LABELED OR SHOWN FOR THE CONTRACTOR'S USE.

Drawing Title:
OVERALL SITE PLAN

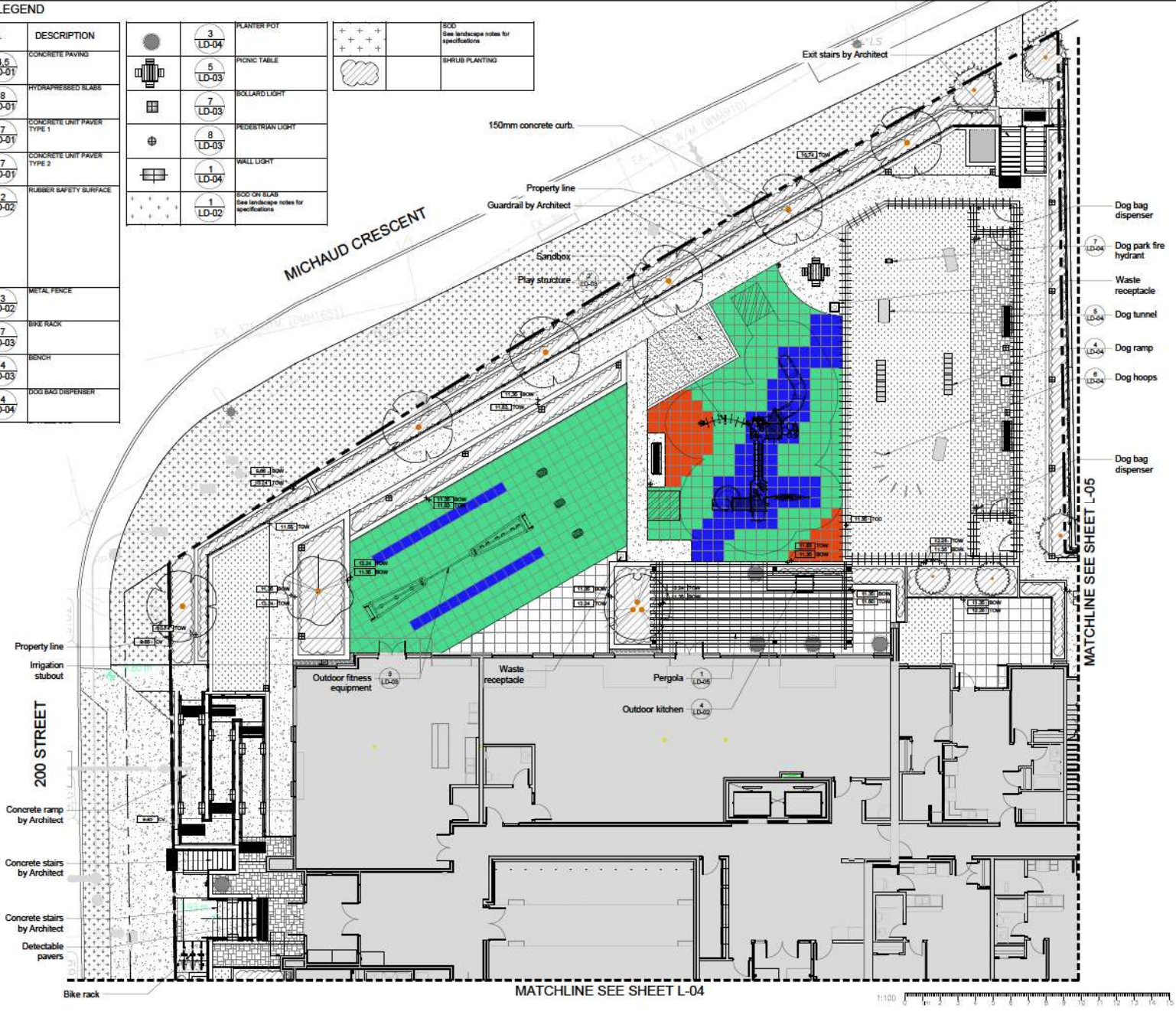


VDZ Project #
DP2021-38

Drawing #
L-03

LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION	SYMBOL	REF.	DESCRIPTION
[Pattern]	4.6 LD-01	CONCRETE PAVING	[Symbol]	3 LD-04	PLANTER POT
[Pattern]	8 LD-01	HYDRAPRESSED BLASS	[Symbol]	5 LD-03	PICNIC TABLE
[Pattern]	7 LD-01	CONCRETE UNIT PAVER TYPE 1	[Symbol]	7 LD-03	BOLLARD LIGHT
[Pattern]	7 LD-01	CONCRETE UNIT PAVER TYPE 2	[Symbol]	8 LD-03	PEDESTRIAN LIGHT
[Color]	2 LD-02	RUBBER SAFETY SURFACE	[Symbol]	1 LD-04	WALL LIGHT
[Symbol]	3 LD-02	METAL FENCE	[Symbol]	1 LD-02	SOO-TOP ECAS
[Symbol]	7 LD-03	BIKE RACK	[Symbol]		See landscape notes for specifications
[Symbol]	4 LD-03	BENCH	[Symbol]		See landscape notes for specifications
[Symbol]	4 LD-04	DOG BAG DISPENSER	[Symbol]		See landscape notes for specifications
[Symbol]			[Symbol]		See landscape notes for specifications
[Symbol]			[Symbol]		See landscape notes for specifications



VDZ+A
 VIZUALIZACIJA I DIZAJN
 FORT LANGLEY STUDIO MOUNT PLEASANT STUDIO
 330-9381 Church St. 333-351 Kingsway
 Fort Langley, BC Vancouver, BC
 VIM 3M VST 37
 www.vdz.ca 604-822-0524

No.	By	Description	Date
8	AD	Issued for Building Permit	Sept 21, 2022
7	AD	Issued for Pre-Building Permit	June 16, 2022
6	AD	Issued for 90% BP	May 13, 2022
5	AD	Issued for 60% BP	Apr 22, 2022
4	AD	Issued for 30% BP	Mar 25, 2022
3	AD	Re-issued for DP	Sept 22, 2021
2	AD	Issued for Development Permit	Sept 3, 2021
1	AD	Issued for Development Permit	June 29, 2021

REVISIONS TABLE FOR DRAWINGS
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Project:
THE HUDSON

Location:
 5382 - 200 Street
 Langley, B.C.

Drawn: AD
 Checked: AD
 Approved: MVDZ
 Scale: 1:100



CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE FIELD AND REPORT ANY DISCREPANCY TO THE CONSULTANT AND THE CONSULTANT SHALL CORRECT THE DISCREPANCY WITH THE BILLING BEFORE THE COMMENCEMENT OF THE WORK. ALL DIMENSIONS AND FINISHES SHALL BE AS SHOWN ON THE DRAWINGS UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND FINISHES SHOWN ON THE DRAWINGS.

Drawing Title:
SITE PLAN NORTH

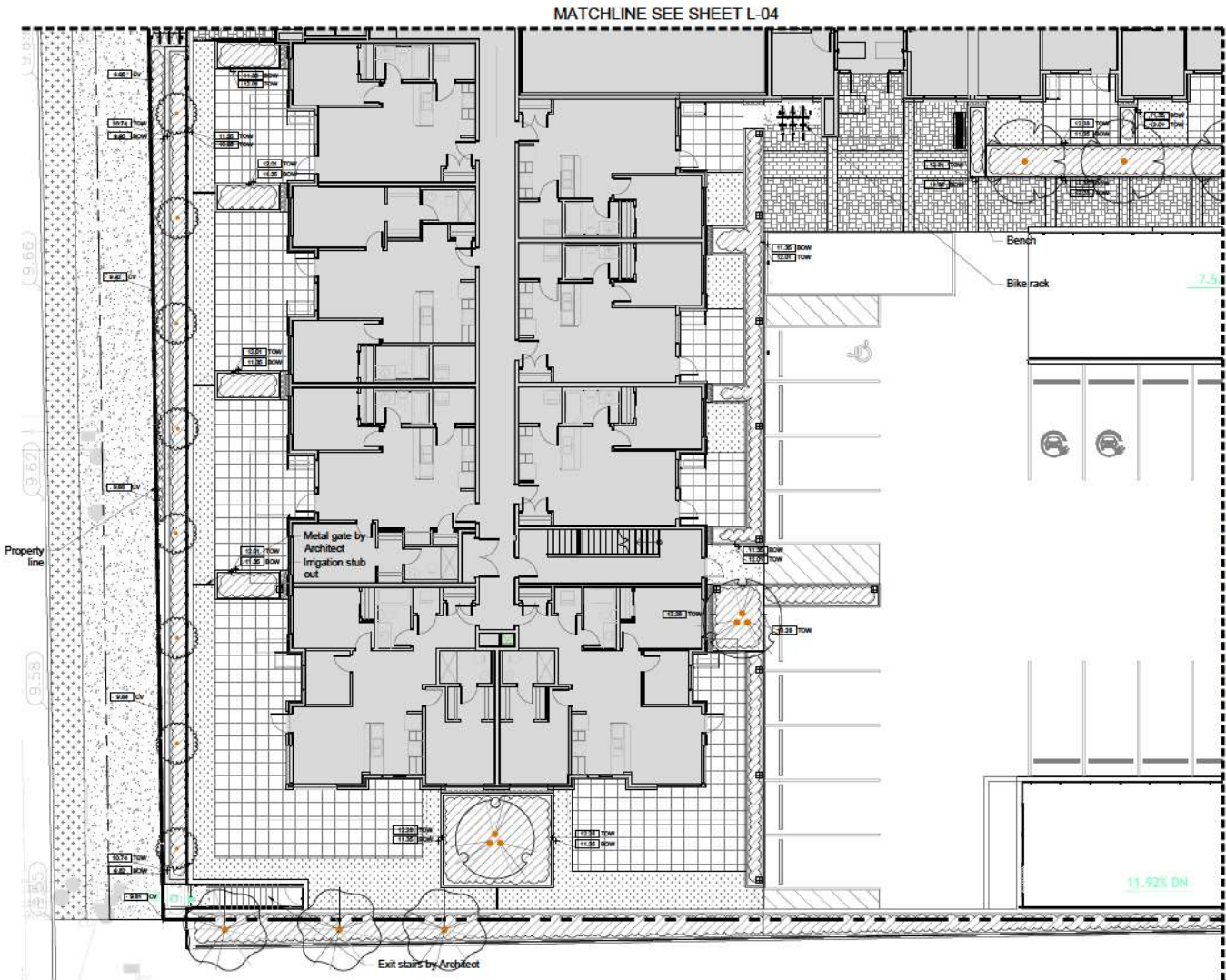


VDZ Project #
DP2021-38

Drawing #
L-04

2. PROJECT DEVELOPMENT IMPACT INVESTIGATION FOR THE HUDSON, DOWNSIDE STREET, LANGLEY, B.C.

2. PROJECT DEVELOPMENT IMPACT INVESTIGATION FOR THE HUDSON, OWNERS: THE HUDSON, DRAWING TITLE: SITE PLAN SOUTH



LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
	4.5 LD-01	CONCRETE PAVING
	8 LD-01	HYDRAPRESSED SLABS
	7 LD-01	CONCRETE UNIT PAVER TYPE 1
	7 LD-01	CONCRETE UNIT PAVER TYPE 2
	2 LD-02	RUBBER SAFETY SURFACE
	3 LD-02	METAL FENCE
	7 LD-03	BIKE RACK
	4 LD-03	BENCH
	4 LD-04	DOG BAG DISPENSER
	3 LD-04	PLANTER POT
	5 LD-03	PICNIC TABLE
	7 LD-03	SOLL AND LIGHT
	8 LD-03	PEDESTRIAN LIGHT
	1 LD-04	WALL LIGHT
	1 LD-02	SOD ON SLAB See landscape notes for specifications
		SOD See landscape notes for specifications
		SHRUB PLANTING

REVISIONS TABLE FOR DRAWINGS

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No.	By	Description	Date
8	AD	Issued for Building Permit	Sept 21, 2022
7	AD	Issued for Pre-Building Permit	June 16, 2022
6	AD	Issued for 90% BP	May 13, 2022
5	AD	Issued for 60% BP	Apr 22, 2022
4	AD	Issued for 30% BP	Mar 25, 2022
3	AD	Re-issued for DP	Sept 22, 2021
2	AD	Issued for Development Permit	Sept 3, 2021
1	AD	Issued for Development Permit	June 29, 2021

REVISIONS TABLE FOR SHEET

No.	By	Description	Date

Project:
THE HUDSON

Location:
5382 - 200 Street
Langley, B.C.

Drawn:
AD

Checked:
AD

Approved:
MVDZ

Scale:
1:100

Original Sheet Size:
24"x36"

Stamp:
Professional Engineer
Mark van der Palm
393
2023-07-26

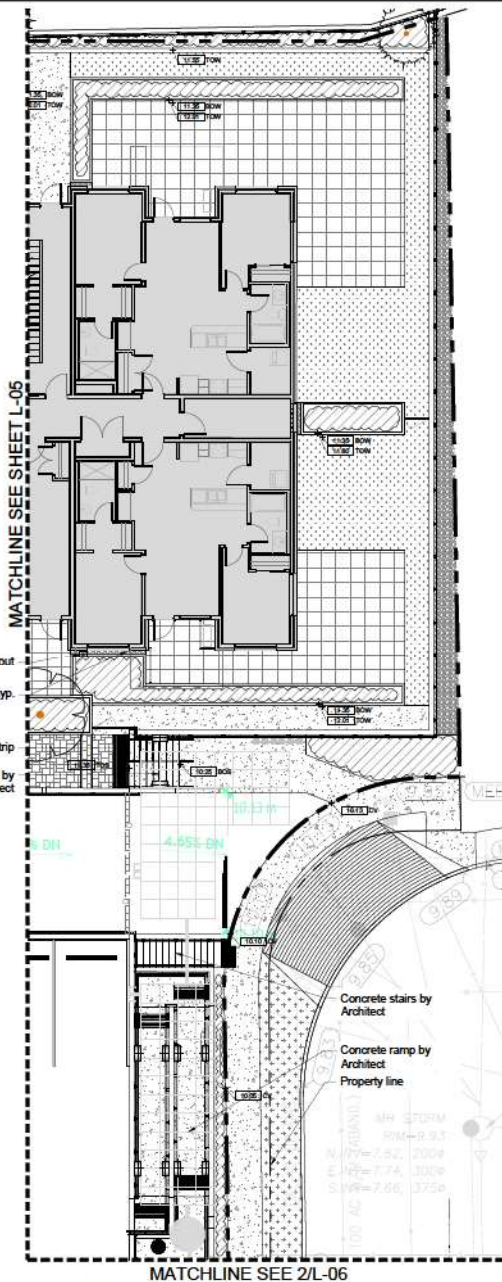


VDZ+A

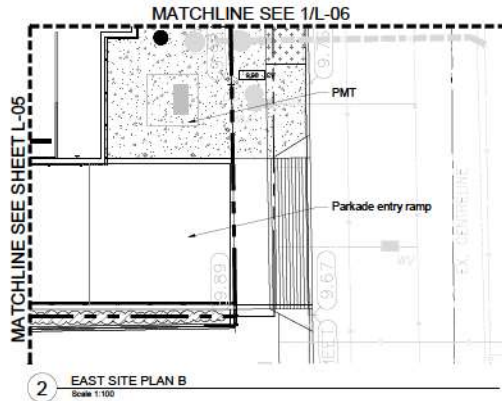
FORTE LANGLEY STUDIO MOUNT PLEASANT STUDIO
200-5281 Church St. 200-3201 Kingsway
Fort Langley, BC 100-66000, BC
VIM 2R6 VST 2J7
www.vdz.ca 604-822-0224

Drawing Title: **SITE PLAN SOUTH**
 V&D Project #: **DP2021-38**
 Drawing #: **L-05**

2. PROJECT DEVELOPMENT IMPACT INVESTIGATION BY THE HUDSON, DOWNSHEET L-06 SITE PLAN EAST 2020



1 EAST SITE PLAN A
Scale 1:100



2 EAST SITE PLAN B
Scale 1:100

LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
	4.5 LD-01	CONCRETE PAVING
	8 LD-01	HYDRAPRESSED SLABS
	7 LD-01	CONCRETE UNIT PAVER TYPE 1
	7 LD-01	CONCRETE UNIT PAVER TYPE 2
	2 LD-02	RUBBER SAFETY SURFACE
	3 LD-02	METAL FENCE
	7 LD-03	BIKE RACK
	4 LD-03	BENCH
	4 LD-04	DOG BAG DISPENSER
	3 LD-04	PLANTER POT
	5 LD-03	PICNIC TABLE
	7 LD-03	WALL AND LIGHT
	8 LD-03	PEDESTRIAN LIGHT
	1 LD-04	WALL LIGHT
	1 LD-02	SOD ON SLAB See landscape notes for specifications
		SOD See landscape notes for specifications
		SHRUB PLANTING

VDZ+A
 FORT LANGLEY STUDIO MOUNT PLEASANT STUDIO
 350-5251 Church St 222-3551 Kingsway
 Fort Langley, BC 202-3551
 VIM 2R6 VST 27
 www.vdz.ca 604-822-0524

No.	By	Description	Date
8	AD	Issued for Building Permit	Sept 21, 2022
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1	AD	Issued for Development Permit	June 29, 2021

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No.	By	Description	Date

REVISIONS TABLE FOR SHEET

No.	By	Description	Date

Project:
THE HUDSON

Location:
5382 - 200 Street
Langley, B.C.

Drawn:
AD

Checked:
AD

Approved:
MVDZ

Scale:
1:100

Original Sheet Size:
24"x36"

Stamp: PROJECT APPROVED Mark van der Palm 383 2023-07-26

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE FIELD AND REPORT ANY DISCREPANCY TO THE CONSULTANT AND THE PROJECT MANAGER. ALL DIMENSIONS AND INDICATORS ARE THE SOLE PROPERTY OF THE CONSULTANT AND SHALL BE VALIDATED AT THE COMPLETION OF THE WORK. ALL DIMENSIONS AND INDICATORS SHALL BE VALIDATED BY THE CONTRACTOR (PLEASE LABEL DIMENSIONS FOR THE CONTRACTOR).



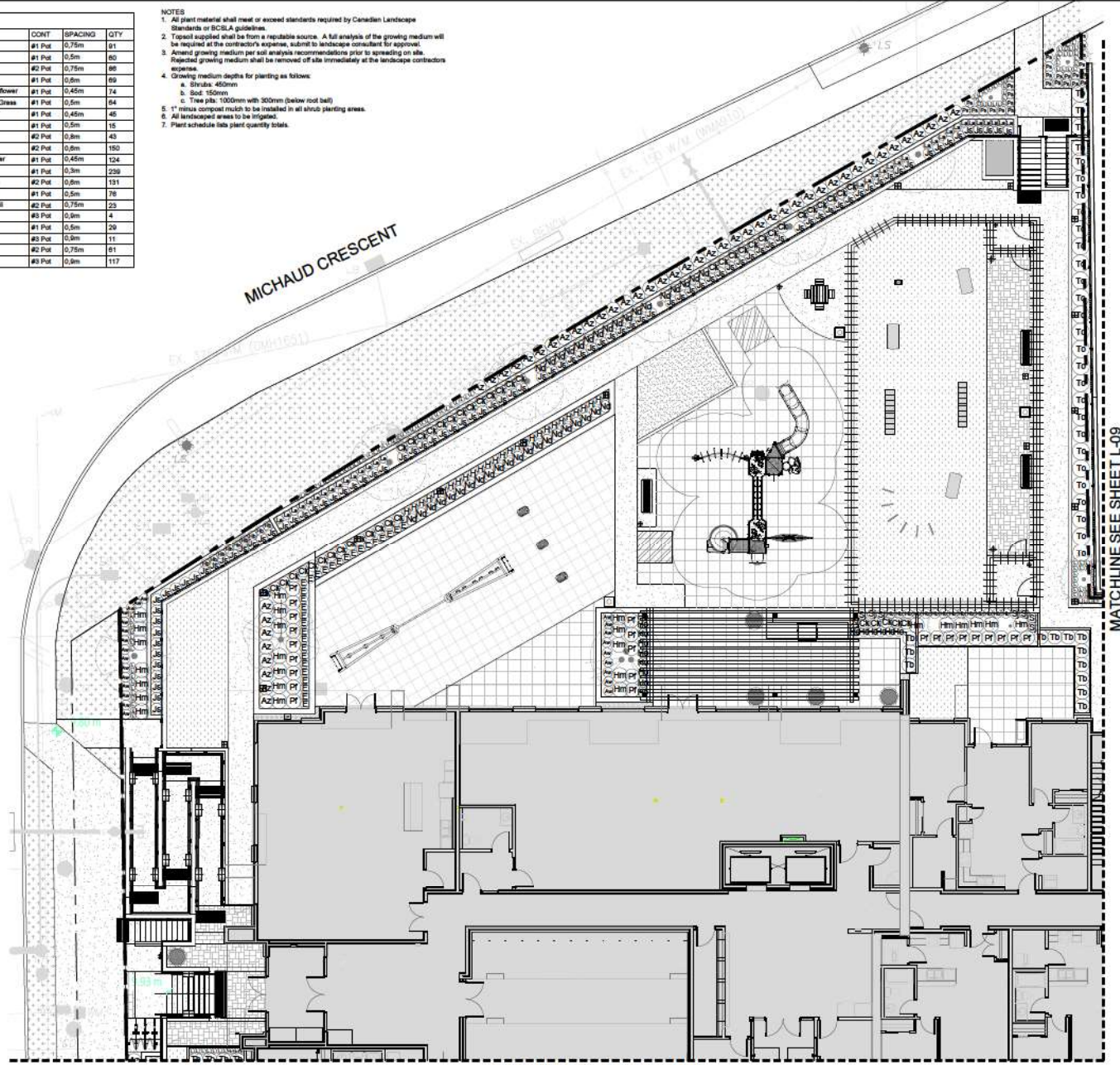
Drawing Title: SITE PLAN EAST
 Drawing # L-06
 Project # DP2021-38
 NORTH

PLANT SCHEDULE

SHRUBS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
Az	Azalea japonica 'Hino Crimson' / 'Hino Crimson'	#1 Pot	0.75m	91
Az	Azalea japonica 'Hino White' / 'Hino White Japanese Azalea'	#1 Pot	0.5m	80
B	Buxus s 'Green Mound' / 'Green Mound Boxwood'	#2 Pot	0.75m	88
Cl	Cornus sericea 'Kelsey' / 'Kelsey's Dwarf Red Twig Dogwood'	#1 Pot	0.5m	89
E	Echinacea purpurea 'Prairie Splendor' / 'Prairie Splendor Coneflower'	#1 Pot	0.45m	74
Hs	Hemerocallis meara 'Bianca' / 'Bianca Japanese Forest Grass'	#1 Pot	0.5m	84
H	Hemerocallis s 'Dad's Best White' / 'Dad's Best White Daylily'	#1 Pot	0.45m	45
Hs	Hosta s 'Titi and Lou' / 'Titi and Lou Hosta'	#1 Pot	0.5m	15
Hm	Hydrangea macrophylla 'Masje' / 'Masje Hydrangea'	#2 Pot	0.8m	43
Ja	Juniperus scopulorum 'Skyrocket' / 'Skyrocket Juniper'	#2 Pot	0.8m	150
La	Lavandula angustifolia 'Munstead' / 'Munstead English Lavender'	#1 Pot	0.45m	124
L	Liriodie muscari 'Variegata' / 'Variegated Lilyturf'	#1 Pot	0.3m	239
Nd	Nandina domestica 'Firepower' / 'Firepower Heavenly Bamboo'	#2 Pot	0.8m	131
Pa	Philadelphus s 'Snow Dwarf' / 'Snow Dwarf Mock Orange'	#1 Pot	0.5m	78
Pr	Prunella vulgaris 'Abbotswood' / 'Abbotswood Bush Cinquifolium'	#2 Pot	0.75m	23
R	Rosa rugosa 'Snow Pavement' / 'Snow Pavement Rose'	#3 Pot	0.9m	4
Sj	Spiraea japonica 'Magic Carpet' / 'Magic Carpet Spirea'	#1 Pot	0.5m	29
Sm	Syringa meyeri 'Palibor' / 'Dwarf Korean Lilac'	#3 Pot	0.9m	11
Ta	Taxus baccata 'Fastigiate Aurea' / 'Golden Irish Yew'	#2 Pot	0.75m	91
Tb	Thuja occidentalis 'Skybound' / 'Skybound Cedar'	#3 Pot	0.9m	117

NOTES

- All plant material shall meet or exceed standards required by Canadian Landscape Standards or BCSLA guidelines.
- Topsoil supplied shall be from a reputable source. A full analysis of the growing medium will be required at the contractor's expense, subject to landscape consultant's approval.
- Amend growing medium per soil analysis recommendations prior to spreading on site. Rejected growing medium shall be removed off-site immediately at the landscape contractor's expense.
- Growing medium depths for planting as follows:
 - Shrubs: 400mm
 - 600: 1500mm
 - Tree pits: 1000mm with 300mm (below root ball)
- 1" minus compost mulch to be installed in all shrub planting areas.
- All landscaped areas to be irrigated.
- Plant schedule into plant quantity table.



VDZ+A
 VANCE DUNN ARCHITECTS
 FORE LANGLEY STUDIO / MOUNT PLEASANT STUDIO
 330-9331 Church St | 333-3351 Kingsway
 Fort Langley, BC | Vancouver, BC
 V4M 2J6 | V6T 3J7
 www.vdz.ca | 604-882-0024

No.	By	Description	Date
8	AD	Issued for Building Permit	Sept 21, 2022
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No.	By	Description	Date

REVISIONS TABLE FOR SHEET

No.	By	Description	Date

Project: THE HUDSON
 Location: 5382 - 200 Street Langley, B.C.

Drawn: AD
 Checked: AD
 Approved: MVD2
 Original Sheet Size: 24"x36"

Scale: 1:100
 Date: 2023-07-26
 Mark with the Stamp

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE FIELD AND REPORT ANY DISCREPANCY TO THE CONSULTANT AND/OR ARCHITECT. ALL DIMENSIONS ARE INDICATED WITH THE DIMENSION LINE. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

Planting Plan North



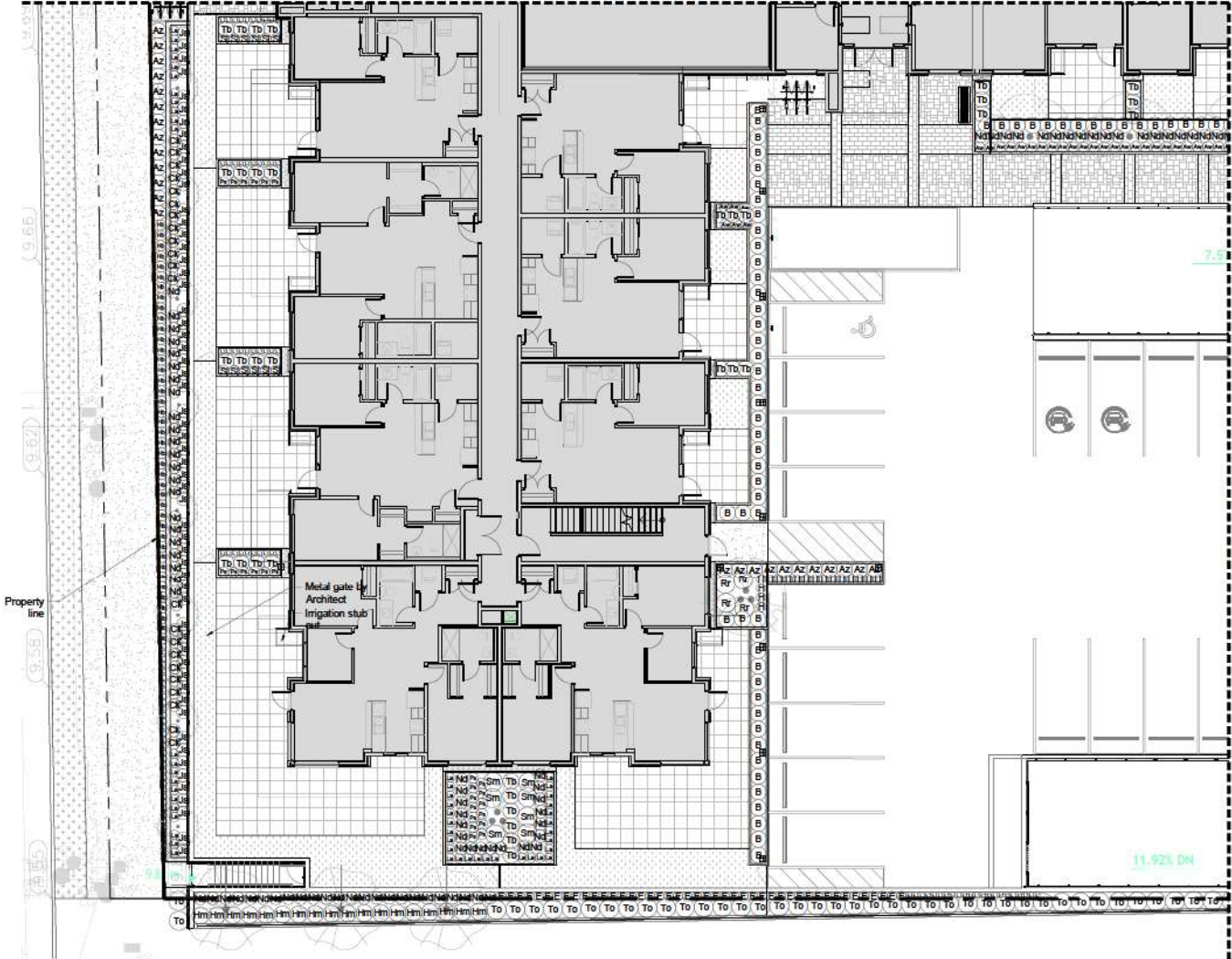
DP2021-38

L-07

2. PROJECT DEVELOPMENT IMPACT INVESTIGATION FOR THE HUDSON, DOWNSHEET LEFT PLANTING PLAN NORTH (0.00)

MATCHLINE SEE SHEET L-07

MATCHLINE SEE SHEET L-09



SHRUBS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
Az	Azalea japonica 'Hino Citrus' / 'Hino Citrus'	#1 Pot	0.75m	81
Aw	Azalea japonica 'Hino White' / Hino White Japanese Azalea	#1 Pot	0.5m	60
B	Buxus 'Green Mound' / Green Mound Boxwood	#2 Pot	0.75m	66
Ck	Cornus sericea 'Yakely' / 'Kaleya Dwarf Red Twig Dogwood'	#1 Pot	0.5m	89
E	Echinacea purpurea 'Prairie Splendor' / 'Prairie Splendor' Coneflower	#1 Pot	0.45m	74
Hb	Hakonechloa macrochaeta 'Santitas' / 'Santitas' Japanese Forest Grass	#1 Pot	0.5m	44
H	Hemerocallis x 'Dad's Best White' / 'Dad's Best White' Daylily	#1 Pot	0.45m	45
Ho	Hosta x 'Fire and Ice' / 'Fire and Ice' Hosta	#1 Pot	0.5m	15
Hm	Hydrangea macrophylla 'Masje' / 'Masje' Hydrangea	#2 Pot	0.8m	43
Jk	Juniperus scopulorum 'Skyrocket' / 'Skyrocket' Juniper	#2 Pot	0.8m	150
L	Lavandula angustifolia 'Munstead' / 'Munstead' English Lavender	#1 Pot	0.45m	124
L	Lilipae muscat 'Viregata' / 'Viregata' Lilyturf	#1 Pot	0.3m	239

Nd	Nandina domestica 'Firepower' / 'Firepower' Heavenly Bamboo	#2 Pot	0.8m	131
Pa	Philadelphus x 'Snow Dwarf' / 'Snow Dwarf' Mock Orange	#1 Pot	0.5m	78
Pf	Photinia frutescens 'Abbotwood' / 'Abbotwood' Bush Cinquefoil	#2 Pot	0.75m	23
Rr	Rosa rugosa 'Snow Pavement' / 'Snow Pavement' Rose	#3 Pot	0.5m	4
S	Spiraea japonica 'Magic Carpet' / 'Magic Carpet' Spirea	#1 Pot	0.5m	28
Sm	Syringa meyeri 'Palibor' / 'Dwarf Korean Lilac'	#3 Pot	0.5m	11
Ts	Taxus baccata 'Fastigiate Aurea' / 'Golden Irish Yew'	#2 Pot	0.75m	61
To	Tuja occidentalis 'Skybound' / 'Skybound' Cedar	#3 Pot	0.8m	117

- NOTES**
- All plant material shall meet or exceed standards required by Canadian Landscape Standards or ICLS/A guidelines.
 - Topsoil supplied shall be from a reputable source. A full analysis of the growing medium will be required at the contractor's expense, subject to landscape consultant approval.
 - Amend growing medium per soil analysis recommendations prior to spreading on site. Replaced growing medium shall be removed off site immediately at the landscape contractor's expense.
 - Growing medium depths for planting as follows:
 - a. Shrubs: 450mm
 - b. Soil: 150mm
 - c. Tree pits: 1000mm with 300mm (below root ball)
 - 11mm compost mulch to be installed in all shrub planting areas.
 - All landscaped areas to be irrigated.
 - Plant schedule lists plant quantity totals.



No.	By	Description	Date
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1	AD	Issued for Development Permit	June 29, 2021

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No.	By	Description	Date

REVISIONS TABLE FOR SHEET

Project: THE HUDSON

Location: 5382 - 200 Street Langley, B.C.

Drawn: AD

Checked: AD

Approved: MVDZ

Scale: 1:100

Stamp: PROJECT CONTROL Mark van der Zalm 303 2022-07-26

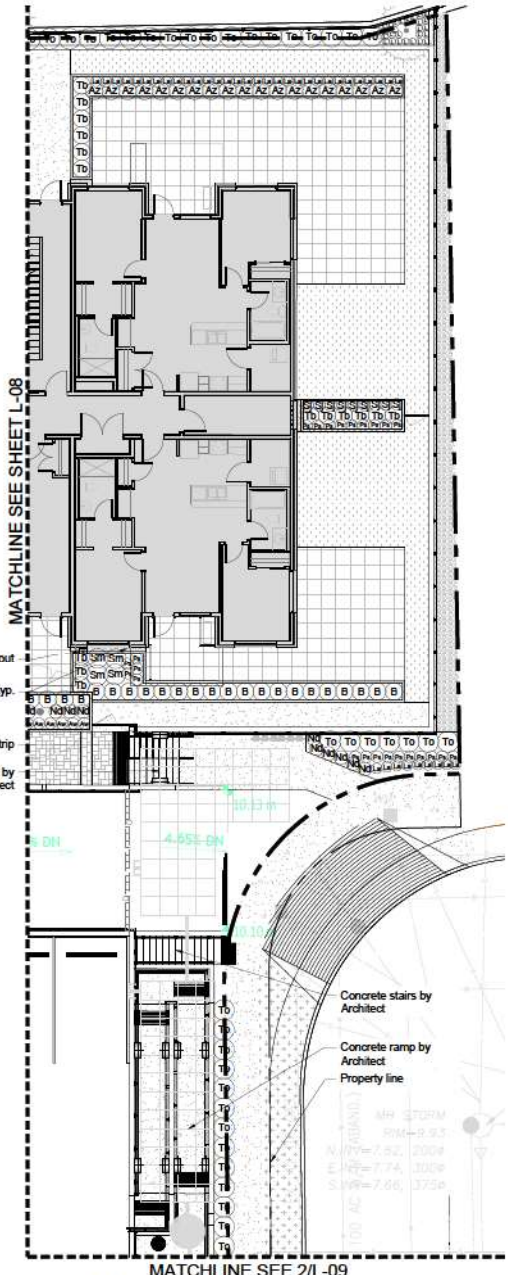
CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE FIELD AND REPORT ANY DISCREPANCY TO THE CONSULTANT AND ARCHITECT IMMEDIATELY. ALL DIMENSIONS AND INDICATIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETION OF THE WORK. ALL DIMENSIONS AND INDICATIONS ON THIS DRAWING SHALL BE USED AS THE BASIS FOR CONSTRUCTION. PLEASE LABEL ALL DIMENSIONS FROM THE CONSTRUCTION.

Drawing Title: PLANTING PLAN SOUTH

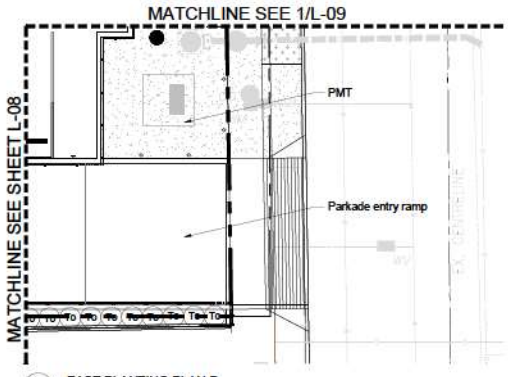


VDZ Project # DP2021-38

Drawing # L-08



1 EAST PLANTING PLAN A
 Scale 1:100



2 EAST PLANTING PLAN B
 Scale 1:100

SHRUBS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
Az	<i>Azalea japonica</i> 'Hino Crimson' / Hino Crimson	#1 Pot	0.75m	91
Azw	<i>Azalea japonica</i> 'Hino White' / Hino White Japanese Azalea	#1 Pot	0.5m	60
B	<i>Buxus</i> x 'Green Mound' / Green Mound Boxwood	#2 Pot	0.75m	86
Ck	<i>Cornus sericea</i> 'Yakayaki' / Kobayashi Dwarf Red Twig Dogwood	#1 Pot	0.6m	69
E	<i>Echinacea purpurea</i> 'Prairie Splendor' / Prairie Splendor Coneflower	#1 Pot	0.45m	74
Hb	<i>Hakonechloa macra</i> 'Semi-kaze' / Beni-kaze Japanese Forest Grass	#1 Pot	0.5m	64
H	<i>Hemerocallis</i> x 'Dad's Best White' / Dad's Best White Daylily	#1 Pot	0.45m	46
Hs	<i>Hosta</i> x 'Fire and Ice' / Fire and Ice Hosta	#1 Pot	0.5m	15
Hm	<i>Hydrangea macrophylla</i> 'Majesty' / Majesty Hydrangea	#2 Pot	0.8m	43
Jx	<i>Juniperus squarrotosa</i> 'Skyrocket' / Skyrocket Juniper	#2 Pot	0.6m	150
La	<i>Lavandula angustifolia</i> 'Munstead' / Munstead English Lavender	#1 Pot	0.45m	124
L	<i>Liriope muscari</i> 'Variegata' / Variegated Liriope	#1 Pot	0.3m	239
Nd	<i>Nandina domestica</i> 'Firepower' / Firepower Heavenly Bamboo	#2 Pot	0.6m	131
Pa	<i>Philadelphus</i> x 'Snow Dwarf' / Snow Dwarf Mock Orange	#1 Pot	0.5m	76
Pt	<i>Potentilla fruticosa</i> 'Abundant' / Abundant Bush Cinquefoil	#2 Pot	0.75m	23
Rr	<i>Rosa rugosa</i> 'Snow Facement' / Snow Facement Rose	#2 Pot	0.9m	4
Sl	<i>Spiraea japonica</i> 'Magic Carpet' / Magic Carpet Spirea	#1 Pot	0.5m	26
Sm	<i>Syringa meyeri</i> 'Palibai' / Dwarf Korean Lilac	#3 Pot	0.9m	11
Tb	<i>Taxus baccata</i> 'Fastigiate Aurea' / Golden Irish Yew	#2 Pot	0.75m	61
To	<i>Thuja occidentalis</i> 'Skybound' / Skybound Cedar	#3 Pot	0.9m	117

- NOTES**
- All plant material shall meet or exceed standards required by Canadian Landscape Standards or BCCLA guidelines.
 - Topsoil applied shall be from a reputable source. A full analysis of the growing medium will be required at the contractor's expense, submit to landscape consultant for approval.
 - Amend growing medium per soil analysis recommendations prior to spreading on site. Rejected growing medium shall be removed off site immediately at the landscape contractor's expense.
 - Draining medium depths for planting as follows:
 - Shrubs: 450mm
 - Soil: 150mm
 - Tree pits: 1000mm with 300mm (below root ball)
 - 1" minus compost mulch to be installed in all above planting areas.
 - All landscaped areas to be irrigated.
 - Plant schedule lists plant quantity lists.

No.	By	Description	Date
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1	AD	Issued for Development Permit	June 29, 2021

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No.	By	Description	Date

REVISIONS TABLE FOR SHEET

Project: THE HUDSON

Location: 5382 - 200 Street Langley, B.C.

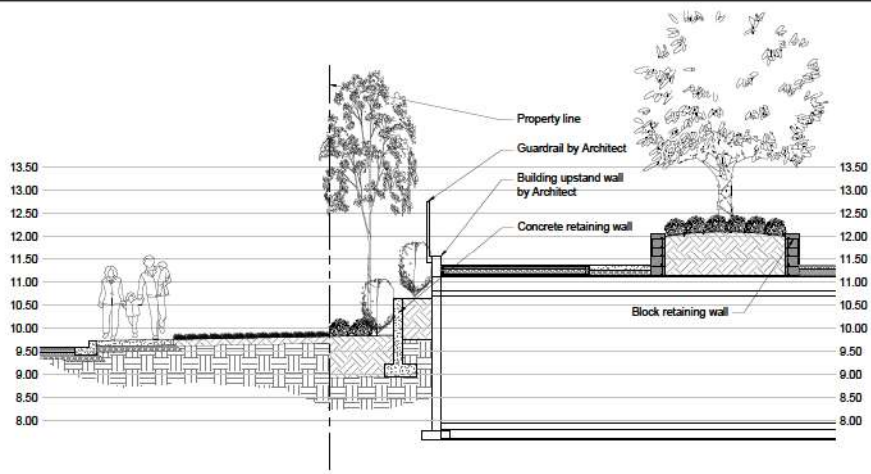
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 Checked: AD
 Approved: MVD2
 Scale: 1:100

Original Sheet Size: 24"x36"
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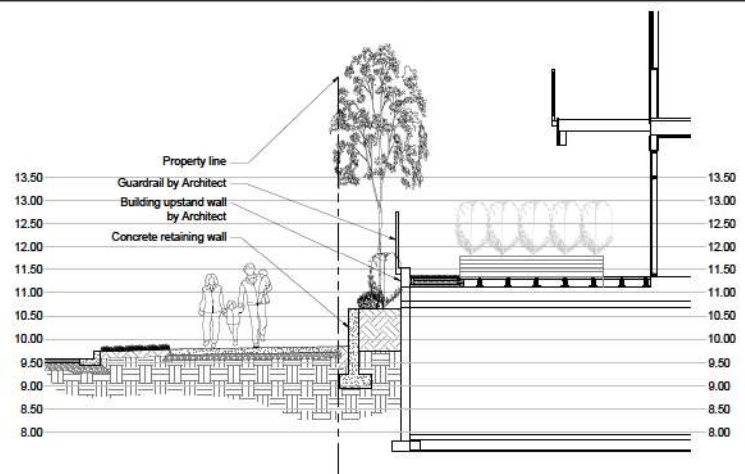


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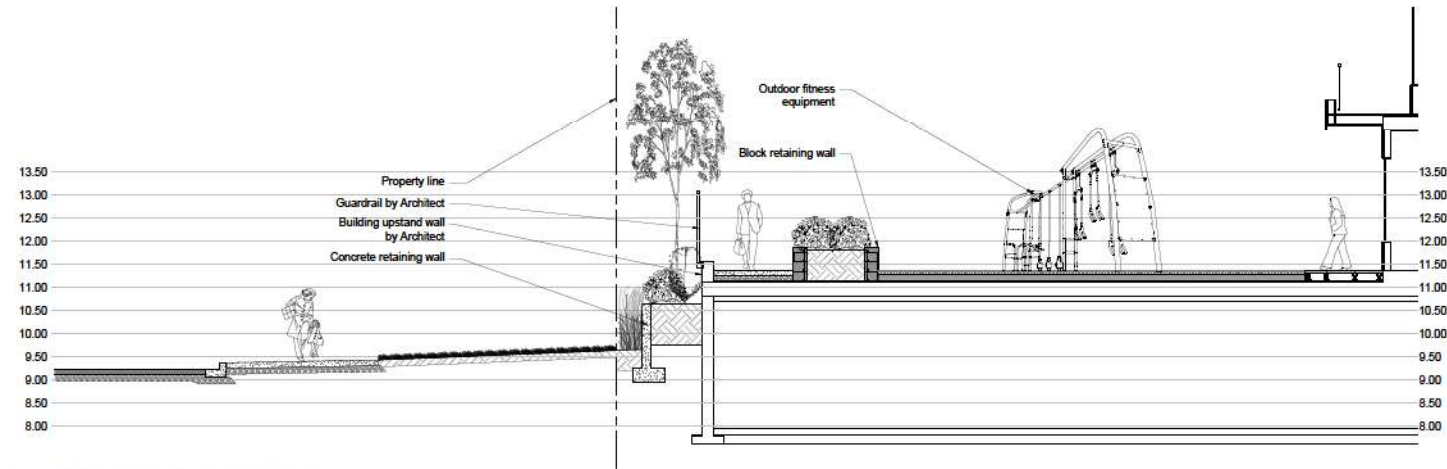




1 WEST PROPERTY LINE AT AMENITY AREA
Scale 1:50



2 WEST PROPERTY LINE AT UNIT PATIO
Scale 1:50



3 NORTH PROPERTY LINE AT AMENITY AREA
Scale 1:50

No.	By	Description	Date
8	AD	Issued for Building Permit	Sept 21, 2022
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1	AD	Issued for Development Permit	June 28, 2021

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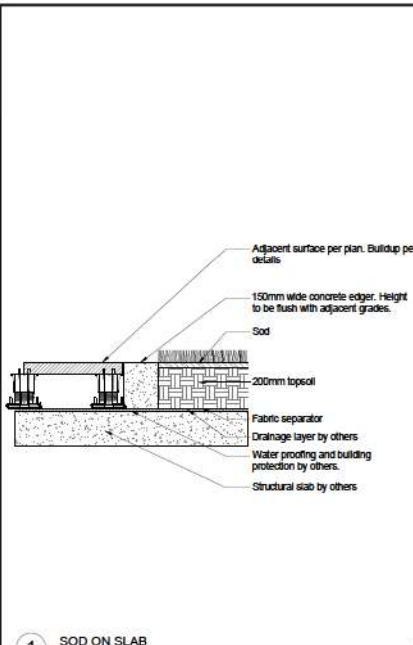
No.	By	Description	Date
REVISIONS TABLE FOR SHEET			

Project:
THE HUDSON

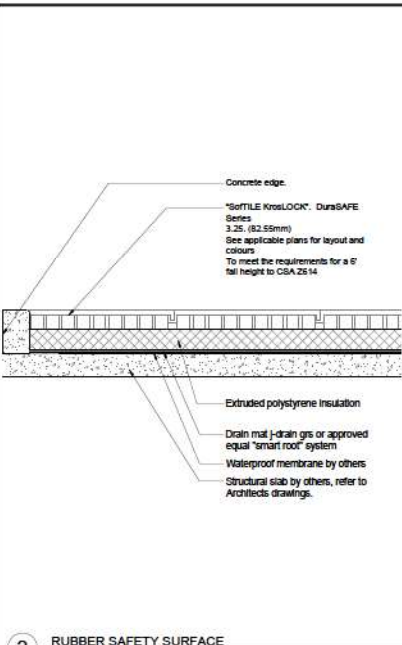
Location:
 5382 - 200 Street
 Langley, B.C.

Drawn: AD	
Checked: AD	
Approved: MVDZ	Original Sheet Size: 24"x36"
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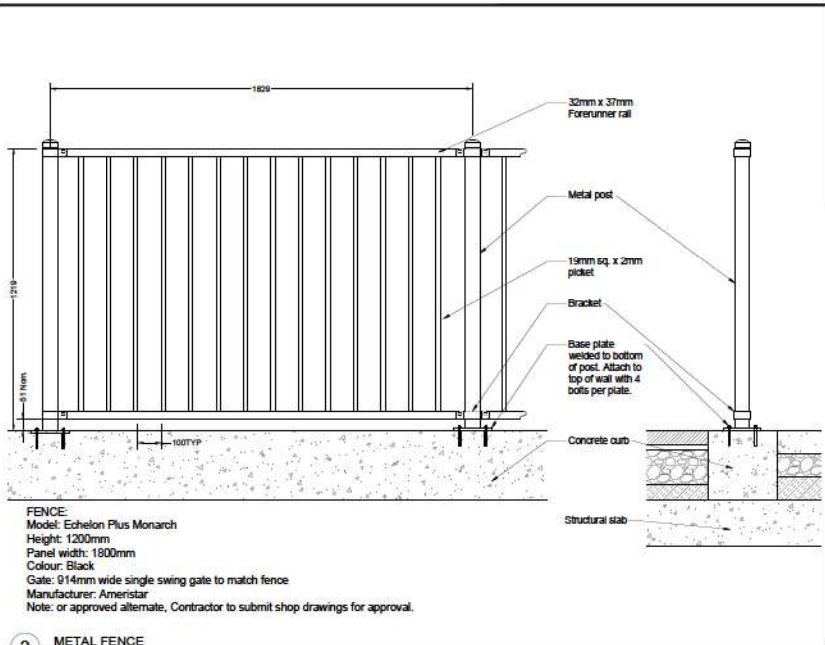
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 Drawing #: LS-01
 Project #: DP2021-38
 NORTH



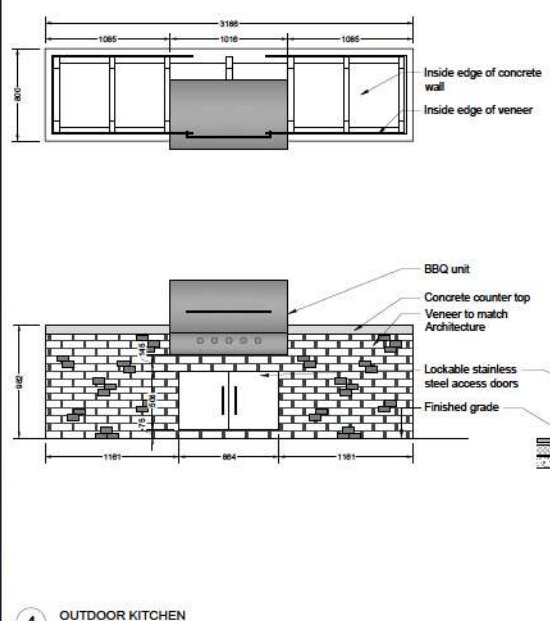
1 SOD ON SLAB
Scale 1:10



2 RUBBER SAFETY SURFACE
Scale 1:10

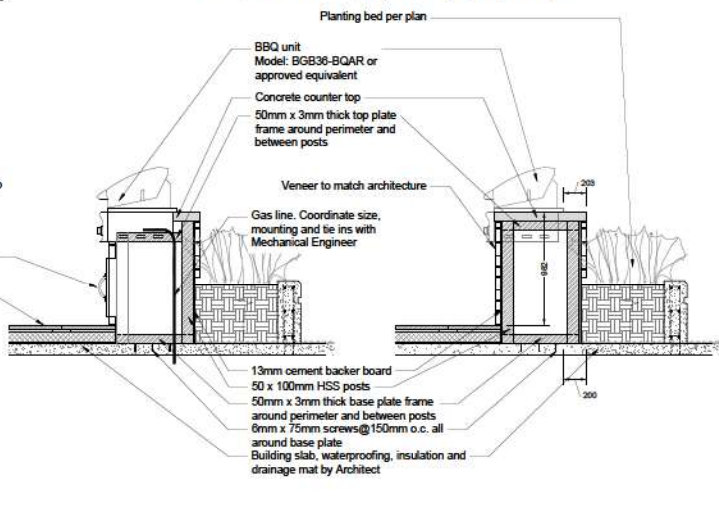


3 METAL FENCE
Scale 1:10



4 OUTDOOR KITCHEN
Scale 1:20

- Notes:
- Contractor to verify BBQ dimensions prior to construction of BBQ enclosure.
 - Contractor to submit shop drawings for approval.
 - BBQ grill to be installed per manufacturers specifications.
 - Gas line to be coordinated with Mechanical Engineer and to meet BBQ manufacturers specifications.
 - BBQ Unit model BGB38-BQAR by Fisher & Paykel, or approved equal.



No.	By	Description	Date
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No.	By	Description	Date

REVISIONS TABLE FOR SHEET

Project: THE HUDSON

Location:
 5382 - 200 Street
 Langley, B.C.

Drawn: AD	Stamp: Professional Engineer Mark van der Palm 383 2023-07-26
Checked: AD	
Approved: MVDZ	Original Sheet Size: 24"x36"
Scale: AS SHOWN	

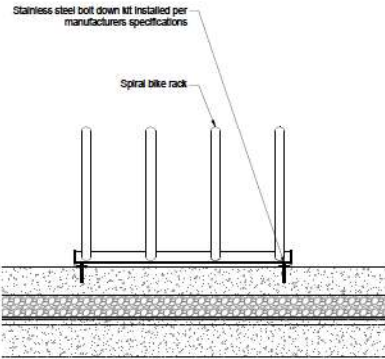
CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE FIELD AND REPORT ANY DISCREPANCY TO THE CONSULTANT FOR HIS REVIEW. ALL DIMENSIONS AND SPECIFICATIONS ARE THE SOLE PROPERTY OF THE OWNER AND SHALL BE FURNISHED AT THE COMPLETION OF THE WORK. ALL DIMENSIONS AND SPECIFICATIONS SHALL BE FURNISHED TO THE CONTRACTOR IN WRITING AND SHALL BE LABELLED AS SUCH FOR THE CONTRACTOR'S USE.

Drawing Title: DETAILS

VDZ Project # DP2021-38

Drawing # LD-02

- NOTES:
1. Install to manufacturers specifications.
 2. Concrete pad to be included at all waste receptacle locations.
 3. Size of concrete pad as noted on details unless shown otherwise on plans.
 4. Or approved substitute.
 5. Refer to concrete paving detail for additional information on concrete pad.

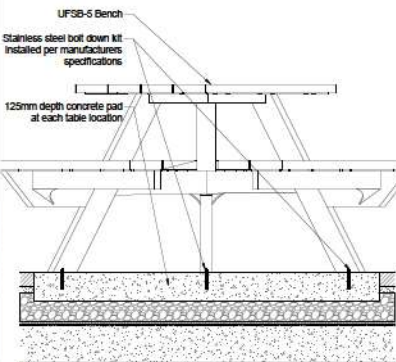


BIKE RACK
 Type: Spiral
 Size: 4 Space
 Mount: Surface
 Colours: Black Textured
 Manufacturer: Wishbone Site Furnishings
 wishbonetfd.com
 604 626 0476



1 BIKE RACK
 N.T.S.

- NOTES:
1. Install table to manufacturers specifications.
 2. Concrete pad to be included at all table locations.
 3. Size of concrete pad as noted on details unless shown otherwise on plans.
 4. Or approved substitute.
 5. Refer to concrete paving detail for additional information on concrete pad.



PICNIC TABLE
 Type: Bay View Hexagonal Plastic Table (BVHPTWC-84)
 Size: Wheelchair Accessible
 Mount: Surface
 Colours: Wood: Grey
 Metal: Black Textured
 Manufacturer: Wishbone Site Furnishings
 wishbonetfd.com
 604 626 0476



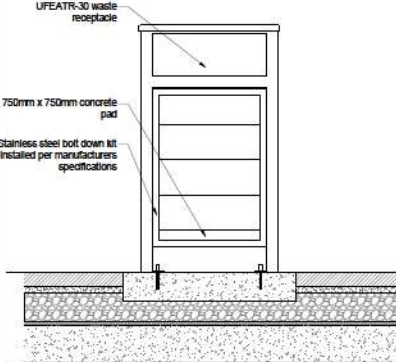
5 PICNIC TABLE
 N.T.S.



PLAY STRUCTURE
 Type: J3-21008-A
 Colours: TBD
 Manufacturer: Jambette
 jambette.com
 1 877 363 2667

2 PLAY STRUCTURE
 N.T.S.

- NOTES:
1. Install to manufacturers specifications.
 2. Concrete pad to be included at all waste receptacle locations.
 3. Size of concrete pad as noted on details unless shown otherwise on plans.
 4. Or approved substitute.
 5. Refer to concrete paving detail for additional information on concrete pad.



WASTE RECEPTACLE
 Type: Urban Form Easy Access (UFEATR-30)
 Size: 622mm X 610mm X 1067mm
 Mount: Surface
 Colours: Wood: Grey
 Metal: Black Textured
 Manufacturer: Wishbone Site Furnishings
 wishbonetfd.com
 604 626 0476



6 WASTE RECEPTACLE
 N.T.S.



OUTDOOR FITNESS
 Type: Cross Training 5 (FSP30101)
 Size: 3340mm
 Colours: TBD
 Manufacturer: Kompan
 kompan.us
 1 800 426 9788

3 OUTDOOR FITNESS
 N.T.S.

THE EDGE® Series

LED Pathway Luminaires
 Product Description
 Performance Summary
 Accessories
 Ordering Information

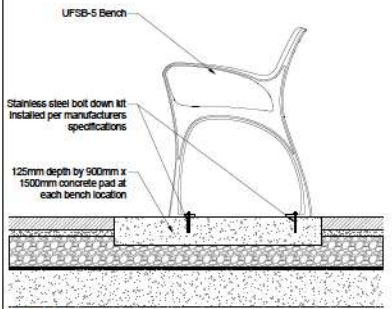


Model	Height	Width	Weight	Notes
EDGE-1	1.2m	150mm	1.5kg	Standard bollard
EDGE-2	1.5m	150mm	2.0kg	Standard bollard
EDGE-3	1.8m	150mm	2.5kg	Standard bollard
EDGE-4	2.1m	150mm	3.0kg	Standard bollard
EDGE-5	2.4m	150mm	3.5kg	Standard bollard
EDGE-6	2.7m	150mm	4.0kg	Standard bollard
EDGE-7	3.0m	150mm	4.5kg	Standard bollard
EDGE-8	3.3m	150mm	5.0kg	Standard bollard
EDGE-9	3.6m	150mm	5.5kg	Standard bollard
EDGE-10	3.9m	150mm	6.0kg	Standard bollard
EDGE-11	4.2m	150mm	6.5kg	Standard bollard
EDGE-12	4.5m	150mm	7.0kg	Standard bollard
EDGE-13	4.8m	150mm	7.5kg	Standard bollard
EDGE-14	5.1m	150mm	8.0kg	Standard bollard
EDGE-15	5.4m	150mm	8.5kg	Standard bollard
EDGE-16	5.7m	150mm	9.0kg	Standard bollard
EDGE-17	6.0m	150mm	9.5kg	Standard bollard
EDGE-18	6.3m	150mm	10.0kg	Standard bollard
EDGE-19	6.6m	150mm	10.5kg	Standard bollard
EDGE-20	6.9m	150mm	11.0kg	Standard bollard

BOLLARD LIGHT
 Type: The edge series
 In Planter Size: 457mm
 On Grade Size: 514mm
 Colours: Black
 Manufacturer: Cree Lighting

7 BOLLARD LIGHT
 N.T.S.

- NOTES:
1. Install bench to manufacturers specifications.
 2. Concrete pad to be included at all bench locations.
 3. Size of concrete pad as noted on details unless shown otherwise on plans.
 4. Or approved substitute.
 5. Refer to concrete paving detail for additional information on concrete pad.



BENCH
 Type: Urban Form Backless Park Bench (UFSB-5)
 Size: 445mm X 419mm X 1500mm
 Mount: Surface
 Colours: Wood: Grey
 Metal: Black Textured
 Manufacturer: Wishbone Site Furnishings
 wishbonetfd.com
 604 626 0476



4 BENCH
 N.T.S.



PEDESTRIAN LIGHT
 Type: Hi-Glo Area Light
 Size: 4200mm
 Mount: Surface
 Colours: Black
 Manufacturer: Landscape Forms
 landscapeforms.com
 1 800 430 6209

8 PEDESTRIAN LIGHT
 N.T.S.

No.	By	Description	Date
8	AD	Issued for Building Permit	Sept 21, 2022
7	AD	Issued for Pre-Building Permit	June 16, 2022
6	AD	Issued for 80% BP	May 13, 2022
5	AD	Issued for 60% BP	Apr 22, 2022
4	AD	Issued for 30% BP	Mar 25, 2022
3	AD	Issued for DP	Sept 22, 2021
2	AD	Issued for Development Permit	Sept 3, 2021
1	AD	Issued for Development Permit	June 28, 2021

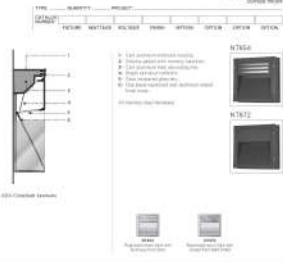
REVISIONS TABLE FOR DRAWINGS
 Project: THE HUDSON
 Location: 5382 - 200 Street Langley, B.C.

Drawn:	Checked:	Approved:	Scale:
AD	AD	MVDZ	AS SHOWN

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE FIELD AND REPORT ANY DISCREPANCY TO THE CONSULTANT AND THE PROJECT MANAGER. ALL DIMENSIONS AND SPECIFICATIONS ARE THE SOLE PROPERTY OF THE CONSULTANT AND SHALL BE VALID AT THE COMPLETION OF THE WORK. ALL DIMENSIONS AND SPECIFICATIONS SHALL BE VALID AT THE COMPLETION OF THE WORK. ALL DIMENSIONS AND SPECIFICATIONS SHALL BE VALID AT THE COMPLETION OF THE WORK. ALL DIMENSIONS AND SPECIFICATIONS SHALL BE VALID AT THE COMPLETION OF THE WORK.

LUMINIS.

NT854/NT872 LUMINIS
NAUTILUX - LED
Surface Mount



MATERIALS
Material: 100% polycarbonate (30mm thick) with a white LED light source.
Colour: White. Finish: Matte. Weight: 1.2kg (per unit).

ELECTRICAL
Power: 10W (max). Voltage: 120V (USA) or 240V (UK).
IP Rating: IP65. Dimensions: 100mm (H) x 100mm (W) x 100mm (D).

INSTALLATION
Mounting: Surface mount. Fixing: 4 screws (included).
Wiring: 2-core cable (1.5mm² min). Cable length: 1.5m (max).

FINISH
Polycarbonate. UV resistant. Scratch resistant. Impact resistant.

LUMINIS Ltd. 100-1000 10th Ave. S.W. Vancouver, BC V6P 6E6
Canada. Tel: 604-271-1111. Fax: 604-271-1112. Email: info@luminis.com

1 WALL LIGHT
N.T.S.



2 PLANTER
Type: Sorella
Size: 762mm x 762mm x 762mm
Mount: Free standing
Colours: Black
Manufacturer: Landscape Forms
landscapeforms.com
1 800 430 6209

2 PLANTER
N.T.S.



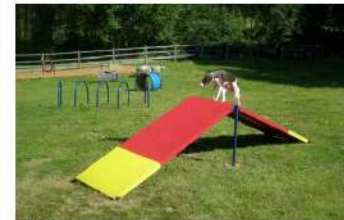
Model #1003A-L
Manufacturer: Dogpot

All-Aluminum
To be surface mounted on concrete upstand.

Or approved equal.

Contractor to provide shop drawings for Landscape Architect approval.

3 DOG BAG DISPENSER
N.T.S.



A-FRAME
Type: #6401
Mount: Surface
Colours: Red
Manufacturer: Dog-on-it-parks
dog-on-it-parks.com



DOG RAMP
Type: #6402
Mount: Surface
Colours: Blue
Manufacturer: Dog-on-it-parks
dog-on-it-parks.com

4 DOG RAMPS
N.T.S.



DOUBLE BOW WOW BARREL
Type: #6706
Mount: Surface
Colours: Red
Manufacturer: Dog-on-it-parks
dog-on-it-parks.com



BOW WOW BARREL
Type: #6703
Mount: Surface
Colours: Red
Manufacturer: Dog-on-it-parks
dog-on-it-parks.com

5 DOG TUNNEL
N.T.S.



HOUND HOOPS
Type: #6415
Mount: Surface
Colours: Blue
Manufacturer: Dog-on-it-parks
dog-on-it-parks.com

6 DOG HOOPS
N.T.S.



SPRAY FIRE HYDRANT
Type: #7270
Mount: Surface
Colours: Red
Manufacturer: Dog-on-it-parks
dog-on-it-parks.com

7 DOG PARK FIRE HYDRANT
N.T.S.

VDZ+A
FORT LANGLEY STUDIO MOUNT PLEASANT STUDIO
300-9281 Church St. 200-3001 Kingsway
Fort Langley, BC 100-10000, BC
VIM 2R6 VST 37
www.vdz.ca 604-882-0024

No.	By	Description	Date
8	AD	Issued for Building Permit	Sept 21, 2022
7	AD	Issued for Pre-Building Permit	June 16, 2022
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1	AD	Issued for Development Permit	June 28, 2021

REVISIONS TABLE FOR DRAWINGS

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No.	By	Description	Date

REVISIONS TABLE FOR SHEET

Project:
THE HUDSON

Location:
5382 - 200 Street
Langley, B.C.

Drawn: AD	Stamp:
Checked: AD	
Approved: MVDZ	Original Sheet Size: 24"x36"

Scale:
AS SHOWN

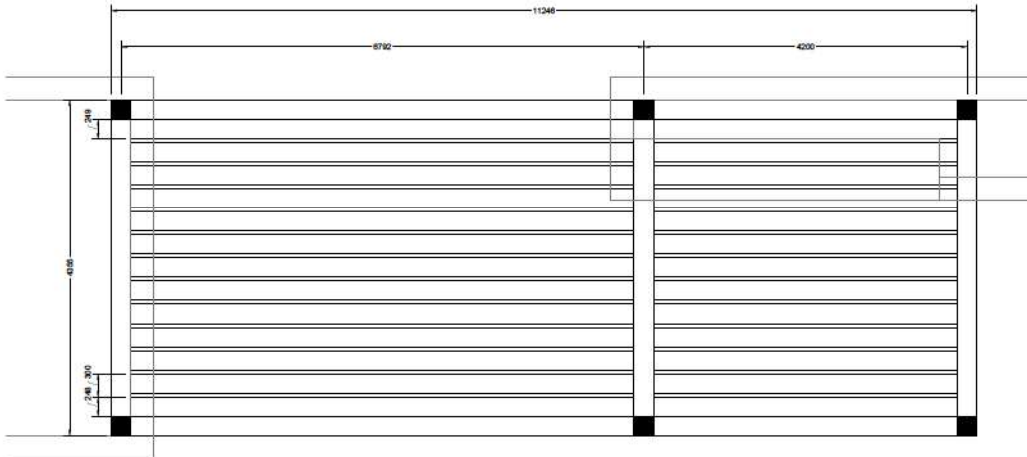
CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE PROJECT AND REPORT ANY DISCREPANCY TO THE CONSULTANT IMMEDIATELY. ALL DIMENSIONS AND SPECIFICATIONS ARE THE SOLE PROPERTY OF THE CONSULTANT AND SHALL BE RETURNED AT THE COMPLETION OF THE WORK. ALL DIMENSIONS AND SPECIFICATIONS MUST BE PROVIDED IN THE CONTRACT DOCUMENTS AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

Drawing Title:
DETAILS

VDZ Project #:
DP2021-38

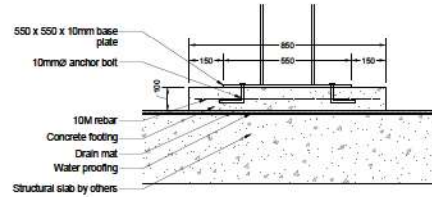
Drawing #:
LD-04

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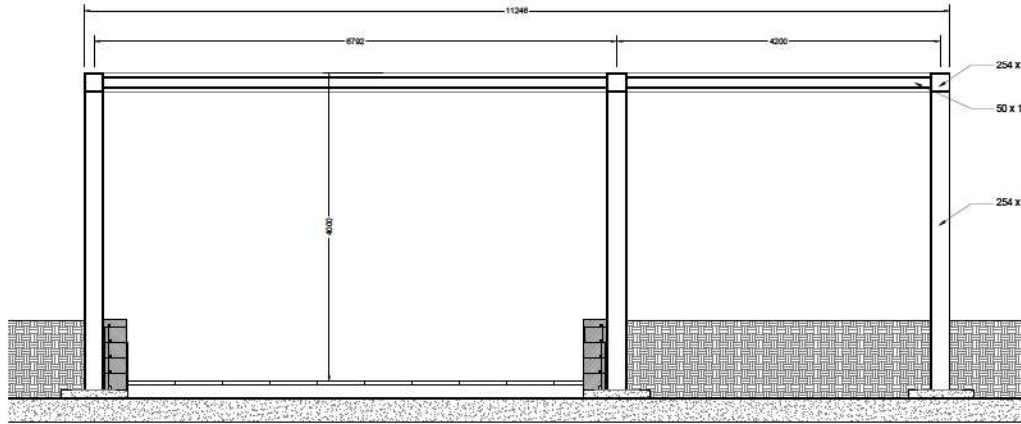


PLAN VIEW
Scale 1:30

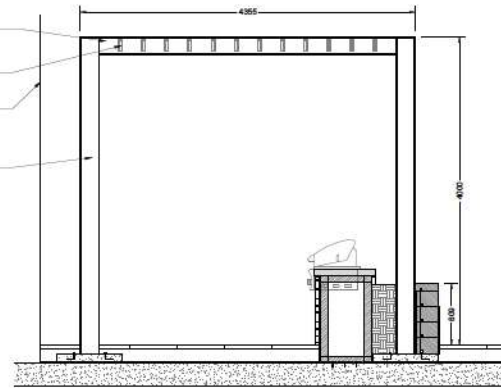
- NOTES:
1. Contractor to submit structurally approved shop drawings for review and approval.
 2. Concrete for 25Mpa. Provide sulphate resistant concrete if in contact with sulphate type soil.
 3. Anchor rods, nuts/washers - A307 or ASTM F1554 GR 36
 4. All steel to be galvanized and painted matte brown.
 5. All visible concrete to be sandblasted.



TRELLIS FOOTING
Scale 1:10



SECTION
Scale 1:30



SECTION
Scale 1:30

VDZ+A
 FORT LANGLEY STUDIO MOUNT PLEASANT STUDIO
 330-9281 Church St 333-3351 Kingsway
 Fort Langley, BC Richmond, BC
 V4M 2R6 V5T 3J7
 www.vdz.ca 604-832-0524

No.	By	Description	Date
8	AD	Issued for Building Permit	Sept 21, 2022
7	AD	Issued for Pre-Building Permit	June 16, 2022
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Project:
THE HUDSON

Location:
5382 - 200 Street
Langley, B.C.

Drawn: AD	
Checked: AD	
Approved: MVDZ	Original Sheet Size: 24"x36"
Scale: AS SHOWN	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE FIELD AND REPORT ANY DISCREPANCY TO THE CONSULTANT FOR CORRECTION. ALL CORRECTIONS AND MODIFICATIONS ARE THE RESPONSIBILITY OF THE OWNER AND MUST BE SUBMITTED AT THE COMPLETION OF THE WORK. ALL DIMENSIONS AND FINISHES CONTRACTOR SHALL NOT BE PRECEDENT TO CONSTRUCTION PAGES LABELED OR AS TO THE TRADE OR CONNECTION.

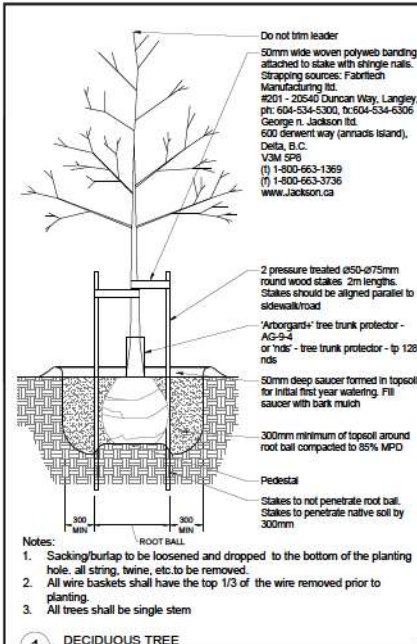
Drawing Title:
DETAILS

VDZ Project #
DP2021-38

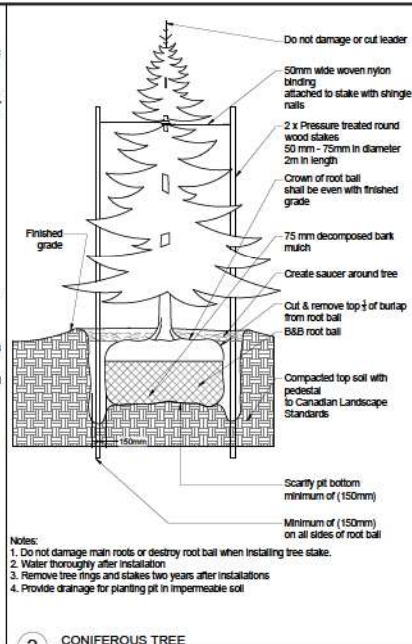
Drawing #
LD-05

2. PROJECT DEVELOPMENT MANUFACTURING FOR THE REGIONAL DOWNSTREAM TREATMENT PLANT

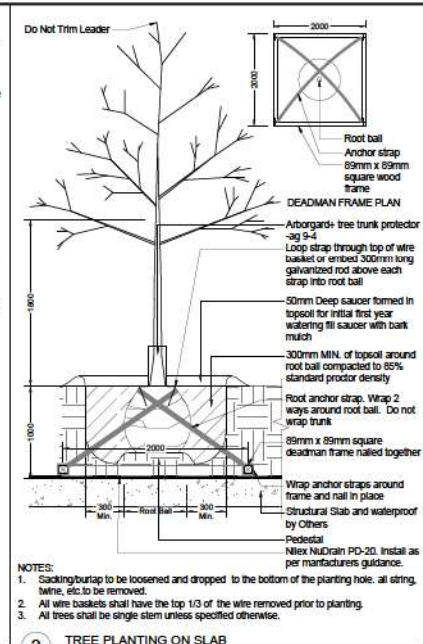
1 PERGOLA
Scale 1:30



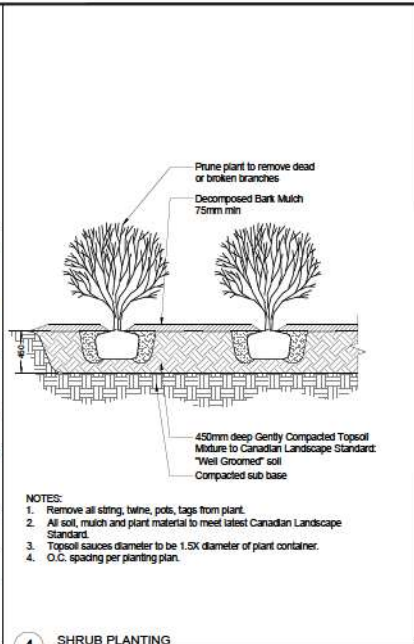
1 DECIDUOUS TREE
Scale 1:25



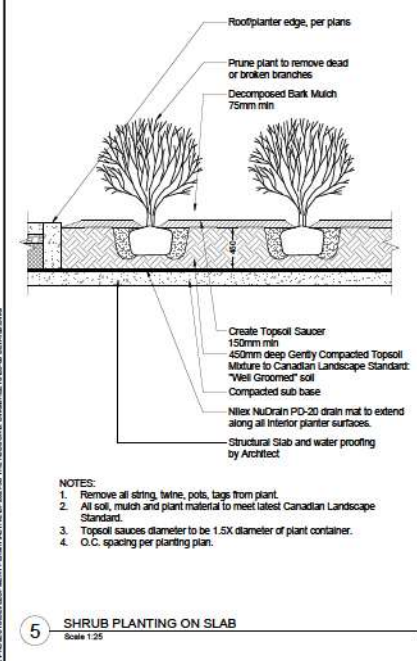
2 CONIFEROUS TREE
Scale 1:25



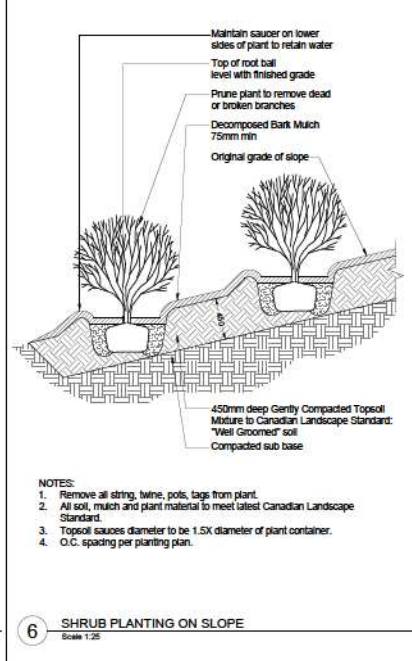
3 TREE PLANTING ON SLAB
Scale 1:25



4 SHRUB PLANTING
Scale 1:25



5 SHRUB PLANTING ON SLAB
Scale 1:25



6 SHRUB PLANTING ON SLOPE
Scale 1:25

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PROJECT CONTACT:

1.1 Inquiries regarding landscape drawings should be addressed to the person(s) identified in the contact information on the cover page.

PROJECT COORDINATION:

2.1 The contractor(s) responsible for completing the landscape scope of work shall conform to the reference standards, submittals process, coordination standards, specifications, and works as defined under the "General Scope" of the master specification (complete).

OVERALL PROJECT NOTES:

- 3.1 Any significant revisions to these drawings must be approved by the project landscape architect.
3.2 Existing underground utilities are to be located via BC one call prior to any work commencing.
3.3 The contractor is responsible for any damage to all retained structures and landscape during construction.
3.4 If construction is required in or near a water course contractor to refer to environmental report for landscape installation instructions.
3.5 Legal survey posts, monuments, stakes, and integrated survey monuments are to be replaced if destroyed or damaged during construction.
3.6 If construction is commencing during the nesting period contractor to notify landscape architect prior to the removal of any existing vegetation.

DRAWINGS AND SPECIFICATIONS:

- 4.1 Contractor to refer to the following specifications and standards as they relate to the drawings and specifications.
4.2 The contractor, sub-contractor, and coordinating trades/suppliers responsible for completing the landscape scope of work is responsible for reviewing the master specifications for the project in conjunction with all consultant drawings, inclusive of landscape.
4.3 Should any drawing or detail conflict with the master specification file the contractor must immediately notify the design team for coordination prior to order, preparation or installation of said conflicting works (typ).
4.4 The contractor(s) responsible for providing the landscape architect with a complete "project record copy" of mark-ups or changes to works defined in the Landscape Drawings.
4.5 Reference specifications listed in each section are just for contractor's reference all work to be completed in accordance with the entirety of the MMCD, latest edition.
4.6 Contractor to complete plans as shown on drawings. All quantities provided are for reference only.

CONCRETE FLATWORK:

- 5.1 This section covers all concrete flatwork specified on landscape drawings including sidewalks, plazas, on-slab horizontal concrete work, pathways, trails, curbs, etc.
5.2 Reference Specifications:
Section 03 30 53 Cast-in-Place Concrete
Section 03 30 30 Concrete Walks, Curbs, and Gutters
Section 03 20 01 Concrete Reinforcement
Section 32 11 23 Granular Base
Section 32 13 13 Portland Cement Concrete Paving
Section 32 17 23 Painted Pavement Markings
5.3 Concrete mix and materials as per Section 03 30 53
5.4 All concrete flatwork shall have a light broom finish or approved equal unless specified otherwise on details. See below for requirements of additional finishes:

Abrasive Blast Finish

- Contractor to provide 2mx2m test panel prior to sandblasting all concrete
Abrasive shall conform to The International Concrete Repair Institute No. 310.2R-2013
Abrasive blasting finishes shall be light, medium and heavy abrasive blast finishes as called up on details and drawings. The exact finish of abrasive blast will be governed by matching samples reviewed by the

Consultant:

- Abrasive blasting operation shall yield uniform texture and colour to all surfaces. The texture and colour shall match the approved mock up panels.
Broom Finish
Contractor to confirm broom direction prior to finish. If no direction is provided contractor to broom perpendicular to longest concrete edges
Broom finish to be clean of debris with consistent parallel ridging.
Stamped Concrete
Contractor to provide 2mx2m test panel with proposed pattern.
Exposed Aggregate
Aggregate For Exposed Aggregate Concrete: as required to produce approved finished with 75% of exposed aggregate pieces 10mm 10 12mm size.

- 5.5 The contractor should confirm the locations of control joint patterning and expansion joints with the landscape architect prior to installation for concrete paving surfaces and walls.
5.6 For coloured concrete contractor to provide sample chip/pour prior to installation.
5.7 For all pedestrian area coloured concrete contractor to seal concrete with Elephant Armour Cure through Abbotsford Concrete Products.
5.8 Contractor to ensure all troweling is a smooth and continuous finish free of debris.
5.9 Concrete is not to be parged unless approved by landscape architect.
5.10 Contractor to replace all cracked, chipped, or irregular concrete.

CAST-IN-PLACE CONCRETE

- 6.1 This section covers all vertical concrete elements including walls, retaining walls, columns, and structures etc.
6.2 Reference Specifications:
Section 03 30 53 Cast-in-Place Concrete
Section 03 30 20 Concrete Walks, Curbs, and Gutters
Section 03 20 01 Concrete Reinforcement
Section 32 11 23 Granular Base
Section 32 13 13 Portland Cement Concrete Paving
Section 32 17 23 Painted Pavement Markings
6.3 Concrete mix and materials as per Section 03 30 53.

- 6.4 All cast-in-place concrete to have light sandblast finish unless specified otherwise on drawings.
6.5 Concrete reinforcing for vertical landscape cast in place walls shall comply with details and specifications defined in drawings.
Vertical: 10m @450mm on centre both directions
No vertical reinforcement shall be closer than 50mm from edge of concrete.

- 6.6 Concrete cover on reinforcing steel:
Concrete cast against earth - 75mm min.
Concrete exposed to earth or weather - 35mm min.
Other locations - 17mm min.
6.7 Trowel tops of walls to smooth, true, dense, flat and level or sloped as shown.
6.8 All repairable defective areas shall be patched immediately after form removal.
6.9 No patching of defective horizontal surfaces shall be permitted.
6.10 All honeycombed and other defective concrete shall be removed down to sound concrete.

- 6.11 Fins and other projections in exposed areas shall be removed by grinding.
6.12 For board form concrete contractor to confirm direction and lumber specification prior to pouring.
6.13 For all retaining walls veneers contractor to provide sample of veneer and mortar prior to installation.

UNIT PAVING:

- 7.1 This section refers to all unit pavers (concrete, natural stone, clay, ceramic,

porcelain, etc.).

7.2 Reference Specifications:

Section 31 14 01 Unit Paving
7.3 Precast concrete unit pavers or natural stone unit pavers must be provided in a 2m x 2m 'mock-up' on site a minimum 2 weeks prior to order of materials for approval by the landscape architect.

7.4 All approved unit paving and bedding or joining materials should be installed as per manufacturers specifications.

7.5 All paver edges adjacent to softscape to have edge. For on grade edge contractor to use snap edge restraint spiked every 300mm and on all corners. For on-slab pavers contractor to provide concrete housing curb 150mm wide.

7.6 In all vehicular areas contractor to provide 80mm pavers matching type and colour specified.

7.7 Contractor to verify sub-grade depth and requirements with geo-technical report.

7.8 Mortar for pavers to be dry-set Portland cement mortar complying to ANSI A18.1 or as specified on drawings. Colour to be confirmed with landscape architect.

7.9 Contractor to ensure all cut pavers are at least 1/3 of full paver length. Paver slivers will not be accepted.

7.10 Contractor to ensure paver joints are 1/8" to 1/16" inch throughout paver field including along edging unless otherwise stated on drawings.

7.11 If a mortar based joint sand is specified contractor to ensure no hazing is visible on paver surface.

7.12 Contractor to replace all broken, cracked, or chipped pavers.

7.13 For all pavers on pedestal contractor to ensure pavers sit solidly on pedestal bed with no visible tipping.

7.14 For on-podium pavers contractor to ensure slab drains are provided at all low points. If no slab drainage system exists contractor to notify landscape architect.

7.15 Professionals should be qualified and experienced (minimum 5 years) in installing paving products specified in landscape drawings.

ASPHALT - PATHWAYS AND PLAZAS ONLY

8.1 This section covers all asphalt areas as shown on the landscape drawings.

8.2 Reference Specifications:

- Section 32 12 13.1 Asphalt Talk Coat
Section 32 12 13.2 Asphalt Prime
Section 32 12 16 Hot-Mix Asphalt Concrete Paving
Section 32 17 23 Painted Pavement Markings

- 8.3 Asphalt to be tested as per the following:
Sampling Mineral Aggregates ASTM D75
Sampling Bituminous Mixtures ASTM D79
Sieve Analysis of Aggregates ASTM D136
Specific Gravity of Aggregates ASTM C127 and ASTM C128
Determination of Bitumen Content ASTM D 1067
Marshall Procedures for the Preparation and Testing of Bituminous Mixtures ASTM D1559

8.4 Submit hot mix asphalt design and trial mix test results to the Owner's Representative for review at least one week (7 days) prior to commencement of work.

8.5 Do not install hot-mix asphalt concrete pavement, base, or subbase during heavy rain or snowfall, cool temperatures or other unsuitable conditions as determined by landscape architect.
8.6 Lower Course: Machine place to specified compacted thickness (maximum lifts of 50mm after compaction) over compacted and graded aggregate base.
8.7 Upper Course: Machine place to minimum specified compacted thickness (maximum lift of 38mm after compaction) over compacted lower course.

8.8 When asphalt concrete meets site fixtures, furnishings, concrete walls, walks or other flare the asphalt upwards around the base of fixture to ensure water drains away from the fixture and is in compliance with the overall grading and drainage plans for the Project.

and drainage plans for the Project.

8.9 Along building walls, curbs, gutters, headwalls, manholes and similar locations not accessible to a roller, thorough compaction shall be obtained by means of hot hand or smaller mechanical tampers before the mixture has set.
8.10 For sports courts contractor to place lower course asphalt and top with a 'sandy bin' or 'tennis court' course as a top mix.
8.11 For sports courts contractor to confirm line type and colour for linemarking.

8.12 For stamped asphalt contractor to install stamp as per manufacturer's specification. A 2mx2m sample is to be provided prior to stamp application.

CRUSHED GRANITE AND AGGREGATE HARDSCAPES :

9.1 This section refers to all loose material pathways, plazas, and trails.
9.2 Contractor to provide 1 litre sample for all surface aggregates prior to installation.

9.3 Crushed Granular Paving: shall consist of sound, durable stone particles free from clay, organic material or other deleterious matter as per ASTM C 136.

9.4 Crushed granite 9mm minus stone:
Sieve Size (mm) Percent Passing by Weight
9.0 100%
4.75 50-55%
2.36 25-28%
1.18 15-18%

9.5 All loose material pathways to receive 1"x4" recycled plastic edger staked with 300mm spikes at 600mm O.C. unless otherwise specified on drawings. For loose material pathways on-slab contractor to provide 150mm concrete edging curb.

9.6 All loose material pathways on slab to be placed over landscape fabric.

9.7 Compact loose material using drum roller. Do not compact with vibratory equipment.

RETAINING WALLS:

10.1 This section refers to retaining walls of all types including cast in place concrete, segmental/block, timber, vegetative walls, and boulder walls.

10.2 All retaining walls over 1.2m from top of footing to top of wall are to be reviewed by structural engineer.

10.3 All segmented retaining wall block to be installed as per manufacturer's specifications.

10.4 All segmented retaining wall caps to be secured with adhesive. No adhesive or staining on walls will be accepted.

10.5 All segmented retaining wall corner blocks to be split face or to match wall face.

10.6 For segmented retaining wall base material shall be a 100mm in depth for all walls under 1.2m. For all walls over 1.2m base material to be 150mm. Contractor to refer to geotechnical report for further information on base requirements.

10.7 All timber retaining walls to be pressure treated unless otherwise specified.

10.8 All boulder walls to have clean boulder face. No fill material shall be visible at front of wall.

10.9 All boulder walls to have landscape fabric backing followed by 150mm of 19mm clear crush.

10.10 Contractor to provide sample of wall block and cap for all segmented retaining walls and timber walls.

10.11 Where stepping is required contract to confirm location of stepping with landscape architect.

10.12 All retaining walls to receive 150mm perforated pipe drainage at base of subgrade unless otherwise indicated on drawings. Perforated pipe to be daylighted at ends of walls or connected to nearest subsurface drainage.



FOOT LANGLEY STUDIO MOUNT PLEASANT STUDIO
300-9381 Church St 100-3051 Kingsway
Fort Langley, BC 100-3051 Kingsway
V3M 2J6 V3T 2J7
www.vdz.ca 604-882-0924

Table with 4 columns: No., Description, Date, and a blank column. Contains revision entries for Building Permit, Pre-Building Permit, and Development Permit.

Table with 4 columns: No., Description, Date, and a blank column. Contains revision entries for Development Permit and other project details.

REVISIONS TABLE FOR SHEET
Project: THE HUDSON
Location: 5382 - 200 Street Langley, B.C.

Approval and stamp section including Drawn: AD, Checked: AD, Approved: MVDZ, and a circular professional seal for M. V. D. Z. with the text 'REGISTERED ARCHITECT' and 'Mark with your Stamp'.

GENERAL NOTES

DP2021-38

LN-01

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PLANTING AND PLANTING BEDS

- 1.1 This section covers supply and installation of all trees, shrubs, and ground covers including bed preparation and topsoil.
- 1.2 Reference Specifications:
 - Section 32 93 01 Planting of Trees, Shrubs and Ground covers
 - Section 33 22 01 Site Grading
 - Section 32 91 21 Topsoil and Finish Grading
 - Canadian Landscape Standards (latest edition)
 - British Columbia Nursery Trade Association
- 1.3 All plant and soil material shall be warranted for (1) year after substantial completion.

1.4 The contractor is responsible to have the landscape architect inspect the site for fine grading in areas where slopes, berms or mounds are used as part of soft landscaping features prior to the installation of plant material. A minimum 7 days notice is required for this review.

1.5 Establishment maintenance must be completed by the landscape contractor through the course of construction/installation, substantial completion and until the time of final acceptance once all deficiencies are deemed as complete. Establishment maintenance practice and procedures are defined under the Canadian Landscape Standard.

1.6 Establishment watering must be completed by the landscape contractor through the course of construction/installation, substantial completion and until the time of final acceptance once all deficiencies are deemed as complete. Establishment watering practice and procedures are defined under the Canadian Landscape Standard.

1.7 The landscape contractor should provide the landscape architect with one week's notice to perform a review at local nurseries who are supplying major plant orders to the site. The landscape architect reserves the right to reject plant material that does not meet drawing specification or Canadian Landscape Standard at any time, despite any review of said materials.

1.8 The landscape contractor must submit a soil report/test report to that shows that growing mediums comply with the standards identified in the Canadian Landscape Standard, latest edition.

1.9 The general contractor shall pay for a minimum two (2) random tests to be performed during the course of construction to confirm that the growing medium being installed on site matches the best approved to the landscape architect. The landscape architect will notify the general contractor of when said tests will occur and soil samples should be mailed out within 40 hours of this notice. Failure to have soil match approved material could result in removal, amendment or reinstallation of appropriate material at the contractor's expense. Soil tests should be sent to Pacific Soil Analysis Incorporated or approved equal testing center.
Pacific Soil Analysis Inc.
Suite 5-11720 Voyager Way, RICHMOND, BC V6X 3G9
Telephone 604 273 8226

1.10 Landscape mulch shall conform to Canadian Landscape Standards and be installed at depths specified under Canadian Landscape Standard. Mulch must be non-toxic. Mulch should be dark brown or black in colour; red coloured mulch is not permitted unless specified otherwise.

1.11 Filter fabric must be provided in any areas where drain rock is used as a mulch substitute or landscape feature, with the exception of drip strips (unless noted otherwise).

1.12 In areas where soft landscaping shall be planted over structural slabs, the contractor must submit, in writing, that the project architect has inspected planters or areas of soft landscape planting and has approved the waterproofing and slab protection present, such that it conforms to contract specifications and drawings. This shall be done prior to any inspections the landscape architect shall make to review growing medium depths or plant installation.

1.13 Should any fertilizers or chemicals be applied to soft landscapes, they must be non-toxic.

1.14 If during excavation obstructions are found to planting areas contractor to contact landscape architect for review and direction.

1.15 Contractor to notify the landscape architect if any invasive species are encountered during construction. This includes but is not limited to Equisetum, Rubus, Hedera, and Fallopia japonica. Contractor is responsible for the removal of all invasives as per the Canadian Landscape Standard.

1.16 Contractor to ensure top soil is properly placed and compacted to ensure plant material does not sink or move during warranty period.

1.17 All planting beds to have cultivated, clean landscape edge unless otherwise specified on drawings.

1.18 At time of substantial completion all mulch beds to be weed and mushroom free.

1.19 For all landscape rock beds contractor to provide landscape fabric beneath and pressure treated timber edging unless otherwise specified on

drawings.

HYDROSEED AND SOD

- 2.1 This section covers supply and installation of sod and hydroseed for turf grass and native grass areas.
- 2.2 Reference Specifications:
 - Section 32 93 23 Sodding
 - Section 32 92 19 Hydraulic Seeding
 - Section 32 92 20 Seeding
 - Section 32 91 21 Topsoil and Finish Grading
 - Canadian Landscape Standards (latest edition)
 - British Columbia Nursery Trade Association

2.2 The contractor is responsible to have the landscape architect inspect the site for fine grading in areas where sod or seed are used as part of soft landscaping features prior to the installation of sod or seed. A minimum 7 days notice is required for this review. Preparation of sod and seed areas shall conform to BC Landscape Standards. No 1 Turfgrass and No. 1 Canadian seed standards apply as defined through BC Landscape Standards. Installation and maintenance specifications of sod and seed shall apply as defined through BC Landscape Standards.

2.3 Sod to be No.1. Premium or No. 2 Standard non-netted.

2.4 Contractor is responsible for the watering and maintenance of the sod until 55 days post substantial completion.

2.5 For turf areas seed to be Premier Pacific All Purpose Sun& Shade Mix or approved equal unless otherwise specified on drawings. Seed to be installed as per supplier specifications.

2.6 Seeding to take place in the spring (April 1st to June 15th) and fall (August 15th to September 30th). If seeding is to happen outside of these windows contractor to contact landscape architect for adjustments to maintenance requirements.

- 2.7 Conditions for final acceptance of turf areas are as follows:
- Seeded areas are vigorously growing, the turf is well established and has a healthy green appearance
 - Seeded areas do not have any eroded or washed out areas and are free of noxious or invasive weeds.
 - No surface growing medium is visible when turf has been mowed to a height of 50mm
 - Seed areas have been out a minimum of 2 times.

2.8 For all native and high-grass seeding contractor to provide 300mm depth of well-groomed top soil

2.9 For all native and high-grass seeding contractor to provide maintenance for a minimum of (1) growing season (Spring to Fall).

IRRIGATION

3.1 This section covers supply and installation of an automatic irrigation system. If irrigation plans have not been provided contractor to provide design/build solution as per specifications below.

3.2 Reference Specifications:

- Irrigation Industry Association of British Columbia Standards
- Canadian Landscape Standard
- All Local Plumbing and Electrical Codes

3.3 The Contractor is responsible for the coordination with the mechanical and electrical Owner's Representative and sub-contractors as well as for coordination of all required sleeves under paved areas.

3.4 Contractor to provide all irrigation operations instructions and user manuals upon substantial completion.

3.5 Contractor to provide as-built drawings for irrigation system at time of substantial completion. As-built drawings to be provided in AutoCAD format.

3.6 Contractor to repair or replace all damaged underground services cause by work in this contract.

3.7 Contractor to confirm head-to-head coverage upon installation. If any conditions arise that do not allow for head-to-head coverage contractor to contact the landscape architect for further direction.

3.8 All irrigation work shall be done by an experienced and competent irrigation contractor having the capabilities a personnel necessary for all phases of the work specified.

3.9 The irrigation contractor shall be a member in good standing of the Irrigation Industry Association of British Columbia.

3.10 All heads to be installed with low-point drainage releases where required.



No.	By	Description	Date
8	AD	Issued for Building Permit	Sept 21, 2022
7	AD	Issued for Pre-Building Permit	June 16, 2022
6	AD	Issued for 90% BP	May 13, 2022
5	AD	Issued for 60% BP	Apr 22, 2022
4	AD	Issued for 30% BP	Mar 25, 2022
3	AD	Re-issued for DP	Sept 22, 2021
2	AD	Issued for Development Permit	Sept 3, 2021
1	AD	Issued for Development Permit	June 29, 2021

REVISIONS TABLE FOR DRAWINGS
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No.	By	Description	Date
REVISIONS TABLE FOR SHEET			
Project: THE HUDSON			
Location: 5382 - 200 Street Langley, B.C.			
Drawn:	AD	Stamp:	
Checked:	AD		
Approved:	MVDZ	Original Sheet Size: 24"x36"	
Scale:		CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE FIELD AND REPORT ANY DISCREPANCY TO THE CONSULTANT AND THE CONSULTANT. ALL DIMENSIONS AND SPECIFICATIONS ARE THE SOLE RESPONSIBILITY OF THE OWNER AND SHALL BE RETURNABLE AT THE COMPLETION OF THE WORK. ALL DIMENSIONS AND SPECIFICATIONS SHALL BE PROVIDED ON THE CONSTRUCTION PERMITS LABELS OR AS PER THE DRAWING INFORMATION.	

Drawing Title: **GENERAL NOTES**

VDZ Project # **DP2021-38**

Drawing # **LN-02**

2. PROJECT DEVELOPMENT FROM FACTORS ON THE NATIONAL ENVIRONMENTAL TRIANGLE ZONE