

# 14 UNIT TOWNHOUSE DEVELOPMENT

## 4503, 4513 200 STREET, LANGLEY



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- L6 STRUCTURAL SOIL SPECIFICATIONS

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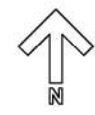
NO.	DATE	REVISION / ISSUED
5	NOV 21 +23	ADP REVISIONS
4	AUG 25 -25	ISSUED FOR ADP MEETING
3	MAR 14 +22	ISSUED FOR REZONING & DP
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1	FEB 18 -22	ISSUED FOR ADP MEETING

PROJECT TITLE:  
**TOWNHOUSE DEVELOPMENT**  
 4503, 4513 - 200 STREET,  
 LANGLEY, BC,  
 FOR:  
**WEST MANN DEVELOPMENTS INC.**  
 2 - 7550 KING GEORGE BLVD,  
 SURREY, B.C, V3W 5A5

DRAWING TITLE:  
**COVER PAGE :  
 DRAWING INDEX AND  
 CONTACTS LIST**

DATE	SCALE	SHEET NO.
Sep 2021	M.T.S.	<b>A-1.0</b>
DESIGN	A.A.	
DRAWING	A.A.	
PROJECT NO.	-	

# CONTEXT PLAN



**F. ADAB ARCHITECTS INC.**

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SURREY, B.C., V3W 5A5

DRAWING TITLE:  
**CONTEXT PLAN**

DATE:	Sep 2021	SHEET NO.:	<b>A-1.1</b>
SCALE:	N.T.S.		
DESIGN:	A.A.		
DRAWING:	A.A.		
PROJECT NO.:	-		



# AERIAL MAP



1



2



3



4



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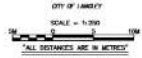
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4503, 4513 - 200 STREET,  
LANGLEY, BC,

FOR:  
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2 - 7550 KING GEORGE BLVD.,  
SURREY, B.C, V3W 5A5

DRAWING TITLE:  
**AERIAL MAP AND CONTEXT PHOTOS**

DATE	SCALE	SHEET NO.
Sep 2021	N.T.S.	A-1.2
DESIGNER	A.A.	
DRAWING	A.A.	
PROJECT NO.	-	

B.C. LAND SURVEYOR'S PLAN SHOWING TOPOGRAPHIC SURVEY ON LOT 253 PLAN 45033 AND PARCEL "C" (EXPLANATORY PLAN 10176) NORTH HALF LOT 3 BLOCK 2 PLAN 1783 BOTH IN SECTION 34 TOWNSHIP 7 NEW WESTMINSTER DISTRICT



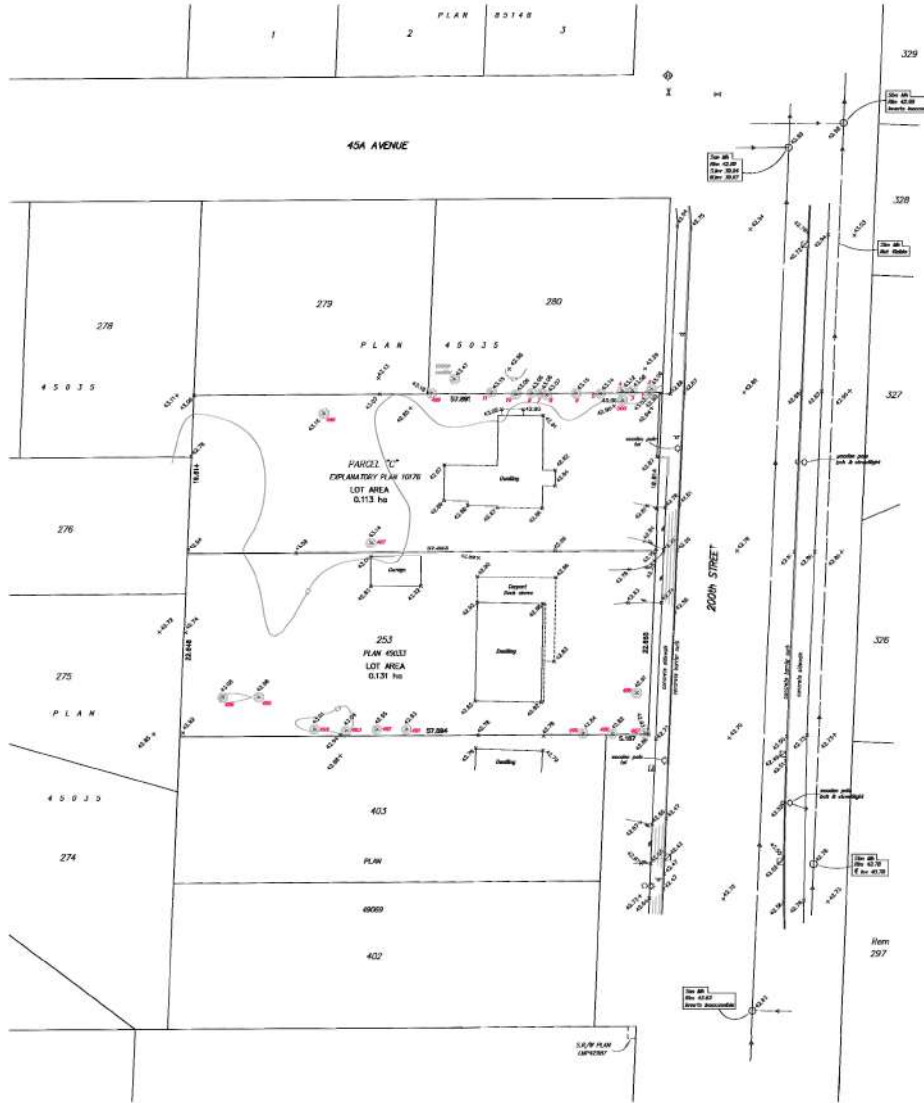
This instrument and plan in this plan in 2021 (NWT) is valid, by 2026 (NWT) to 2031 (Circular/Structural 2) when printed at a scale of 1:250

PLAN 101-89-007 (REV 2018)  
LINE ADDRESS: 4007 200A STREET

PLAN 101-101-010 (PARCEL "C")  
LINE ADDRESS: 4003 200A STREET

NOTE: LOT DIMENSIONS FROM FIELD SURVEY

NO.	DESCRIPTION	DIAMETER (mm)
1	cast iron	100
2	cast iron	100
3	cast iron	100
4	cast iron	100
5	cast iron	100
6	cast iron	100
7	cast iron	100
8	cast iron	100
9	cast iron	100
10	cast iron	100
11	cast iron	100
12	cast iron	100
13	cast iron	100
14	cast iron	100
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98	cast iron	100
99	cast iron	100
100	cast iron	100







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 4503, 4513 - 200 STREET,  
 LANGLEY, BC.  
 FOR:  
**WEST MANN DEVELOPMENTS INC.**  
 2 - 7550 KING GEORGE BLVD,  
 SURREY, B.C. V3W 5A5

DRAWING TITLE:  
**SITE PLAN**

DATE	BY	SHEET NO.
SEP 2021	NTS	A-1.4
DRAWN	A.A.	
PROJECT NO.		

- LEGEND :**
- TREE PROTECTION FENCE
  - SIDE WALK
  - BIKE LANE

**SITE PLAN**



## STATISTICS :

### CIVIC ADDRESS :

4503 & 4513, 200 STREET, LANGLEY, BC.

### LEGAL DESCRIPTION :

LOT 253, PLAN 45033 AND PARCEL "C" (EXPLANATORY PLAN 10176) NORTH HALF LOT 3, BLOCK 2, PLAN 1783 BOTH IN SECTION 34, TOWNSHIP 7, NEW WESTMINSTER DISTRICT

### ZONING :

EXISTING : RS1  
PROPOSED : CD

### SITE AREA :

BEFORE DEDICATION : 26265 SQ.FT.=2440.0 m<sup>2</sup> : 0.60 ACRE  
(0.242 HA.)  
AFTER DEDICATION : 21261 SQ.FT. = 1975.1 m<sup>2</sup> : 0.488 ACRE  
(0.197 HA.)

### FLOOR AREA :

#### BLOCK 1 :

FIRST FLOOR : 4939 SQ.FT.  
SECOND FLOOR : 5126 SQ.FT.  
THIRD FLOOR : 5126 SQ.FT.  
TOTAL AREA : 15191 SQ.FT.

#### BLOCK 2 :

FIRST FLOOR : 4941 SQ.FT.  
SECOND FLOOR : 5126 SQ.FT.  
THIRD FLOOR : 5126 SQ.FT.  
TOTAL AREA : 15195 SQ.FT.

TOTAL AREA OF TWO BLOCKS :  
30384 SQ.FT. = 2823.1 m<sup>2</sup>

### FSR :

ALLOWED : 1.2  
PROVIDED : 30384 / 26265 = 1.15

### SITE COVERAGE :

ALLOWED : 45%  
PROVIDED : 10252 / 26265 = 39%

### DENSITY :

PROPOSED : 0.242(HA) / 14 = 57.8 UNIT / HECTAR

### HEIGHT :

ALLOWED : 11m.  
PROPOSED : 30'=9.1m. (3 STOREYS)

### SETBACKS :

	MIN.REQUIRED	PROVIDED
EAST (200 ST.)	: 3m.(9'-10")	3m.(9'-10")
NORTH	: 4.5m.(14'-9")	4.5m.(14'-9")
SOUTH	: 4.5m.(14'-9")	4.5m.(14'-9")
WEST	: 3m.(9'-10")	3m.(9'-10")

### PARKING :

	REQUIRED	PROVIDED
2 STALLS / UNIT	: 2X14 = 28	28
VISITORS : 0.2/UNIT	: 02X14=2.8	3
(INCLUDING ONE ACCESSIBLE)		

UNIT MIX				
UNIT TYPE	NO. OF BED RM.	NO. OF UNITS	AREA (SQ.FT.)	TOTAL AREA (SQ.FT.)
A	4	6	2390	14340
A-s	4	2	2390	4780
B1	3	2	1853	3706
B2	3	2	1814	3628
B3	3	1	1965	1965
B4	3	1	1965	1965
TOTAL		14		30384



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1	FEB 18 + 22	ISSUED FOR ADP MEETING
N/A		

PROJECT TITLE:  
**TOWNHOUSE  
DEVELOPMENT**  
4503, 4513 - 200 STREET,  
LANGLEY, BC,  
FOR:  
**WEST MANN  
DEVELOPMENTS INC.**  
2 - 7550 KING GEORGE BLVD.,  
SURREY, B.C., V3W 5A5

DRAWING TITLE:  
**STATISTICS**

DATE:	SCALE:	DRAWN:	PROJECT NO.:
Sep 2021	N.T.S.	A.A.	-

SHEET NO:  
**A-1.5**



200 STREET



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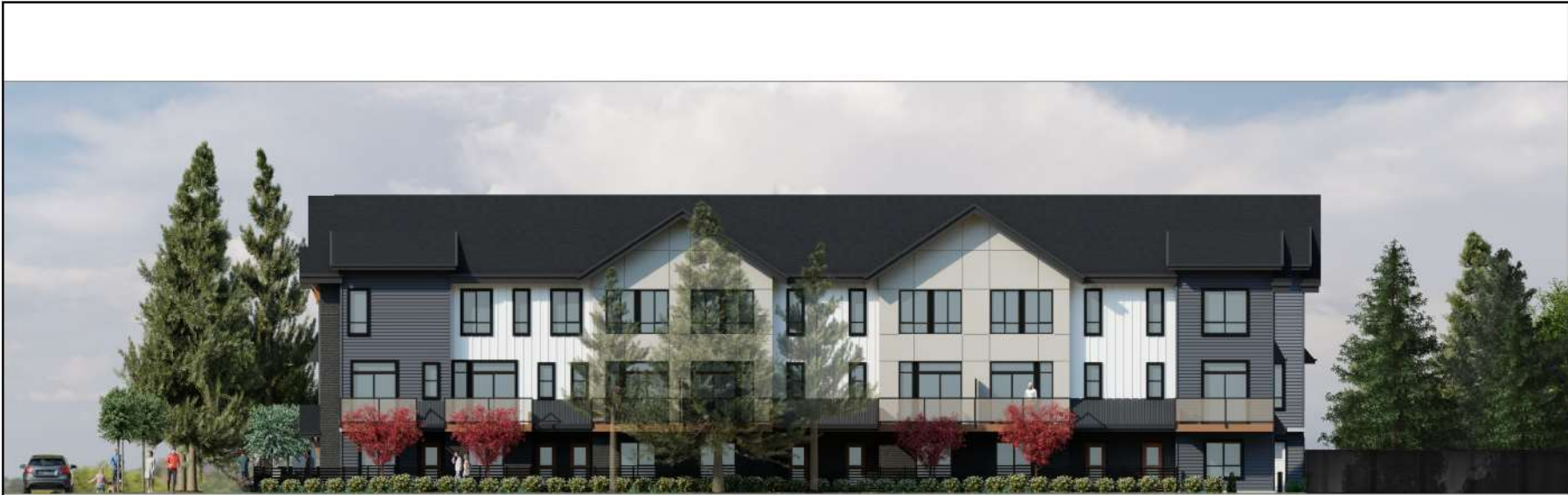
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NCL	DATE	REVISION / ISSUED

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SURREY, B.C. V3W 5A5

DRAWING TITLE:  
**PERSPECTIVE VIEW  
FROM 200 STREET**

DATE:	SEP 2021	SHEET NO: <b>A-1.6</b>
SCALE:	N.T.S.	
DESIGN:	A.A.	
DRAWING:	A.A.	
PROJECT NO.:	-	





BLOCK 1 NORTH ELEVATION



BLOCK 2 NORTH ELEVATION



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SURREY, B.C. V3W 5A5

**DRAWING TITLE:**  
COLORED ELEVATIONS

DATE:	Sep 2021	SHEET NO:
SCALE:	INTS.	<b>A-1.7</b>
DESIGN:	AA	
DRAWING:	AA	
PROJECT NO.:	-	



## Design Rationale / Statement of Intent

4503 - 4513 200 Street, Langley, BC

### Introduction

This Design Rationale is to be read as part of a rezoning and development application for a 14-unit townhome development at 4503 and 4513, 200 Street, Langley.

For detailed information refer to the architectural, landscape, civil drawings, rendering and other related documents.

### Site Characteristics, History and Context

This development proposal would occupy two single family lots with an area of 2,440 sqm or 0.6 acres and faces 200 Street to the east. The site is almost flat with a very little slope from west to east.

There is 5.0 meter dedication along 200 Street and a 8-meter future lane dedication on the west side. The future lane dedication will be connected to 45a Avenue to the north and should pass through the neighbouring property. This is contingent on the two properties to the north being assembled and developed in the future. The purpose of proposing this lane is to provide vehicular access to the site and close off the temporary access from 200 Street.

The proposed development seeks rezoning from RS1 to CD (Townhouse) and consists of two separate building blocks. Each building contains of three 3 bedrooms units and four 4 bedroom units. Each building contains 3 tandem car parking garages and 4 double care garages. The average size of the unit ranges from 1,360 to 1,985 sq.ft.

### Orientation, Massing, Form and Character

The Buildings orientation responds to the size and shape of the site. The access to the units are provided through a pedestrian walkway off 200 Street. Low aluminum fence and gates are introduced along the street providing a safe and pleasant pedestrian routes to the entries of the units.

From massing point of view, the buildings have been designed to create visually appealing character by variations on the roof lines with combination of shed roof and high pitch gables. Some of the units have vaulted ceiling and taller windows.

Architectural expression and finishing material demonstrate an urban character with emphasis on creating tall projected bay element with architectural articulations and detailing. The façade elements include repetitive bay windows, high pitched roof lines and a combination of gables / shed roofs.

Typical approach toward the design is accommodating a guest room at ground floor, open concept kitchen, dining and living on the 2nd floor and 3 bedrooms on the 3rd floor. The upper floors have high vaulted ceilings and tall windows in order to introduce a farm house style architecture with identifiable bays and raised gables.

Spandrel glass between the windows is introduced to further emphasis on tall gables farm house style.

Three visitor parking are provided at the rear of the site, male box and signage are proposed along 200 Street.



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2 - 7550 KING GEORGE BLVD,  
SURREY, B.C. V3W 5A5

DRAWING TITLE:  
**DESIGN RATIONALE  
SITE CHARACTERISTICS, FORM  
MASSING AND ORIENTATION**

DATE:	Sep 2021	SHEET N°:
SCALE:	N/A	<b>A-1.8</b>
DESIGN:	AA	
DRAWN:	AA	
PROJECT NO.:	-	

**Livability, Energy Saving and Green Measures**

**Many green building strategies have been incorporated into the project design including the following items:**

- The building envelope, glazing, and mechanical system will be design based on the 2018 code and in compliance with ASHRE 90, 2010
- Selection of the material is based on the use of low / non-toxic, low-maintenance, durable and sustainable products. Low emission adhesives paint and flooring will also be used throughout the units
- Water efficient fixtures, energy efficient appliances and drought tolerance plants will be used to minimize the use of potable water
- All units have private patios at grade and also decks on the 2nd floor contributing to livability of the units and creating a family oriented environment
- The water consumption strategy is enforced through the use of alternate solution for sprinkler system by utilizing the domestic cold water system instead of a separate sprinkler line.
- Mechanical system is equipped with heat pump system providing both cool and hot air as well as heat recovery system 'HRV' for recycling the heat energy.

All garages are equipped with electric chargers.



**200 ST. STREETSCAPE**



**F. ADAB  
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NO.	DATE	REVISION / ISSUED
5	NOV 21 - 23	ADP REVISIONS
4	AUG 25 - 23	ISSUED FOR ADP MEETING
3	MAR 14 - 23	ISSUED FOR REVISIONS & DP
2	MAR 08 - 22	REISSUED FOR ADP MEETING
1	FEB 15 - 22	ISSUED FOR ADP MEETING

PROJECT TITLE:  
**TOWNHOUSE DEVELOPMENT**  
4503, 4513 - 200 STREET,  
LANGLEY, BC.

FOR:  
**WEST MANN DEVELOPMENTS INC.**  
2 - 7550 KING GEORGE BLVD,  
SURREY, B.C. V3W 5A5

DRAWING TITLE:  
**DESIGN RATIONALE  
LIVABILITY, ENERGY SAVING  
AND GREEN MEASURES**

DATE:	Sep 2021	SHEET NO.:
SCALE:	N/A	<b>A-1.9</b>
DESIGN:	AA	
DRAWN:	AA	
PROJECT NO.:	-	



**Crime Prevention Through Environmental Design. "CPTED"**

The criteria of a safe and secure environment have been discussed with Liahona Security and a CPTED report has been prepared and submitted to the City of Langley and the owners for implementation.

The rationale behind the CPTED strategy takes into account the standard measures as well as items specifically related to this development. These provisions are aimed to enhance safety and strengthen the perception of security.

**The proposed CPTED measure fall into the following categories:**

- Provision of identifiable territoriality*
- Provision of natural surveillance*
- Defining the hierarchy of space*
- Provision of access and perimeter control*

- The windows and balconies along the streets ensure the outdoor presence of the people, which provide "eyes on the street" and security for the private and public spaces
- Lights would be installed on both sides of the home entries and garage doors illuminating the entire buildings and internal road. Outdoor lights are regulated by photo cell system
- The simplicity of the massing and its orientation creates an open space environment visible from every angle with no enclave or semi enclosed spaces for strangers and wandering people
- The access control is achieved by ensuring visible entrances overlooked by windows and balconies as well as defining the entrance ways and controlling the point of access to the site
- Brick has been introduced at the base of the building presenting a durable and high quality base free of graffiti
- Landscaping, plants, and fences are designed to prevent hidden spaces and secure residents control. The Strata Corporation should implement a maintenance manual.

**Landscape design rationale**

The landscape design proposes a soft urban edge to the townhouse development with unique paving identifying unit entrances and row of plantings at street and fence frontages. Each residence enjoys a private patio garden with room for furnishings by the homeowner.

Planting includes trees and a wide variety of native and seasonably interesting shrubs, ground covers, and perennials and will provide passive shading to the southern exposure of the units. Trees offer contextual beauty to the walkways in front of units and enhances wildlife habitat.

The current site layout provides for safe onsite circulation for vehicles and pedestrian traffic with convenient access to all building entries. There are additional visitor parking stalls onsite.

We believe the proposed design maximizes the potential of the site while providing many sustainability attributes and promoting a form and character that is suited to the local neighbourhood.



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NO.	DATE	REVISION / ISSUED
5	NOV 21 - 23	ADP REVISIONS
4	AUG 25 - 23	ISSUED FOR ADP MEETING
3	MAR 14 - 22	ISSUED FOR REZONING & DP
2	MAR 08 - 22	REISSUED FOR ADP MEETING
1	FEB 15 - 22	ISSUED FOR ADP MEETING

PROJECT TITLE:  
**TOWNHOUSE DEVELOPMENT**  
4503, 4513 - 200 STREET,  
LANGLEY, BC.

FOR:  
**LEONE HOMES INC.**  
238 - 13895 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:  
**DESIGN RATIONALE**  
CPTED, LANDSCAPE

DATE:	Sep 2021	SHEET NO.:
SCALE:	N/A	<b>A-1.10</b>
DESIGN:	AA	
DRAWN:	AA	
PROJECT NO.:	-	

**Exterior Finishes and Colour**

The selection of the exterior finishes is based on enhanced durability / longevity of the construction materials as part of a sustainable approach.

A variety of building materials are used with emphasis on brick, prefabricated board and batten panels and hardy siding. No vinyl siding is introduced on any facades of the buildings.

The colours are selected with emphasis on creating moderate contrast by using grey brick at the base and combination of grey and white sidings and board and batten. Widows, roof, privacy screens and railings are black.

Metal shed roof is proposed over the entry canopies and some of the windows on 2nd floor. Natural wood colour for brackets and balcony decks are proposed at the base of the building.



**BLOCK 1 NORTH ELEVATION**

2

3

7

**EXTERIOR FINISH COLOUR SCHEME**



**1**  
**ASPHALT SHINGLE :**  
DRIFTWOOD - BY CERTAINTEED



**2**  
**BRICK :**  
ONYX-IRONSPOT BY I.X.L



**3**  
**METAL ROOF**  
GRAPHITE  
BY DIRECT



**4**  
**HARDIE BOARD & BATTEN & 6" HORIZONTAL HARDIE SIDING**  
SW 7757 REFLECTIVE WHITE  
BY SHERWIN WILLIAMS



**5**  
**6" HORIZONTAL HARDIE SIDING**  
SW 7019 GAUNTLET GRAY  
BY SHERWIN WILLIAMS



**6**  
**HARDIE PANEL**  
SW 7017 DORIAN GRAY  
BY SHERWIN WILLIAMS



**7**  
**CEDAR WOOD :**  
CLEAR STAINED



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	2024-01-20	
5	NOV 21 + 23	ADP REVISIONS
4	AUG 25 + 23	ISSUED FOR ADP MEETING
3	MAR 14 + 22	ISSUED FOR REZONING & CP
2	MAR 08 - 22	ISSUED FOR ADP MEETING
1	FEB 18 + 22	ISSUED FOR ADP MEETING
NO.	DATE	REVISION / ISSUED

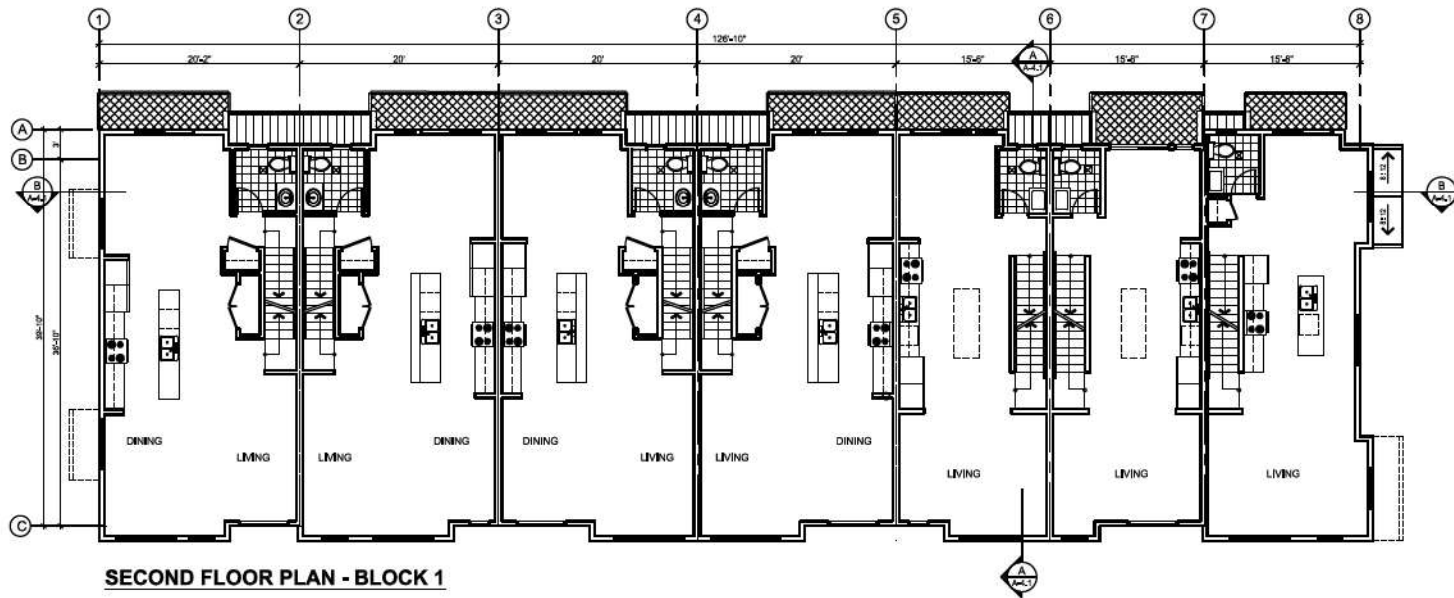
PROJECT TITLE:  
**TOWNHOUSE DEVELOPMENT**  
4503, 4513 + 200 STREET,  
LANGLEY, BC,  
FOR:  
**LEONE HOMES INC.**  
238 - 13986 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:  
**EXTERIOR FINISHES**

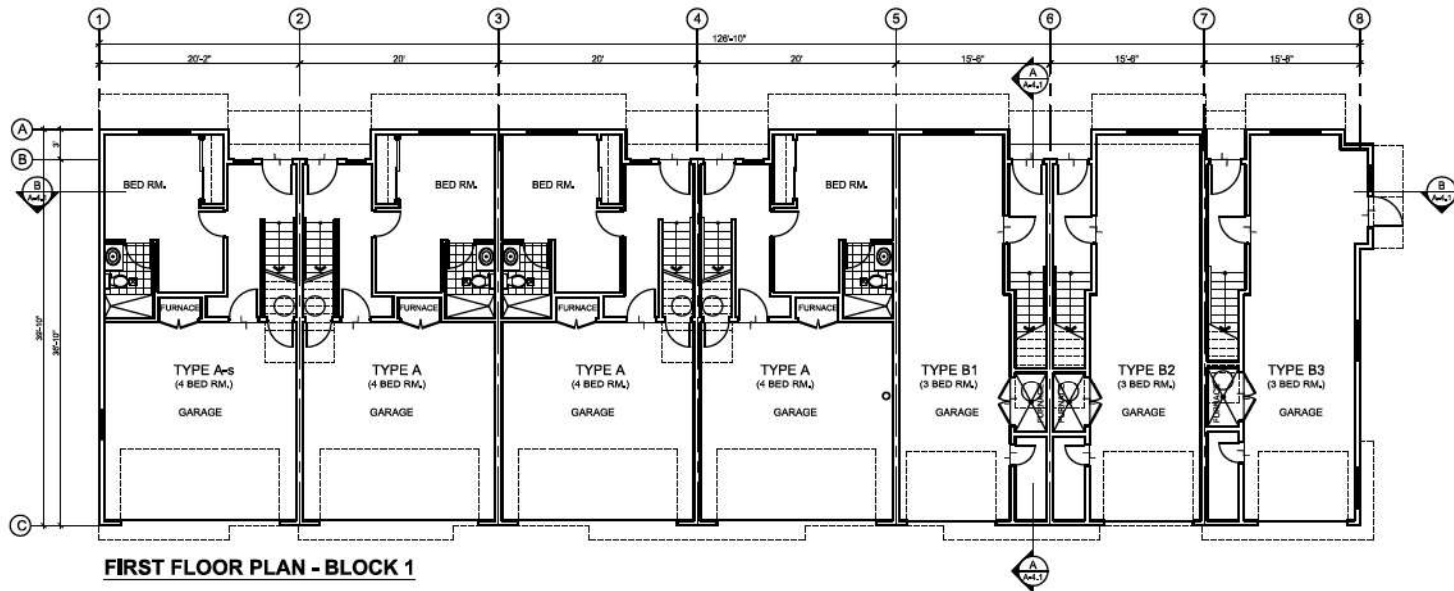
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SCALE:	NTS.	<b>A-1.11</b>
DESIGN:	AA	
DRAWN:	AA	
PROJECT NO.:	-	







**SECOND FLOOR PLAN - BLOCK 1**



**FIRST FLOOR PLAN - BLOCK 1**



**F. ADAB  
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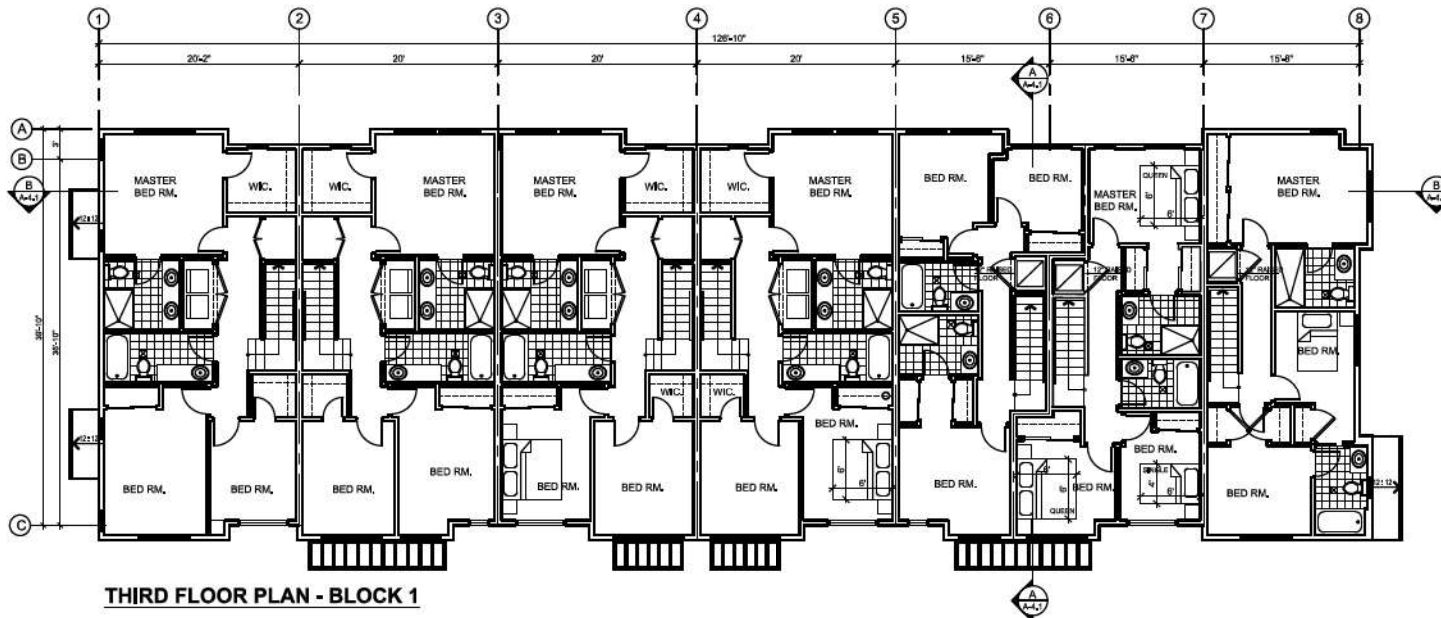
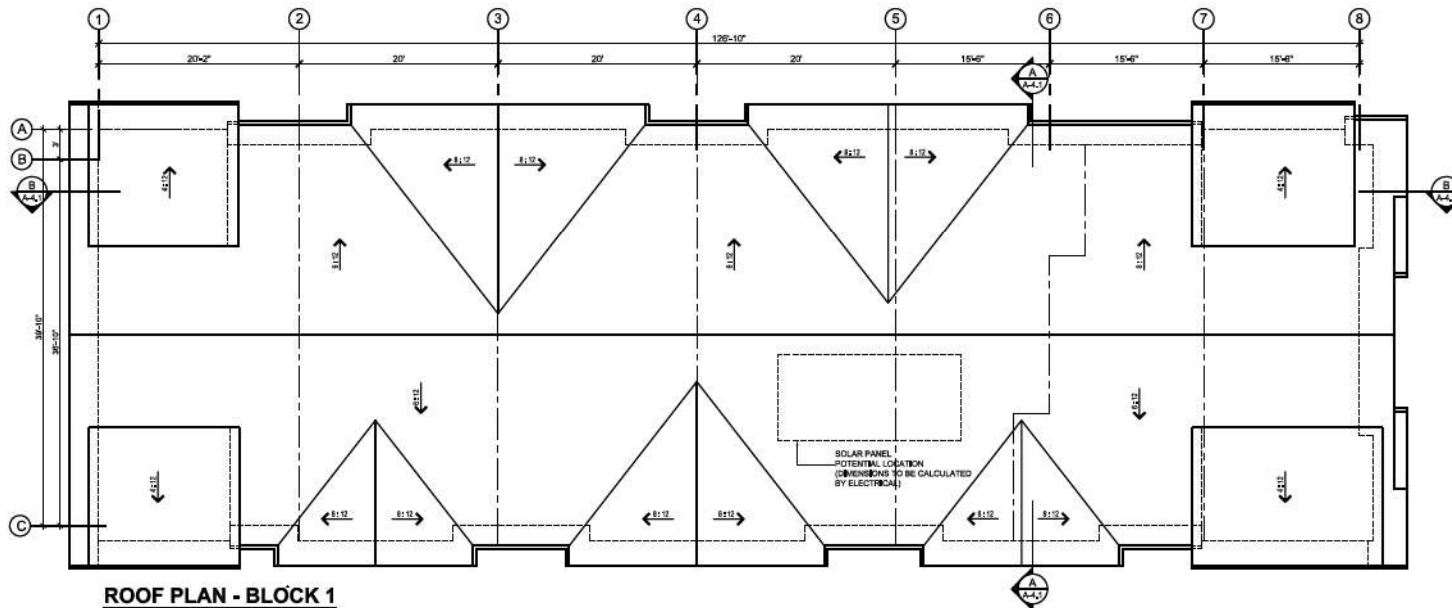
NO.	DATE	REVISION / ISSUED
1	FEB 16 - 22	ISSUED FOR ADP MEETING
2	MAR 08 - 22	REISSUED FOR ADP MEETING
3	MAR 14 - 23	ISSUED FOR REVISIONS & DP
4	AUG 26 - 25	ISSUED FOR ADP MEETING
5	NOV 21 - 23	ADP REVISIONS

PROJECT TITLE:  
**TOWNHOUSE  
DEVELOPMENT**  
4503, 4513 - 200 STREET,  
LANGLEY, BC,  
FOR:  
**LEONE HOMES INC.**  
238 - 13096 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:  
**BLOCK 1  
FIRST AND SECOND  
FLOOR PLANS**

DATE	REV	SHEET NO.
SEP 2021		A-2.1
SCALE:	NTS	
DESIGN:	AA	
DRAWN:	AA	
PROJECT NO.		





**F. ADAB  
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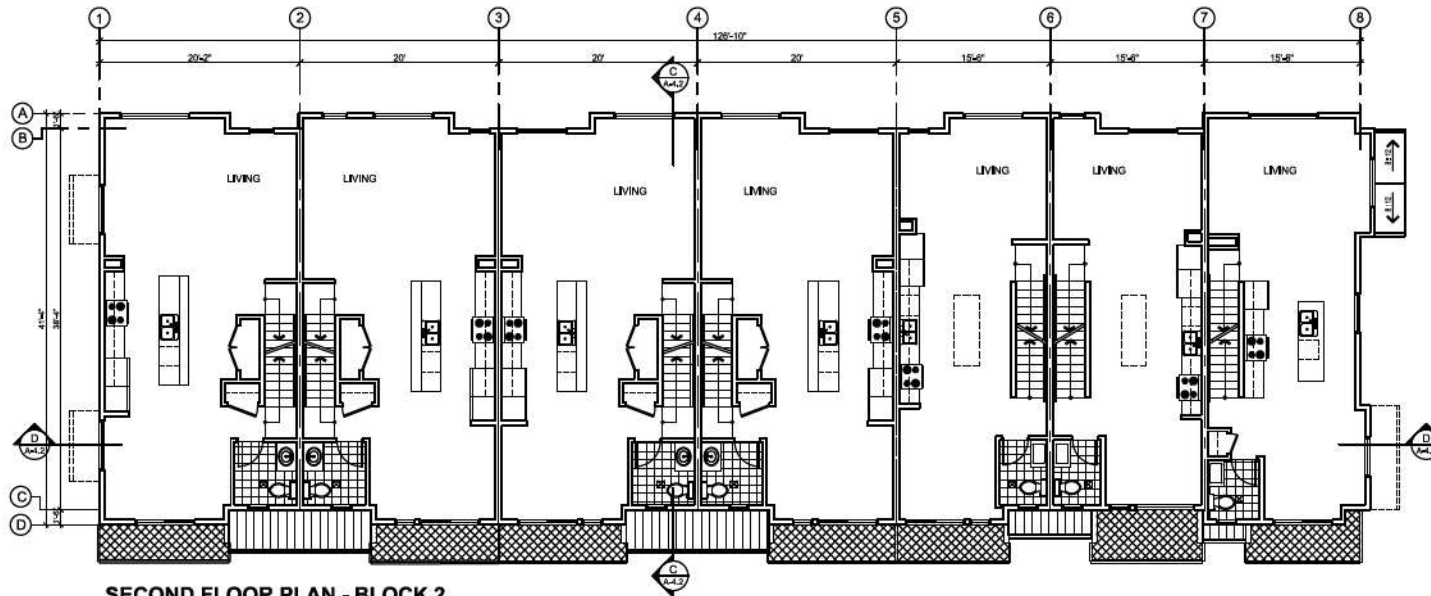


NO.	DATE	REVISION / ISSUED
5	NOV 21 - 23	ADP REVISIONS
4	AUG 28 - 29	ISSUED FOR ADP MEETING
3	MAR 14 - 22	ISSUED FOR REZONING & DP
2	MAR 08 - 22	REISSUED FOR ADP MEETING
1	FEB 15 - 22	ISSUED FOR ADP MEETING

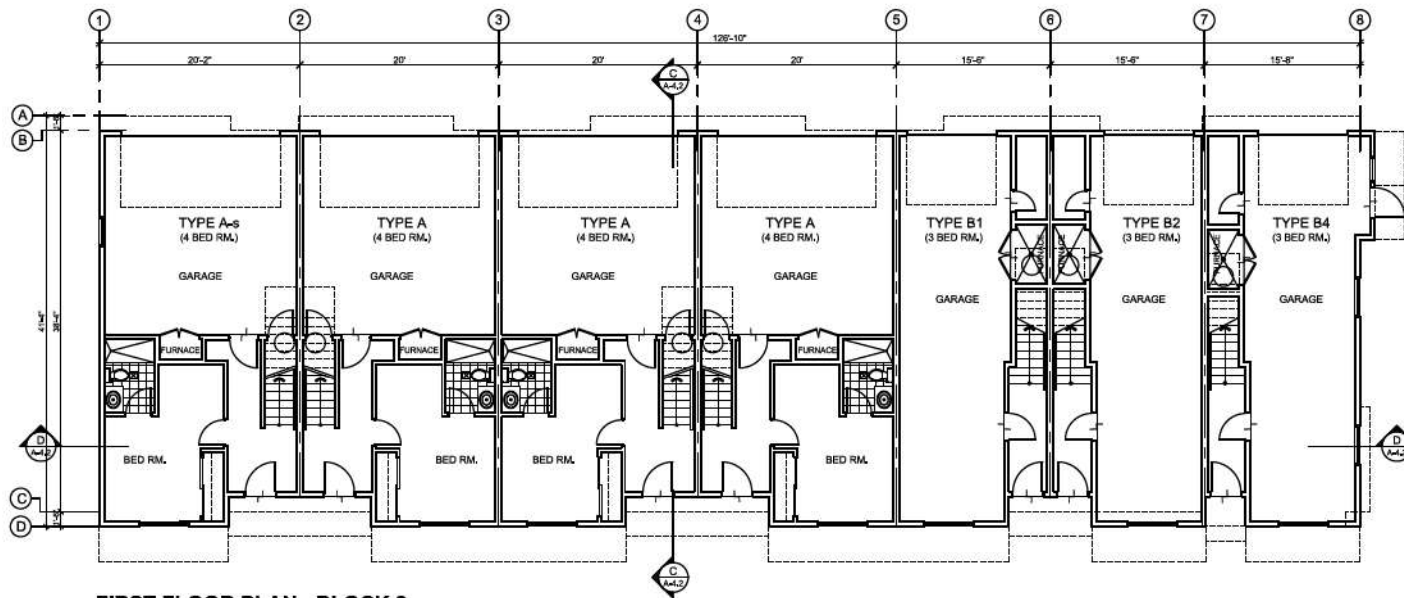
PROJECT TITLE:  
**TOWNHOUSE  
DEVELOPMENT**  
4503, 4513 - 200 STREET,  
LANGLEY, BC.  
FOR:  
**LEONE HOMES INC.**  
238 - 13986 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:  
**BLOCK 1  
THIRD FLOOR AND  
ROOF PLANS**

DATE:	09/01/2021	SHEET NO.:
SCALE:	NTS	
DESIGN:	A.A.	<b>A-2.2</b>
DRAWN:	A.A.	
PROJECT NO.:	-	



**SECOND FLOOR PLAN - BLOCK 2**



**FIRST FLOOR PLAN - BLOCK 2**



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2	MAR 08 - 22	REISSUED FOR ADP MEETING
1	FEB 15 - 22	ISSUED FOR ADP MEETING

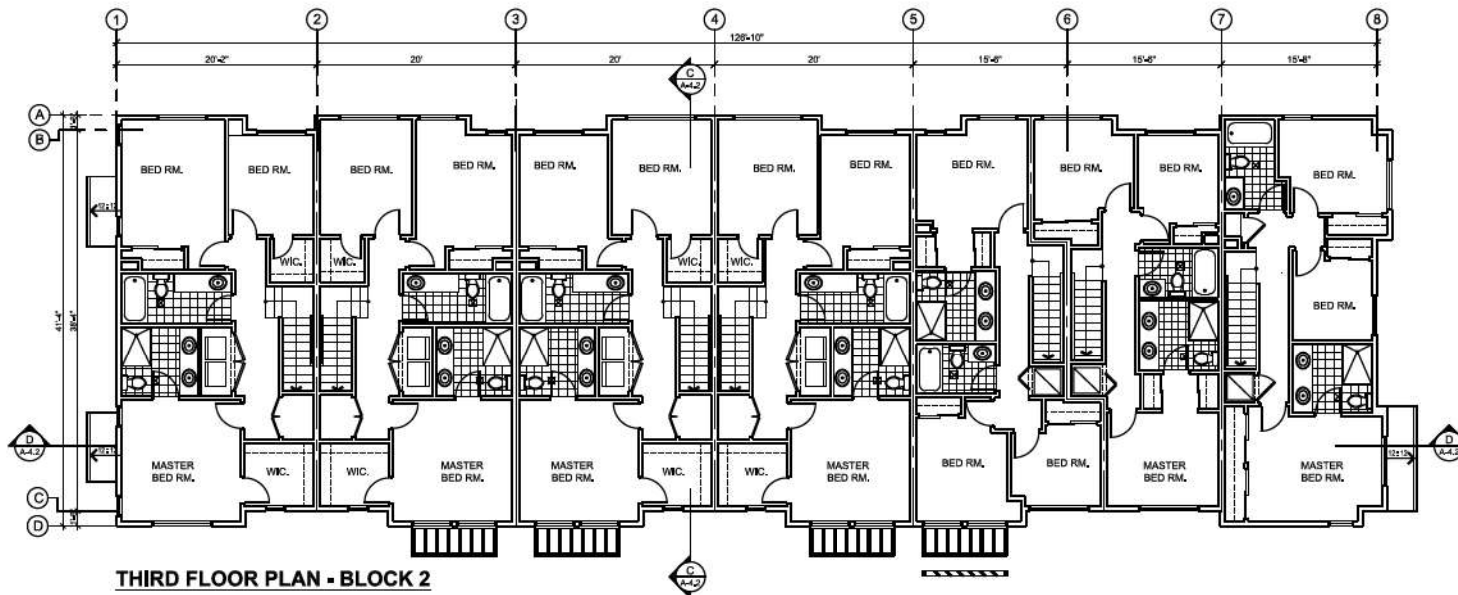
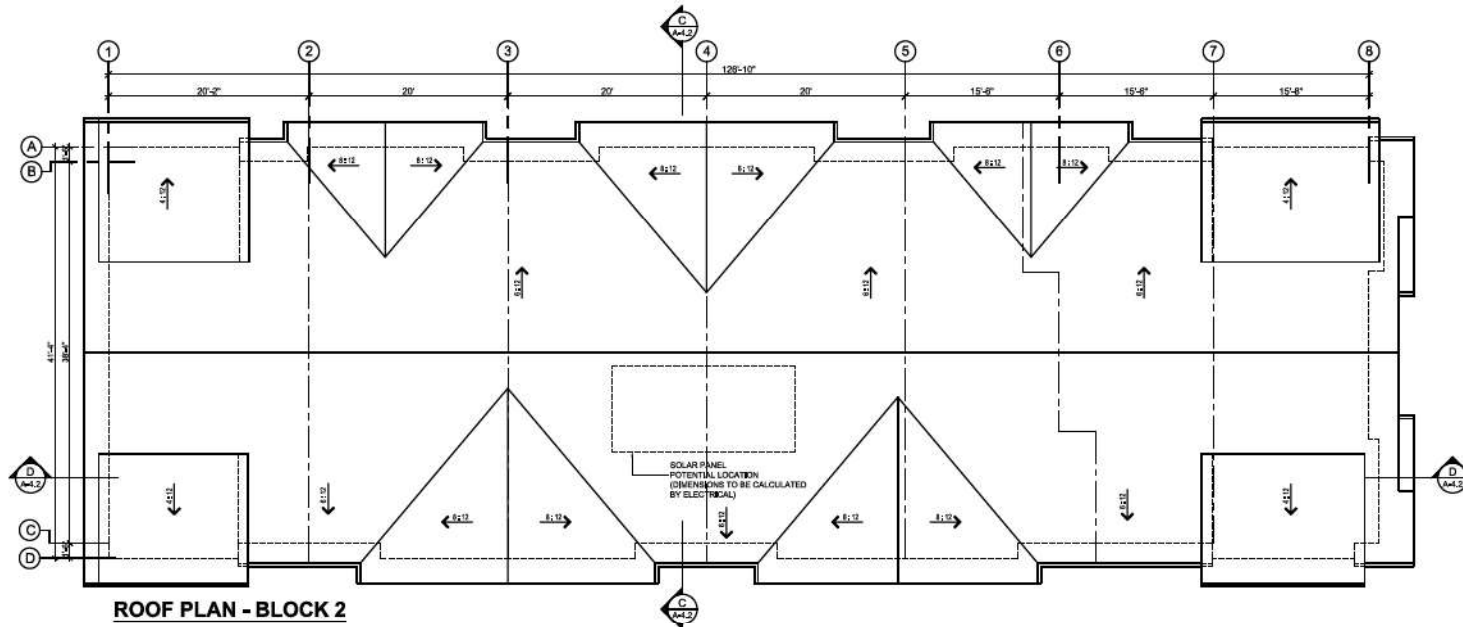
**PROJECT TITLE:**  
TOWNHOUSE  
DEVELOPMENT  
4503, 4513 + 200 STREET,  
LANGLEY, BC.

**FOR:**  
LEONE HOMES INC.,  
238 + 13986 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

**DRAWING TITLE:**  
BLOCK 2  
FIRST AND SECOND  
FLOOR PLANS

DATE:	8 Sep 2021	SHEET NO.:
SCALE:	N.T.S.	A-2.3
DESIGN:	A.A.	
DRAWING:	A.A.	
PROJECT NO.:	-	





**F. ADAB ARCHITECTS INC.**

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3	MAR 14 - 22	ISSUED FOR REVISION 6 & DP
2	MAR 08 - 22	REISSUED FOR ADP MEETING
1	FEB 15 - 22	ISSUED FOR ADP MEETING

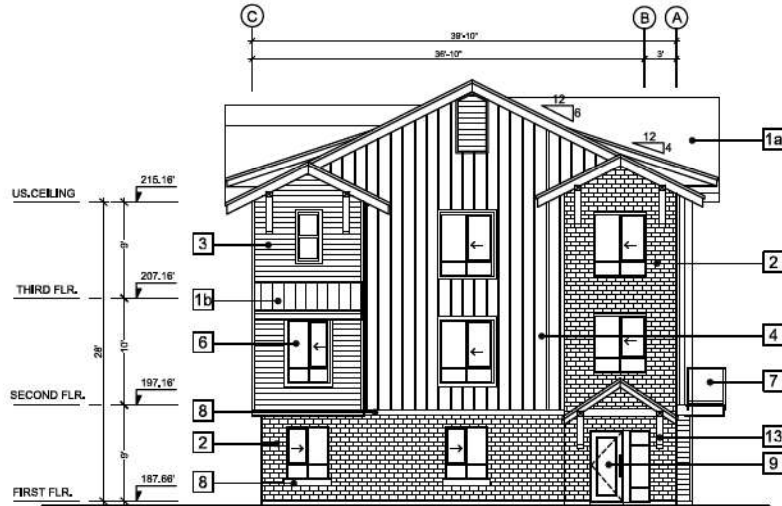
PROJECT TITLE:  
**TOWNHOUSE DEVELOPMENT**  
 4503, 4513 - 200 STREET,  
 LANGLEY, BC.  
 FOR:  
**LEONE HOMES INC.**  
 238 - 13986 CAMBIE ROAD,  
 RICHMOND, B.C. V6V 2K3

DRAWING TITLE:  
**BLOCK 2  
 THIRD FLOOR AND  
 ROOF PLANS**

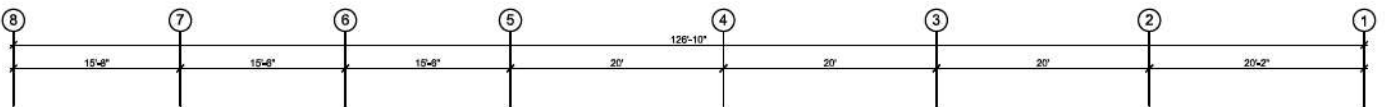
DATE: Sep 2021	SHEET NO:
SCALE: NTS.	
DESIGN: A.A.	<b>A-2.4</b>
DRAWING: A.A.	
PROJECT NO: -	

**EXTERIOR FINISHES**

- 1a ASPHALT SHINGLE ROOF + DRIFTWOOD - BY CERTAINTED (FASCIA TO MATCH ROOF COLOR)
- 1b GALVANIZED METAL ROOF + GRAPHITE - BY DIRECT (FASCIA TO MATCH ROOF COLOR)
- 2 BRICK ONYX IRONSPOT SMOOTH - BY LXL
- 3 6" HORIZONTAL HARDE SIDING, TRIMS & BAND BOARDS - SW 7019 GAUNTLET GRAY - BY SHERWIN WILLIAMS (244)
- 4 HARDE BOARD & BATTEN + TRIMS - SW 7757 REFLECTIVE WHITE - BY SHERWIN WILLIAMS
- 5 HARDE PANEL SW 7017 DORIAN GRAY - BY SHERWIN WILLIAMS (244)
- 6 WINDOWS - VENT GRILLES VINYL - BLACK
- 7 RAILING - ALUMINUM - BLACK - SAFETY GLASS WITH BLACK ALUMINUM FRAME
- 8 PRE-CAST CONCRETE SILL AND CAP SW 0065 LIGHT FRENCH GRAY - BY SHERWIN WILLIAMS
- 9 ENTRY DOORS STAINED CEDAR WOOD
- 10 GARAGE DOORS - SW 7757 REFLECTIVE WHITE - BY SHERWIN WILLIAMS - GLASS
- 11 PRIVACY SCREEN - BLACK ALUMINUM FRAME - OBSCURE GLASS
- 12 BALCONY FASCIA & CURB / ROOF FASCIA STAINED CEDAR WOOD
- 13 BRACKETS STAINED CEDAR WOOD
- 14 ALUMINUM SUN SHADE BLACK



**EAST ELEVATION - BLOCK 1**



**NORTH ELEVATION - BLOCK 1**



**F. ADAB ARCHITECTS INC.**

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3	MAR 14 - 22	ISSUED FOR REVISIONS & O.P.
2	MAR 08 - 22	REISSUED FOR ADP MEETING
1	FEB 10 - 22	ISSUED FOR ADP MEETING

PROJECT TITLE:  
**TOWNHOUSE DEVELOPMENT**  
4503, 4513 - 200 STREET,  
LANGLEY, BC.  
FOR:  
**LEONE HOMES INC.**  
238 - 13986 GAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

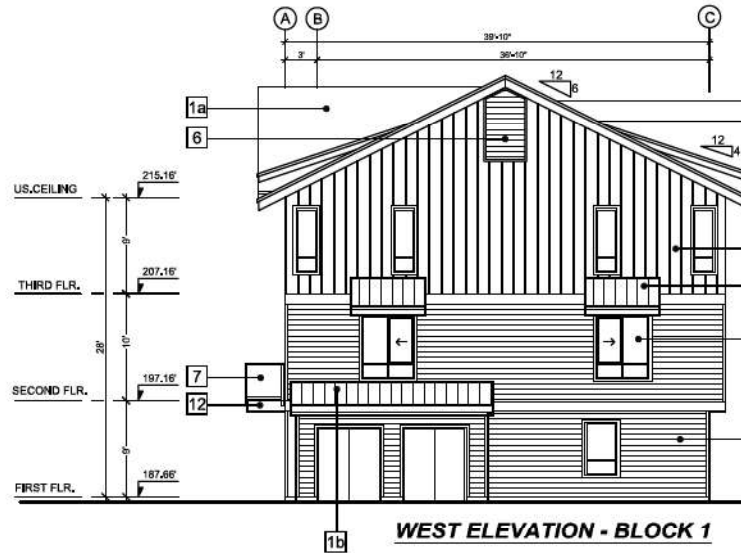
DRAWING TITLE:  
**BLOCK 1 NORTH & EAST ELEVATIONS**

DATE: 8 Sep 2021	SHEET NO.:
SCALE: NTS.	A-3.1
DESIGN: A.A.	
DRAWN: A.A.	
PROJECT NO.:	

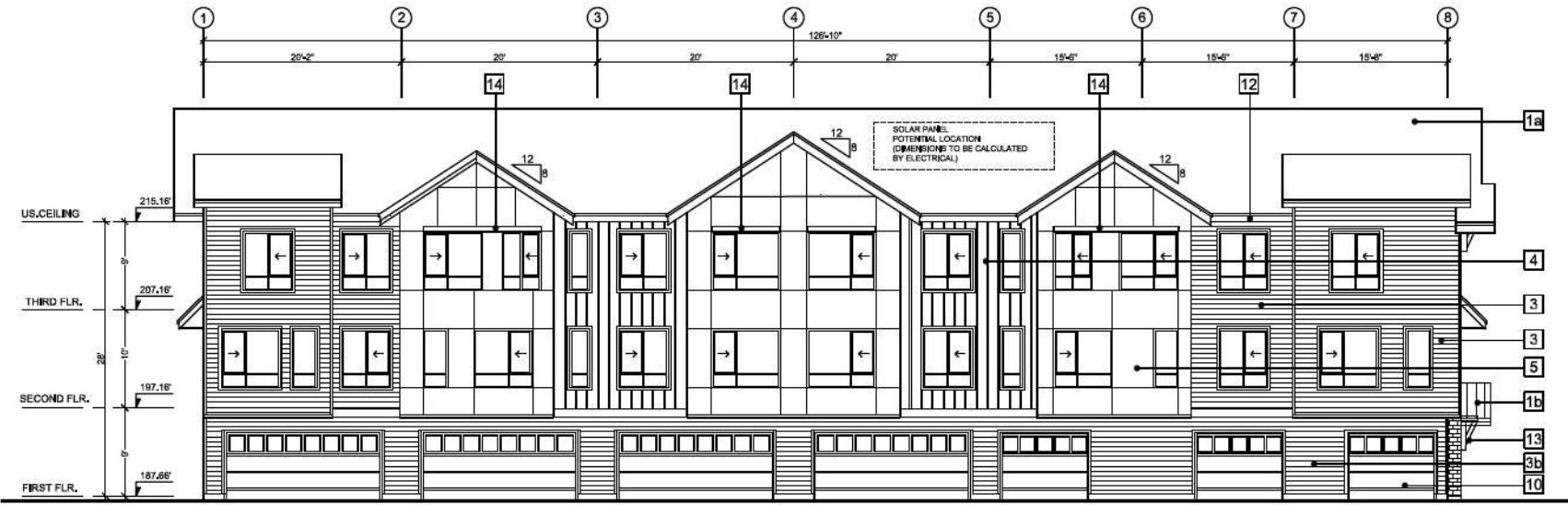


**EXTERIOR FINISHES**

- 14 ASPHALT SHINGLE ROOF :  
DRIFTWOOD - BY CERTANTEED  
(FASÇA TO MATCH ROOF COLOR)
- 15 GALVANIZED METAL ROOF :  
GRAPHITE - BY DIRECT  
(FASÇA TO MATCH ROOF COLOR)
- 2 BRICK  
ONYX IRONSPOT SMOOTH - BY LXL
- 3 6" HORIZONTAL HARDE SIDING,  
TRIMS & BAND BOARDS -  
SW 7019 GAUNTLET GRAY - BY SHERWIN WILLIAMS (244)
- 4 HARDE BOARD & BATTEN & TRIMS -  
SW 7757 REFLECTIVE WHITE -  
BY SHERWIN WILLIAMS
- 5 HARDE PANEL  
SW 7017 DORIAN GRAY - BY SHERWIN WILLIAMS (244)
- 6 WINDOWS - VENT GRILLES  
VINYL - BLACK
- 7 RAILING  
- ALUMINUM - BLACK  
- SAFETY GLASS WITH BLACK ALUMINUM FRAME
- 8 PRE-CAST CONCRETE SILL AND CAP  
SW 0053 LIGHT FRENCH GRAY - BY SHERWIN WILLIAMS
- 9 ENTRY DOORS  
STAINED CEDAR WOOD
- 10 GARAGE DOORS  
- SW 7757 REFLECTIVE WHITE - BY SHERWIN WILLIAMS  
- GLASS
- 11 PRIVACY SCREEN  
- BLACK ALUMINUM FRAME  
- OBSCURE GLASS
- 12 BALCONY FASÇA & CURB / ROOF FASÇA  
STAINED CEDAR WOOD
- 13 BRACKETS  
STAINED CEDAR WOOD
- 14 ALUMINUM SUN SHADE  
BLACK



**WEST ELEVATION - BLOCK 1**



**SOUTH ELEVATION - BLOCK 1**



**F. ADAB  
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2	MAR 08 - 22	REISSUED FOR ADP MEETING
1	FEB 15 - 22	ISSUED FOR ADP MEETING

PROJECT TITLE:  
**TOWNHOUSE  
DEVELOPMENT**  
4503, 4513 - 200 STREET,  
LANGLEY, BC.

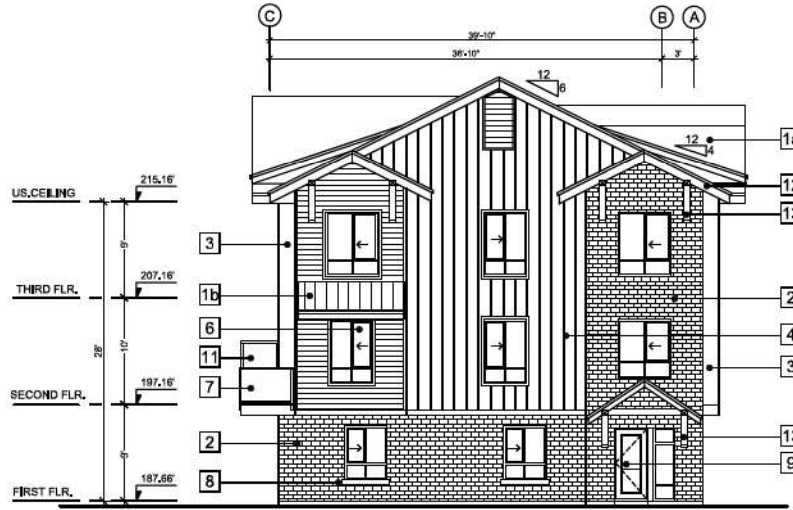
FOR:  
**LEONE HOMES INC.**  
238 - 13986 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:  
**BLOCK 1 SOUTH & WEST  
ELEVATIONS**

DATE:	8 sep 2021	SHEET Nº:	
SCALE:	N.T.S.		
DESIGN:	A.A.		
DRAWING:	A.A.		<b>A-3.2</b>
PROJECT Nº:	-		

**EXTERIOR FINISHES**

- 14 ASPHALT SHINGLE ROOF :  
DRIFTWOOD - BY CERTAINTEED  
(FASCIA TO MATCH ROOF COLOR)
- 10 GALVANIZED METAL ROOF :  
GRAPHITE - BY DIRECT  
(FASCIA TO MATCH ROOF COLOR)
- 2 BRICK  
ONYX IRONSPOT SMOOTH - BY LXL
- 3 6" HORIZONTAL HARDIE SIDING,  
TRIMS & BAND BOARDS -  
SW 1019 GAUNTLET GRAY - BY SHERWIN WILLIAMS (244)
- 4 HARDIE BOARD & BATTEN & TRIMS -  
SW 7157 REFLECTIVE WHITE -  
BY SHERWIN WILLIAMS
- 5 HARDIE PANEL  
SW 7017 DORIAN GRAY - BY SHERWIN WILLIAMS (244)
- 6 WINDOWS - VENT GRILLES  
VINYL - BLACK
- 7 RAILING  
- ALUMINUM - BLACK  
- SAFETY GLASS WITH BLACK ALUMINUM FRAME
- 8 PRE-CAST CONCRETE SILL AND CAP  
SW 3055 LIGHT FRENCH GRAY - BY SHERWIN WILLIAMS
- 9 ENTRY DOORS  
STAINED CEDAR WOOD
- 10 GARAGE DOORS  
- SW 7157 REFLECTIVE WHITE - BY SHERWIN WILLIAMS  
- GLASS
- 11 PRIVACY SCREEN  
- BLACK ALUMINUM FRAME  
- OBSCURE GLASS
- 12 BALCONY FASCIA & CURB / ROOF FASCIA  
STAINED CEDAR WOOD
- 13 BRACKETS  
STAINED CEDAR WOOD
- 14 ALUMINUM SUN SHADE  
BLACK



**EAST ELEVATION - BLOCK 2**



**SOUTH ELEVATION - BLOCK 2**



**F. ADAB ARCHITECTS INC.**

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E-MAIL: fadab@fadabarchitects.com

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NO.	DATE	REVISION / ISSUED
5	NOV 21 - 23	ADP REVISIONS
4	AUG 28 - 29	ISSUED FOR ADP MEETING
3	MAR 14 - 22	ISSUED FOR REVISIONS & DRP
2	MAR 08 - 22	REISSUED FOR ADP MEETING
1	FEB 15 - 22	ISSUED FOR ADP MEETING

PROJECT TITLE:  
**TOWNHOUSE DEVELOPMENT**  
4503, 4513 + 200 STREET,  
LANGLEY, BC.  
FOR:  
**LEONE HOMES INC.**  
238 + 13986 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

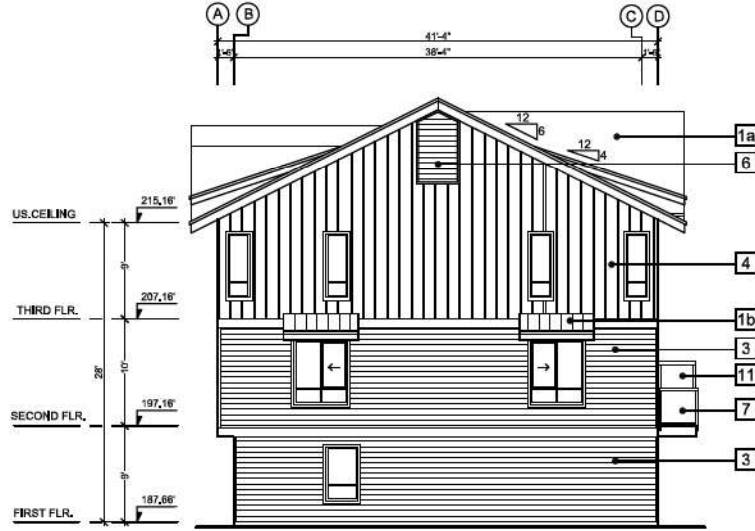
DRAWING TITLE:  
**BLOCK 2 SOUTH & EAST ELEVATIONS**

DATE: Sep 2021	SHEET NO: A-3.3
SCALE: NTS.	
DESIGN: A.A.	
DRAWING: A.A.	
PROJECT NO: -	



**EXTERIOR FINISHES**

- 1a ASPHALT SHINGLE ROOF:  
DRAFTWOOD - BY CERTANTEED  
(FASCIA TO MATCH ROOF COLOR)
- 1b GALVANIZED METAL ROOF:  
GRAPHITE - BY DIRECT  
(FASCIA TO MATCH ROOF COLOR)
- 2 BRICK  
ONYX IRONSPOT SMOOTH - BY IJLL
- 3 6" HORIZONTAL HARDWOOD  
TRIMS & BAND BOARDS -  
SW 7019 GAUNTLET GRAY - BY SHERWIN WILLIAMS (244)
- 4 HARDWOOD BOARD & BATTEN & TRIMS -  
SW 7757 REFLECTIVE WHITE -  
BY SHERWIN WILLIAMS
- 5 HARDWOOD PANEL  
SW 7017 DORIAN GRAY - BY SHERWIN WILLIAMS (244)
- 6 WINDOWS - VENT GRILLES  
VINYL - BLACK
- 7 RAILING  
- ALUMINUM - BLACK  
- SAFETY GLASS WITH BLACK ALUMINUM FRAME
- 8 PRECAST CONCRETE SILL AND CAP  
SW 6055 LIGHT FRENCH GRAY - BY SHERWIN WILLIAMS
- 9 ENTRY DOORS  
STAINED CEDAR WOOD
- 10 GARAGE DOORS  
- SW 7757 REFLECTIVE WHITE - BY SHERWIN WILLIAMS  
- GLASS
- 11 PRIVACY SCREEN  
- BLACK ALUMINUM FRAME  
- OBSCURE GLASS
- 12 BALCONY FASCIA & CURB / ROOF FASCIA  
STAINED CEDAR WOOD
- 13 BRACKETS  
STAINED CEDAR WOOD
- 14 ALUMINUM SUN SHADE  
BLACK



**WEST ELEVATION - BLOCK 2**



**NORTH ELEVATION - BLOCK 2**



**F. ADAB  
ARCHITECTS  
INC.**

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NO.	DATE	REVISION / ISSUED
5	NOV 21 - 23	ADP REVISIONS
4	AUG 28 - 23	ISSUED FOR ADP MEETING
3	MAR 14 - 22	ISSUED FOR REVISIONS & DP
2	MAR 08 - 22	REISSUED FOR ADP MEETING
1	FEB 15 - 22	ISSUED FOR ADP MEETING

PROJECT TITLE:  
**TOWNHOUSE  
DEVELOPMENT**  
4503, 4513 + 200 STREET,  
LANGLEY, BC.  
FOR:  
**LEONE HOMES INC.**  
238 + 13986 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:  
**BLOCK 2 NORTH & WEST  
ELEVATIONS**

DATE:	8 sep 2021	SHEET NO.:	
SCALE:	N.T.S.		
DESIGN:	A.A.		
DRAWING:	A.A.		<b>A-3.4</b>
PROJECT NO.:	-		



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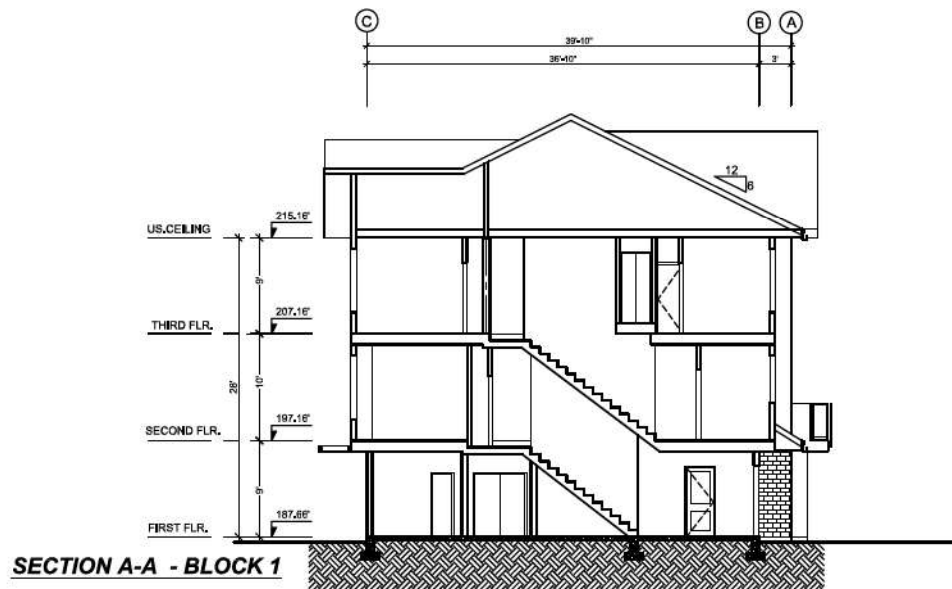


NO.	DATE	REVISION / ISSUED
5	NOV 21 - 23	ADP REVISIONS
4	AUG 28 - 29	ISSUED FOR ADP MEETING
3	MAR 14 - 22	ISSUED FOR REZONING & DP
2	MAR 05 - 22	REISSUED FOR ADP MEETING
1	FEB 15 - 22	ISSUED FOR ADP MEETING

PROJECT TITLE:  
**TOWNHOUSE  
DEVELOPMENT**  
4503, 4513 - 200 STREET,  
LANGLEY, BC.  
FOR:  
**LEONE HOMES INC.**  
238 - 13986 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:  
**BLOCK 1  
SECTIONS A-A & B-B**

DATE:	08p 2021	SHEET NO.:	
SCALE:	N.T.S.		
DESIGN:	A.A.		
DRAWING:	A.A.		<b>A-4.1</b>
PROJECT NO.:	-		



**SECTION A-A - BLOCK 1**



**SECTION B-B - BLOCK 1**





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INC.**

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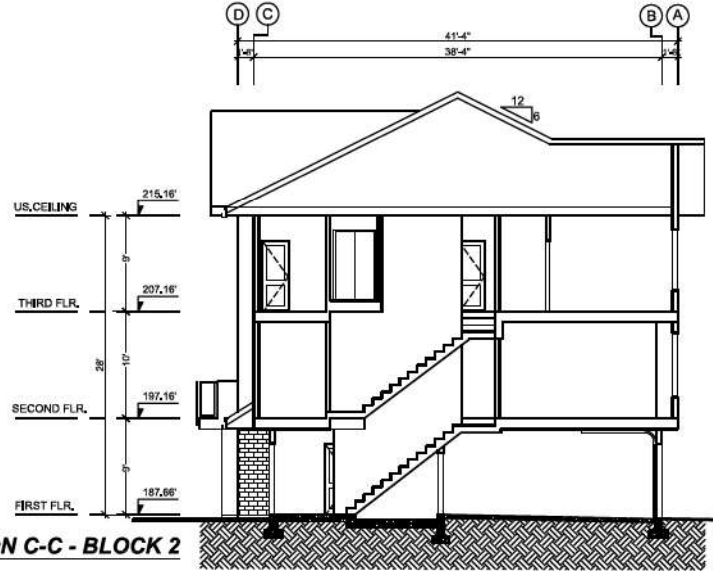


NO.	DATE	REVISION / ISSUED
5	NOV 21 - 23	ADP REVISIONS
4	AUG 28 - 23	ISSUED FOR ADP MEETING
3	MAR 14 - 22	ISSUED FOR REVISIONS & DP
2	MAR 06 - 22	REISSUED FOR ADP MEETING
1	FEB 15 - 22	ISSUED FOR ADP MEETING

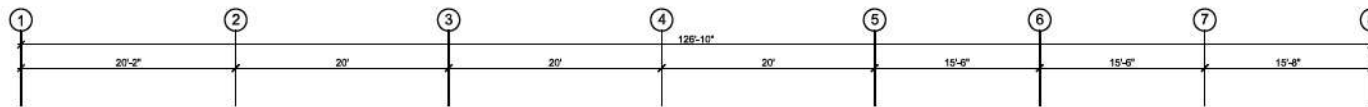
PROJECT TITLE:  
**TOWNHOUSE  
DEVELOPMENT**  
4503, 4513 - 200 STREET,  
LANGLEY, BC.  
FOR:  
**LEONE HOMES INC.**  
238 - 13986 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:  
**BLOCK 2  
SECTIONS C-C & D-D**

DATE: Sep 2021	SHEET NO.:
SCALE: NTS.	<b>A-4.2</b>
DESIGN: A.A.	
DRAWING: A.A.	
PROJECT NO.:	



**SECTION C-C - BLOCK 2**



**SECTION D-D - BLOCK 2**

**PLANT SCHEDULE**

KEY QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
4	CERCIS CANADENSIS	EASTERN REDBUD	60H CAL 1.50M STD-B4B
1	MAGNOLIA SOUL ANGELINA	SAUCER MAGNOLIA	18 STD-B4B ML II STDH
1	MAGNOLIA	MAGNOLIA	60H CAL 1.5M STD-SINGLE STDH-B4B
2	SYRINGA RETICULATA	IVORY SILK TREE	60H CAL 1.5M STD-B4B

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CANA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE TO BE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER REQUIREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW HAVE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS CAN BE WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS. TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.

ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.

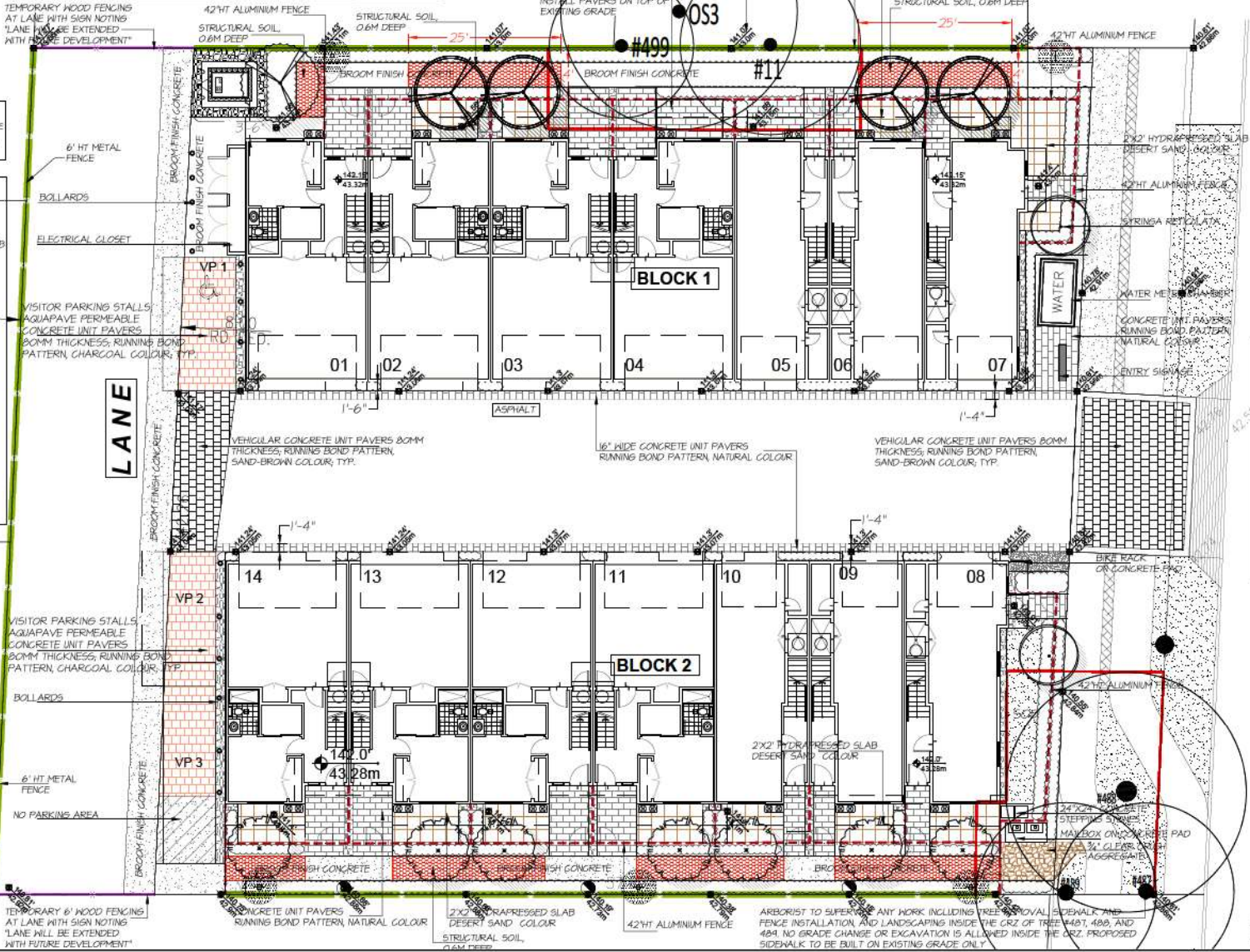
ARBORIST TO SUPERVISE ANY WORK INCLUDING TREE REMOVAL, SIDEWALK AND FENCE INSTALLATION, LAWN BASIN, SHADE INSTALLATION, AND LANDSCAPING INSIDE THE CRZ OF TREE #03, #499, AND #11. NO GRADE CHANGE OR EXCAVATION ALLOWED INSIDE THE CRZ. PROPOSED SIDEWALK TO BE BUILT ON EXISTING GRADE ONLY.

CONCRETE UNIT PAVERS FOR ONLY THESE 2 UNIT PATIOS, RUNNING BOND PATTERN, NATURAL COLOUR. NO EXCAVATION WITHIN 17.25' INSTALLED PAVERS ON TOP OF EXISTING GRADE.

- TREE PROTECTION FENCE
- 42"HT ALUMINUM FENCE
- 6"HT METAL FENCE
- 6"HT WOOD PERIMETER FENCE TO BE REMOVED AFTER LANE EXTENSION

ALL LANDSCAPE AREAS TO BE AUTOMATICALLY IRRIGATED WITH DESIGN BUILD AUTOMATIC IRRIGATION SYSTEM. SHAD DRAWINGS TO BE PROVIDED TO LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO INSTALLATION. IN ALL TYPED AREA CIRCLE ALL IRRIGATION SYSTEM IS TO BE DRIP STRIP ONLY - NO TRENCHING ALLOWED.

- NAME: CLASSIC STANDARD SERIES SUPPLIER: BELGIARD PAVERS SIZE: 6" x 4" x 2.56" (PEDESTRIAN) COLOUR: NATURAL PATTERN: RUNNING BOND
- NAME: TEXADA HYDRAPRESSED SLAB SUPPLIER: BELGIARD PAVERS SIZE: 24" x 24" x 2" COLOUR: SAND PATTERN: STACKED BOND OR GIP STAINED CONCRETE IN 2" x 2" PATTERN
- NAME: AQUAPAVE PERMEABLE PAVES SUPPLIER: BELGIARD PAVERS SIZE: 6" x 4" x 3.14" (VEHICULAR) COLOUR: CHARCOAL PATTERN: RUNNING BOND
- NAME: CLASSIC STANDARD SERIES SUPPLIER: BELGIARD PAVERS SIZE: 6" x 4" x 3.14" (VEHICULAR) COLOUR: SAND BROWN PATTERN: RUNNING BOND
- STRUCTURAL SOIL, 0.6M DEEP
- SOD LAWN
- AGGREGATE



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200 STREET

NO.	DATE	REVISION DESCRIPTION	DR.
10	2024.01.25	REV. PER CITY COMMENTS	M2
9	2024.01.25	REV. AS PER CITY COMMENTS	M2
8	2024.01.25	REV. AS PER CITY COMMENTS	M2
7	2024.01.25	REV. AS PER CITY COMMENTS	M2
6	2024.01.25	REV. AS PER CITY COMMENTS	M2
5	2024.01.25	REV. AS PER CITY COMMENTS	M2
4	2024.01.25	REV. AS PER CITY COMMENTS	M2
3	2024.01.25	REV. AS PER CITY COMMENTS	M2
2	2024.01.25	REV. AS PER CITY COMMENTS	M2
1	2024.01.25	REV. AS PER CITY COMMENTS	M2



PROJECT:  
4503 200 STREET,  
CITY OF LANGLEY, BC

DRAWING TITLE:  
**TREE PLAN**

DATE: NOV.30.2023 DRAWING NUMBER:  
SCALE: 3/8" = 1'-0"  
DRAWN BY:  
DESIGN BY:  
CHKD: M2LA  
M2LA PROJECT NUMBER: 21-079

L1

OF 8

W/M

2023-10-26

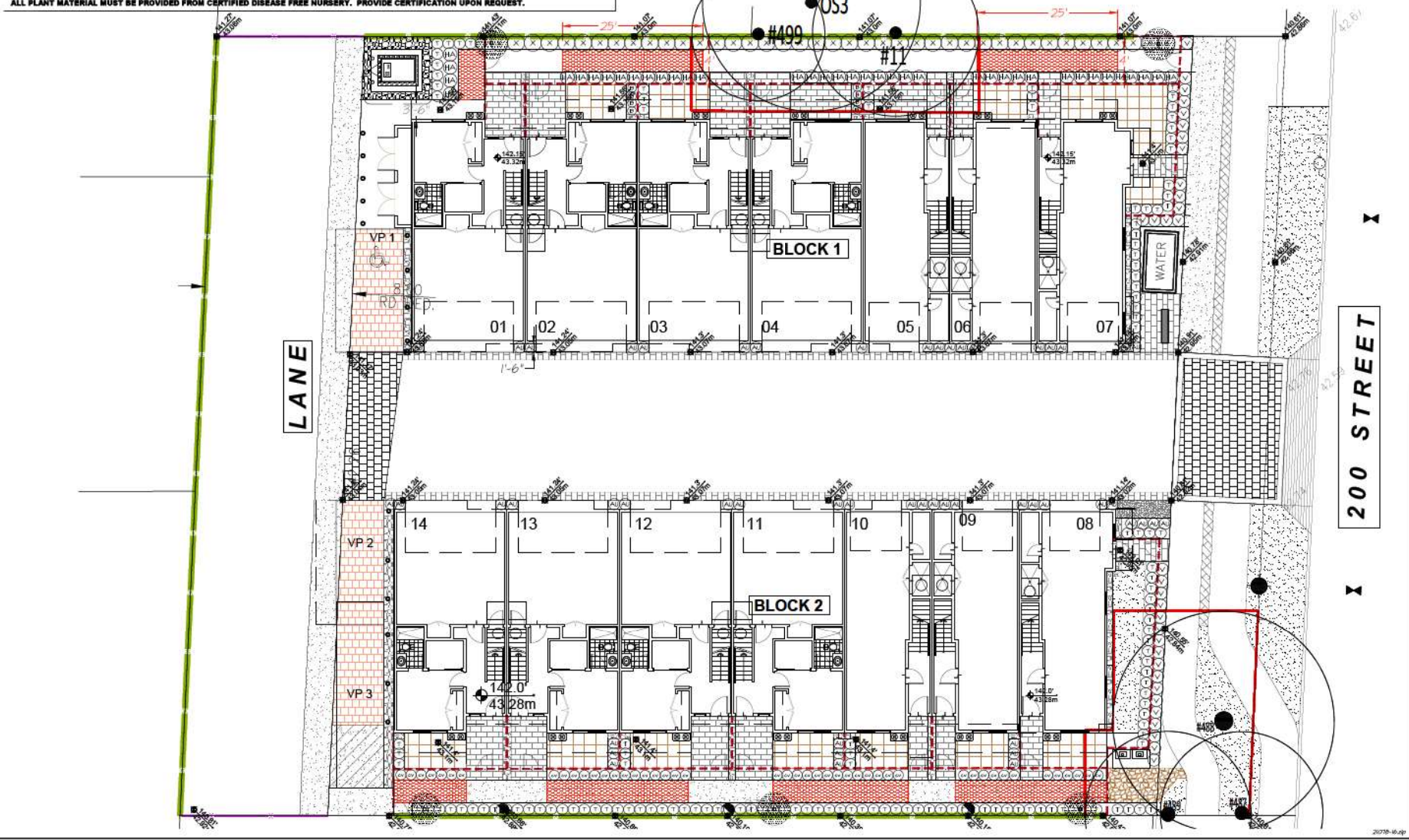


**PLANT SCHEDULE**

KEY QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
8	BOUGS HICKORILLA NIMBER GEM	LITTLE LEAF BOX	12 POT, 25CM
44	CHRISTA TERRAZZA SUNDANCE	HEAVEN HOOK GRABBE	12 POT, 40CM
51	ECORHUS FORTUNEI COLORADO	HINTER REEFER	12 POT, 30CM
136	TAKUS X MEDIA NICKSIP	HICKS YEH	15 POT
21	MEURIN DAVIDI	DAVID'S VEERIN	13 POT
46	CALLUNA VILGARSIS DARK BEAUTY	LEATHER FIBR	11 POT
31	PAGET SANDRA TERMBALIS	JAPANESE SPURGE	11 POT/15CM

NOTE: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNIA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW HAVE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND PROSSER VALLEY. \* SUBSTITUTION: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.

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NO.	DATE	REVISION DESCRIPTION	DR.
10	2024.01.20	REV. PER CITY COMMENTS	M2/BN
9	2023.12.08	REV. AS PER CITY COMMENTS	BN
8	2023.12.08	ACR. CORRECTING PER SITE PLAN	BN
7	2023.12.08	REV. AS PER M2A SITE PLAN	BN
6	2023.12.08	REV. AS PER CITY COMMENTS	BN
5	2023.12.08	REV. AS PER NEW SITE PLAN	BN
4	2023.12.08	REV. AS PER CLIENT COMMENT	BN
3	2023.12.08	REV. AS PER NEW SITE PLAN	BN
2	2023.12.08	REVISED PER O.P.	BN
1	2023.12.08	PRELIMINARY DRAWING	BN



PROJECT:  
 4503 200 STREET,  
 CITY OF LANGLEY, BC

DRAWING TITLE:  
**SHRUB PLAN**

DATE: NOV.26.2023 DRAWING NUMBER:  
 SCALE: 1/8" = 1'-0"  
 DRAWN: BN  
 DESIGN: BN  
 CHK'D: M2/M  
 M2/A PROJECT NUMBER: 21-078

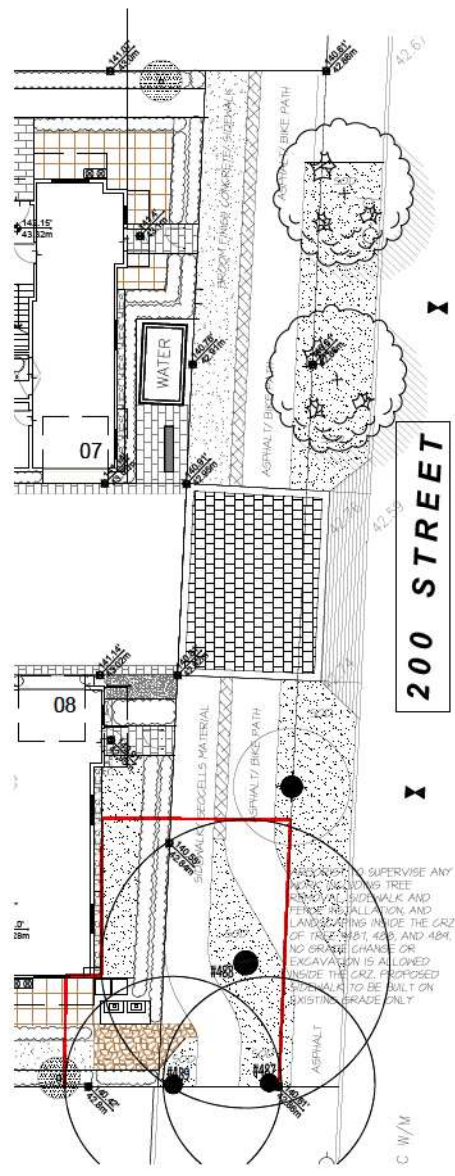
**L2**  
 OF 8







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 Tel: 604.553.0044  
 Fax: 604.553.0045  
 Email: office@m2la.com



PLANT SCHEDULE				M2 JOB NUMBER: 21 078
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TRE	2	ACER PLATANOIDES 'SLOBOSINI'	GLOBE NORWAY MAPLE	6 GH GAL 12 H SID

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER OREA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW HAVE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTION. TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.

**ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.**

TO SUPERVISE ANY  
 WORKS TREE  
 AT SIDEWALK AND  
 PERFORM RECALCULATION AND  
 ANCHORING INSIDE THE CRZ  
 OF TREE #801, 488, AND 484.  
 NO GRADE CHANGE OR  
 EXCAVATION IS ALLOWED  
 INSIDE THE CRZ. PROPOSED  
 FOUNDATION TO BE BUILT ON  
 EXISTING GRADE ONLY.

NO.	DATE	REVISION DESCRIPTION	DR.
10	2024.01.25	REV. PER CITY COMMENTS	MJM/BN
9	2023.12.08	REV. AS PER CITY COMMENTS	BN
8	2023.12.08	ACR CORRECTING PER SITE PLAN	BN
7	2023.12.08	REV. AS PER M2A SITE PLAN	BN
6	2023.12.08	REV. AS PER CITY COMMENTS	BN
5	2023.12.08	REV. AS PER NEW SITE PLAN	BN
4	2023.12.08	REV. AS PER CLIENT COMMENT	BN
3	2023.12.08	REV. AS PER NEW SITE PLAN	BN
2	2023.12.08	REVISED PER OP	BN
1	2023.12.08	PRELIMINARY DRAWING	BN



PROJECT:  
 4503 200 STREET,  
 CITY OF LANGLEY, BC

DRAWING TITLE:  
**OFFSITE  
 PLAN**

DATE: NOV.26.2021	DRAWING NUMBER:
SCALE: 1/8" = 1'-0"	<b>L4</b>
DRAWN: BN	
DESIGN: BN	
CHK'D: MJM	

PART ONE: GENERAL REQUIREMENTS

- 1.0001 GENERAL NOTES
1.0002 SITE INFORMATION
1.0003 MATERIALS AND CONSTRUCTION
1.0004 FINISHES
1.0005 PLANTING
1.0006 MAINTENANCE

PART THREE: SOFT LANDSCAPE DEVELOPMENT

- 3.0101 GENERAL NOTES
3.0102 PLANTING
3.0103 MAINTENANCE
3.0104 IRRIGATION
3.0105 LIGHTING

PART THREE: SOFT LANDSCAPE DEVELOPMENT - CONT.

- 3.0106 PLANTING
3.0107 MAINTENANCE
3.0108 IRRIGATION
3.0109 LIGHTING

PART THREE: SOFT LANDSCAPE DEVELOPMENT - CONT.

- 3.0110 PLANTING
3.0111 MAINTENANCE
3.0112 IRRIGATION
3.0113 LIGHTING

PART TWO: SCOPE OF WORK

- 2.0101 GENERAL NOTES
2.0102 PLANTING
2.0103 MAINTENANCE
2.0104 IRRIGATION
2.0105 LIGHTING

Table with 4 columns: Item, Description, Quantity, Unit. Includes items for Planting, Maintenance, Irrigation, and Lighting.

PART THREE: SOFT LANDSCAPE DEVELOPMENT

- 3.0101 GENERAL NOTES
3.0102 PLANTING
3.0103 MAINTENANCE
3.0104 IRRIGATION
3.0105 LIGHTING

- 3.0106 PLANTING
3.0107 MAINTENANCE
3.0108 IRRIGATION
3.0109 LIGHTING

PART THREE: SOFT LANDSCAPE DEVELOPMENT - CONT.

- 3.0110 PLANTING
3.0111 MAINTENANCE
3.0112 IRRIGATION
3.0113 LIGHTING

- 3.0114 PLANTING
3.0115 MAINTENANCE
3.0116 IRRIGATION
3.0117 LIGHTING

PART THREE: SOFT LANDSCAPE DEVELOPMENT - CONT.

- 3.0118 PLANTING
3.0119 MAINTENANCE
3.0120 IRRIGATION
3.0121 LIGHTING

- 3.0122 PLANTING
3.0123 MAINTENANCE
3.0124 IRRIGATION
3.0125 LIGHTING

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Email: office@m2la.com

Table with 4 columns: NO., DATE, REVISION DESCRIPTION, DR.



PROJECT: 4503 200 STREET, CITY OF LANGLEY, BC

DRAWING TITLE: LANDSCAPE SPECIFICATION

DATE: NOV 20, 2023 DRAWING NUMBER:
SCALE:
DRAWN BY: L5
DESIGN BY:
CHECK: MSLM
MSLA PROJECT NUMBER: 21-09



PART ONE - GENERAL

- 1.1. The Structural Soil Specification is provided as an historical or records document for the property of 4503 200 Street, Langley, BC. The information provided is for informational purposes only and is not intended to be used for any other purpose. This document is provided as an historical record and is not intended to be used for any other purpose.
1.2. SOBS OF WORK
1.3. RELATED WORK

- 1.4. RELATED NEARBY MUNICIPAL SERVICES
1.5. STANDARDS
1.6. QUALITY ASSURANCE

- 1.7. PRELIMINARY DESIGN
1.8. PRELIMINARY DESIGN
1.9. PRELIMINARY DESIGN

- 1.10. PRELIMINARY DESIGN
1.11. PRELIMINARY DESIGN
1.12. PRELIMINARY DESIGN

- 1.13. PRELIMINARY DESIGN
1.14. PRELIMINARY DESIGN
1.15. PRELIMINARY DESIGN

- 1.16. PRELIMINARY DESIGN
1.17. PRELIMINARY DESIGN
1.18. PRELIMINARY DESIGN

- 1.19. PRELIMINARY DESIGN
1.20. PRELIMINARY DESIGN
1.21. PRELIMINARY DESIGN

- 1.22. PRELIMINARY DESIGN
1.23. PRELIMINARY DESIGN
1.24. PRELIMINARY DESIGN

PART TWO - PRODUCTS

Table with 2 columns: PARTS and OTHER REVISIONS. Lists various materials and their specifications.

- 1.25. INSTALLATION OF FILTER FABRIC
1.26. FILTER FABRIC
1.27. FILTER FABRIC

- 1.28. FILTER FABRIC
1.29. FILTER FABRIC
1.30. FILTER FABRIC

- 1.31. FILTER FABRIC
1.32. FILTER FABRIC
1.33. FILTER FABRIC

- 1.34. FILTER FABRIC
1.35. FILTER FABRIC
1.36. FILTER FABRIC

- 1.37. FILTER FABRIC
1.38. FILTER FABRIC
1.39. FILTER FABRIC

- 1.40. FILTER FABRIC
1.41. FILTER FABRIC
1.42. FILTER FABRIC

- 1.43. FILTER FABRIC
1.44. FILTER FABRIC
1.45. FILTER FABRIC

PART THREE - EXECUTION (cont)

- 34. FINISH
35. FINISH
36. FINISH

- 37. FINISH
38. FINISH
39. FINISH

- 40. FINISH
41. FINISH
42. FINISH

- 43. FINISH
44. FINISH
45. FINISH

- 46. FINISH
47. FINISH
48. FINISH

- 49. FINISH
50. FINISH
51. FINISH

- 52. FINISH
53. FINISH
54. FINISH

- 55. FINISH
56. FINISH
57. FINISH

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Table with 3 columns: NO., DATE, REVISION DESCRIPTION. Contains revision history.



PROJECT:
4503 200 STREET,
CITY OF LANGLEY, BC

DRAWING TITLE:
STRUCTURAL SOIL
SPECIFICATION

Table with 2 columns: DATE, DRAWING NUMBER. Contains drawing metadata.