



points west
ARCHITECTURE

PUBLIC INFORMATION MEETING – March 31, 2017

Public Information meeting for proposed strata condo development located at:

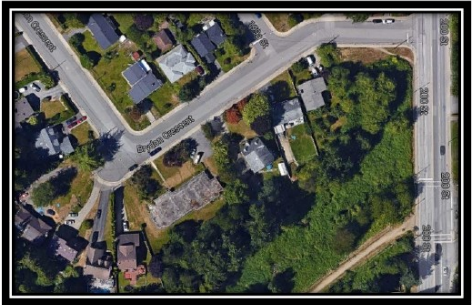
19942 Brydon Cres, Langley, BC (see map below)

Dear Neighbour,

You are invited to attend a public information meeting to review and discuss the proposed development at 19942 Brydon Crescent, Langley BC. The intent of this Public Information Meeting is to seek input from the area residents on the proposed development and address any questions that may arise.

The proposal includes the following components:

- Rezoning from RM1 to RM3 zone
- 54 strata titled condo units ranging from 450 sq. ft. to 1,104 sq. ft.
- City of Langley Official Community Plan Designation: High density 80 UPA (allowable density: 80 units per acre)



The meeting will be held at:

Multi-purpose room # 2

– Timms Community Center

20399 Douglas Crescent

Date: Friday, March 31, 2017

Time: 7:00 pm – 8:30 pm

Additional details pertaining to the proposed development will be given at the Public Information meeting. The project consultant will be in attendance as well to answer any questions you may have prior to proceeding to Council for further consideration.

*****PLEASE NOTE THIS IS NOT A PUBLIC HEARING NOTICE*****

Please join us as your thoughts are important to us.

Sincerely,

White Tail Homes Ltd.

BRYDON CRESCENT MULTIPLE FAMILY PROJECT

CPTED REVIEW REPORT

WHITETAIL HOMES LTD.



LIAHONA SECURITY CONSORTIUM INC.

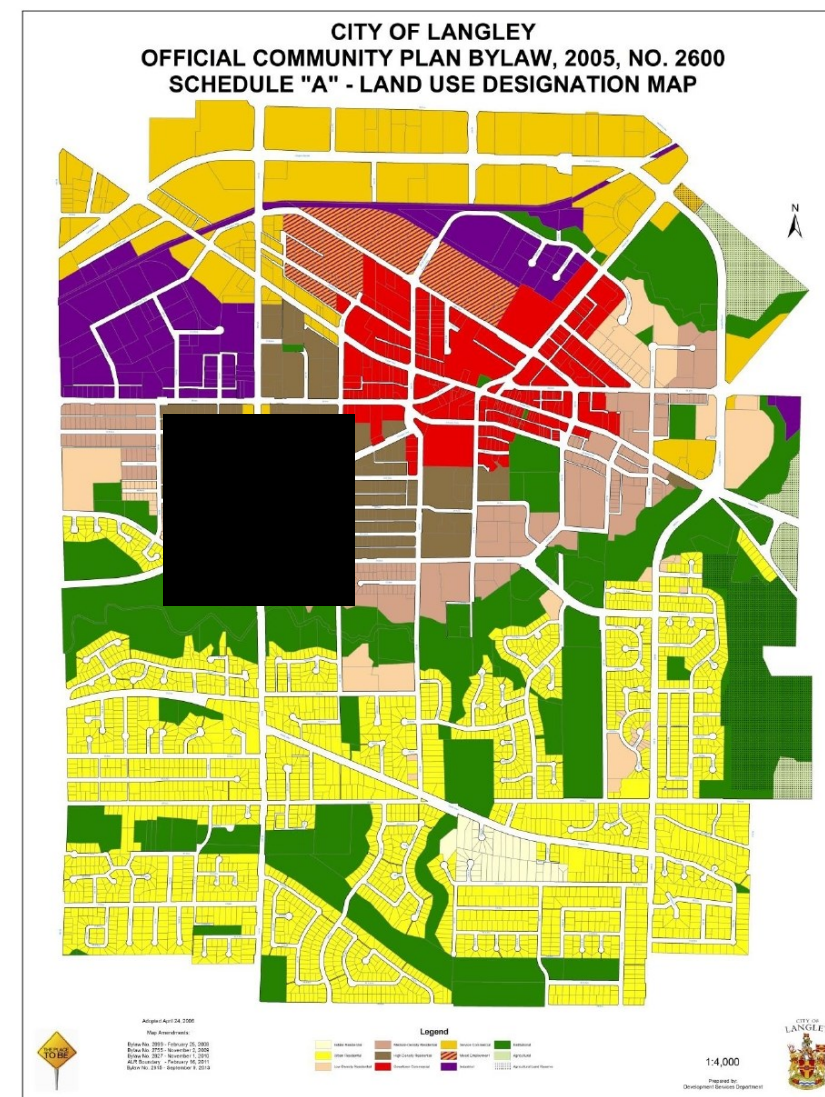


P.O. Box 88
Mill Bay, BC. V0R 2P0
Phone: (250) 743-8948
Fax: (250) 743-8941
E-mail: liahonasecurity@shaw.ca
Web: www.liahonasecurity.com

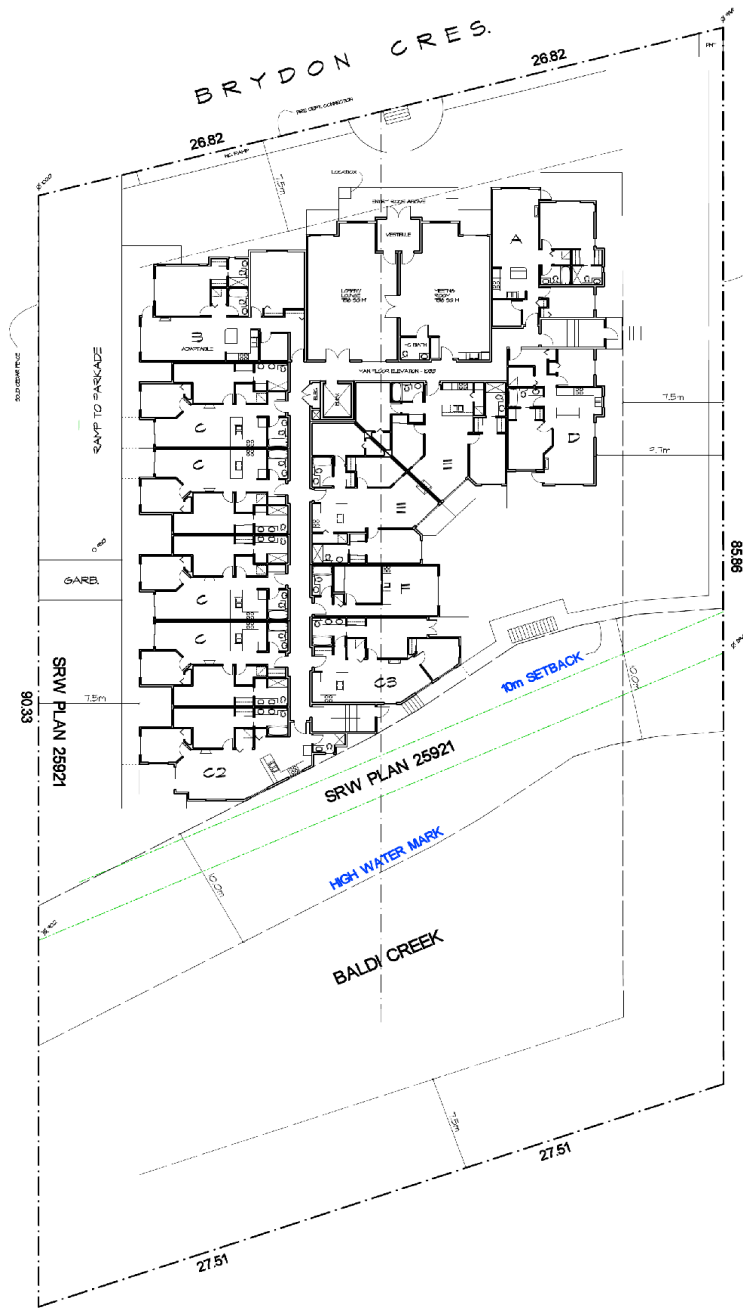
Report Date: 19/Feb/2017



OFFICIAL COMMUNITY PLAN BYLAW, 2005, NO. 2600





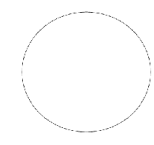


SITE RECONCILIATION

LOT AREA	- 49,284 SQ FT (1.13 ACRES)
PROPOSED ZONE	- R-V 3
DENSITY	- 54 UNITS PROPOSED (90 UNITS ALLOWABLE)
BUILDING HEIGHT	- 4 STOREYS
LOT COVERAGE	- 26 % PROPOSED (40% ALLOWABLE)
FLOOR AREA RATIO	- .08
SETBACKS	- 15m REQUIRED
AVENUE SPACE	- 54' X 23' = 242 SQ M REQUIRED (472 SQ M PROVIDED)
PARKING	- 4 ONE BED X 2 + 50 TWO BED X 3 = 610 STALLS REQUIRED - 54 UNITS X 0.2 = 108 VISITOR STALLS REQUIRED - 21 TOTAL STALLS PROVIDED - 21 TOTAL STALLS X 5 % = 4 H/C STALLS REQUIRED
ADAPTABLE UNITS	- 4 UNITS PROVIDED (7%)
EV PARKING	- 2 STALLS PROVIDED



SITE PLAN
SCALE = 1/8" = 1'-0"



APR 10, 2007 ISSUED FOR DEVELOPMENT PERMIT
MARCH 22, 2007 - REVISED FOR DEVELOPMENT PERMIT
COMMISSION

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CONSULTANT

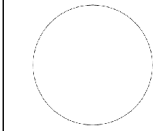
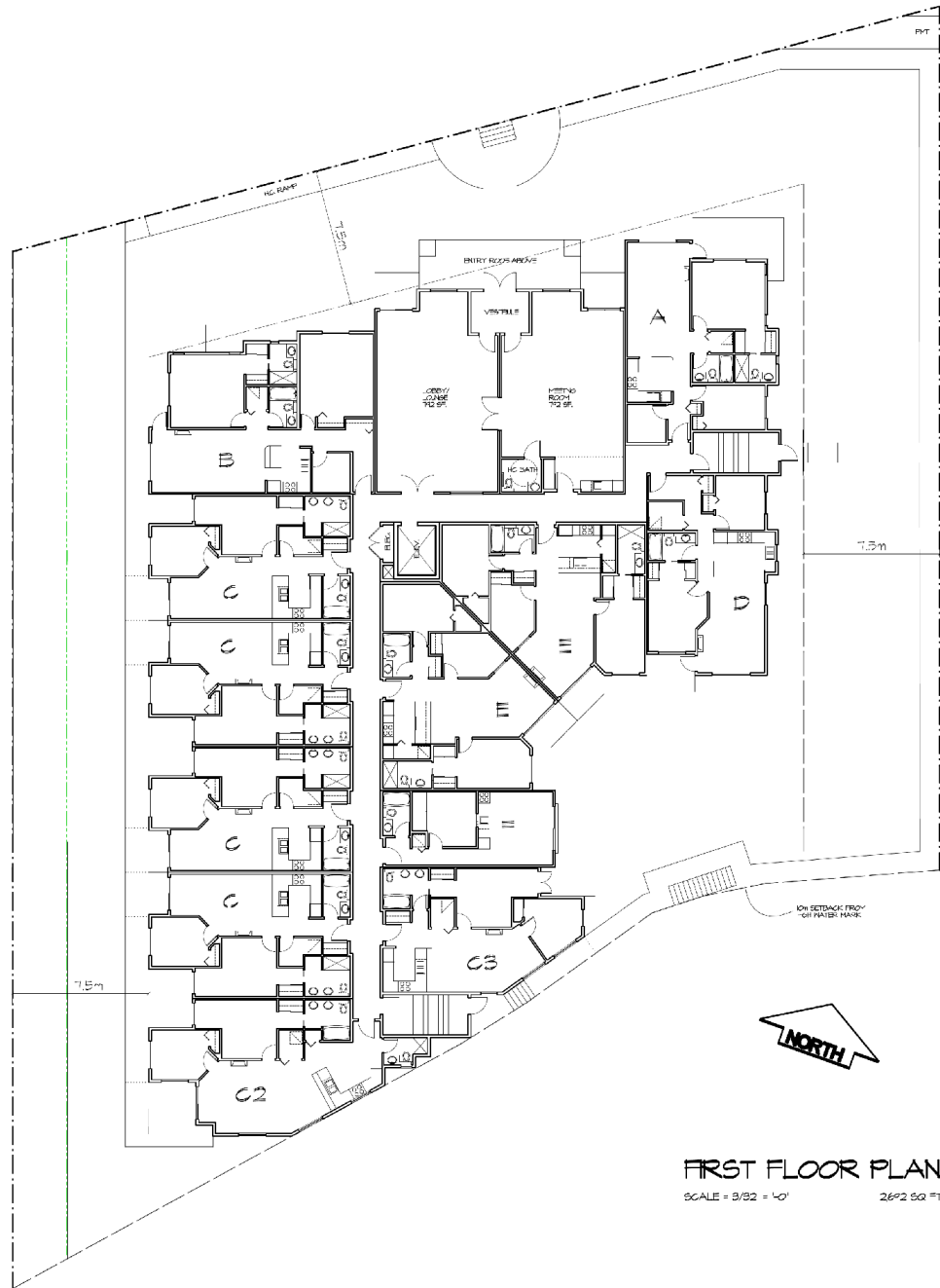
points west
ARCHITECTURE
PHONE: 604-864-8665
208 - 290 W. Railway St.
Abbotsford, B.C.
V2S 2S2
FAX: 604-864-8605
E-MAIL: pwa@pointswest.ca

PROJECT:
54 UNIT APARTMENT
1540 BRYDON CRES.
ABBOTSFORD, BC

DATE	NOV 22, 2006
SCALE	1/8" = 1'-0"
DRAWN BY	WJ

DRAWING TITLE:
PRELIMINARY SITE PLAN

JOB NO.:	SHEET NO.:
1611	P-1




APR 10, 2017 PERIOD FOR DEVELOPMENT PERMIT
MARCH 22, 2017 - REVISION FOR DEVELOPMENT PERMIT

REVISIONS:

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points west
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203 - 240 W. Railway St.
Tomball, TX 77375
281-291-1111
www.pointswestarch.com

PROJECT:
54 UNIT APARTMENT

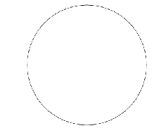
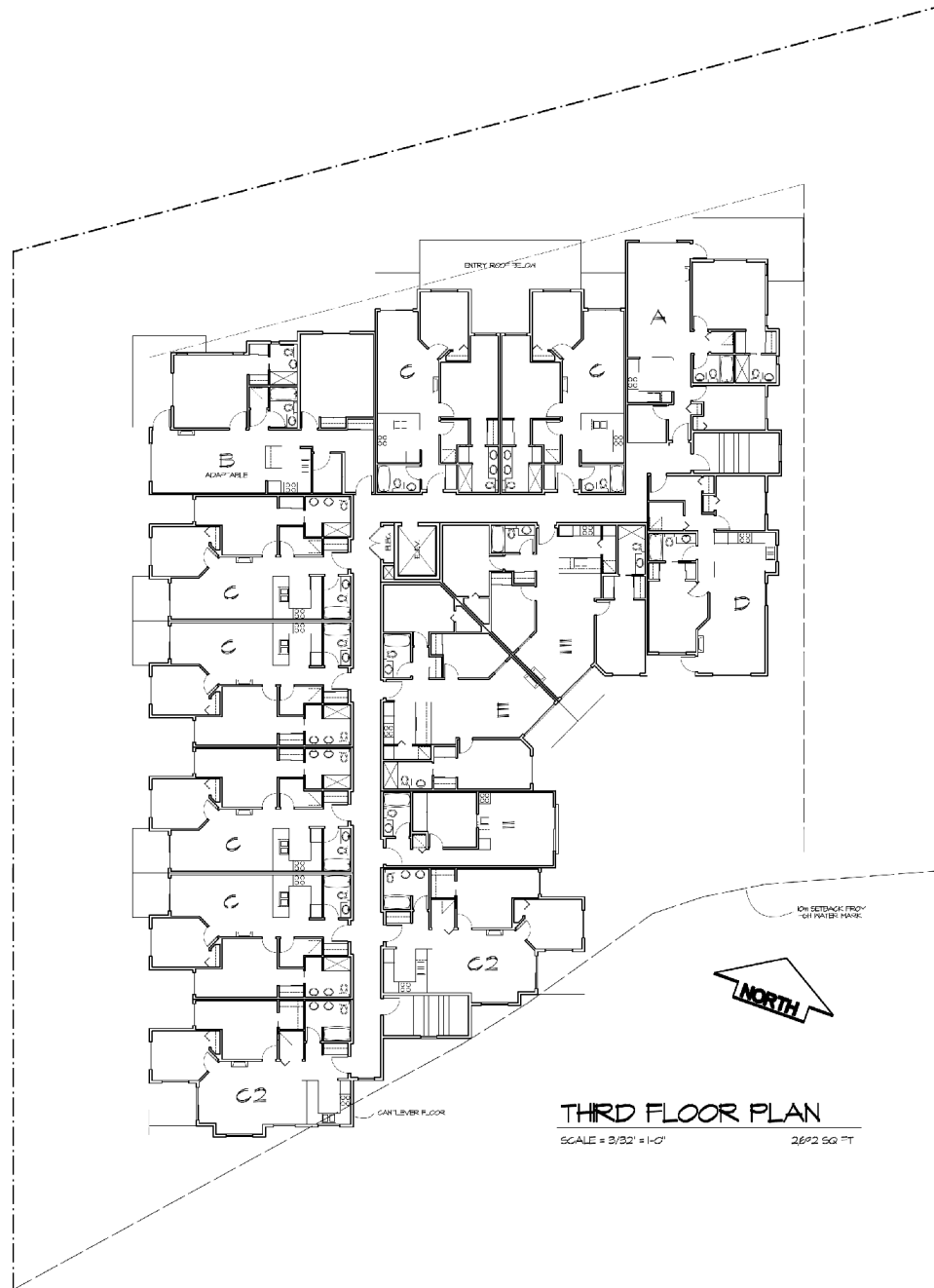
DESIGNED BY:
ANDREW B. C.

DATE:	MAY 22, 2016
SCALE:	3/32" = 1'-0"
DRAWN BY:	WVF

DRAWING TITLE:
PRELIMINARY FIRST FLOOR PLAN

PROJECT NO.:
1611

SHEET NO.:
P-3



MARCH 22, 2017 - REVISED FOR DEVELOPER - FINAL
 REVISIONS:

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 Abbotsford, B.C.
 V2S 2E2

PHONE: 604-864-4855
 FAX: 604-864-4858
 E-mail: pw@pointswest.net

PROJECT:
**54 UNIT
 APARTMENT**

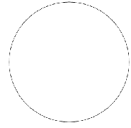
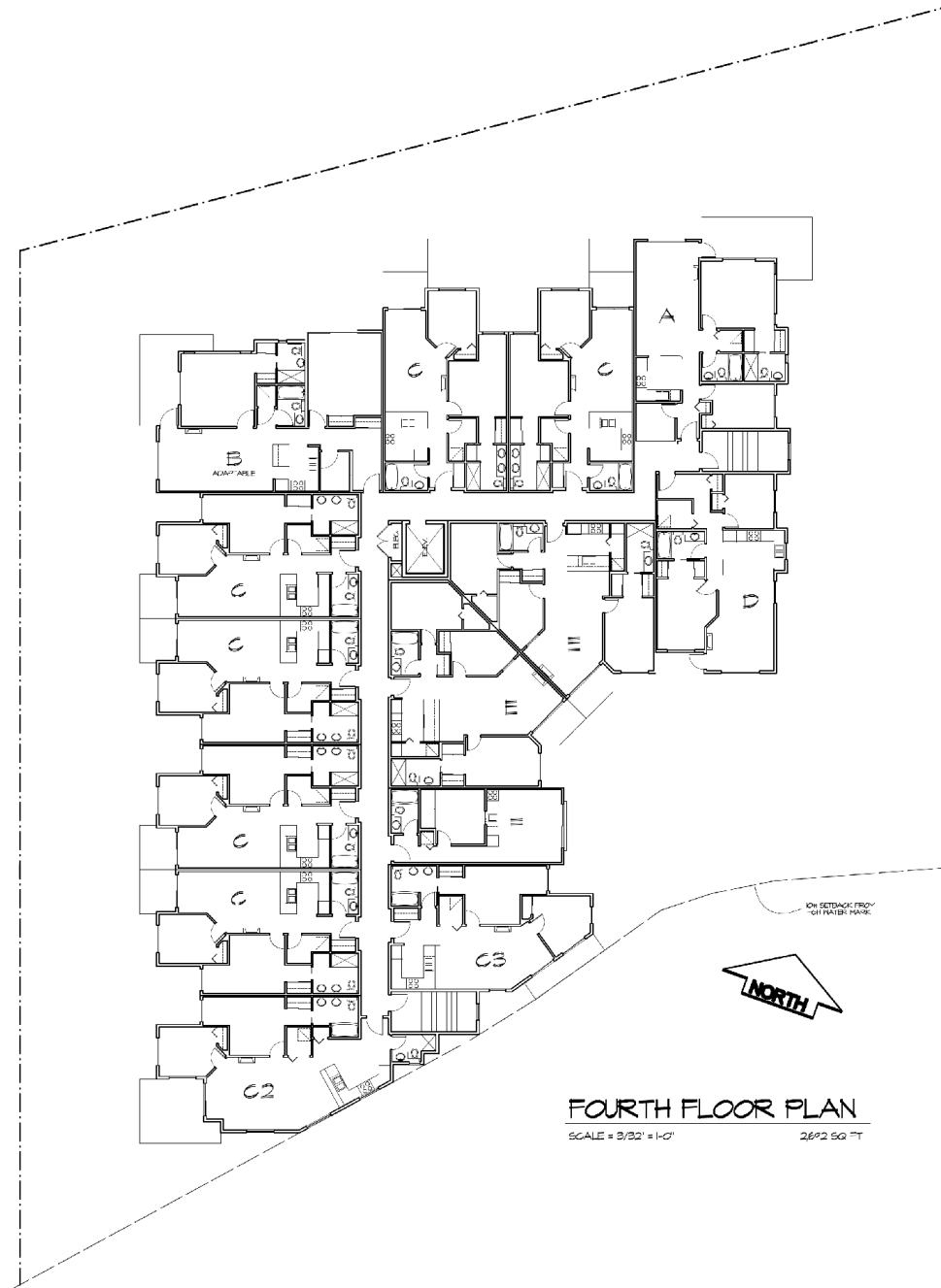
TRAC REGION OF
 ANDEB, BC

SHEET	001 OF 203
SCALE	3/32" = 1'-0"
DRAWN BY	WET

DRAWING TITLE:
**PRELIMINARY
 THIRD
 FLOOR PLAN**

JOB NO.:
1611

SHEET NO.:
P-5



APR 10 2017 - REVISION FOR DEVELOPMENT PERMIT
MARCH 22 2017 - REVISION FOR DEVELOPMENT PERMIT

REVISIONS:

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Tomball, TX 77375
PHONE: 281-884-8888
FAX: 281-884-8889
EMAIL: info@pointswest.com

PROJECT:
54 UNIT APARTMENT

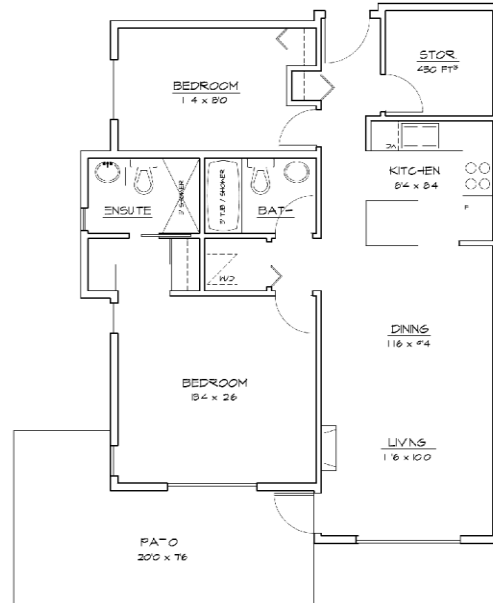
DESIGNER:
JANICE B. C.

DATE: 04/10/2017
SCALE: 3/32" = 1'-0"
DRAWN: JBC

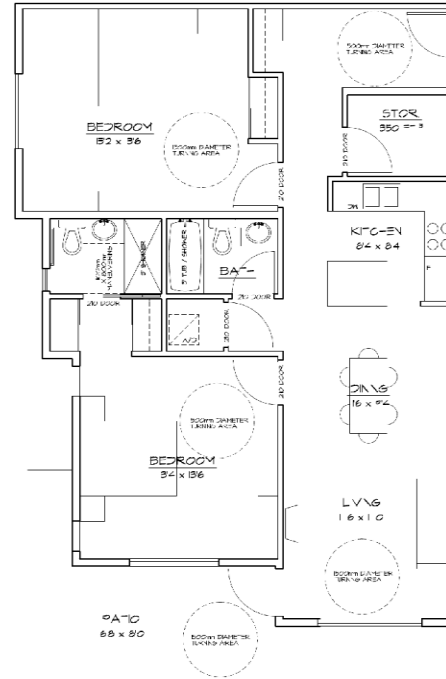
DRAWING TITLE:
**PRELIMINARY
FOURTH
FLOOR PLAN**

LOT NO.:
1611

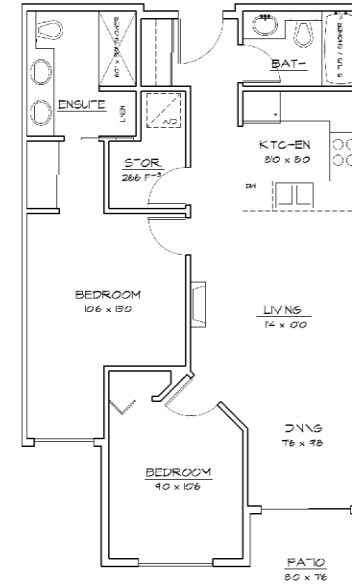
SHEET NO.:
P-6



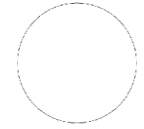
'A' UNIT PLAN 880 SQ FT
SCALE = 1/4" = 1'-0"



'B' UNIT PLAN 645 SQ FT
SCALE = 1/4" = 1'-0" ADAPTABLE UNIT



'C' UNIT PLAN 720 SQ FT
SCALE = 1/4" = 1'-0"



APR 12 2017 REFER FOR DEVELOPMENT PLAN
MAY 12 2017 REFER FOR DEVELOPMENT PLAN
CONSONS

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PHONE: 804-864-4800
FAX: 804-864-4800
E-mail: pw@pointswest.net

PROJECT:
54 UNIT APARTMENT

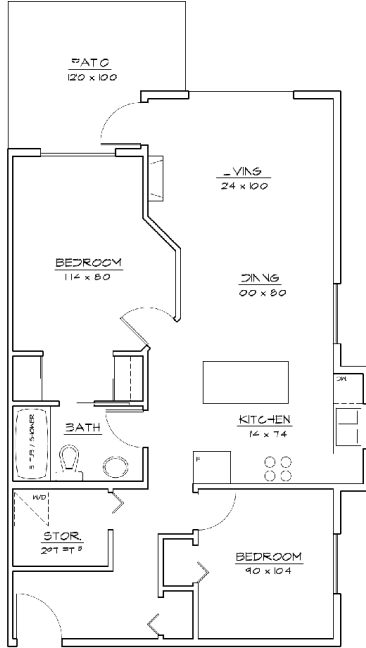
THIS DRAWING IS THE PROPERTY OF POINTS WEST ARCHITECTURE.

DATE:	NOV 30 2016
SCALE:	1/4" = 1'-0"
DRAWN BY:	W

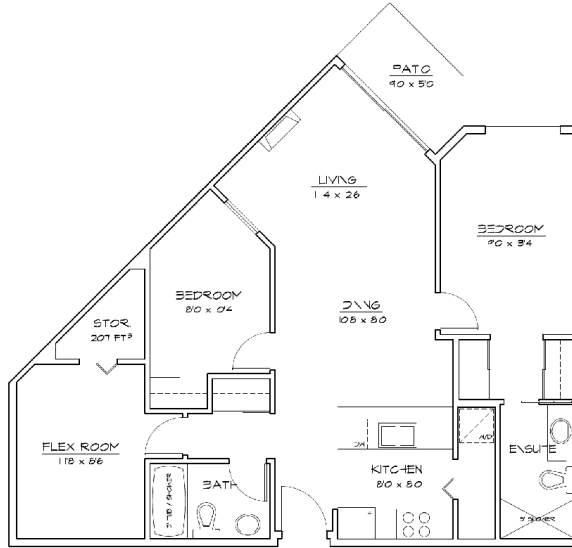
DRAWING TITLE:
PRELIMINARY SUITE PLANS

JOB NO.:
1611

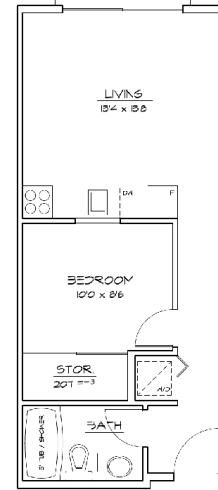
SHEET NO.:
P-7



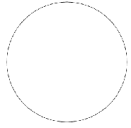
'D' UNIT PLAN 800 SQ FT
SCALE = 1/4" = 1'-0"



'E' UNIT PLAN 980 SQ FT
SCALE = 1/4" = 1'-0"



'F' UNIT PLAN 450 SQ FT
SCALE = 1/4" = 1'-0"



APR 10 2017 REVISED FOR PRELIMINARY PLAN
MAY 22 2017 REVISED FOR PRELIMINARY PLAN

REVISIONS:

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Atlanta, GA 30303
Phone: 404.525.1111
Fax: 404.525.1112
Email: info@pointswest.net

PROJECT:
54 UNIT APARTMENT

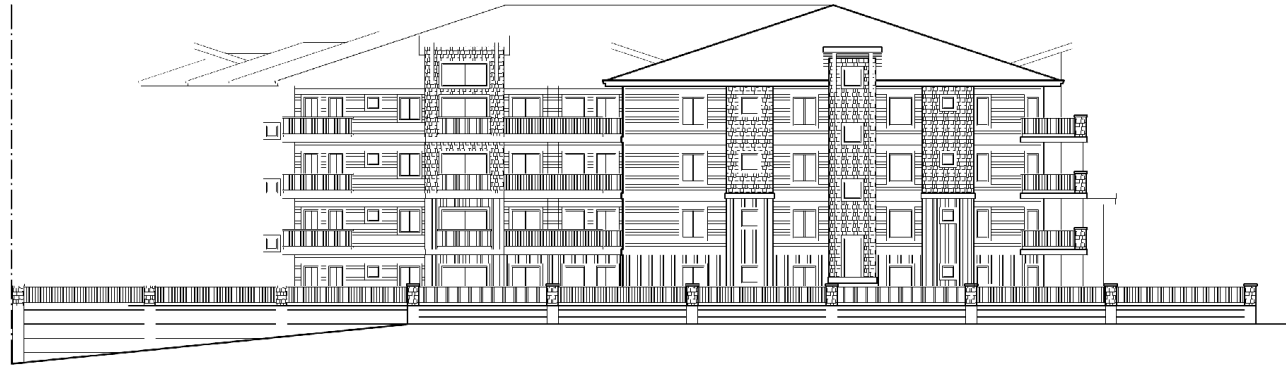
PROJECT LOCATION:
ATLANTA, GA

DATE:	MAY 30 2016
SCALE:	1/4" = 1'-0"
DRAWN BY:	WJ

DRAWING TITLE:
PRELIMINARY SUITE PLANS

JOB NO.:
1611

SUIT NO.:
P-8



EAST ELEVATION

SCALE = 3/32" = 1'-0"

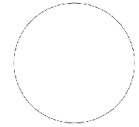


NORTH ELEVATION

SCALE = 3/32" = 1'-0"

EXTERIOR FINISHES :

- ① - ASPHALT SHINGLE ROOF (40 YR. WARRANTY)
- ② - PREFINISHED ALUMINUM TARGA GUTTERS
- ③ - HORIZONTAL VINYL SIDING (2ND-4TH FLOOR)
- ④ - 2ND LOGG MOBAND
- ⑤ - VINYL SHAKE ACCENTS (2ND-4TH FLOOR)
- ⑥ - VERTICAL SIDING (1ST FLOOR)
- ⑦ - VINYL TRIM AND CORNERS
- ⑧ - LEDGESTONE COLUMNS
- ⑨ - PREFINISHED ALUMINUM PICKET RAILS



APRIL 12, 2017 - REBID FOR DEVELOPMENT PERMIT
REVISED 22.20.17 - REBID FOR DEVELOPMENT PERMIT

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PROJECT:
54 UNIT APARTMENT

PROJECT LOCATION:
ALBANY, N.Y.

DATE:	04.12.2017
SCALE:	3/32" = 1'-0"
DRAWN BY:	WJF

DRAWING TITLE:
PRELIMINARY NORTH & EAST ELEVATIONS

JOB NO.:
1611

SHEET NO.:
P-9



SOUTH ELEVATION

SCALE = 3/32" = 1'-0"

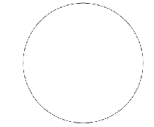


WEST ELEVATION

SCALE = 3/32" = 1'-0"

EXTERIOR FINISHES :

- (1) - ASPHALT SHINGLE ROOF (40 YR. WARRANTY)
- (2) - PREFINISHED ALUMINUM FASCIA GUTTERS
- (3) - HORIZONTAL VINYL SIDING (2ND-4TH FLOOR)
- (4) - 2X6 WOOD SIDING
- (5) - VINYL SHAKE ACCENTS (2ND-4TH FLOOR)
- (6) - VERTICAL SIDING (1st FLOOR)
- (7) - VINYL FRAME WINDOWS
- (8) - LESTERSTONE COLUMNS
- (9) - PREFINISHED ALUMINUM POCKET RAILING



APRIL 12, 2017 - REVISION FOR DEVELOPMENT PERMIT
MARCH 22, 2017 - REVISION FOR DEVELOPMENT PERMIT

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208 - 218 W. Railway St.
Abbotsford, B.C.
V2S 2Z2

PROJECT:
54 UNIT APARTMENT

PROJECT LOCATION:
ABBOTSFORD, B.C.

DATE: DEC. 8, 2015
SCALE: 3/32" = 1'-0"
DRAWN BY: WIT

DRAWING TITLE:
PRELIMINARY SOUTH & WEST ELEVATIONS

OR NO.:
1611

SHEET NO.:
P-10



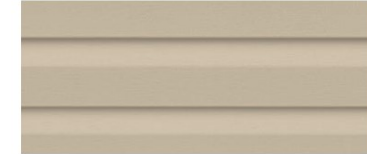
Asphalt Shingles
'Cambridge' by IKO
Colour - Weatherwood



Fascia & Window Trim
'Hardie Trim' by Gentek
Colour - Arctic White



Accent Shakes
by Gentek
Colour - Storm - 631



Vertical Vinyl siding
'Concord' by Gentek
Col: Monterey Sand -673



Horizontal Vinyl Siding
'Concord' by Gentek
Colour - Linen - 012



Columns and Gable Braces
Semi Transparent Stain by
Benjamin Moore



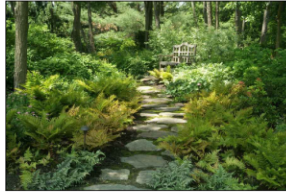
Stone Accent & Columns
'Custom Fit Ledgestone' by Rocky
Mountain Stoneworks



Aluminum Railings
'Prefinished Aluminum' by
Duracoat Colour - Black

Brydon Crescent

Exterior Materials
Colour Selection



NATURE WALK SHADE GARDEN



KEEPING SERBIAN SPRUCE



STYRAX JAPONICA TREE

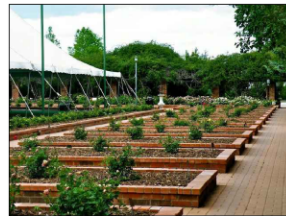


TUNNEL

TEETER-TOTTOR



LOW RAISED MOUNDS



RAISED VEGGIE PLOTS

PRIMARY ENTRY:
SYMMETRICAL LANDSCAPE
SEQUENCE WITH TREES AND
PATHWAYS)

NATURE WALK SHADE GARDEN

CONCRETE RETAINING WALL
(POURED IN PLACE)

PRIVATE PATIO 12' X 17'

5'-0" HIGH WOODEN FENCE:
SEE DETAIL ON L-5

4'-0" WIDE CONCRETE
PATHWAY

D RIP STRIP

RAMP TO PARKADE

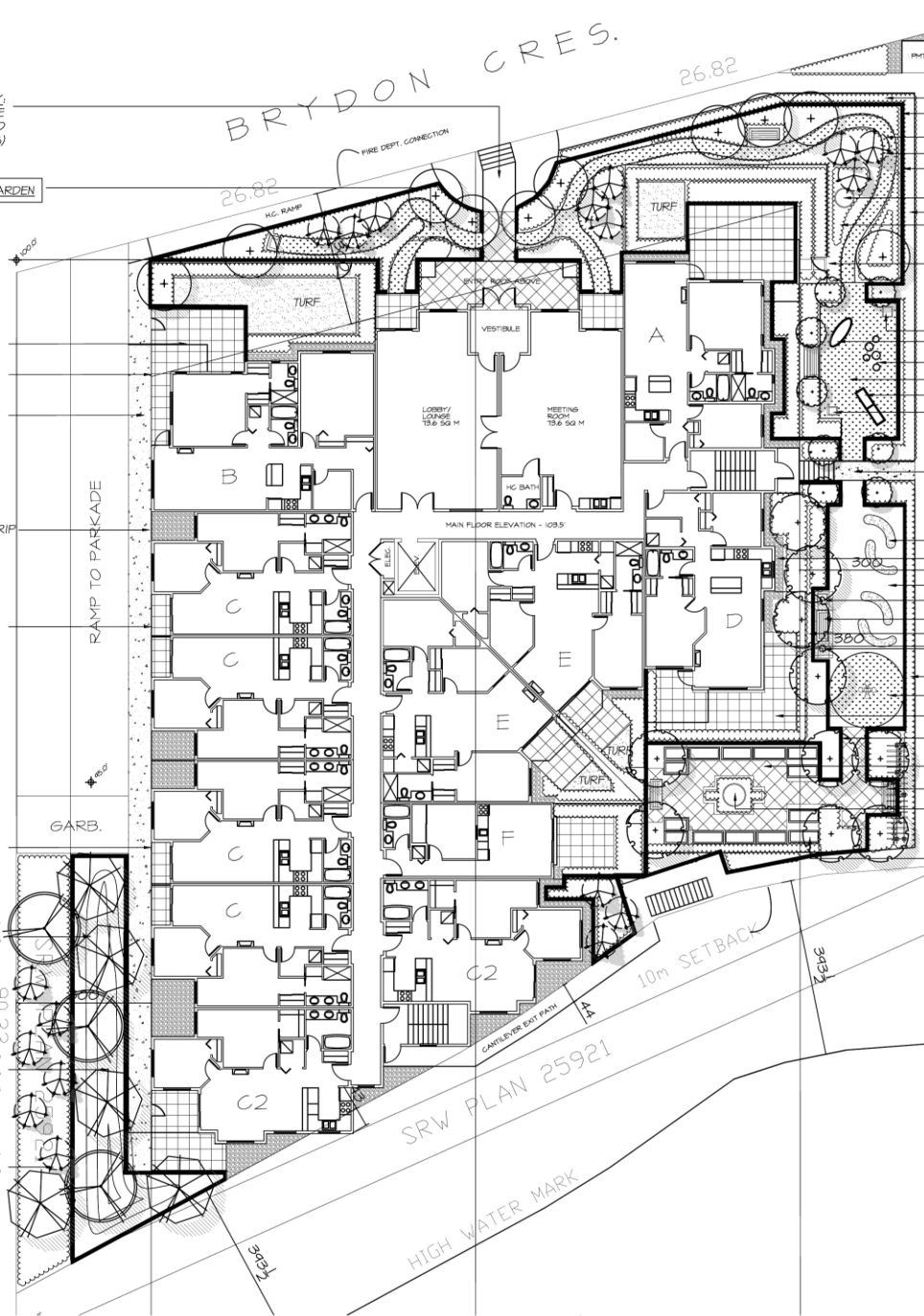
GARB.

5'-0" HIGH WOODEN FENCE:
SEE DETAIL ON L-5

DROUGHT TOLERANT
GRASSES AND ROSES

MOUND SOIL UP BY 36"
INSIDE THE RETAINING
WALL AREA

DROUGHT TOLERANT
GRASSES AND ROSES



NATURE WALK SHADE GARDEN

EVERGREEN SCREENING
POURED IN PLACE CONCRETE
RETRAINING WALL
WOOD MULCH PATH
KEEPING SERBIAN SPRUCE
CONCRETE POURED IN
PLACE RETAINING WALL
SHALLOW WATER BOWL
EVERGREEN SCREENING
INDIGENOUS SHADE
TOLERANT PLANTINGS

5'-0" WOODEN PRIVACY FENCE WITH
MAINTENANCE GATE

DOG PARK

TRASH RECEPTACLE
TUNNEL

DOG STEPS
WOOD MULCH
TEETER-TOTTOR
WATER SOURCE (FAUCET)

EAST ENTRY: BROOM
FINISHED CONCRETE

TODDLER AMENITY

LOW RAISED MOUNDS
D RIP STRIP
SOD LAWN SURROUND
TRASH RECEPTACLE
SITTING BENCH
6'-0" WOODEN PRIVACY FENCE
BOLLARD LIGHT

EVERGREEN PLANT SCREENING
CRAZY DAISY PLAY TOY
LARGE PRIVATE PATIO (8'X24')
P&P CONCRETE RETAINING WALL

COMMON AMENITY

WOODEN TRELLIS & BENCH
WATER BOWL SURROUNDED
BY PERENNIALS
(BIRD FRIENDLY)
RAISED VEGGIE PLOTS

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Fax: 604.553.0045
Email: office@m2la.com

NO.	DATE	REVISION DESCRIPTION	DR.
1	JAN 24 2017	4'-0" WEST WALKWAY (P&P)	TK
2	JAN 25 2017	CONCEPT SITE PLAN	TK
3	JAN 25 2017	CREATING LANDSCAPE FOLDER	BN

SEAL:

PROJECT:
54 UNITS RESIDENTIAL
DEVELOPMENT
19942 BRYDON CRES.
LANGLEY, BC

DRAWING TITLE:

SITE
PLAN

DATE: 17 JAN 18
SCALE: 3/32" = 1'-0"
DRAWN: TK
DESIGN: TK
CHK'D: MTH

DRAWING NUMBER:
L1
OF 7

M2LA PROJECT NUMBER: 17 006

85.86

M2
LANDSCAPE ARCHITECTURE

#220 - 26 Lorne Mews
New Westminster, British Columbia
V3M 3L7
Tel: 604.553.0044
Fax: 604.553.0045
Email: office@m2la.com

4	MARCH 24 2021	ADDED 4'-0" NEEDE HEST MILDWAY (DP)		TK
3	JAN 30 2021	DP SET		TK
2	JAN 26 2021	CONCEPT SITE PLAN		TK
1	JAN 09 20	CREATING LANDSCAPE FOLDER		BW
NO.	DATE	REVISION DESCRIPTION		DR.

SEAL:

SEA

PROJECT:
54 UNITS RESIDENTIAL
DEVELOPMENT
19942 BRYDON CRES.
LANGLEY, BC

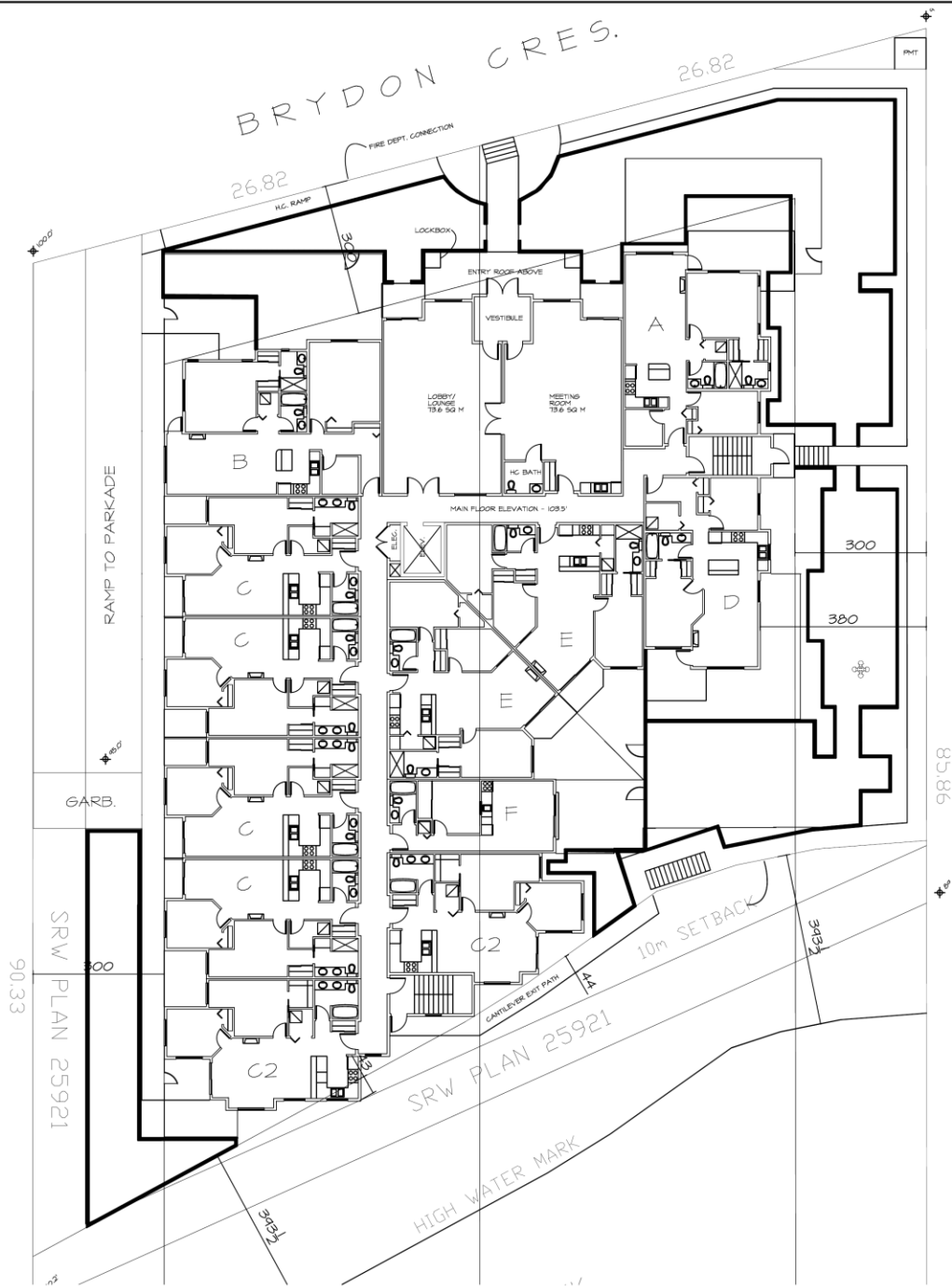
DRAWING TITLE:

**SHRUB
PLAN**

DATE: 17 JAN 18	DRAWING NUMBER: L2 OF
SCALE: 1/16" = 1'-0"	
DRAWN: TK	
DESIGN: TK	
CHK'D: MTH	

OF 7

M2LA PROJECT NUMBER: 17 006



LEGEND

POURED IN PLACE ARCHITECTURAL
CONCRETE WALL

5'-0" HIGH WOODEN PRIVACY
FENCE WITH MAINTENANCE GATES

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V3M 3L7
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Email: office@m2la.com

NO.	DATE	REVISION DESCRIPTION	DR.
1	JAN 25 2017	CONCEPT SITE PLAN	TK
2	JAN 25 2017	CREATING LANDSCAPE FOLDER	BN
3	JAN 25 2017	CONCEPT SITE PLAN	TK
4	MARCH 24 2017	ADDED 4'-0" HIGH WOODEN FENCE	TK

SEAL:

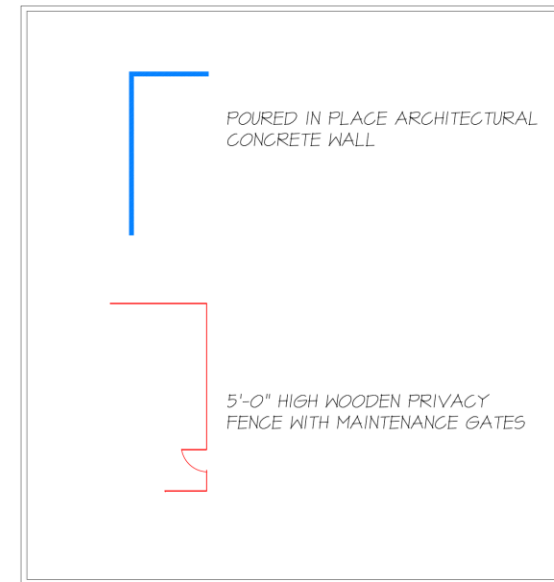
PROJECT:
54 UNITS RESIDENTIAL
DEVELOPMENT
19942 BRYDON CRES.
LANGLEY, BC

DRAWING TITLE:
**RETAINING WALLS
AND FENCES**

DATE:	17 JAN 18	DRAWING NUMBER:	L3
SCALE:	3/32" = 1'-0"		
DRAWN:	TK		
DESIGN:	TK		
CHK'D:	MM		

M2LA PROJECT NUMBER: 17 006

17006-01.dwg

POURED IN PLACE ARCHITECTURAL
CONCRETE WALL

5'-0" HIGH WOODEN PRIVACY
FENCE WITH MAINTENANCE GATES

[illegible]

SEAL:

DRAWING TITLE:

**RETAINING WALLS
AND FENCES**

DATE: 17 JAN 18	DRAWING NUMBER:
SCALE: 3/32" = 1'-0"	L3
DRAWN: TK	
DESIGN: TK	
CHK'D: MTH	

OF 7

OF 7

DOG PARK EQUIPMENT REC TEC INDUSTRIES



TUNNEL, REC TEC INDUSTRIES



TEETER TOTTER, REC TEC INDUSTRIES



SIGN/DOG WASTE CONTAINER



DOG STEPS, REC TEC INDUSTRIES



KOMPAN "DAISY"; MODEL M128P



TRASH RECEPTACLE;
PUBLIC PLACE WASTE
RECEPTACLE BY WISHBONE;
MODEL NUMBER: 184418



BENCH;
PARKER PARK BENCH
BY WISHBONE;
MODEL NUMBER: PKB-6

Aluminum Bollard (DB30) Specification Sheet

Project Name:	Location:	MFG: Philips Hadco
Fixture Type:	Catalog No.:	Qty:



Ordering Guide

Example: DB30 | A0 12L E

Product Code	DB30	Aluminum Bollard
Finish	A	Gray
	B	Black
	H	Brass
Optics	A0	Symmetrical
Wattage	15L	12.5W LED
	15B	100W HPS
	20P	20W CFL
	30P	30W CFL
	40P	40W CFL
	50H	50W HPS
	70H	70W HPS
	100	100W HPS
	150	150W HPS
Voltage	E	120V
	F	240V
	G	240V
	H	277V
	A	347V

*1 Available in 120V (E) only
*2 Not available in 240V (G)
*3 Available in 120V (E) and 270V (H) only

Specifications

HOUSING:
360 MM high strength, low copper, proprietary cast aluminum alloy. Dome roof with die-cast aluminum louvers. Easy access to lamp. 5" dia. extruded aluminum with a wall thickness of 0.125". All non-ferrous fasteners prevent corrosion and ensure longer life.

FINISH:
Thermoplastic polyester powdercoat is electrostatically applied after a five-stage conversion clearing process and bonded by heat fusion thermosetting. Laboratory tested for superior weatherability and fade resistance in accordance with ASTM B117 specifications. For larger projects where a custom color is required, contact the factory for more information.

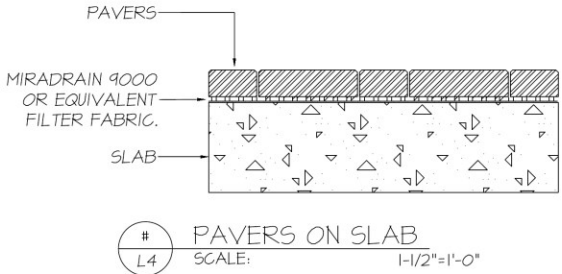
OPTICAL ASSEMBLY:
Symmetrical. Die-cast aluminum louvers with underside painted with highly reflective white powdercoat. Tempered glass globe.

LAMPING:
LED 80V medium base porcelain socket A15.
MR and HPS Medium base: E17.
Incandescent Medium Base A15.
20W CFL (GX24Q-3).
30W CFL (GX24Q-3).
40W CFL (GX24Q-3).
50W CFL (GX24Q-3).
70W CFL (GX24Q-3).
100W CFL (GX24Q-3).
150W CFL (GX24Q-3).

ELECTRICAL ASSEMBLY:
LED is 2700K warm white, delivers 800 lumens, and is dimmable. Lamp life is rated at 25,000 hours. 120 volt only. 80V rated medium base porcelain socket.
Key-locked Ballast Assembly is mounted to an aluminum plate, which is mounted inside the base. Quick disconnects for easy installation and removal.
40w rated medium base porcelain socket. Nickel-plated screw shell with center contact.
20W Fluorescent socket is a GX24Q-3 base.
30W Fluorescent socket is a GX24Q-3 base.
40W Fluorescent socket is a GX24Q-3 base.
50W Fluorescent socket is a GX24Q-3 base.

BALLAST:
All HED ballasts are core and coil and regulated with power factors better than 90% (HPF). Ballast provides +/- 5% lamp power regulation with +/- 10% input voltage regulation.

ISO 9001:2008 Registered
Note: Philips reserves the right to modify the above details to reflect changes in the cost of materials and/or production and/or design without prior notice.
100 Craftway Drive, Littleton, PA 17340 | P: +1-717-358-7131 F: +1-717-358-8288 | <http://www.hadco.com> | Copyright 2011 Philips
HMC



L4
SCALE: 1-1/2" = 1'-0"

Aluminum Bollard (DB30) Specification Sheet

Project Name:	Location:	MFG: Philips Hadco
Fixture Type:	Catalog No.:	Qty:

Ballasts are factory pre-wired and tested. Metal halide ballasts are capable of starting at 20°F or -30°C and HPS at -40°F or -40°C. NOTE: All ballasts are EISA / Title 20 / Title 24 compliant where applicable. Fluorescent ballast is electronic. Ballast is capable of starting at 0°F or -18°C. Ballast is factory wired and tested.

INSTALLATION & MOUNTING:
This is intended for the base plate with three (3) 5/16-18 flat head often key stainless steel tamper resistant screws.

WARRANTY:
Three-year limited warranty.
CERTIFICATIONS:
ETL, listed to U.S. safety standards for wet locations. cETL, listed to Canadian safety standards for wet locations. Manufactured to ISO 9001:2008 Standards.

Height:
30" (76cm)
Width:
8" (20cm)
Bolt Circle:
8" (20cm)
Anchor Rods:
Internal (3) 5/8" dia. x 8" long (1 cm x 20cm)
Base Diameter:
8" (20cm)
Max. Weight:
Payload: 10 lbs
CraftStone: 10 lbs

NOTES:
-SEE ELECTRICAL DRAWINGS FOR
CONSTRUCTION DETAILS
-INSTALL AS PER MANUFACTURER'S
SPECIFICATIONS

ISO 9001:2008 Registered
Note: Philips reserves the right to modify the above details to reflect changes in the cost of materials and/or production and/or design without prior notice.
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HMC

L4
SCALE: N.T.S.

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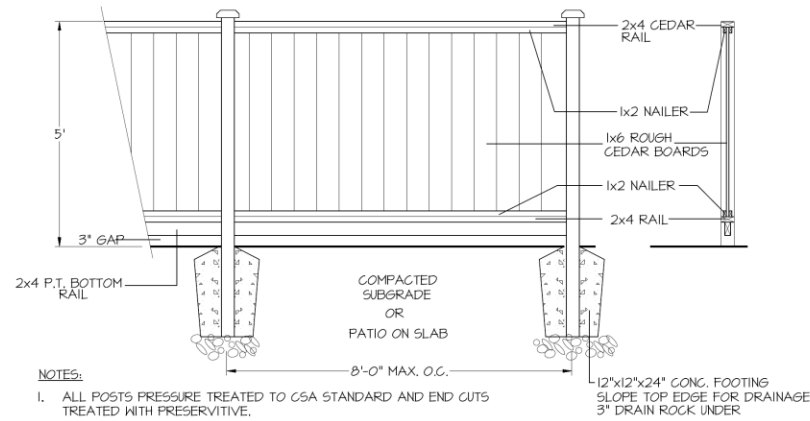
NO.	DATE	REVISION DESCRIPTION	DR.
1	JAN 24 2011	CONCEPT SITE PLAN	TK
2	JAN 25 2011	CREATING LANDSCAPE FOLDER	BN
3	JAN 26 2011	CONCEPT SITE PLAN	TK
4	MARCH 24 2011	ADDED 4'-0" WIDE WEST WALKWAY (SP. 1)	TK

SEAL:

PROJECT:
54 UNITS RESIDENTIAL
DEVELOPMENT
19942 BRYDON CRES.
LANGLEY, BC

DRAWING TITLE:
LANDSCAPE
DETAILS

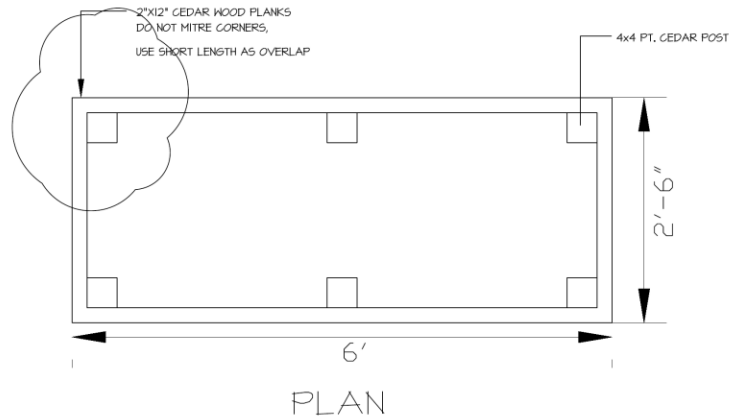
DATE:	17 JAN 11	DRAWING NUMBER:	L4
SCALE:			
DRAWN:	TK		
DESIGN:	TK		
CHK'D:	MTM		
M2LA PROJECT NUMBER:		OF 7	17 006



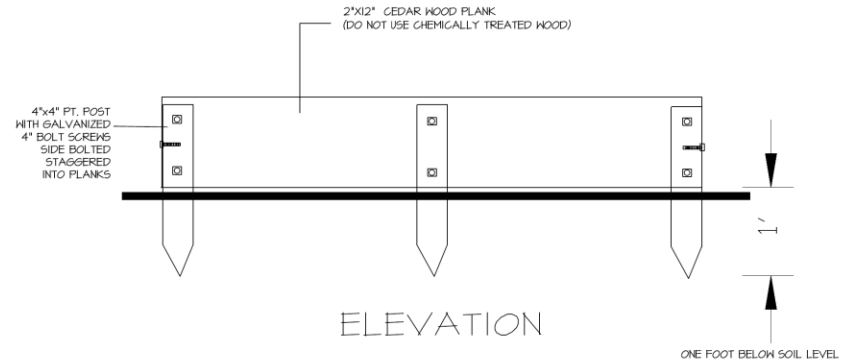
NOTES:

1. ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE.
2. ALL OTHER MEMBERS TO BE CEDAR, #2 (CONSTRUCTION) GRADE MINIMUM.
3. ALL HARDWARE HOT DIPPED GALVANIZED.
4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION. FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.
5. ALL FENCES TO BE LEVEL. CHANGES IN GRADE TO BE IN 12\"/>

5' HT. WOODEN PRIVACY FENCE
L5 SCALE: 3/4\"/>



RAISED VEGGIE PLOTS
L5 SCALE: 1-1/2\"/>



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PROJECT:
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DEVELOPMENT
19942 BRYDON CRES.
LANGLEY, BC

DRAWING TITLE:
**LANDSCAPE
DETAILS**

DATE: 17_JAN18	DRAWING NUMBER:
SCALE:	L5
DRAWN: TK	OF 7
DESIGN: TK	
CHK'D: MTH	

M2LA PROJECT NUMBER: 17 006

