

# 26 UNIT TOWNHOUSE DEVELOPMENT

4560,4570,4580, 208 STREET &  
20815, 45A AVENUE, LANGLEY



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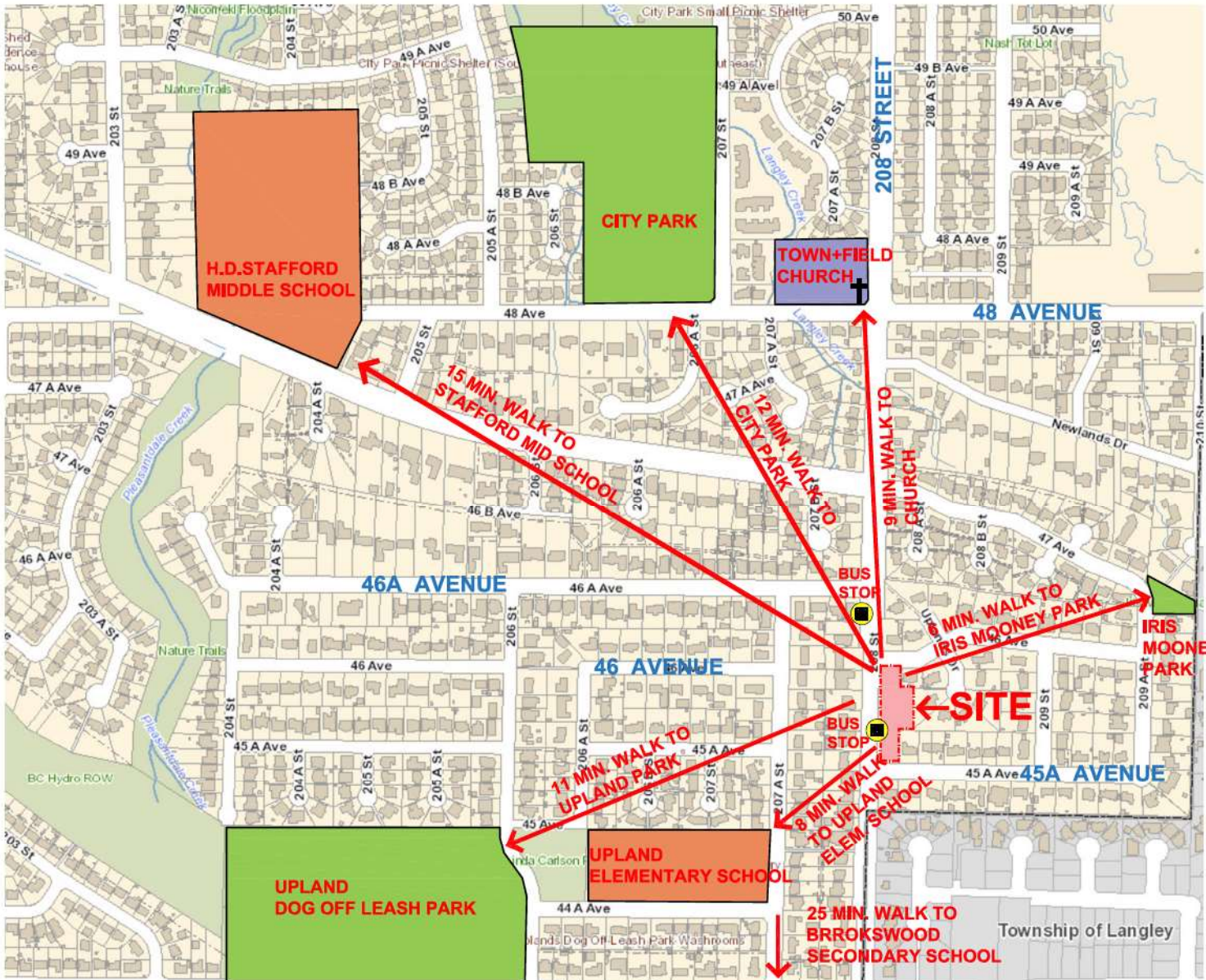
NO	DATE	REVISION / ISSUED
4	DEC 04 -24	ADP REVISIONS
3	SEP 10 -24	RESUBMITTED FOR REZONING & DP
2	AUG 16 -24	ISSUED FOR REZONING & DP
1	JUL 02 -24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:  
**TOWNHOUSE DEVELOPMENT**  
20615 -45A AVENUE,  
LANGLEY, BC.

FOR:  
**LEONE HOMES INC.**  
238 - 13986 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:  
**COVER PAGE  
INDEX AND  
CONTACT LIST**

DATE:	March 2024	SHEET NO:	
SCALE:	N/A		
DESIGN:	A.A.		
DRAWN:	A.A.		
PROJECT NO:	-		<b>A-1.0</b>



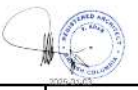
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PROJECT TITLE:  
**TOWNHOUSE DEVELOPMENT**  
20815 - 45A AVENUE,  
LANGLEY, BC.

FOR:  
**LEONE HOMES INC.**  
238 - 13806 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:  
**CONTEXT MAP**

DATE:	March 2024	SHEET NO'S
SCALE:	N.T.S.	A-1.1
DESIGN:	A.A.	
DRAWING:	A.A.	
PROJECT NO.:	-	

**CONTEXT MAP**



**AERIAL MAP**



**1**



**2**



**3**



**4**



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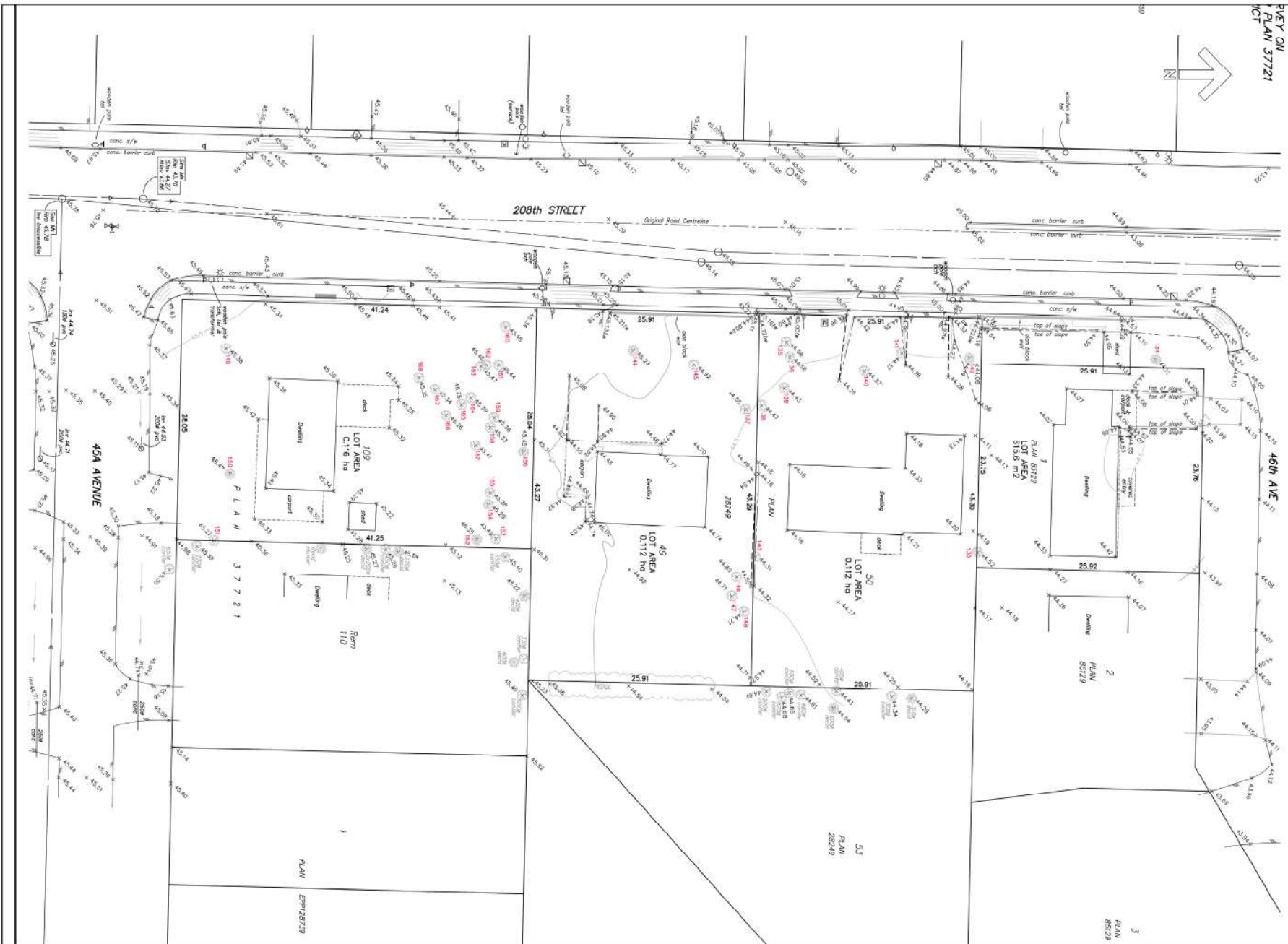
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LANGLEY, BC.

FOR:  
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238 - 13806 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:  
**AERIAL MAP AND  
CONTEXT PHOTOS**

DATE:	March 2024	SHEET NO'S
SCALE:	N.T.S.	<b>A-1.2</b>
DESIGN:	A.A.	
DRAWING:	A.A.	
PROJECT NO.:	-	



PLAN 37721  
LOT



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PROJECT TITLE:  
**TOWNHOUSE DEVELOPMENT**  
20615 - 45A AVENUE,  
LANGLEY, BC.

FOR:  
**LEONE HOMES INC.**  
238 - 13888 CAMBRIDGE HILL,  
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:  
**SURVEY PLAN**

DATE	SCALE	DESIGN	DRAWN	PROJECT NO.	SHEET NO.
March 2024	NTR	AA	AA		A-1.3



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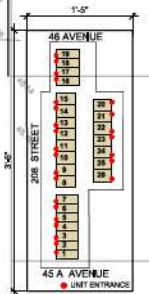
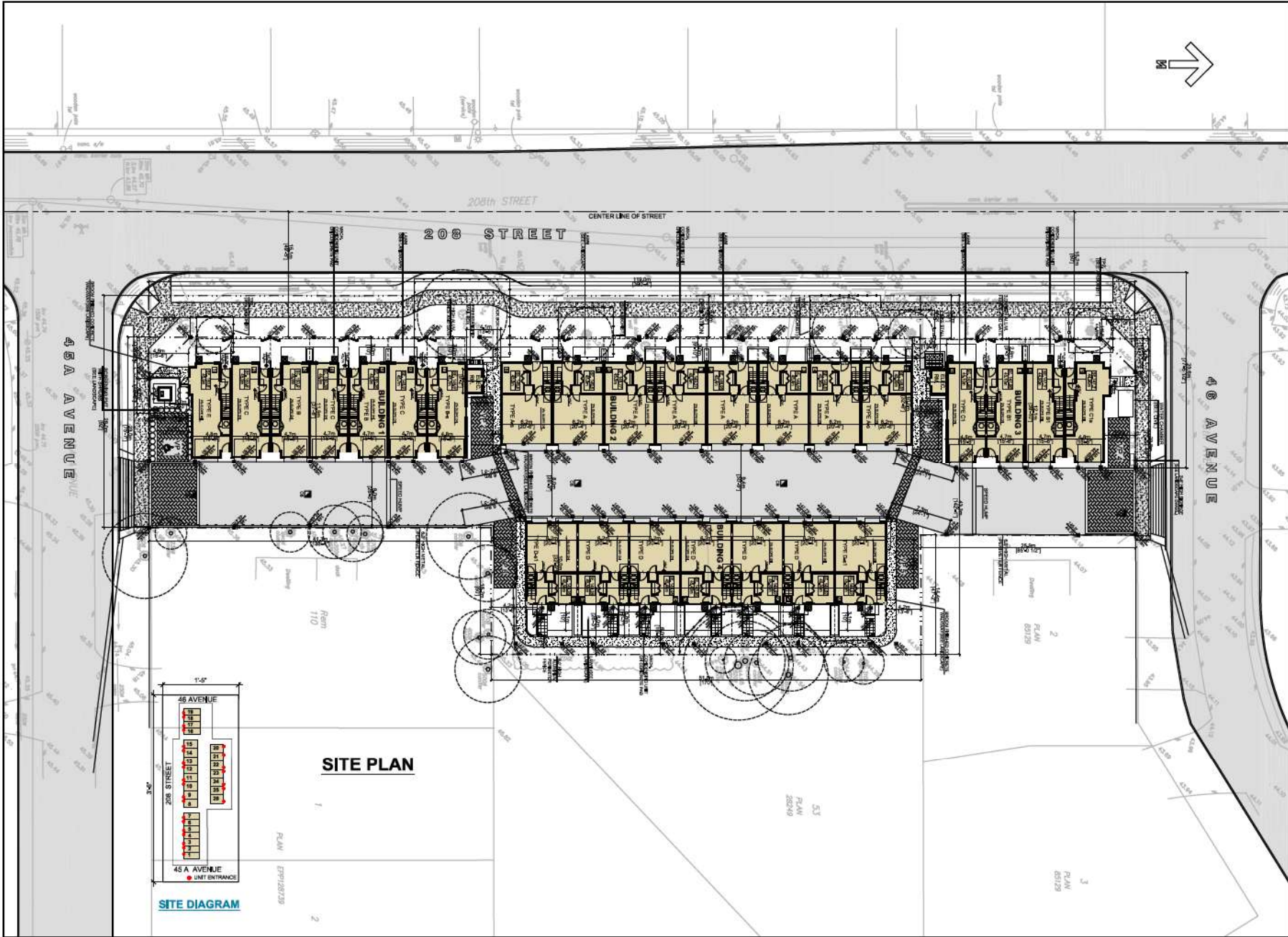
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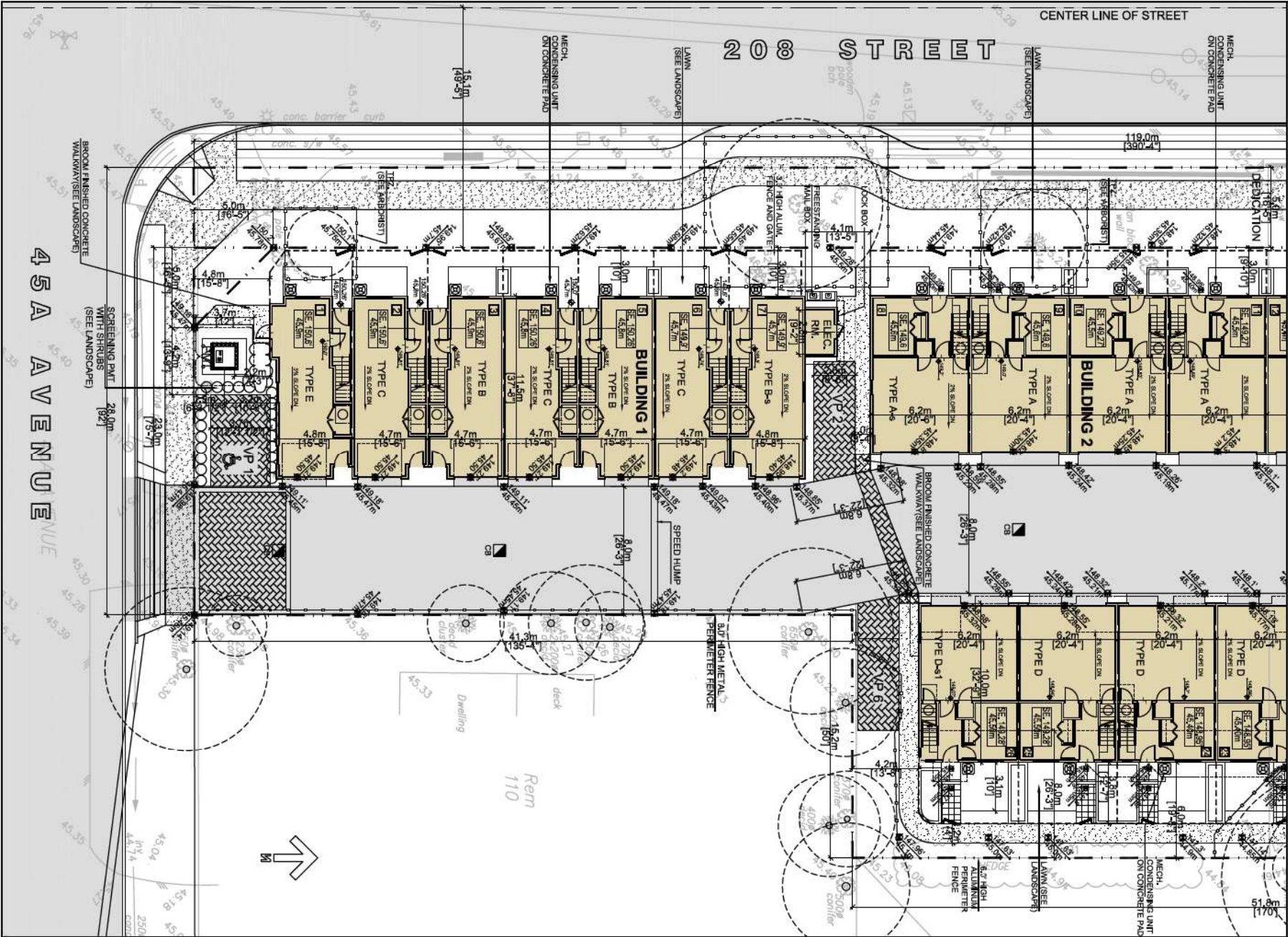
DRAWING TITLE:  
**SITE PLAN**

DATE: March 2024	SHEET NO:
SCALE: NTL	A-1.4
DESIGN: AA	
DRAWN: AA	
PROJECT NO:	



**SITE DIAGRAM**

**SITE PLAN**



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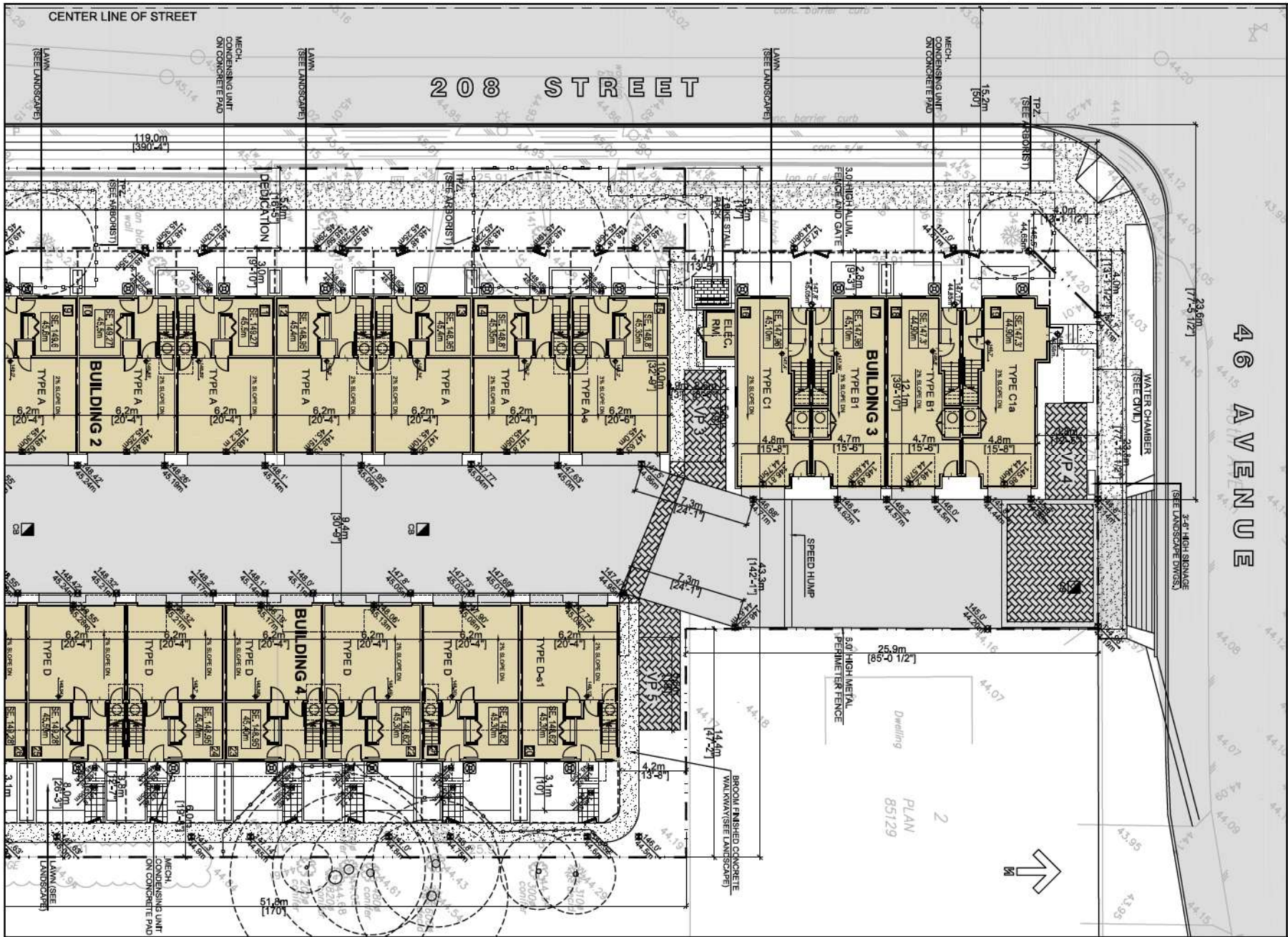
NO.	DATE	REVISION	ISSUED
4	DEC 04-24	ADP REVISIONS	
3	SEP 10-24	REBUILT FOR REZONING & DP	
2	AUG 16-24	ISSUED FOR PREZONING & DP	
1	JUL 02-24	ISSUED FOR PRE-APPLICATION	

**PROJECT TITLE:**  
**TOWNHOUSE DEVELOPMENT**  
 20815 - 45A AVENUE,  
 LANGLEY, BC.

**FOR:**  
**LEONE HOMES INC.**  
 238 - 13986 CAMBIE ROAD,  
 RICHMOND, B.C. V6V 2K3

**DRAWING TITLE:**  
**SITE PLAN - PART 1**

DATE:	March 2024	SHEET NO.:	<b>A-1.4a</b>
SCALE:	NTS		
DESIGN:	AA		
DRAWN:	AA		
PROJECT NO.:	-		



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46 AVENUE

NO.	DATE	REVISION	ISSUED
1	JUL 02-24	ISSUED FOR PRE-APPLICATION	
2	AUG 18-24	ISSUED FOR PRELIMINARY & DP	
3	SEP 10-24	ISSUED FOR REZONING & DP	
4	DEC 04-24	ADP REVISIONS	

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FOR:  
**LEONE HOMES INC.**  
 238 - 13986 CAMBIE ROAD,  
 RICHMOND, B.C. V6V 2K3

DRAWING TITLE:  
**SITE PLAN-PART 2**

DATE:	March 2024	SHEET NO.:	<b>A-1.4b</b>
SCALE:	NTS		
DESIGN:	AA		
DRAWN:	AA		
PROJECT NO.:	-		

PLAN 2  
 DWELLING  
 85129

**STATISTICS :**

**CIVIC ADDRESS :**

4560, 4570, 4580, 208 STREET &  
20815, 45A AVENUE, LANGLEY, BC.

**LEGAL DESCRIPTION:**

LOT 1, PLAN 85129,  
LOTS 49 & 50, PLAN 28249,  
LOT 109, PLAN 37721,  
SECTION 36, TOWNSHIP 7,  
NEW WESTMINSTER DISTRICT

**ZONING :**

EXISTING : RS1  
PROPOSED : CD

**SITE AREA :**

BEFORE DEDICATION : 0.40 HA. = 0.99 ACRE  
43,164 SQ.FT. = 4,010 m<sup>2</sup>

AFTER DEDICATION : 37,773 SQ.FT. = 3509 m<sup>2</sup>  
0.35 HA. = 0.86 ACRE

**DEDICATIONS :**

( 5M = 16'-5" DEDICATION ALONG 208 STREET,  
4M.X4M. TRIANGLE CORNER CUT AT NORTH-WEST &  
5M.X5M. TRIANGLE CORNER CUT AT SOUTH-WEST )

**GROSS FLOOR AREA :**

BUILDING 1 : 12285 SQ.FT. 1141.2 M<sup>2</sup>  
BUILDING 2 : 15956 SQ.FT. 1482.3 M<sup>2</sup>  
BUILDING 3 : 7582 SQ.FT. 704.4 M<sup>2</sup>  
BUILDING 4 : 12910 SQ.FT. 1199.3 M<sup>2</sup>

TOTAL AREA : 48733 SQ.FT. = 4527.2 m<sup>2</sup>

**FSR :**

(PRIOR TO ROAD DEDICATION)  
ALLOWED : MAX. 1.200  
PROVIDED : 48733 / 43164 = 1.13

**FSR :**

(AFTER ROAD DEDICATION)  
ALLOWED : MAX. 1.200  
PROVIDED : 36601 / 37773 = 0.968

**DENSITY :**

PROVIDED : 26 UNIT / 0.99 ACRE :  
30.2 UNIT / ACRE  
74.2 UNIT / HA.

**UNIT MIX :**

SIDE BY SIDE CAR UNITS : 15  
(INCLUDING 7 UNITS WITH 2-1/2 STOREY)  
TANDEM UNITS : 11  
TOTAL NO. OF UNITS : 26

**SITE COVERAGE :**

ALLOWED : MAX 45%  
PROPOSED : 43.6%  
(1582 SQM.)

**PARKING :**

2 / UNIT : 52  
VISITORS  
REQUIRED : 0.2 TOTAL UNITS  
0.2 X 26 = 5.2  
PROVIDED : 6 (INCLUDING 1 ACCESSIBLE)

VISITOR BIKE RACK : 6

**SITE SETBACKS :**

REQUIRED & PROVIDED :  
NORTH : 3.0 M. (10.0')  
WEST : 3.0 M. (10.0')  
SOUTH : 3.0 M. (10.0')  
EAST : 6.0M.(FOR 1ST & 2ND FLOORS)  
8.0M. (FOR 3RD FLOOR)

UNIT MIX						
UNIT TYPE	NO. OF BED RM.	NO. OF UNITS	AREA (INC. GARAGE) (SQ.FT.)	AREA (EXC. GARAGE) (SQ.FT.)	TOTAL AREA (INC. GARAGE) (SQ.FT.)	TOTAL AREA (EXC. GARAGE) (SQ.FT.)
A	4	8	1987	1555	11802	9330
A-s	4	2	2075	1584	4152	3328
B	3	2	1752	1294	3504	2588
B1	3	2	1841	1352	3582	2704
B-s	3	1	1823	1359	1823	1359
C	3	3	1709	1251	5127	3753
C1	3	1	1935	1439	1935	1439
C1a	3	1	1984	1439	1984	1439
D	4	5	1835	1423	9175	7115
D-s1	4	2	1882	1450	3724	2900
E	3	1	1845	1388	1845	1388
TOTAL		28			48733	37323

**CODE ANALYSIS**

**1.0 PROJECT DESCRIPTION**

The proposed development is planned for a site bounded by 208 Street on the west, 45A Avenue on the south and 46 Avenue on the north. The project will consist of 4 buildings containing :

- Building 1 : 7 units with two tandem parking garage
- Building 2 : 8 units with two side by side parking garage
- Building 3 : 4 units with two tandem parking garage
- Building 4 : 7 units with two side by side parking garage

**2.0 BUILDING CLASSIFICATION**

This project may be considered under part 9 of the 2024 BCBC. Since all four buildings are within 600 m<sup>2</sup> maximum building area and 3 storey height limit allowed under part 9.

The buildings have the characteristics shown in the following table :

**CODE CLASSIFICATION SUMMARY**

Building	Building area (m <sup>2</sup> )	No. of Storeys	Occupancy	Classification
1	388	3	C	Table 9.10.8.1
2	516	3	C	Table 9.10.8.1
3	247	3	C	Table 9.10.8.1
4	438	3	C	Table 9.10.8.1

**2.1 Building Classification Details**

- 2.1.1. There are no storeys below ground
- 2.1.2. Storeys above ground (see 4.0 "Fire Separation")

- Combustible construction is allowed (Table 9.10.8.1)
- Floor assemblies to have min. 45 minute F.R.R. (Table 9.10.8.1)
- Roof assemblies to have min. 60 minute F.R.R. (Table 9.10.8.1)
- Floor rating not required (Table 9.10.8.1)

**3.0 FIRE FIGHTING ACCESS**

**3.1 Unobstructed path of travel requirements**

Part 9 is not specific about the fire department access requirements. Part 3 is more specific about fire fighters' path of travel and is used as a guide

**4.0 FIRE SEPARATIONS**

Party walls : 1 hour : 9,10,9,14(3)

Floor within suites are not required to be fire separations or to have a fire resistance rating. Roofs are required to have 1 hr. fire resistance rating

**5.0 SPATIAL SEPARATIONS AND UNPROTECTED OPENING**

Spatial separation and amount of unprotected openings have been reviewed by, for each building on sheets A-3.1 and A-3.2 building elevations.

**6.0 FIRE ALARM SYSTEM**

A fire alarm system is not required for this type of Part 9 residential occupancy where each suite has direct access to an exterior exit door at grade, as per 9.10.18.2.(5)

Article 9.10.1.3.(8) requires sprinklers to be installed according to certain Part 3 requirements.

Sprinkler system shall be designed in conformance with Articles 3.2.5.8 to 3.2.5.11 and 3.2.5.17(which refer only to the sprinkler system and not to fire alarms).Therefore no fire alarm system will be provided.

**7.0 SPRINKLER SYSTEM**

The project will be sprinklered

**8.0 EGRESS**

Egress from suites conforms to Sentence 9.9.9.1.(2)

**9.0 REQUIREMENTS FOR PERSONS WITH DISABILITIES**

The buildings are not required to be accessible.



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**LEONE HOMES INC.**  
238 - 13986 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:  
**STATISTICS**

DATE:	March 2024	SHEET NO.:
SCALE:	NA	<b>A-1.5</b>
DESIGN:	A.A.	
DRAWING:	A.A.	
PROJECT NO.:		





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NO.	DATE	REVISION / ISSUED
4	DEC 04-24	ADP REVISIONS
3	SEP 10-24	ISSUED FOR REVISIONS & DP
2	AUG 16-24	ISSUED FOR REVISIONS & DP
1	JUL 02-24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:  
**TOWNHOUSE DEVELOPMENT**  
20815 - 45A AVENUE,  
LANGLEY, BC.

FOR:  
**LEONE HOMES INC.**  
238 - 13936 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:  
**BUILDING 2  
PERSPECTIVE VIEW  
FROM 208 STREET**

DATE:	March 2024	SHEET NO.:	<b>A-1.6</b>
SCALE:	NTS.		
DESIGN:	A.A.		
DRAWN:	A.A.		
PROJECT NO.:	-		



**BUILDING 3  
NORTH ELEVATION**



**BUILDING 1  
WEST ELEVATION**



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4	DEC 04-24	ADP REVISIONS
3	SEP 10-24	ISSUED FOR PERMITS & DP
2	AUG 16-24	ISSUED FOR REZONING & DP
1	JUL 02-24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:  
**TOWNHOUSE DEVELOPMENT**  
20815 - 45A AVENUE,  
LANGLEY, BC.

FOR:  
**LEONE HOMES INC.**  
238 - 13986 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:  
**BUILDINGS 1 AND 3  
COLORED ELEVATIONS**

DATE:	March 2024	SHEET NO.:	<b>A-1.7</b>
SCALE:	NTS.		
DESIGN:	AA		
DRAWN:	AA		
PROJECT NO.:	-		



**BUILDING 3  
WEST ELEVATION**



**BUILDING 4  
WEST ELEVATION**



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1	JUL 02-24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:  
**TOWNHOUSE DEVELOPMENT**  
20815 - 45A AVENUE,  
LANGLEY, BC.

FOR:  
**LEONE HOMES INC.**  
238 - 13986 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:  
**BUILDINGS 3 AND 4  
COLORED ELEVATIONS**

DATE:	March 2024	SHEET NO.:	<b>A-1.8</b>
SCALE:	NTS.		
DESIGN:	A.A.		
DRAWING:	A.A.		
PROJECT NO.:	-		

## Design Rationale

20815, 45A Avenue, Langley, BC.

### Introduction

This Design Rationale is to be read as part of a rezoning and development application for a 26-unit townhome development at 20815, 45A Avenue & 4560, 4570, 4580 - 208 Street, Langley.

The project consists of 19 four-bedroom and 7 three-bedroom units. The four bedroom units have side-by-side garages and three bedroom units have tandem parking.

The areas of each unit are specified in the unit mix schedule and are all family oriented accommodations.

### Site Characteristics, History, and Context

This development proposal would occupy four single family lots facing 208 Street to the west, 45A Avenue to the south, and 46 Avenue to the north.

There is a 5.0-meter dedication along 208 Street. There is also a 4.0m x 4.0m corner cut on the north-west and a 5.0m x 5.0m corner cut on the south-west.

The proposed development seeks rezoning from RS1 to CD (Townhouse) and consists of four building blocks.

The buildings follow the existing grade elevations and responds to natural topography of the site.

### Zoning, Orientation

The building orientation responds to the size and shape of the site. 19 units are facing 208 Street and have pedestrian access off this street. One unit has a presence on 208 Street and 45A Avenue. Similarly, the end unit to the north has a presence on 46 Avenue as well as on 208 Street.

Low aluminum fences and gates are introduced along the street providing a safe and pleasant pedestrian route to the entries of the units.

Vehicular access is provided through an eight-meter internal road running from 45A Avenue to 46 Avenue.

### Massing, Form, and Character

The building design is influenced by Georgian style architecture and along with the finishing materials stands out differently from the other townhouse developments in the City of Langley.

Architectural articulations and decorative character introduce a harmonized linear form with a simple combination of Georgian style and West Coast character.

Entries are identifiable with individual gables and brackets.

The height and massing are reduced on Building 4 facing east neighbouring properties. By cutting the building back and introducing a mid roof the building gives an impression of a 2-1/2 storey on the east side.

Articulations and variations in window sizes enrich the style and character of the design and help defining the Georgian style.



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3	SEP 10-24	REISSUED FOR REZONING & DP
2	AUG 16-24	ISSUED FOR REZONING & DP
1	JUL 02-24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:  
**TOWNHOUSE DEVELOPMENT  
20815 - 45A AVENUE,  
LANGLEY, BC.**

FOR:  
**LEONE HOMES INC.,  
230 - 15536 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3**

DRAWING TITLE:  
**DESIGN RATIONALE  
SITE, ZONING, ORIENTATION,  
MASSING, FORM AND CHARACTER**

DATE:	Month 2024	SHEET NO.:
SCALE:	N/A	
DESIGN:	A.A.	<b>A-1.9</b>
DRAWING:	A.A.	
PROJECT NO.:	-	

### Livability, Energy Saving and Green Measures

The site is located in proximity to public amenities and transportation network.

Below are the public amenities that are within walking distance of the site:

- 1- 9 minutes walk to Town + Field Church
- 2- 12 minutes walk to City Park
- 3- 15 minutes walk to the Stafford Middle School
- 4- 8 minutes walk to Iris Mooney Park
- 5- 8 minutes walk to Upland Elementary School
- 6- 11 minutes walk to Upland Park
- 7- 25 minutes walk to Brookwood Secondary School

Many green building strategies have been incorporated into the project design including the following items:

- The building envelope, glazing, and mechanical system are designed to meet the step code 3 requirements, Comply with the 2024 code and in compliance with ASHRAE 90, 2010
- Low emission adhesives paint and flooring will be used throughout the units
- Water efficient fixtures, energy efficient appliances and drought tolerance plants will be used minimizing the use of potable water
- All units have private patios at grade and decks on the 2<sup>nd</sup> floor contributing to the livability of the units and creating a family oriented environment
- The water consumption strategy will be used through the use of an alternate solution for the sprinkler system by utilizing the domestic cold water system instead of a separate sprinkler line.
- The mechanical system is equipped with a heat pump system providing both cool and hot air. Also a heat recovery system 'HRV' will be provided for recycling the heat energy.
- All garages are equipped with electric chargers.



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1	JUL 02-24	ISSUED FOR PRE-APPLICATION
NO.	DATE	REVISION / ISSUED

PROJECT TITLE:  
**TOWNHOUSE DEVELOPMENT**  
20815 - 45A AVENUE,  
LANGLEY, BC.

FOR:  
**LEONE HOMES INC.**  
230 - 15536 CAMBIE ROAD,  
RICHMOND, B.C., V6V 2K3

DRAWING TITLE:  
**DESIGN RATIONALE  
LIVABILITY, ENERGY SAVING  
AND GREEN MEASURES**

DATE:	Month 2024	SHEET NO:	
SCALE:	N/A	<b>A-1.10</b>	
DESIGN:	A.A.		
DRAWING:	A.A.		
PROJECT NO:	-		

**Crime Prevention Through Environmental Design. “CPTED”**

The rationale behind the CPTED strategy takes into account standard measures as well as items specifically related to this proposal. These provisions are aimed to enhance safety and strengthen the perception of security.

The firm of AMR SYSTEMS LTD. is hired to study the CPTED strategy for the site and their study and report has been reviewed by the architect and the landscape designer and their recommendation are incorporated in the design.

**The proposed CPTED measure falls into the following categories:**

*Provision of identifiable territoriality*

*Provision of natural surveillance*

*Defining the hierarchy of space*

*Provision of access and perimeter control*

- The windows and balconies along 208 Street, 45A Avenue and 46 Avenue, ensure the outdoor presence of the people, which provide “eyes on the street” and security for the private and public spaces
- Lights would be installed on both sides of the townhouse entries and garage doors illuminating the entire buildings and internal road. Outdoor lights are regulated by a photo cell system
- The simplicity of the massing and its orientation creates an open space environment visible from every angle with no enclave or semi enclosed spaces for strangers and wandering people
- The Access control is achieved by ensuring visible entrances overlooked by windows and balconies as well as defining the entrance ways and controlling the point of access to the site
- Landscaping, plants, and fences are designed to prevent hidden spaces and secure resident’s control. The Strata Corporation should implement a maintenance manual.



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4	DEC 04-24	ADP REVISES
3	SEP 10-24	REISSUED FOR REZONING & DP
2	JUNE 19-21	ISSUED FOR REZONING & DP
1	JUL. 02-24	ISSUED FOR PRE-APPLICATION
NO.	DATE	REVISION / ISSUED

PROJECT TITLE:  
**TOWNHOUSE DEVELOPMENT  
20815 - 45A AVENUE,  
LANGLEY, BC,**

FOR:  
**LEONE HOMES INC.  
230 - 15536 CAMBIE ROAD,  
RICHMOND, B.C., V6V 2K3**

DRAWING TITLE:  
**DESIGN RATIONALE  
CPTED**

DATE:	Month 2024	SHEET NO.:
SCALE:	N/A	<b>A-1.11</b>
DESIGN:	A.A.	
DRAWING:	A.A.	
PROJECT NO.:	-	

## Exterior Finishes and Colour

The selection of the exterior finishes has been based on the enhanced durability/longevity of the construction materials as part of a sustainable approach.

A variety of building materials are used with emphasis on richer urban elements. Brick is the main finish on base of the buildings. Board & batten is introduced on the projected bays with two contrast colors. Black panels combined with black vinyl windows in order to emphasize on vertical elements on bays. 4" lap siding is also provided with warm beige color between the bays. Natural maple wood is used under the entry gables and brackets.

No vinyl material is introduced on any facades of the buildings.

The colours are selected with emphasis on black brick, black and white board & batten, black panels and windows and the natural maple wood colour in selected areas.



**BUILDING 1 WEST ELEVATION**

## EXTERIOR FINISH COLOUR SCHEME



**1 ASPHALT SHINGLE ROOF :  
MOUNTAIN SLATE -  
BY IKO ROYAL ESTATE**



**2 BRICK  
ONYX IRONSPOT - BY I.X.L.**



**3 HARDIE SIDING  
WEATHERED CLIFF-  
BY JAMES HARDIE MAGNOLIA  
COLLECTION**



**4 HARDIE PANELS, FASCIAS  
& TRIMS  
SW 6258 TRICORN BLACK -  
BY SHERWIN WILLIAMS (251)**



**5 6" TRIMS, BAND BOARDS &  
BRACKETS -  
NATURAL MAPLE WOOD**



**6 HARDIE BOARD & BATTEN :  
SW 7005 PURE WHITE-  
BY SHERWIN WILLIAMS**



**7 HARDIE BOARD & BATTEN :  
SW 7069 IRON ORE-  
BY SHERWIN WILLIAMS**



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3	SEP 10-24	REISSUED FOR REZONING & DP
2	JUNE 19-21	ISSUED FOR REZONING & DP
1	JUL 02-24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:  
**TOWNHOUSE DEVELOPMENT  
20815-45A AVENUE,  
LANGLEY, BC,**

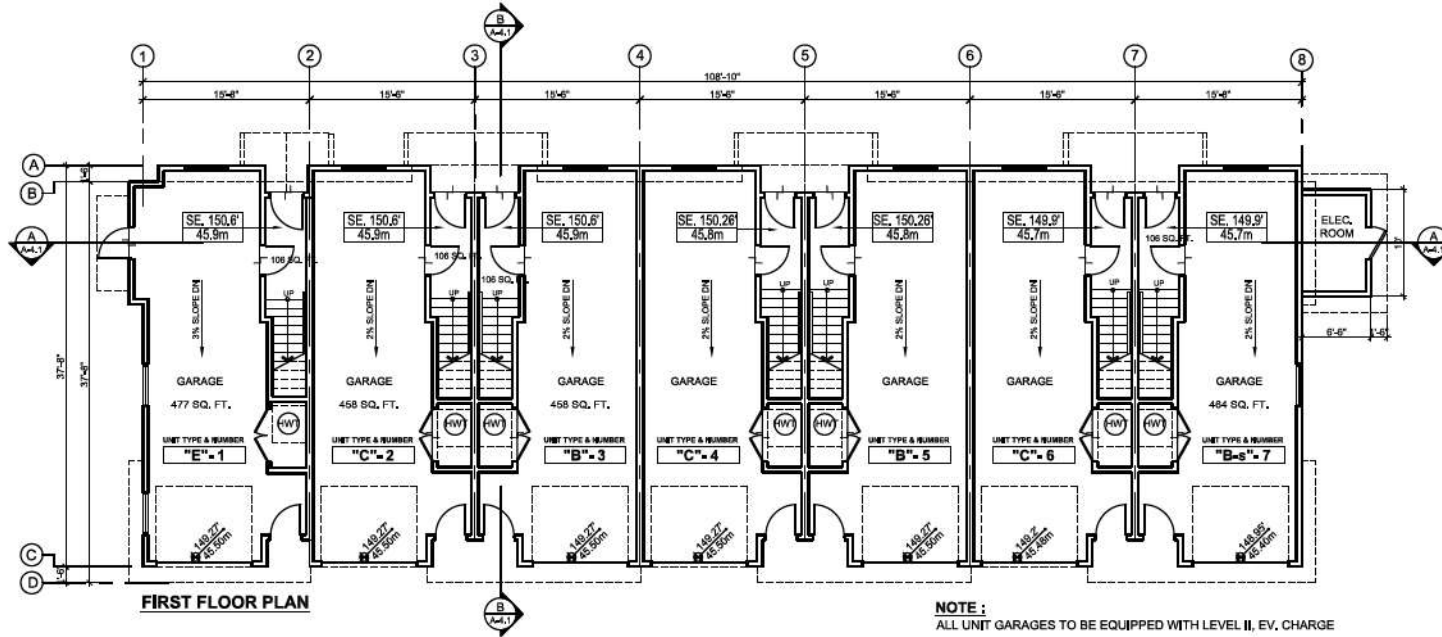
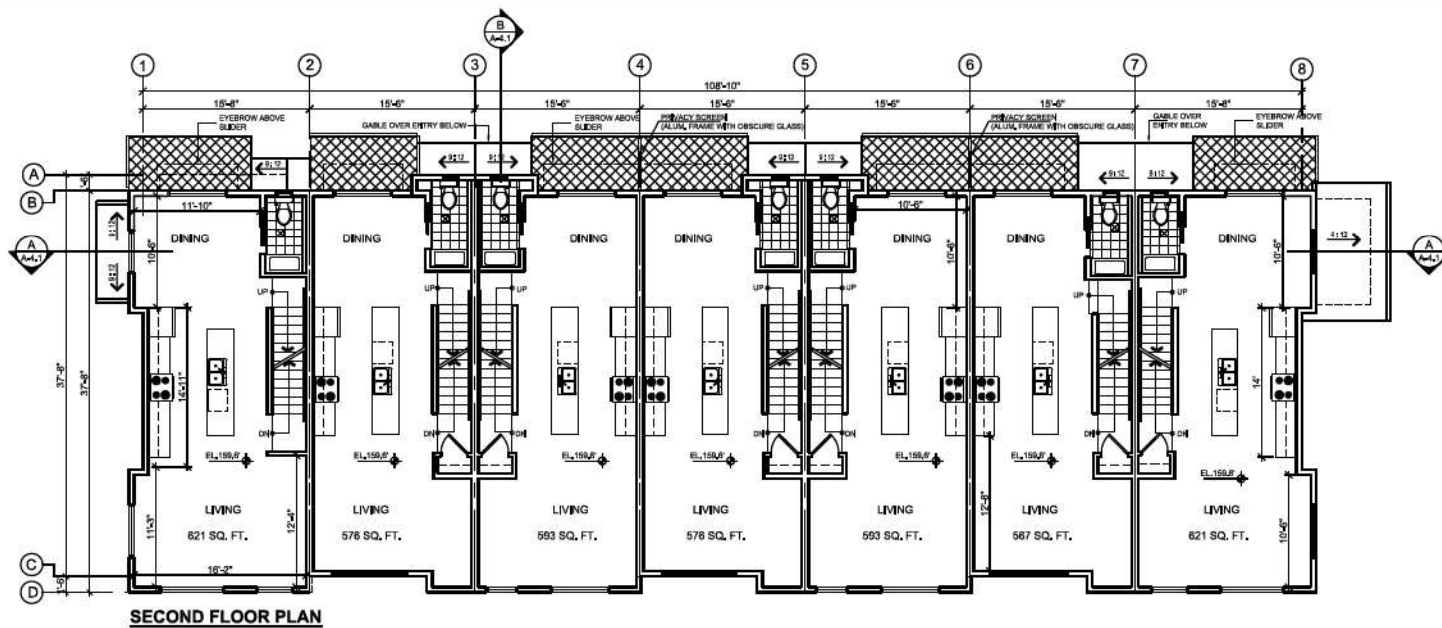
FOR:  
**LEONE HOMES INC.  
238 - 13888 CAMBIE ROAD,  
RICHMOND, B.C., V6V 2K3**

DRAWING TITLE:  
**EXTERIOR FINISHES**

DATE:	March 2024	SHEET NO:	<b>A-1.12</b>
SCALE:	N/A		
DESIGN:	A.A.		
DRAWN:	A.A.		
PROJECT NO:	-		







**NOTE :**  
ALL UNIT GARAGES TO BE EQUIPPED WITH LEVEL II, EV. CHARGE



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3	SEP 10-24	REISSUED FOR REVISION & DP
2	AUG 18-24	ISSUED FOR REVISION & DP
1	JUL 22-24	ISSUED FOR PRE-APPLICATION

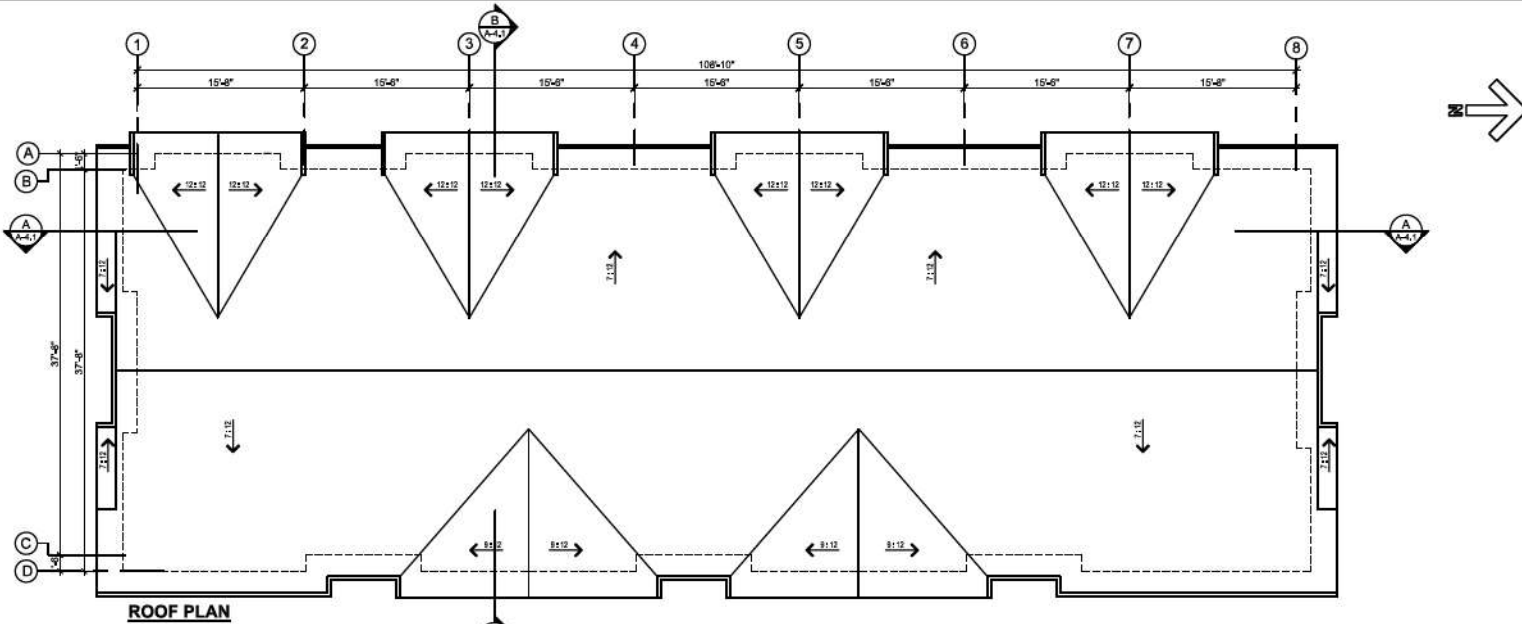
**PROJECT TITLE:**  
TOWNHOUSE DEVELOPMENT  
20815-45A AVENUE,  
LANGLEY, BC.

**FOR:**  
LEONE HOMES INC.  
238 - 13986 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

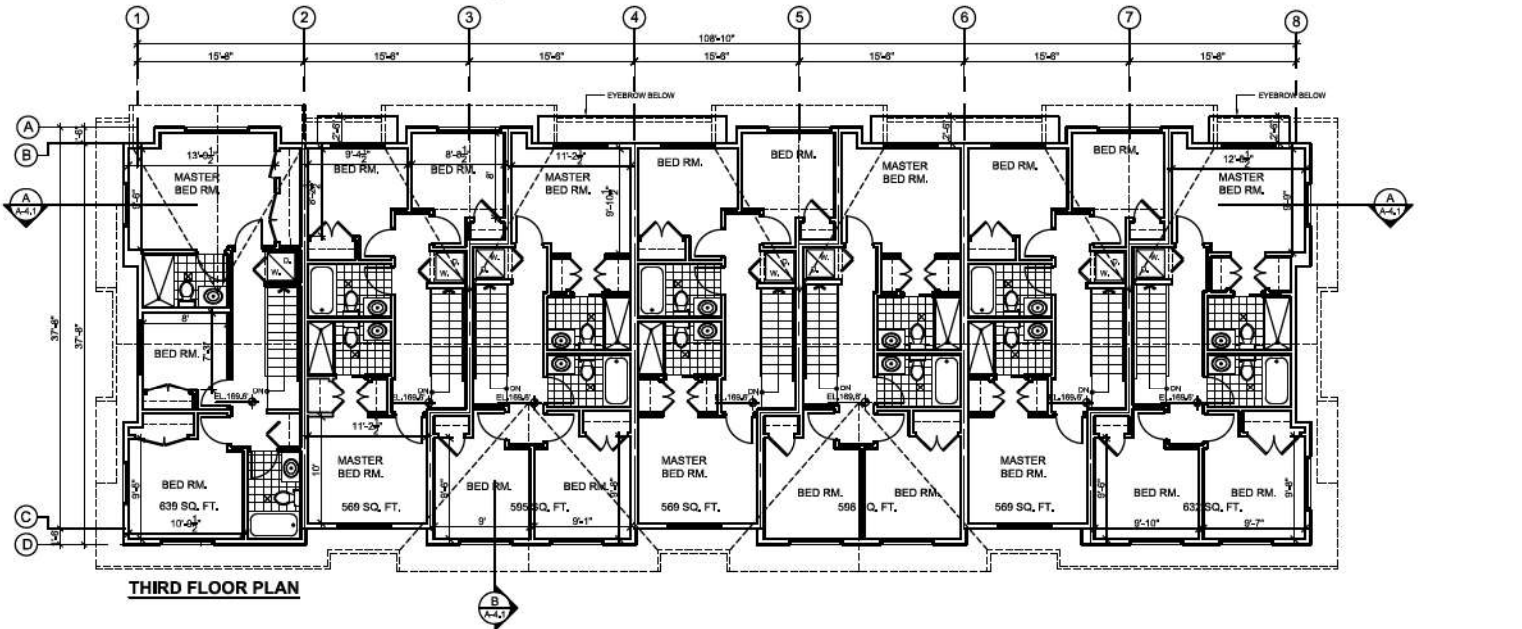
**DRAWING TITLE:**  
BUILDING 1  
FIRST AND SECOND  
FLOOR PLANS

DATE:	March 2024	SHEET NO:	
SCALE:	N.T.S.		
DESIGN:	A.A.		
DRAWN:	A.A.		
PROJECT NO:	-		

A-2.1a



**ROOF PLAN**



**THIRD FLOOR PLAN**



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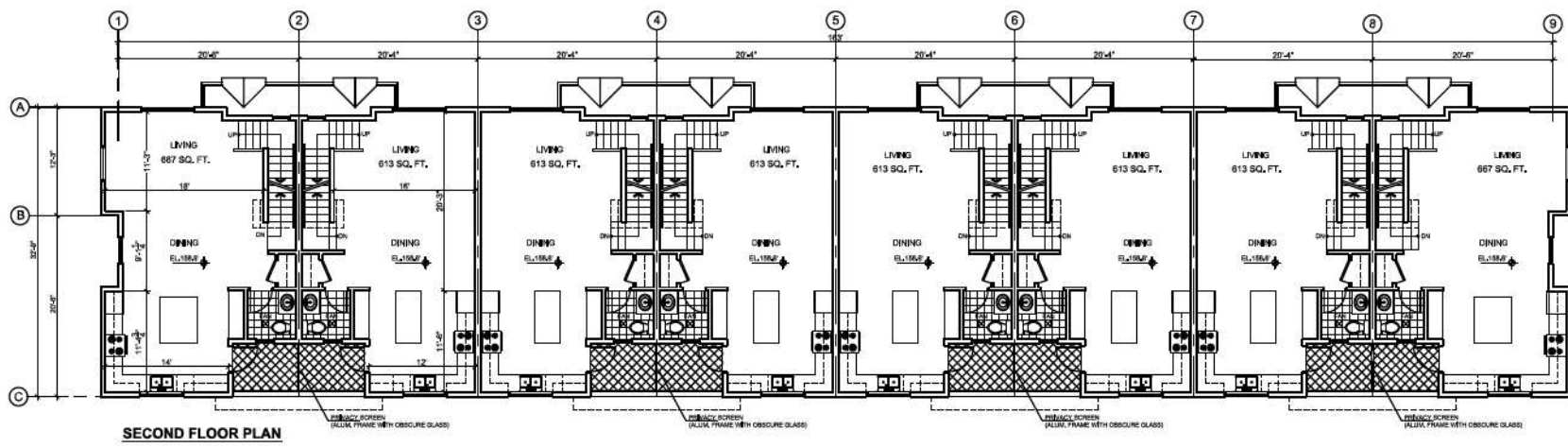
NO.	DATE	REVISION / ISSUED
4	DEC 04-24	AOP REVISIONS
3	SEP 10-24	ISSUED FOR PERCEN & DP
2	AUG 16-24	ISSUED FOR REWORKING & DP
1	JUL 02-24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:  
**TOWNHOUSE DEVELOPMENT**  
20815-45A AVENUE,  
LANGLEY, B.C.

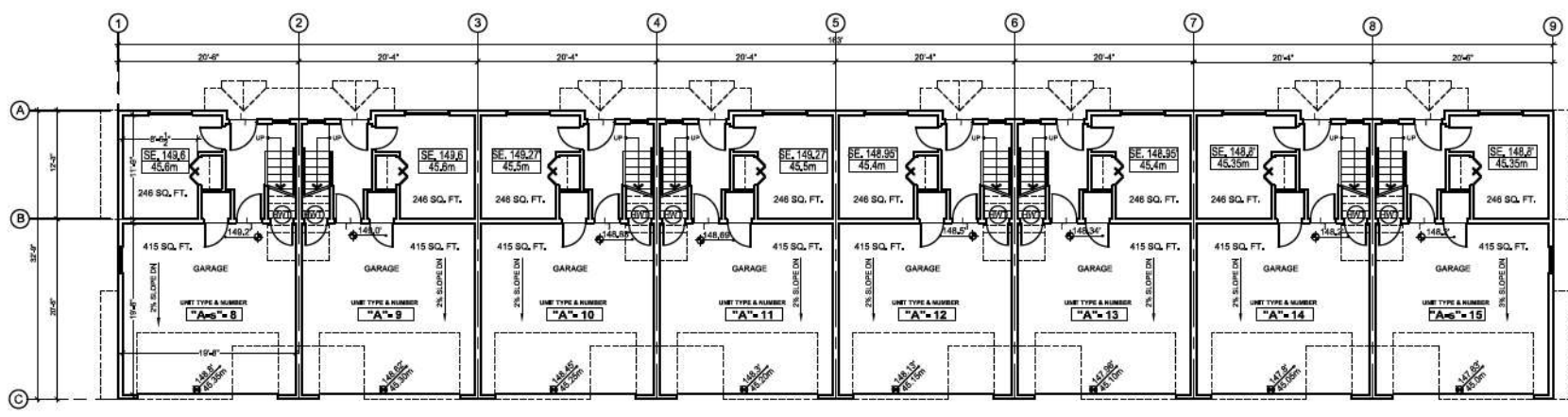
FOR:  
**LEONE HOMES INC.**  
238 - 13986 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:  
**BUILDING 1  
THIRD FLOOR &  
ROOF PLAN**

DATE: March 2024	SHEET NO.:
SCALE: NTS.	A-2.1b
DESIGN: AA	
DRAWN: AA	
PROJECT NO.:	



**SECOND FLOOR PLAN**



**FIRST FLOOR PLAN**

**NOTE:**  
ALL UNIT GARAGES TO BE EQUIPPED WITH LEVEL II, EV. CHARGE



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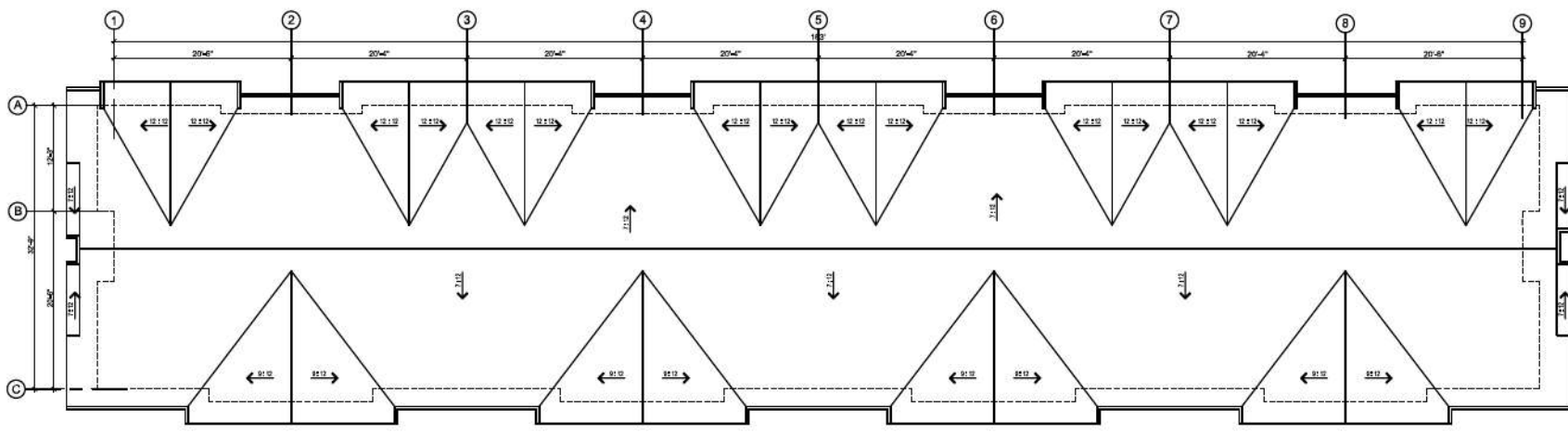
NO.	DATE	REVISION / ISSUED
4	SEP 04-24	ADP REVISIONS
3	SEP 10-24	ISSUED FOR REZONING & DP
2	AUG 16-24	ISSUED FOR REZONING & DP
1	JUL 02-24	ISSUED FOR PRE-APPLICATION

**PROJECT TITLE:**  
TOWNHOUSE DEVELOPMENT  
20815 - 45A AVENUE,  
LANGLEY, BC.

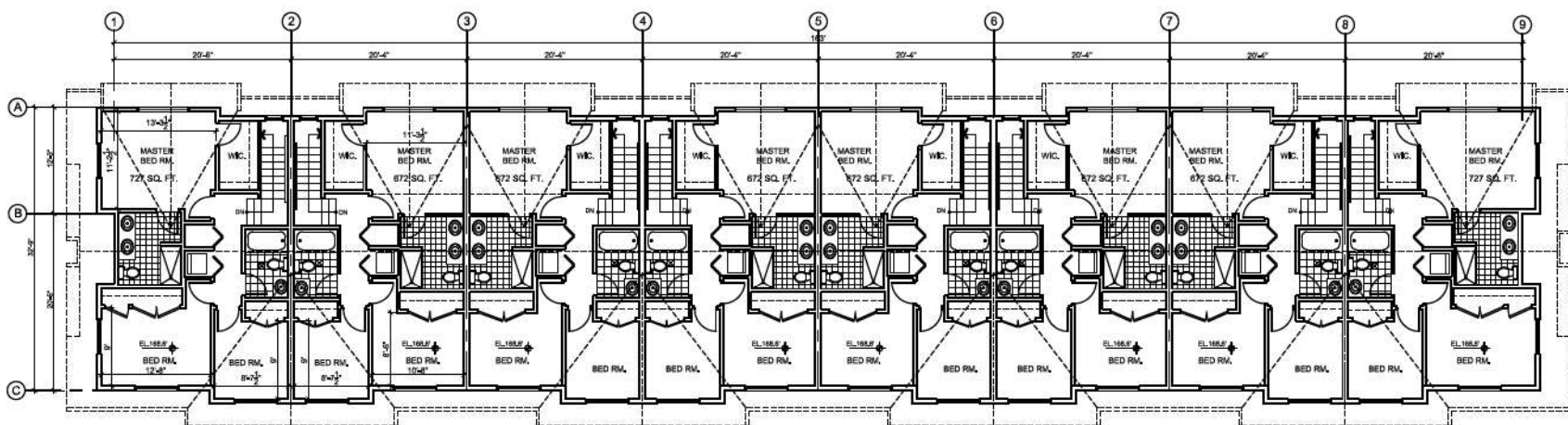
**FOR:**  
LEONE HOMES INC.,  
238 - 13996 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

**DRAWING TITLE:**  
BUILDING 2  
FIRST & SECOND  
FLOOR PLANS

DATE: Sep 2021	SHEET NO:
SCALE: NTS.	
DESIGN: A.A.	A-2.2a
DRAWING: A.A.	
PROJECT NO: -	



**ROOF PLAN**



**THIRD FLOOR PLAN**



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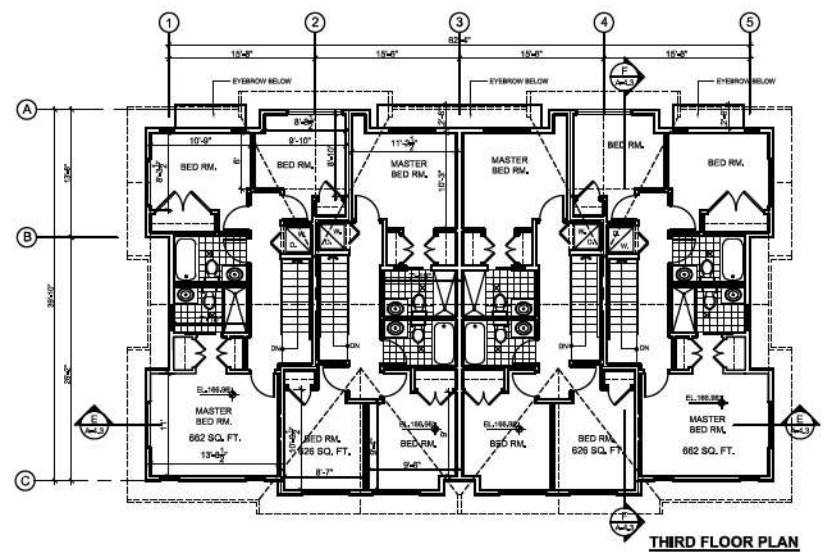
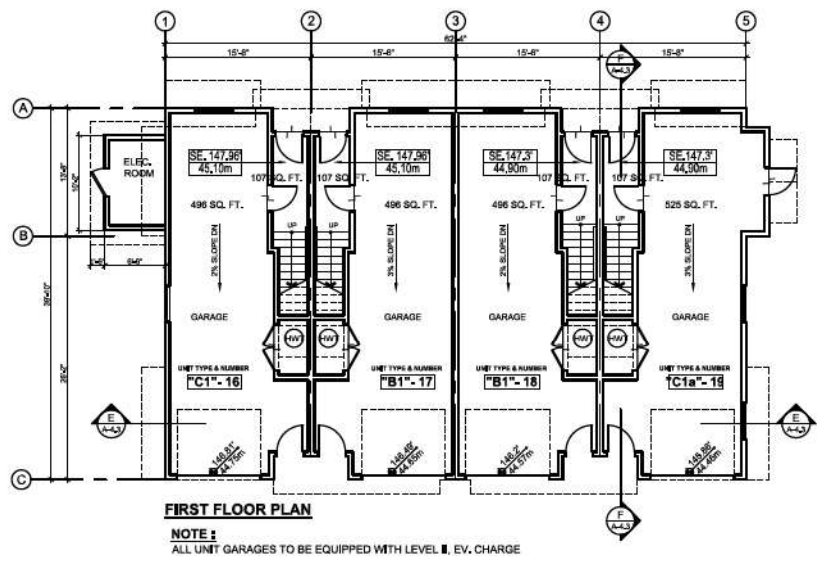
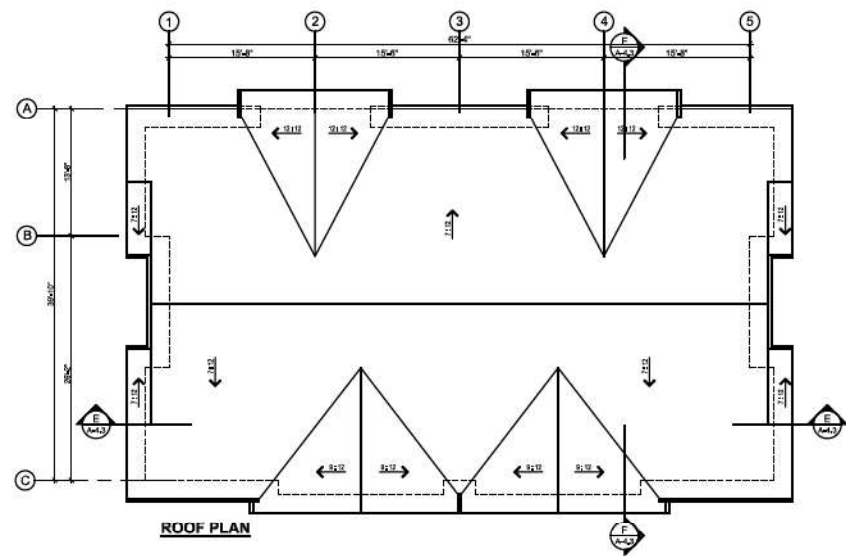
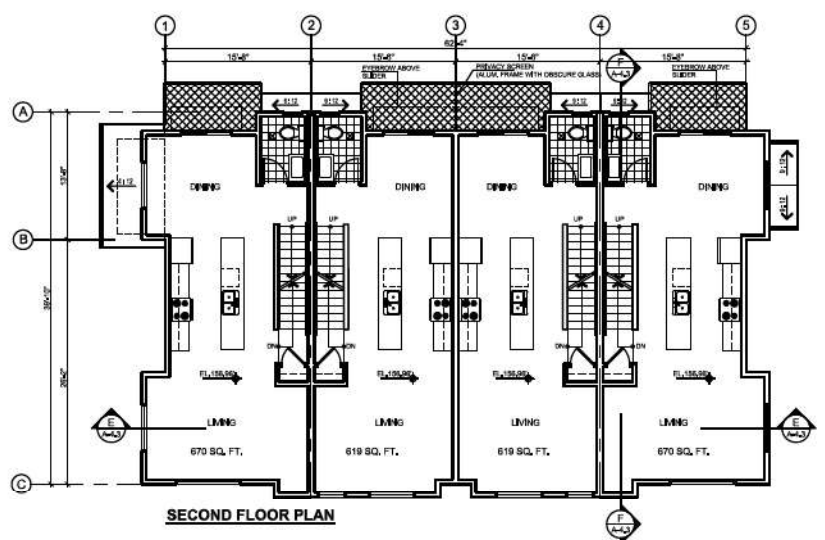
NO.	DATE	REVISION / ISSUED
4	DEC 04 24	ADP REVISIONS
3	SEP 10 24	ISSUED FOR REZONING & DP
2	AUG 16 24	ISSUED FOR REZONING & DP
1	JAN 02 24	ISSUED FOR PRE-APPLICATION

**PROJECT TITLE:**  
TOWNHOUSE DEVELOPMENT  
20815 - 45A AVENUE,  
LANGLEY, BC.

**FOR:**  
LEONE HOMES INC.,  
238 - 13986 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

**DRAWING TITLE:**  
BUILDING 2  
THIRD FLOOR &  
ROOF PLAN

DATE:	March 2024	SHEET NO.:	A-2.2b
SCALE:	NTS		
DESIGN:	AA		
DRAWN:	AA		
PROJECT NO.:	-		



**F. ADAB ARCHITECTS INC.**

#133-1000 ROOSEVELT CRESCENT  
NORTH VANCOUVER, BC V7P 3R4  
TEL: (604) 964-2000 FAX: (604) 964-2003  
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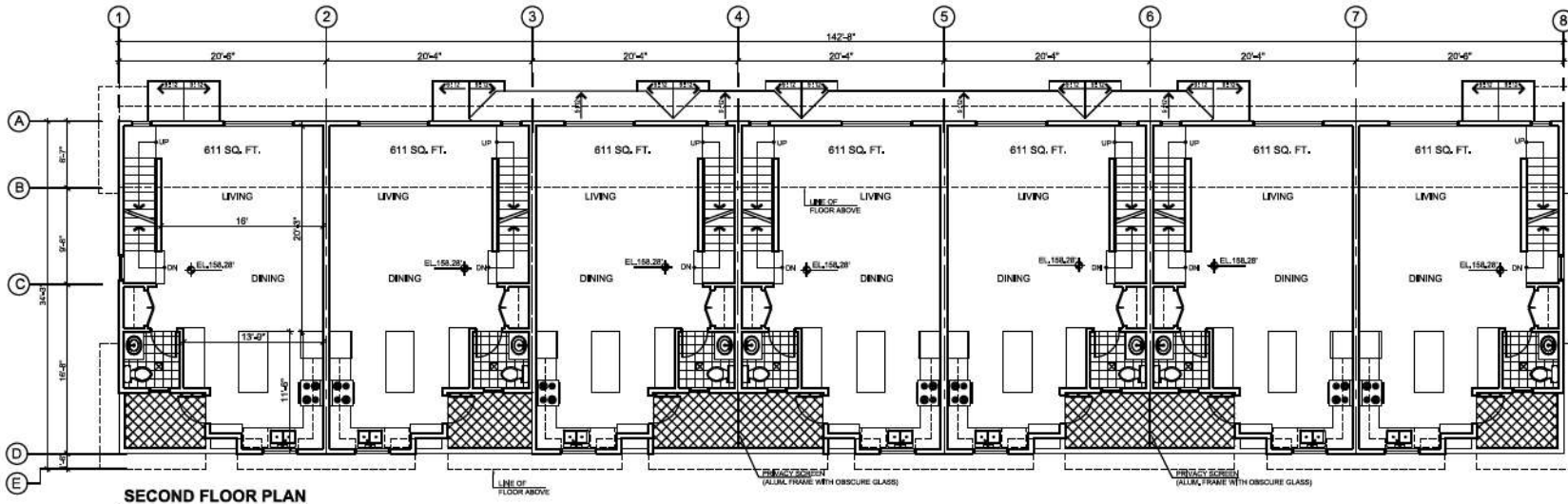
NO.	DATE	REVISION / ISSUED
4	DEC 04-24	ADP REVISIONS
3	SEP 10-24	ISSUED FOR REVISIONS & DP
2	AUG 16-24	ISSUED FOR REVISIONS & DP
1	JUL 02-24	ISSUED FOR PRE-APPLICATION

**PROJECT TITLE:**  
**TOWNHOUSE DEVELOPMENT**  
20815 - 45A AVENUE,  
LANGLEY, BC,

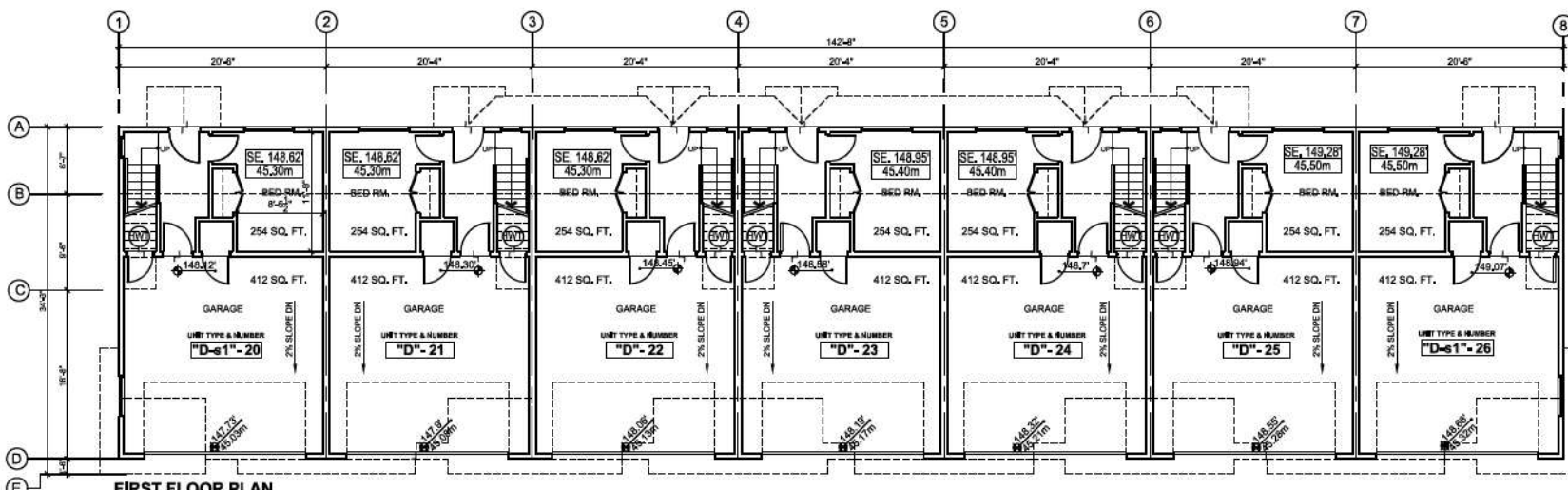
**FOR:**  
**LEONE HOMES INC.**  
238 - 13986 CAMBIE ROAD,  
RICHMOND, B.C. V8V 2K3

**DRAWING TITLE:**  
**BUILDING 3 FLOOR PLANS**

DATE: Sep 2021	SHEET NO:
SCALE: NTS	A-2.3
DESIGN: A.A.	
DRAWN: A.A.	
PROJECT NO:	



**SECOND FLOOR PLAN**



**FIRST FLOOR PLAN**

**NOTE:**  
ALL UNIT GARAGES TO BE EQUIPPED WITH LEVEL II, EV. CHARGE



**F. ADAB  
ARCHITECTS  
INC.**

#130-1000 ROOSEVELT CRESCENT  
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NO.	DATE	REVISION / ISSUED
4	SEP 04-24	ADP REVISIONS
3	SEP 10-24	ISSUED FOR REVISION & DP
2	AUG 16-24	ISSUED FOR REVISION & DP
1	AUG 02-24	ISSUED FOR PRE-APPLICATION

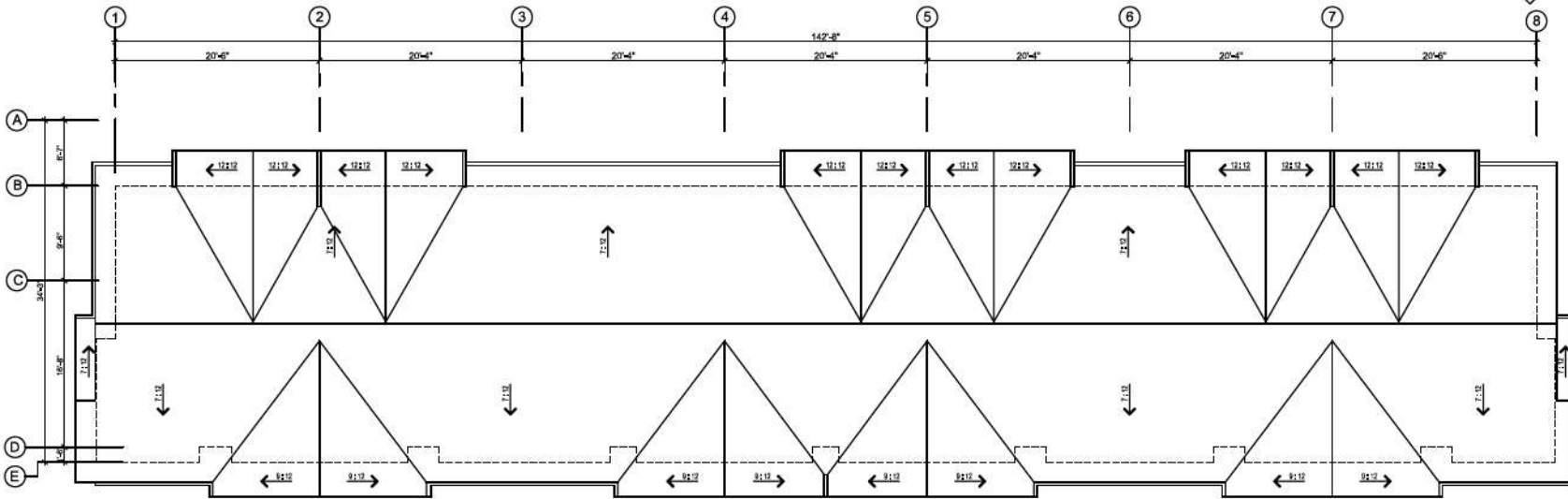
**PROJECT TITLE:**  
TOWNHOUSE DEVELOPMENT  
20815 - 45A AVENUE,  
LANGLEY, BC.

**FOR:**  
LEONE HOMES INC.,  
238 - 13096 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

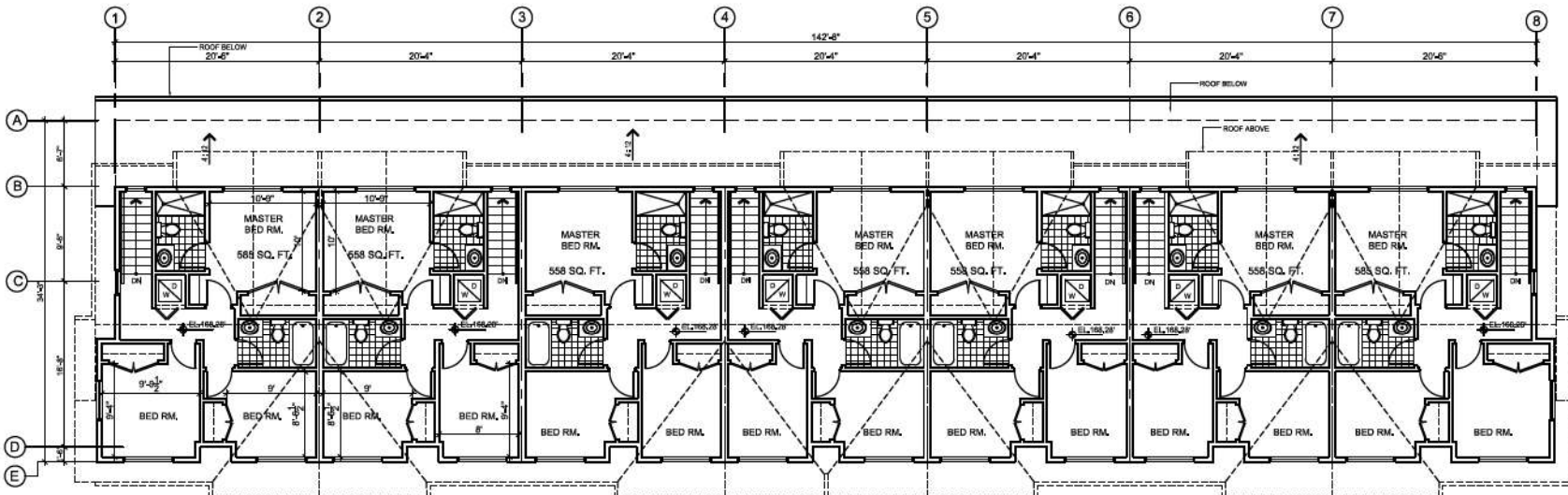
**DRAWING TITLE:**  
BUILDING 4  
FIRST & SECOND  
FLOOR PLANS

DATE:	SEP 2021	SHEET NO.:	
SCALE:	NTS		
DESIGN:	AA		
DRAWING:	AA		
PROJECT NO.:	-		

**A-2.4a**



**ROOF PLAN**



**THIRD FLOOR PLAN**



**F. ADAB  
ARCHITECTS  
INC.**

#130-1000 ROOSEVELT CRESCENT  
#2070 VANCOUVER, BC V7P 3S6  
TEL: (604) 967-0033 FAX: (604) 967-0033  
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NO.	DATE	REVISION / ISSUED
4	SEP 04 24	ADP REVISIONS
3	SEP 10 24	ISSUED FOR REZONING & DP
2	AUG 16 24	ISSUED FOR REZONING & DP
1	AUG 02 24	ISSUED FOR PRE-APPLICATION





**PROJECT TITLE:**  
TOWNHOUSE DEVELOPMENT  
20815 - 45A AVENUE,  
LANGLEY, BC.

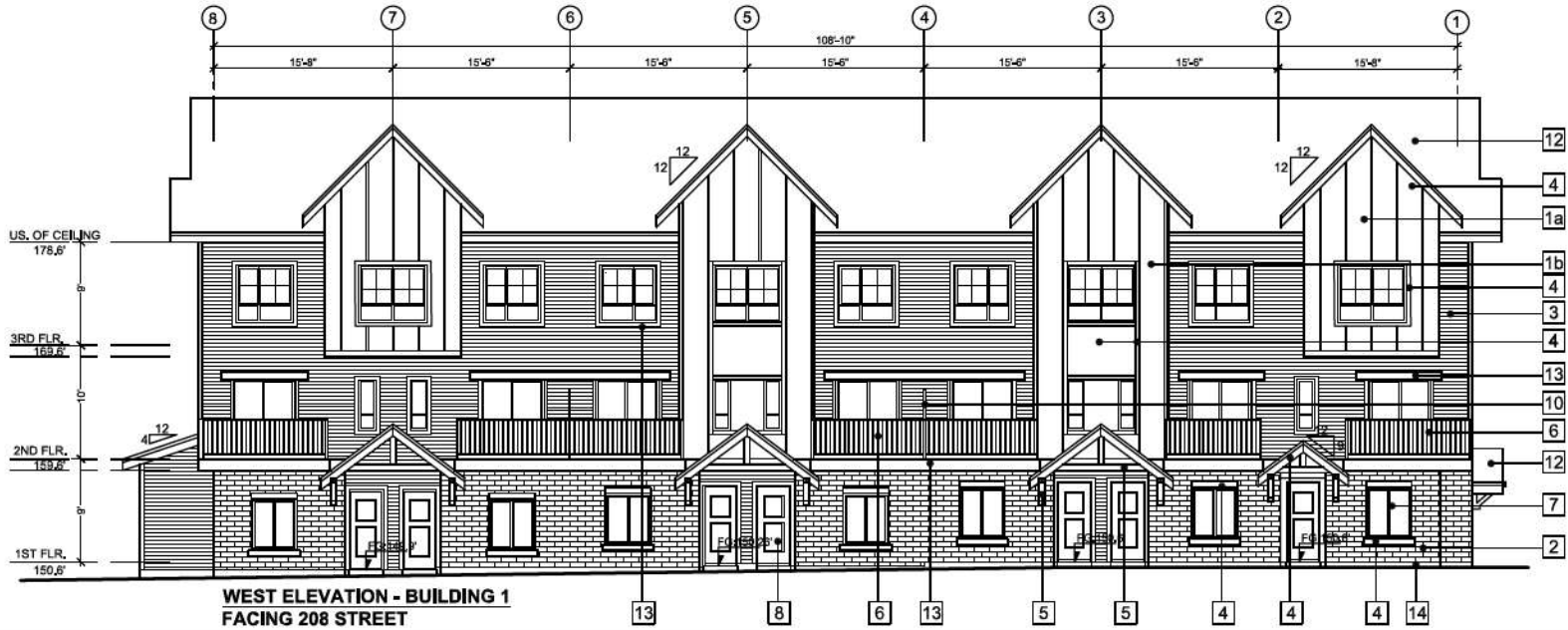
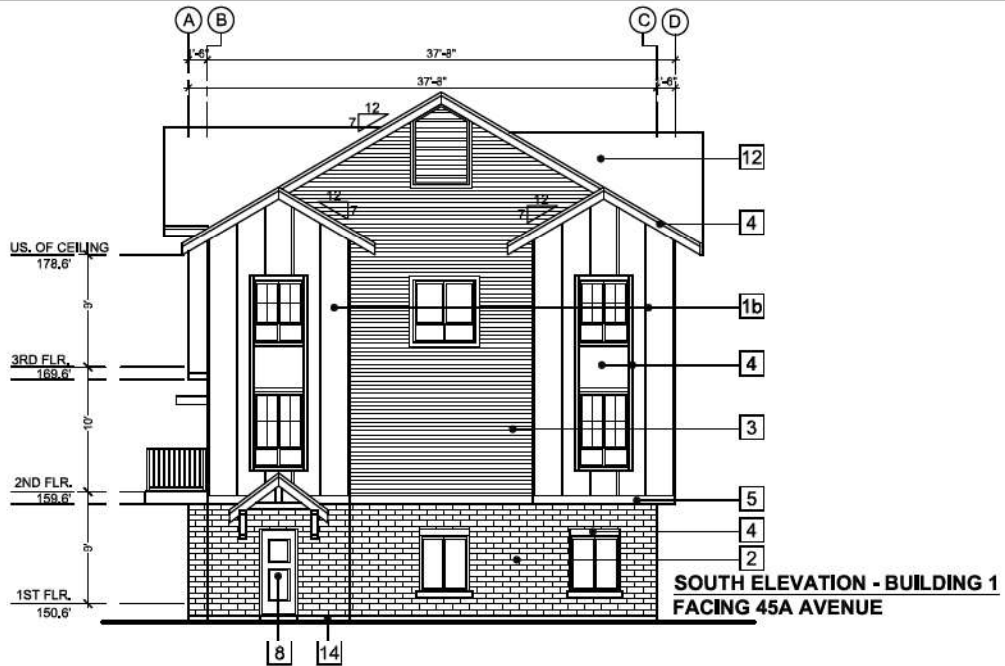
**FOR:**  
LEONE HOMES INC.,  
238 - 13096 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

**DRAWING TITLE:**  
BUILDING 4  
THIRD FLOOR &  
ROOF PLAN

DATE: MARCH 2024	SHEET NO:
SCALE: NTS	A-2.4b
DESIGN: A.A.	
DRAWN: A.A.	
PROJECT NO: -	

**EXTERIOR FINISHES**

1a	 <b>HARDIE BOARD &amp; BATTEN :</b> SW 7035 PURE WHITE- BY SHERWIN WILLIAMS (255)	8	<b>ENTRY DOORS &amp; MAN DOORS AT GARAGE</b> PAINTED WOOD 1 SW 8258 TRICORN BLACK - BY SHERWIN WILLIAMS (251)
1b	 <b>HARDIE BOARD &amp; BATTEN :</b> SW 7035 IRON ORE- BY SHERWIN WILLIAMS (251)	9	<b>GARAGE DOORS</b> - SW 8258 TRICORN BLACK - BY SHERWIN WILLIAMS (251) - GLASS
2	 <b>BRICK</b> ONYX IRONSPOT(SMOOTH) - BY LXL, (BLACK MORTAR)	10	<b>PRIVACY SCREEN</b> - BLACK ALUMINUM FRAME - OBSCURE GLASS (SANDBLASTED)
3	 <b>HARDIE SIDING</b> WEATHERED CLIFF- BY JAMES HARDIE MAGNOLIA HOME	11	<b>SOFFITS</b> VINYL - BLACK
4	<b>HARDIE PANELS, TRIMS, FASCIAS &amp; WINDOW SILLS</b> SW 8258 TRICORN BLACK - BY SHERWIN WILLIAMS (251)	12	<b>ASPHALT SHINGLE ROOF :</b> MOUNTAIN SLATE - BY IRO ROYAL ESTATE (FASCIA TO MATCH ROOF COLOR)
5	<b>6" TRIMS, BAND BOARDS &amp; BRACKETS</b> - NATURAL STAINED MAPLE WOOD	13	<b>EYEBROWS &amp; TRIMS AT SIDING</b> SW 7035 ACCESSIBLE BEIGE - BY SHERWIN WILLIAMS (249)
6	<b>RAILING</b> ALUMINUM - BLACK	14	<b>EXPOSED CONCRETE BASE</b>
7	<b>WINDOWS - VENT GRILLS</b> VINYL - BLACK		



**F. ADAB  
ARCHITECTS  
INC.**

#138-1000 ROOSEVELT CRESCENT  
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NO.	DATE	REVISION / ISSUED
4	DEC 04-24	ADP REVISIONS
3	SEP 10-24	REISSUED FOR REZONING & DP
2	AUG 14-24	ISSUED FOR REZONING & DP
1	JUL 22-24	ISSUED FOR PRE-APPLICATION

**PROJECT TITLE:**  
TOWNHOUSE DEVELOPMENT  
20815 - 45A AVENUE,  
LANGLEY, BC.

**FOR:**  
LEONE HOMES INC.  
238 - 13986 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

**DRAWING TITLE:**  
BUILDING 1  
WEST AND SOUTH  
ELEVATIONS

DATE: March 2024	SHEET NO:
SCALE: NTS.	A-3.1a
DESIGN: A.A.	
DRAWN: A.A.	
PROJECT NO: -	





**F. ADAB  
ARCHITECTS  
INC.**

#130-100 ROOSEVELT CRESCENT  
NORTH VANCOUVER, BC V1P 9K4  
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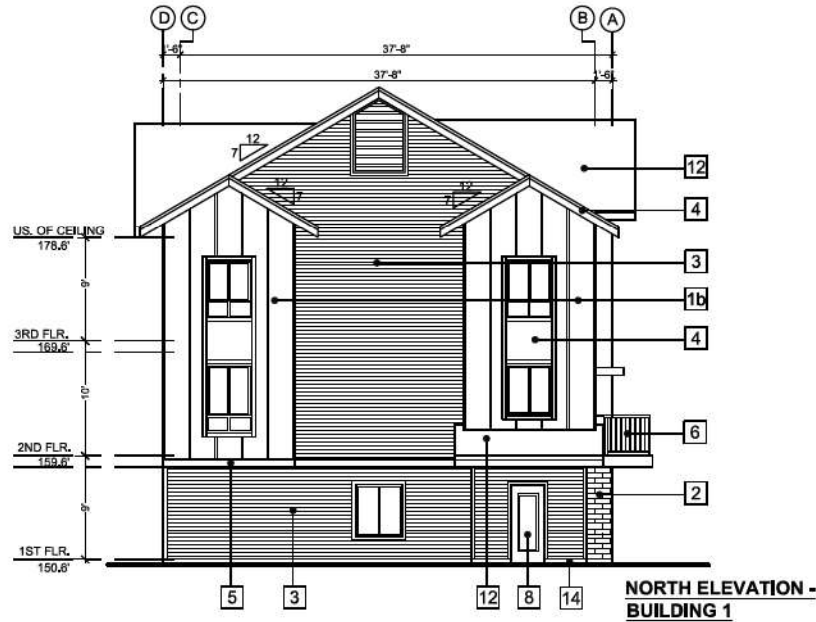
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**EXTERIOR FINISHES**

- |   |   |
|---|---|
| <p><b>1a</b> HARDIE BOARD &amp; BATTEN:<br/>SW 7005 PURE WHITE -<br/>BY SHERWIN WILLIAMS (255)</p> <p><b>1b</b> HARDIE BOARD &amp; BATTEN:<br/>SW 7009 RICH OAK -<br/>BY SHERWIN WILLIAMS (251)</p> <p><b>2</b> BRICK<br/>ONIX BRONSPOT(SMOOTH) - BY LXL<br/>(BLACK MORTAR)</p> <p><b>3</b> HARDIE SIDING<br/>WEATHERED CLIFF -<br/>BY JAMES HARDIE MAGNOLIA HOME</p> <p><b>4</b> HARDIE PANELS, TRIMS, FASCIAS &amp; WINDOW SILLS<br/>SW 6258 TRICORN BLACK -<br/>BY SHERWIN WILLIAMS (251)</p> <p><b>5</b> 6" TRIMS, BAND BOARDS &amp; BRACKETS -<br/>NATURAL STAINED MAPLE WOOD</p> <p><b>6</b> RAILING<br/>ALUMINUM - BLACK</p> <p><b>7</b> WINDOWS - VENT GRILLS<br/>VINYL - BLACK</p> | <p><b>8</b> ENTRY DOORS &amp; MAN DOORS AT GARAGE<br/>PAINTED WOOD:<br/>SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251)</p> <p><b>9</b> GARAGE DOORS<br/>- SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251)<br/>- GLASS</p> <p><b>10</b> PRIVACY SCREEN<br/>- BLACK ALUMINUM FRAME<br/>- OBSCURE GLASS (SANDBLASTED)</p> <p><b>11</b> SOFFITS<br/>VINYL - BLACK</p> <p><b>12</b> ASPHALT SHINGLE ROOF:<br/>MOUNTAIN SLATE - BY IKO ROYAL ESTATE<br/>(FASCIA TO MATCH ROOF COLOR)</p> <p><b>13</b> EYEBROWS &amp; TRIMS AT SIDING<br/>SW 7039 ACCESSIBLE BEIGE -<br/>BY SHERWIN WILLIAMS (249)</p> <p><b>14</b> EXPOSED CONCRETE BASE</p> |
|---|---|



**NORTH ELEVATION -  
BUILDING 1**



**EAST ELEVATION - BUILDING 1**

NO.	DATE	REVISION / ISSUED
4	DEC 04-24	ADP REVISIONS
3	SEP 10-24	ISSUED FOR PERIODIC & DP
2	AUG 16-24	ISSUED FOR PERIODIC & DP
1	JUL 02-24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:  
**TOWNHOUSE DEVELOPMENT**  
20815-45A AVENUE,  
LANGLEY, BC.

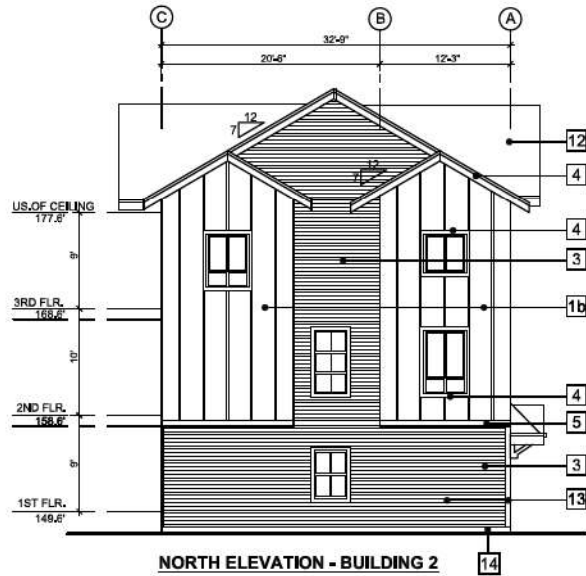
FOR:  
**LEONE HOMES INC.**  
238 - 13986 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:  
**BUILDING 1  
NORTH AND EAST  
ELEVATIONS**

DATE: March 2024	SHEET NO.:
SCALE: NTS	A-3.1b
DESIGN: AA	
DRAWN: AA	
PROJECT NO.:	

**EXTERIOR FINISHES**

1a	<b>HARDIE BOARD &amp; BATTEN :</b> SW 7005 PURE WHITE- BY SHERWIN WILLIAMS (255)	8	<b>ENTRY DOORS &amp; MAIN DOORS AT GARAGE</b> PAINTED WOOD : SW 6256 TRICORN BLACK - BY SHERWIN WILLIAMS (251)
1b	<b>HARDIE BOARD &amp; BATTEN :</b> SW 7099 IRON ORE- BY SHERWIN WILLIAMS (251)	9	<b>GARAGE DOORS</b> - SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251) - GLASS
2	<b>BRICK</b> ONYX IRONSPOT(SMOOTH)- BY LXL, (BLACK MORTAR)	10	<b>PRIVACY SCREEN</b> - BLACK ALUMINUM FRAME - OBSCURE GLASS (SANDBLASTED)
3	<b>HARDIE SIDING</b> WEATHERED CLIFF- BY JAMES HARDIE MAGNOLIA HOME	11	<b>SOFFITS</b> VINYL - BLACK
4	<b>HARDIE PANELS, TRIMS, FASCIAS &amp; WINDOW SILLS</b> SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251)	12	<b>ASPHALT SHINGLE ROOF :</b> MOUNTAIN SLATE - BY KO ROYAL ESTATE (FASCIA TO MATCH ROOF COLOR)
5	<b>6" TRIMS, BAND BOARDS &amp; BRACKETS -</b> NATURAL STAINED MAPLE WOOD	13	<b>EYEBROWS &amp; TRIMS AT SIDING</b> SW 7036 ACCESSIBLE BEIGE - BY SHERWIN WILLIAMS (249)
6	<b>RAILING</b> ALUMINUM - BLACK	14	<b>EXPOSED CONCRETE BASE</b>
7	<b>WINDOWS - VENT GRILLS</b> VINYL - BLACK		



**F. ADAB  
ARCHITECTS  
INC.**

#130-1000 ROOSEVELT CRESCENT  
#2070 VANCOUVER, BC V7P 3K6  
TEL: (604) 967-0033 FAX: (604) 967-0033  
E-MAIL: info@fadab.com

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NO.	DATE	REVISION / ISSUED
4	DEC 04 24	ADP REVISIONS
3	SEP 10 24	ISSUED FOR REVISION & DP
2	AUG 16 24	ISSUED FOR REVISION & DP
1	AUG 02 24	ISSUED FOR PRE-APPLICATION

**PROJECT TITLE:**  
TOWNHOUSE DEVELOPMENT  
20815 - 45A AVENUE,  
LANGLEY, BC.






**FOR:**  
LEONE HOMES INC.,  
238 - 13096 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

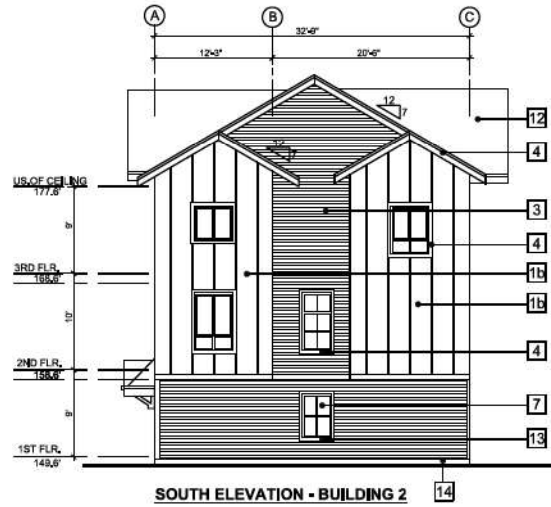
**DRAWING TITLE:**  
BUILDING 2  
NORTH & WEST  
ELEVATIONS

DATE:	SEP 2021	SHEET NO.:	
SCALE:	NTS		
DESIGN:	AA		
DRAWING:	AA		
PROJECT NO.:	-		

A-3.2a

**EXTERIOR FINISHES**

14	 <b>HARDIE BOARD &amp; BATTEN :</b> SW 7025 PURE WHITE - BY SHERWIN WILLIAMS (255)	8	<b>ENTRY DOORS &amp; MAIN DOORS AT GARAGE</b> PAINTED WOOD: SW 5258 TRICORN BLACK - BY SHERWIN WILLIAMS (251)
10b	 <b>HARDIE BOARD &amp; BATTEN :</b> SW 7059 IRON ORES - BY SHERWIN WILLIAMS (251)	9	<b>GARAGE DOORS</b> - SW 5258 TRICORN BLACK - BY SHERWIN WILLIAMS (251) - GLASS
2	 <b>BRICK</b> ONYX IRONSPOT (SMOOTH) - BY LXL (BLACK MORTAR)	10	<b>PRIVACY SCREEN</b> - BLACK ALUMINUM FRAME - OBSCURE GLASS (SANDBLASTED)
3	 <b>HARDIE SIDING</b> WEATHERED CLIFF - BY JAMES HARDIE MAGNOLIA HOME	11	<b>SOFFITS</b> VINYL - BLACK
4	<b>HARDIE PANELS, TRIMS, FASCIAS &amp; WINDOW SILLS</b> SW 5258 TRICORN BLACK - BY SHERWIN WILLIAMS (251)	12	 <b>ASPHALT SHINGLE ROOF :</b> MOUNTAIN SLATE - BY KO ROYAL ESTATE (FASCIA TO MATCH ROOF COLOR)
5	<b>6" TRIMS, BAND BOARDS &amp; BRACKETS -</b> NATURAL STAINED MAPLE WOOD	13	<b>EYEBROWS &amp; TRIMS AT SIDING</b> SW 7036 ACCESSIBLE BEIGE - BY SHERWIN WILLIAMS (249)
6	<b>RAILING</b> ALUMINUM - BLACK	14	<b>EXPOSED CONCRETE BASE</b>
7	<b>WINDOWS - VENT GRILLS</b> VINYL - BLACK		



**SOUTH ELEVATION - BUILDING 2**



**EAST ELEVATION - BUILDING 2**



**F. ADAB ARCHITECTS INC.**

#100-1000 ROOSEVELT CRESCENT  
#2070 VANCOUVER, BC V7P 3K6  
TEL: (604) 967-0033 FAX: (604) 967-0033  
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NO.	DATE	REVISION / ISSUED
4	DEC 04 24	ADP REVISIONS
3	SEP 10 -24	ISSUED FOR REZONING & DP
2	AUG 16 -24	ISSUED FOR REZONING & DP
1	AUG 02 -24	ISSUED FOR PRE-APPLICATION

**PROJECT TITLE:**  
TOWNHOUSE DEVELOPMENT  
20815 - 45A AVENUE,  
LANGLEY, BC.

**FOR:**  
LEONE HOMES INC.,  
238 - 13096 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

**DRAWING TITLE:**  
BUILDING 2  
EAST AND SOUTH  
ELEVATIONS

DATE: Month 2024	SHEET NO:
SCALE: N.T.S.	A-3.2b
DESIGN: A.A.	
DRAWING: A.A.	
PROJECT NO: -	



**F. ADAB ARCHITECTS INC.**

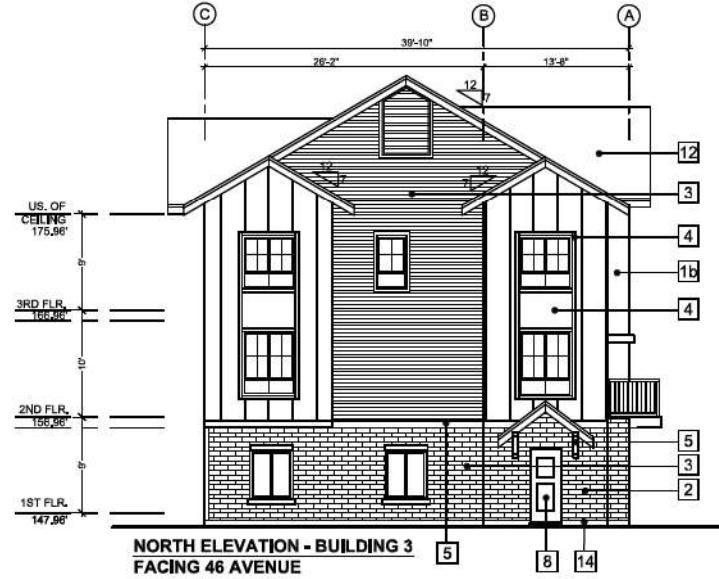
#130-000 ROOSEVELT CRESCENT  
 NORTH VANCOUVER, BC V7P 3M4  
 TEL: (604) 967-0003 FAX: (604) 967-0033  
 E-MAIL: info@fadab.ca

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**EXTERIOR FINISHES**

- |    |   |    |  |
|----|---|----|--|
| 1a | <b>HARDIE BOARD &amp; BATTEN :</b><br>SW 7005 PURE WHITE<br>BY SHERWIN WILLIAMS (255)                           | 9  | <b>ENTRY DOORS &amp; MAIN DOORS AT GARAGE</b><br>PAINTED WOOD :<br>SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251) |
| 1b | <b>HARDIE BOARD &amp; BATTEN :</b><br>SW 7059 IRON GREY<br>BY SHERWIN WILLIAMS (251)                            | 10 | <b>GARAGE DOORS</b><br>- SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251)<br>- GLASS                                |
| 2  | <b>BRICK</b><br>ONYX IRONSPOT(SMOOTH) - BY LXL<br>(BLACK MORTAR)  | 11 | <b>PRIVACY SCREEN</b><br>- BLACK ALUMINUM FRAME<br>- OBSCURE GLASS (SANDBLASTED)                                     |
| 3  | <b>HARDIE SIDING</b><br>WEATHERED CLIFF-<br>BY JAMES HARDIE MAGNOLIA HOME                                       | 12 | <b>SOFFITS</b><br>VINYL - BLACK  |
| 4  | <b>HARDIE PANELS, TRIMS, FASCIAS &amp; WINDOW SILLS</b><br>SW 6258 TRICORN BLACK -<br>BY SHERWIN WILLIAMS (251) | 13 | <b>ASPHALT SHINGLE ROOF :</b><br>MOUNTAIN SLATE - BY BDO ROYAL ESTATE<br>(FASCIA TO MATCH ROOF COLOR)                |
| 5  | <b>6" TRIMS, BAND BOARDS &amp; BRACKETS -</b><br>NATURAL STAINED MAPLE WOOD                                     | 14 | <b>EYEBROWS &amp; TRIMS AT SIDING</b><br>SW 7036 ACCESSIBLE BEIGE -<br>BY SHERWIN WILLIAMS (249)                     |
| 6  | <b>RAILING</b><br>ALUMINUM - BLACK  |    | <b>EXPOSED CONCRETE BASE</b>   |
| 7  | <b>WINDOWS - VENT GRILLS</b><br>VINYL -BLACK  |    |  |



**NORTH ELEVATION - BUILDING 3  
 FACING 46 AVENUE**



**WEST ELEVATION - BUILDING 3  
 FACING 208 STREET**

NO.	DATE	REVISION / ISSUED
4	DEC 04-24	ADP REVISIONS
3	SEP 10-24	REISSUED FOR RECD#10 & DP
2	AUG 18-24	ISSUED FOR REZONING & DP
1	JUL 22-24	ISSUED FOR PRE-APPLICATION

**PROJECT TITLE:**  
 TOWNHOUSE DEVELOPMENT  
 20815 - 45A AVENUE,  
 LANGLEY, BC.

**FOR:**  
 LEONE HOMES INC.  
 238 - 13986 CAMEBIE ROAD,  
 RICHMOND, B.C. V6V 2K3

**DRAWING TITLE:**  
 BUILDING 3  
 NORTH & WEST  
 ELEVATIONS

DATE:	March 2024	SHEET NO:	A-3.3a
SCALE:	N.T.S.		
DESIGN:	A.A.		
DRAWN:	A.A.		
PROJECT NO.:	-		



**F. ADAB  
ARCHITECTS  
INC.**

#138-1000 ROOSEVELT CRESCENT  
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NO.	DATE	REVISION / ISSUED
4	DEC 04-24	ADP REVISIONS
3	SEP 10-24	REISSUED FOR REVISIONS & DP
2	AUG 18-24	ISSUED FOR REVISIONS & DP
1	JUL 22-24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:  
**TOWNHOUSE DEVELOPMENT**  
20815 - 45A AVENUE,  
LANGLEY, BC.

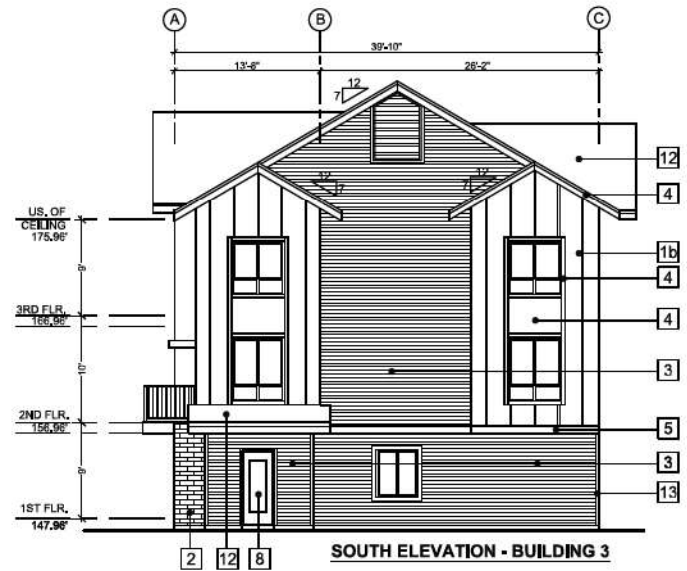
FOR:  
**LEONE HOMES INC.**  
238 - 13886 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:  
**BUILDING 3  
SOUTH & EAST  
ELEVATIONS**

DATE: March 2024	SHEET NO:
SCALE: NTS.	A-3.3b
DESIGN: A.A.	
DRAWN: A.A.	
PROJECT NO: -	

**EXTERIOR FINISHES**

1a		<b>HARDIE BOARD &amp; BATTEN</b> SW 7005 PURE WHITE - BY SHERWIN WILLIAMS (255)	8	<b>ENTRY DOORS &amp; MAIN DOORS AT GARAGE</b> PAINTED WOOD - SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251)
1b		<b>HARDIE BOARD &amp; BATTEN</b> SW 7066 IRON ORE - BY SHERWIN WILLIAMS (251)	9	<b>GARAGE DOORS</b> - SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251) - GLASS
2		<b>BRICK</b> ONYX IRONSPOT (SMOOTH) - BY LXL (BLACK MORTAR)	10	<b>PRIVACY SCREEN</b> - BLACK ALUMINUM FRAME - OBSCURE GLASS (SANDBLASTED)
3		<b>HARDIE SIDING</b> WEATHERED CLIFF - BY JAMES HARDIE MAGNOLIA HOME	11	<b>SOFFITS</b> VINYL - BLACK
4		<b>HARDIE PANELS, TRIMS, FASCIAS &amp; WINDOW SILLS</b> SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251)	12	<b>ASPHALT SHINGLE ROOF</b> MOUNTAIN SLATE - BY IKO ROYAL ESTATE (FASCIA TO MATCH ROOF COLOR)
5		<b>6" TRIMS, BAND BOARDS &amp; BRACKETS</b> NATURAL STAINED MAPLE WOOD	13	<b>EYEBROWS &amp; TRIMS AT SIDING</b> SW 7036 ACCESSIBLE BEIGE - BY SHERWIN WILLIAMS (249)
6		<b>RAILING</b> ALUMINUM - BLACK	14	<b>EXPOSED CONCRETE BASE</b>
7		<b>WINDOWS - VENT GRILLS</b> VINYL - BLACK		



**SOUTH ELEVATION - BUILDING 3**



**EAST ELEVATION - BUILDING 3**



**F. ADAB  
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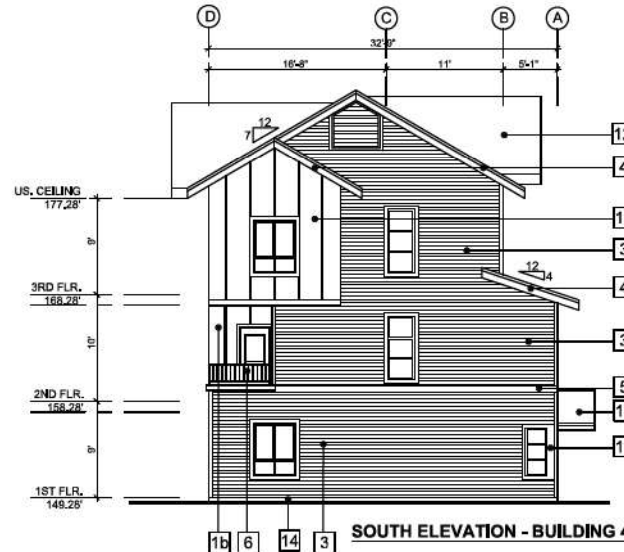
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**EXTERIOR FINISHES**

- |    |   |    |  |
|----|---|----|--|
| 1a | HARDBOARD & BATTEN :<br>SW 7069 PURE WHITE -<br>BY SHERWIN WILLIAMS (255)                               | 8  | ENTRY DOORS & MAN DOORS AT GARAGE<br>PAINTED WOOD :<br>SW 6256 TRICORN BLACK - BY SHERWIN WILLIAMS (251) |
| 1b | HARDBOARD & BATTEN :<br>SW 7069 IRON ORE -<br>BY SHERWIN WILLIAMS (251)                                 | 9  | GARAGE DOORS<br>- SW 6256 TRICORN BLACK - BY SHERWIN WILLIAMS (251)<br>- GLASS                           |
| 2  | BRICK<br>ONYX IRONSPOT (SMOOTH) - BY D.J.<br>(BLACK MORTAR)   | 10 | PRIVACY SCREEN<br>- BLACK ALUMINUM FRAME<br>- OBSCURE GLASS (SANDBLASTED)                                |
| 3  | HARDBOARD SIDING<br>WEATHERED CLIFF -<br>BY JAMES HARDE MAGNOLIA HOME                                   | 11 | SOFFITS<br>VINYL - BLACK   |
| 4  | HARDBOARD PANELS, TRIMS, FASCIAS & WINDOW SILLS<br>SW 6256 TRICORN BLACK -<br>BY SHERWIN WILLIAMS (251) | 12 | ASPHALT SHINGLE ROOF :<br>MOUNTAIN SLATE - BY KO ROYAL ESTATE<br>(FASCIA TO MATCH ROOF COLOR)            |
| 5  | 6" TRIMS, BAND BOARDS & BRACKETS -<br>NATURAL STAINED MAPLE WOOD  | 13 | EYEBROWS & TRIMS AT SIDING<br>SW 7036 ACCESSIBLE BEIGE -<br>BY SHERWIN WILLIAMS (249)                    |
| 6  | RAILING<br>ALUMINUM - BLACK   | 14 | EXPOSED CONCRETE BASE  |
| 7  | WINDOWS - VENT GRILLS<br>VINYL - BLACK  |    |  |



NO.	DATE	REVISION / ISSUED
4	DEC 04 24	ADP REVISIONS
3	SEP 10 - 24	ISSUED FOR REZONING & DP
2	AUG 18 - 24	ISSUED FOR REZONING & DP
1	AUG 02 - 24	ISSUED FOR PRE-APPLICATION

**PROJECT TITLE:**  
TOWNHOUSE DEVELOPMENT  
20815 - 45A AVENUE,  
LANGLEY, BC.

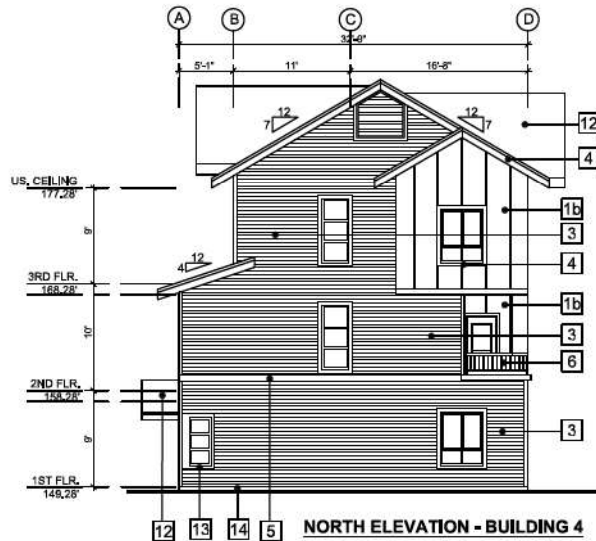
**FOR:**  
LEONE HOMES INC.,  
238 - 13986 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

**DRAWING TITLE:**  
BUILDING 4  
EAST & SOUTH  
ELEVATIONS

DATE: Sep 2021	SHEET NO:
SCALE: NTS	A-3.4a
DRAWN: AA	
PROJECT NO: -	

**EXTERIOR FINISHES**

1a	<b>HARDE BOARD &amp; BATTEN :</b> SW 7005 PURE WHITE - BY SHERWIN WILLIAMS (255)	8	<b>ENTRY DOORS &amp; MAN DOORS AT GARAGE</b> PAINTED WOOD : SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251)
1b	<b>HARDE BOARD &amp; BATTEN :</b> SW 7069 IRON ONE - BY SHERWIN WILLIAMS (251)	9	<b>GARAGE DOORS</b> - SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251) - GLASS
2	<b>BRICK</b> ONYX IRONSPOT(SMOOTH) - BY I.X.L. (BLACK MORTAR)	10	<b>PRIVACY SCREEN</b> - BLACK ALUMINUM FRAME - OBSCURE GLASS (SANDBLASTED)
3	<b>HARDE SIDING</b> WEATHERED CLIFF - BY JAMES HARDE MAGNOLIA HOME	11	<b>SOFFITS</b> VINYL - BLACK
4	<b>HARDE PANELS, TRIMS, FASCIAS &amp; WINDOW SILL</b> SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251)	12	<b>ASPHALT SHINGLE ROOF :</b> MOUNTAIN SLATE - BY IKO ROYAL ESTATE (FASCIA TO MATCH ROOF COLOR)
5	<b>6" TRIMS, BAND BOARDS &amp; BRACKETS -</b> NATURAL STAINED MAPLE WOOD	13	<b>EYEBROWS &amp; TRIMS AT SIDING</b> SW 7036 ACCESSIBLE BEIGE - BY SHERWIN WILLIAMS (249)
6	<b>RAILING</b> ALUMINUM - BLACK	14	<b>EXPOSED CONCRETE BASE</b>
7	<b>WINDOWS - VENT GRILLS</b> VINYL -BLACK		



**F. ADAB ARCHITECTS INC.**

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NO.	DATE	REVISION / ISSUED
4	DEC 04 24	ADP REVISIONS
3	SEP 10 24	ISSUED FOR REZONING & DP
2	AUG 16 24	ISSUED FOR REZONING & DP
1	AUG 02 24	ISSUED FOR PRE-APPLICATION

**PROJECT TITLE:**  
TOWNHOUSE DEVELOPMENT  
20815 - 45A AVENUE,  
LANGLEY, BC.

**FOR:**  
LEONE HOMES INC.,  
238 - 13996 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

**DRAWING TITLE:**  
BUILDING 4  
WEST & NORTH  
ELEVATIONS

DATE: Sep 2021	SHEET NO:
SCALE: NTS	A-3.4b
DESIGN: AAL	
DRAWN: AAL	
PROJECT NO: -	



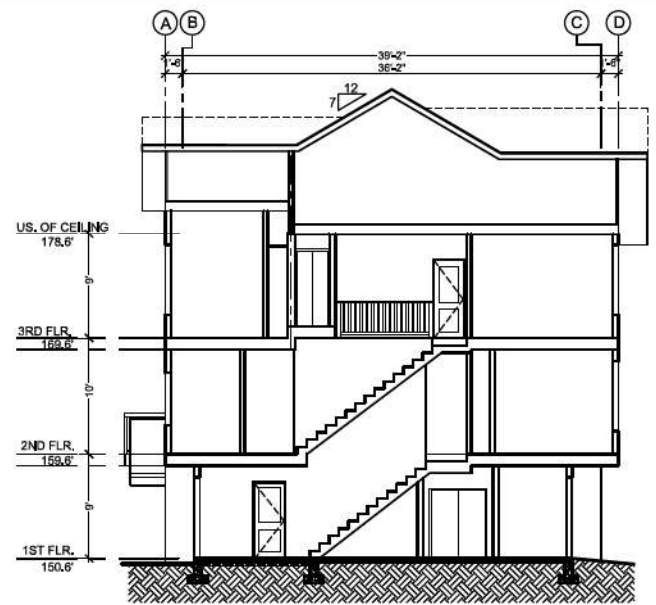
**F. ADAB ARCHITECTS INC.**

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TEL: (604) 967-3003 FAX: (604) 967-3003  
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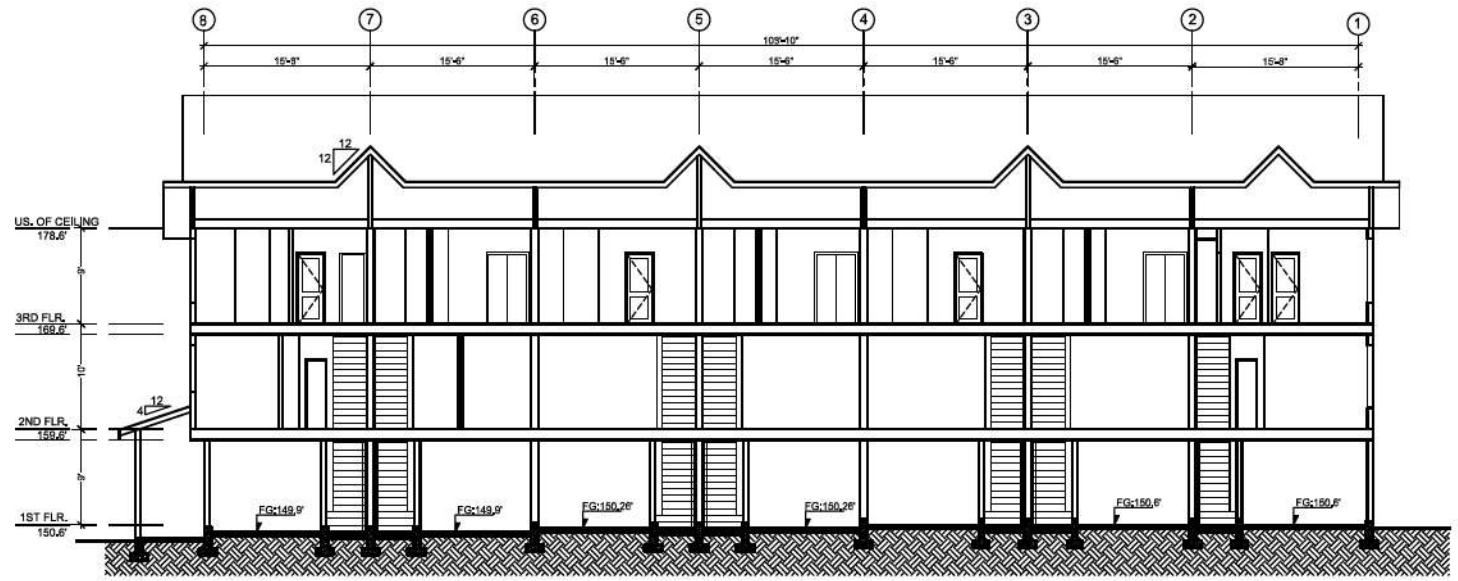
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**SECTION B-B  
BUILDING 1**



**SECTION A-A  
BUILDING 1**

NO.	DATE	REVISION / ISSUED
4	DEC 04-24	ADP REVISIONS
3	SEP 10-24	REISSUED FOR REZONING & DP
2	AUG 18-24	ISSUED FOR REZONING & DP
1	JUL 22-24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:  
**TOWNHOUSE DEVELOPMENT**  
20815 - 45A AVENUE,  
LANGLEY, BC.

FOR:  
**LEONE HOMES INC.**  
238 - 13086 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:  
**BUILDING 1  
SECTIONS A-A & B-B**

DATE:	March 2024	SHEET NO:
SCALE:	N.T.S.	<b>A-4.1</b>
DESIGN:	A.A.	
DRAWN:	A.A.	
PROJECT NO.:	-	





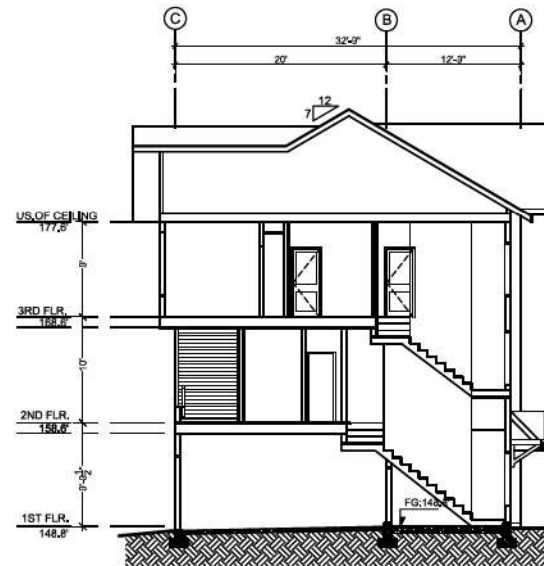
**F. ADAB  
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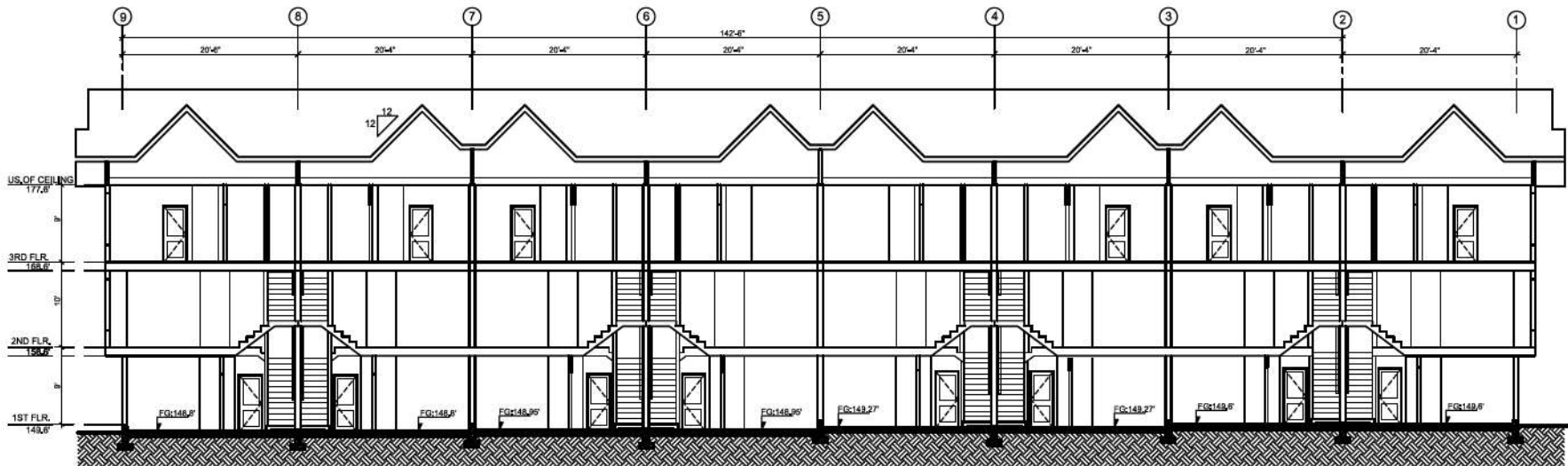
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**SECTION D-D  
BUILDING 2**



**SECTION C-C  
BUILDING 2**

NO.	DATE	REVISION / ISSUED
4	DEC 04-24	ADP REVISION
3	SEP 10-24	REISSUED FOR REVISION & DP
2	AUG 18-24	ISSUED FOR REVISION & DP
1	JUL 22-24	ISSUED FOR PRE-APPLICATION

**PROJECT TITLE:**  
TOWNHOUSE DEVELOPMENT  
20815 - 45A AVENUE,  
LANGLEY, BC.

**FOR:**  
LEONE HOMES INC.  
238 - 13986 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

**DRAWING TITLE:**  
BUILDING 2  
SECTIONS C-C & D-D

DATE:	March 2024	SHEET NO:
SCALE:	N.T.S.	A-4.2
DESIGN:	A.A.	
DRAWN:	A.A.	
PROJECT NO.:	-	



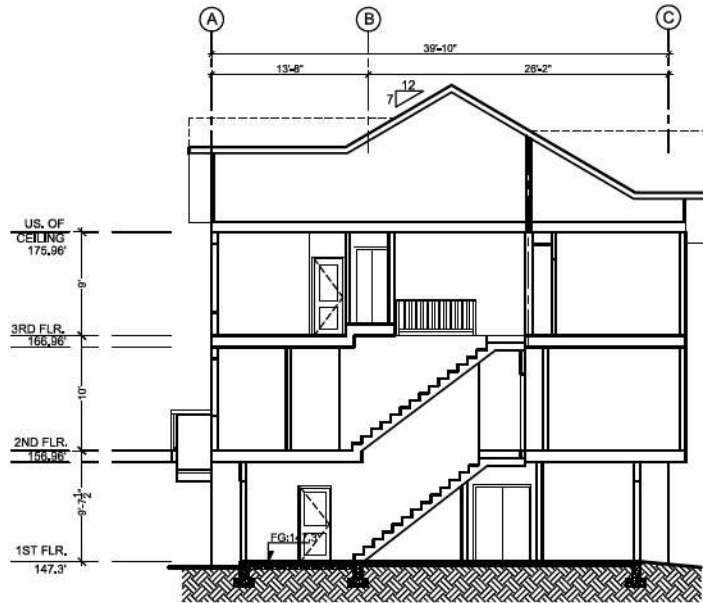
**F. ADAB  
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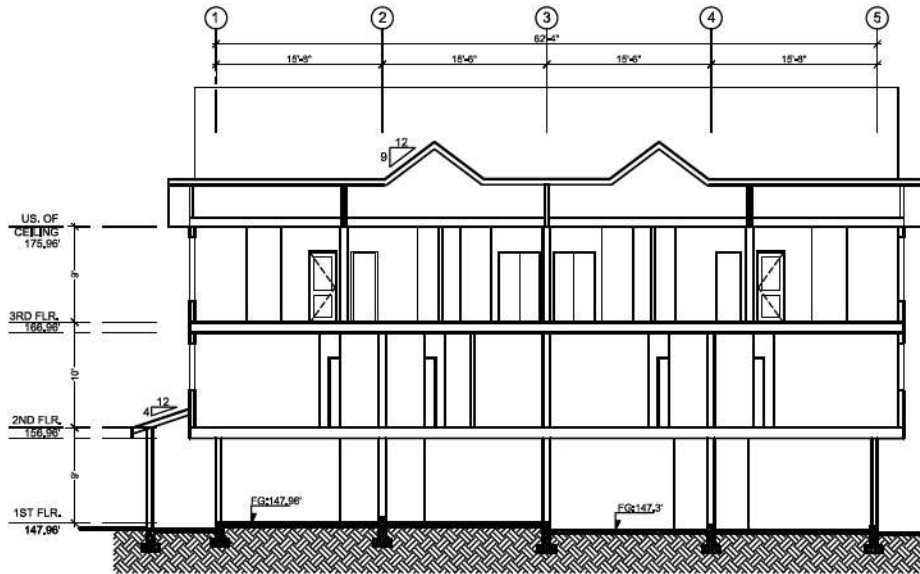
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**SECTION F-F  
BUILDING 3**



**SECTION E-E  
BUILDING 3**

NO.	DATE	REVISION / ISSUED
4	DEC 04-24	ADP REVISIONS
3	SEP 10-24	REISSUED FOR REZONING & DP
2	AUG 18-24	ISSUED FOR REZONING & DP
1	JUL 22-24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:  
**TOWNHOUSE DEVELOPMENT**  
20815 - 45A AVENUE,  
LANGLEY, BC.

FOR:  
**LEONE HOMES INC.**  
238 - 13086 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:  
**BUILDING 3  
SECTIONS E-E & F-F**

DATE:	March 2024	SHEET NO:
SCALE:	N.T.S.	<b>A-4.3</b>
DESIGN:	A.A.	
DRAWN:	A.A.	
PROJECT NO:	-	



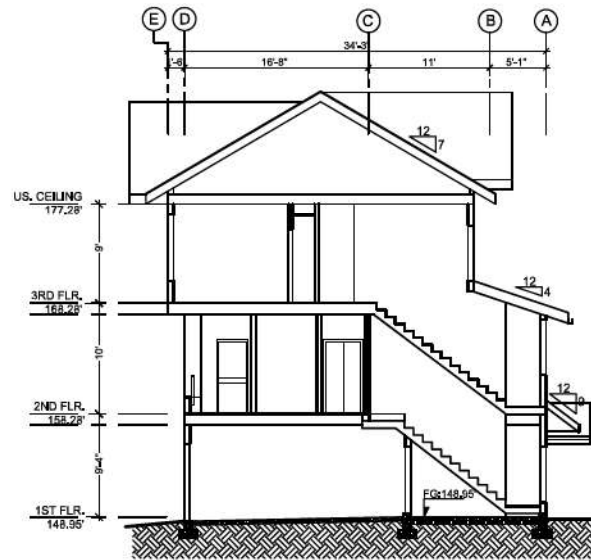
**F. ADAB  
ARCHITECTS  
INC.**

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TEL: (604) 967-0003 FAX: (604) 967-0003  
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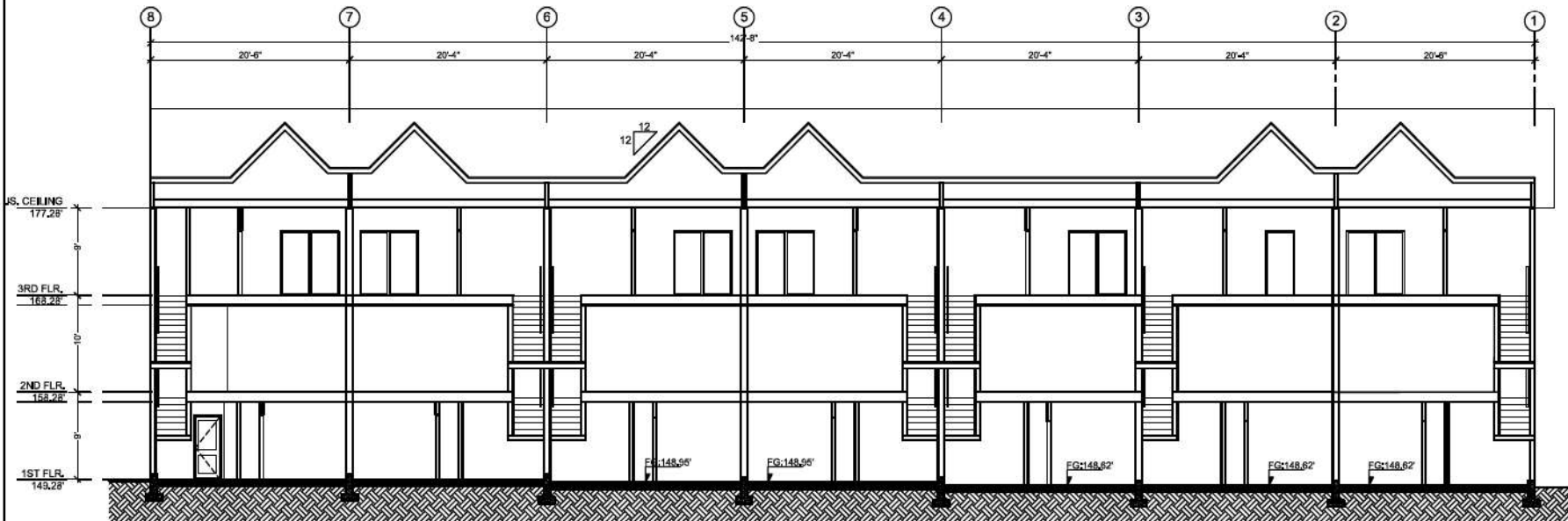
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**SECTION H-H  
BUILDING 4**



**SECTION G-G  
BUILDING 4**

NO.	DATE	REVISION / ISSUED
4	DEC 04-24	ADP REVISIONS
3	SEP 10-24	REISSUED FOR REVISIONS & DP
2	AUG 18-24	ISSUED FOR REVISIONS & DP
1	JUL 02-24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:  
**TOWNHOUSE DEVELOPMENT**  
20815 - 45A AVENUE,  
LANGLEY, BC.

FOR:  
**LEONE HOMES INC.**  
238 - 13986 CAMBIE ROAD,  
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:  
**BUILDING 4  
SECTIONS G-G & H-H**

DATE:	March 2024	SHEET NO:
SCALE:	N.T.S.	<b>A-4.4</b>
DESIGN:	A.A.	
DRAWN:	A.A.	
PROJECT NO.:	-	