

CONTEXT PLAN
SCALE: N.T.S.

FOCUS
ARCHITECTURE
INCORPORATED
Suite 109 - 1528 McCallum Road
Abbotsford, British Columbia V2S 8A3
T 604.853.5442
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2017-02-27 DESIGN REVISIONS
2017-09-06 ISSUED FOR REZONING DP
2017-01-04 CLIENT REVISION
2016-10-17 CLIENT REVIEW
2016-09-30 CLIENT REVIEW
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2016-09-02 CLIENT REVIEW
REVISIONS
CONSULTANT

CLIENT
CREADA HOLDINGS INC.

PROJECT
"CIVIC"
Proposed Multi-Family
Project

5630 & 5640 201A STREET,
LANGLEY BC, V3A 1T1

DRAWING TITLE

CONTEXT PLAN

DATE 2016.08.15 FILE NO.
DWN lc 1624
CHK ch

SEAL
SHEET NO.

DP-0.01



- HARDIE PANEL (SMOOTH) JH40-10 'COBBLE STONE'
- BRICK VENEER MUTUAL MATERIALS TAN TERRA MISSION
- LONG BOARD OR SIMILAR DARK CHERRY
- HARDIE LAP SIDING IRON GRAY
- LONG BOARD VENUS OR (METALLIC SILVER)
- HARDIE LAP SIDING 'COBBLE STONE'
- HARDIE PANEL (SMOOTH) JH90-30 TRON GRAY

201A STREET - STREETScape
SCALE: N.T.S.

2017-02-27 DESIGN REVISIONS
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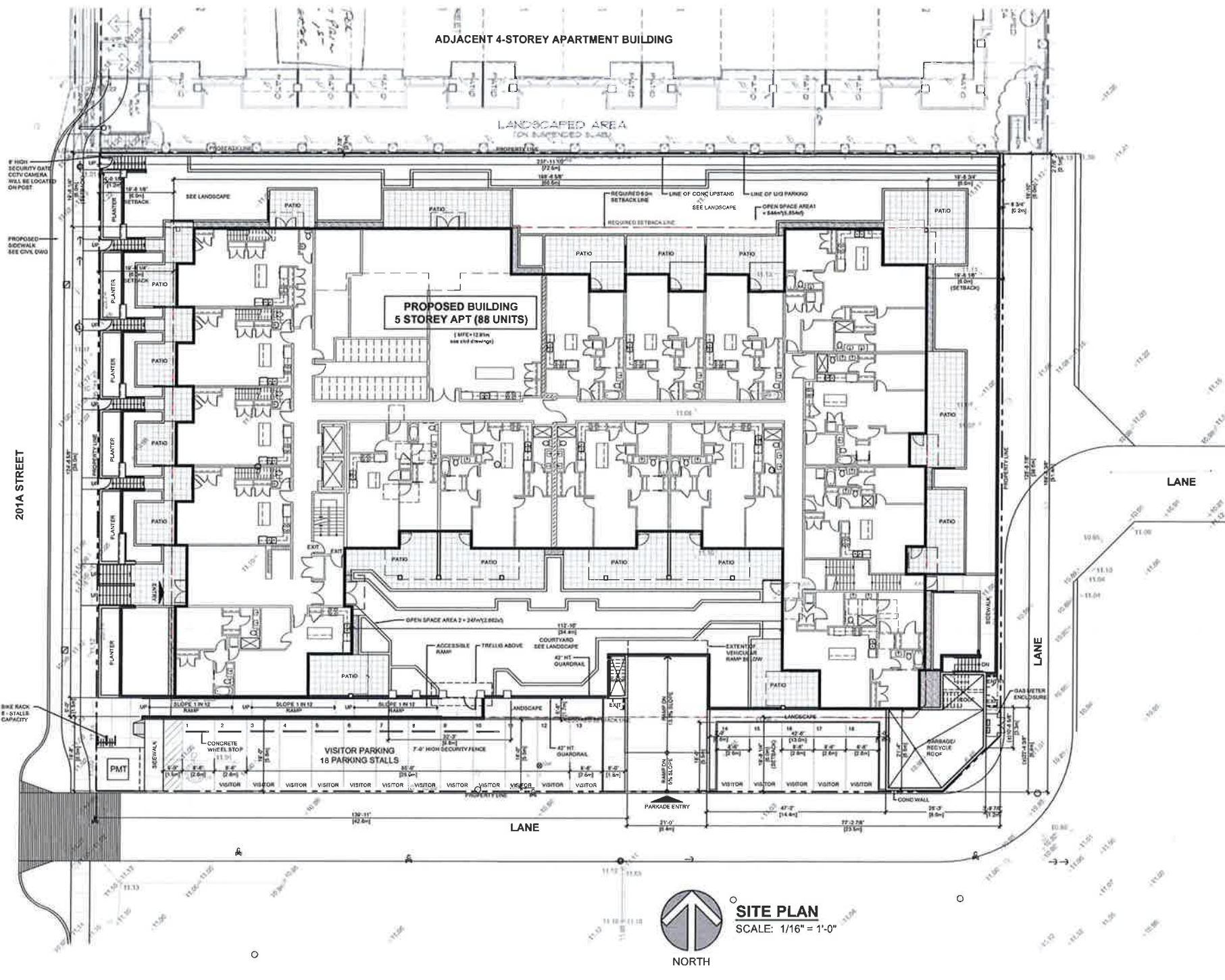
5830 & 5840 201A STREET,
LANGLEY BC, V3A 1T1

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STREETScape

DATE	2016.08.15	FILE NO.	
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SEAL
SHEET NO.
DP-0.02



SITE PLAN
SCALE: 1/16" = 1'-0"

SITE RECONCILIATION

LEGAL DESCRIPTION:
LOTS 36 & 37 BOTH OF DISTRICT LOT 309 GROUP 2 NWD PLAN 28341
PID 002-692-104 & 004-622-430

CIVIC ADDRESS:
5630 & 5640 201A STREET, LANGLEY, BC V3A 1T1

ZONING INFORMATION:

ZONE:
EXISTING: RM-2 (MULTIPLE RES. LOW DENSITY)
PROPOSED: C1 (DOWNTOWN COMMERCIAL ZONE)

LOT AREA:
GROSS TOTAL: 3,725.4m² (40,100sf / 0.92ac / 0.373ha)

DENSITY:
ALLOWED: 371 UNITS/ha
PROVIDED: 236 UNITS/ha (88units / 0.373ac)

LOT COVERAGE:
ALLOWED: 95%
PROPOSED: 1,659m² / 3,725.4m² = 53%

GROSS FLOOR AREA:

MAIN FLOOR	18,480sf (1,716.8m ²)
LEVEL 2	17,710sf (1,645m ²)
LEVEL 3	17,710sf (1,645m ²)
LEVEL 4	17,710sf (1,645m ²)
LEVEL 5	17,892sf (1,643.6m ²)
TOTAL	89,302sf (8,295m ²)

MAXIMUM BUILDING HEIGHT:
ALLOWED: 46.0m
PROVIDED: 18m (59'-3") (5 STOREYS)

SETBACK (WHERE STOREYS ARE USED FOR RESIDENTIAL PURPOSES)

REQUIRED: FRONT LOT LINE	6.0m
REAR LOT LINE	6.0m
INTERIOR SIDE LOT LINE	6.0m
EXTERIOR SIDE LOT LINE	6.0m
PROVIDED: FRONT LOT LINE (WEST)	6.0m
REAR LOT LINE (EAST)	6.0m
INTERIOR LOT LINE (NORTH)	6.0m
EXTERIOR LOT LINE (SOUTH)	6.7m

OPEN AIR SPACE:
OPEN SPACE AREA 1 = 544m²
OPEN SPACE AREA 2 = 247m²
TOTAL = 791m² (21%)

PARKING:
REQUIRED: MULTIPLE - UNIT RESIDENTIAL (C1):
STUDIO, 1 & 2 BED - 1.2 SPACE PER DWELLING UNIT
VISITOR PARKING SPACE PER UNIT - 0.2

RESIDENTS: 88 UNITS X 1.2 = 105.6 = 106 STALLS
VISITORS: 88 UNITS X 0.2 = 17.6 = 18 STALLS
TOTAL REQUIRED PARKING = 124 STALLS

PROVIDED:
UNDERGROUND PARKING = 107 STALLS (5 H/C)
VISITOR PARKING (AT GRADE) = 18 STALLS (1 H/C)
TOTAL PROVIDED = 125 STALLS

(MAXIMUM 40% SMALL CAR PARKING SPACES ALLOWED)
(22% SMALL CARS PROVIDED)
22 small cars - U/G PARKING
05 small cars - AT GRADE PARKING

02 MOTORCYCLE PARKING

BICYCLE PARKING:
REQUIRED: MULTIPLE UNIT RESIDENTIAL = 0.5 SPACES PER UNIT
88 UNITS X 0.5 = 44 SPACES
VERTICAL PARKING ALLOWED 40% OF THE TOTAL
REQUIRED NUMBER OF STALLS.
44 SPACES X 0.4 = 18 STALLS

PROVIDED:
BIKE STORAGE LOCKERS: 26 SPACES
WALL RACKS: 20 SPACES
46 SPACES

CLASS II (VISITORS) REQUIRED = 8.0 SPACES PER BUILDING
PROVIDED = 6.0 SPACES

ACCESSIBLE PARKING:
REQUIRED: 5% OF TOTAL PARKING SPACES
PROVIDED: 125 x 0.05 = (6.25) 6
(5) AT PARKADE
(1) AT SURFACE

INDOOR AMENITY SPACE:
REQUIRED: 2.3m² PER DWELLING UNIT
(FOR ALL BUILDINGS CONTAINING MORE THAN 20 UNITS)
88 UNITS X 2.3m² = 202.4m² (2,179sf)
PROVIDED: 204m² (2,196sf)

ADAPTABLE UNITS:
PROVIDED:
UNIT B5 = 5 UNITS
UNIT C3 = 5 UNITS
TOTAL UNITS = 10 UNITS

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FLOOR AREAS SUMMARY

1st FLOOR	18,480 sq.ft.	16 UNITS
2nd FLOOR	17,710 sq.ft.	15 UNITS
3rd FLOOR	17,710 sq.ft.	19 UNITS
4th FLOOR	17,710 sq.ft.	19 UNITS
5th FLOOR	17,692 sq.ft.	19 UNITS
TOTAL FLOOR AREA	89,302 sq.ft.	88 UNITS
UNDERGROUND PARKADE	33,513 sq.ft.	

UNIT SUMMARY

UNIT TYPE	NUMBER OF UNITS	RATIO
STUDIO	4	4.5%
1 BED	33	37.5%
2 BED	47	53.4%
TWO LEVEL UNIT - 2 BED	4	4.5%
TOTAL	88	

UNIT SUMMARY

UNIT NAME	UNIT TYPE	UNIT AREA	NUMBER OF UNITS
A	STUDIO	448 sq.ft.	4
B	1 BED	673 sq.ft.	10
Ba	1 BED	664 sq.ft.	5
B1	1 BED	607 sq.ft.	9
B2	1 BED	764 sq.ft.	3
Bs	1 BED	778 sq.ft.	5
C	2 BED	982 sq.ft.	4
Cs	2 BED	982 sq.ft.	5

Ca	2 BED	977 sq.ft.	4
CaS	2 BED	977 sq.ft.	10
C1	2 BED	1,134 sq.ft.	5
C2	2 BED	915 sq.ft.	5
C3	2 BED	1,066 sq.ft.	5
C4	2 BED	999 sq.ft.	2
C4a	2 BED	1,017 sq.ft.	3
C5	2 BED	874 sq.ft.	3
C5a	2 BED	829 sq.ft.	1
C5b	2 BED	829 sq.ft.	1
D	2 BED	1,220 sq.ft.	3
D1	2 BED	1,525 sq.ft.	1
TOTAL			88

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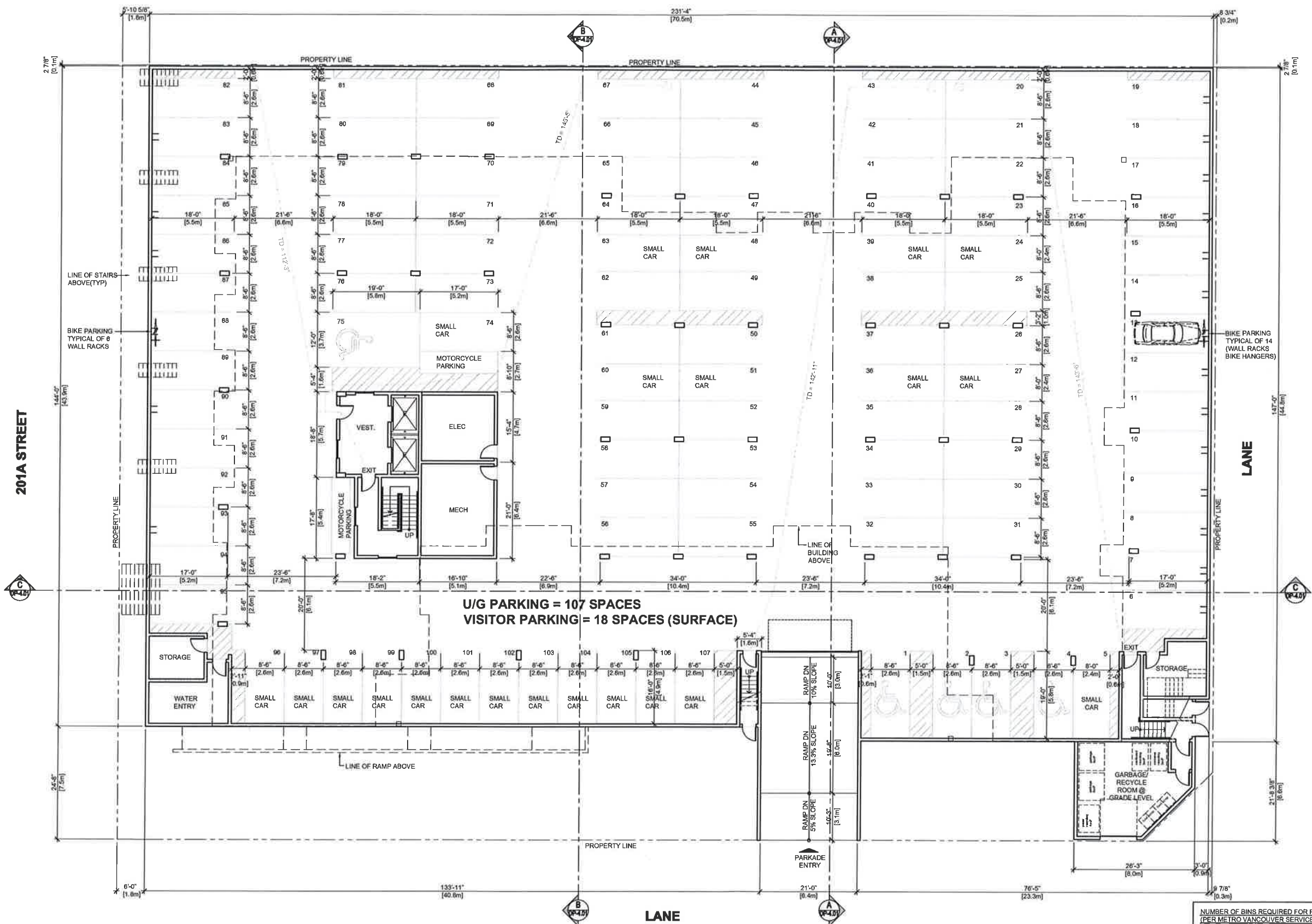
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U/G PARKADE PLAN

DATE 2016.08.15 FILE NO.
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U/G PARKING = 107 SPACES
VISITOR PARKING = 18 SPACES (SURFACE)

U/G PARKADE PLAN
SCALE: 3/32" = 1'-0"
FLOOR AREA: 33,513sf / 3,113m²

NUMBER OF BINS REQUIRED FOR RESIDENTIAL: (PER METRO VANCOUVER SERVICE AND SOLUTIONS FOR LIVABLE REGION TOOLKIT)

REQUIRED: (86units)

FOOD SCRAP	- 4 X 240L BINS
COMBINED PAPER	- 9 X 360L BINS (4yd ³)
CARDBOARD	- 3yd ³ (72"x42"x48" BIN)
CONTAINERS RECYCLING	- 4 X 360L BINS (2yd ³)
GARBAGE	- 16yd ³ (2 - 72"x86"x80" BINS)

PROVIDED:

GARBAGE & RECYCLE COMBINED	- 4 X 240L BINS
FOOD SCRAP	- 4 X 360L BINS (4yd ³)
COMBINED PAPER	- 3yd ³ (72"x42"x48" BIN)
CARDBOARD	- 3yd ³ (72"x42"x48" BIN)
CONTAINERS RECYCLING	- 4 X 360L BINS (2yd ³)
GARBAGE	- 16yd ³ (2 - 72"x86"x80" BINS)

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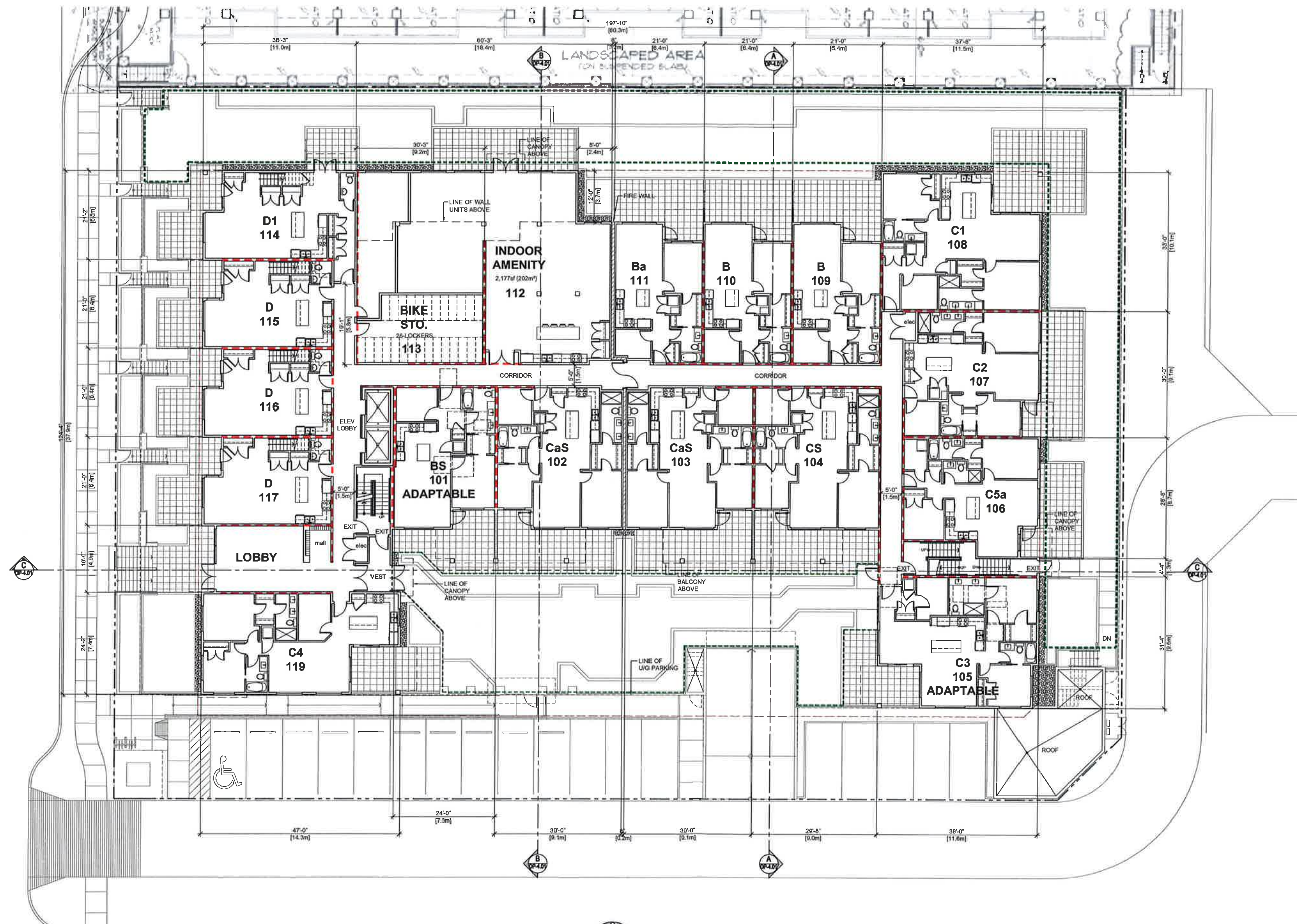
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MAIN FLOOR PLAN

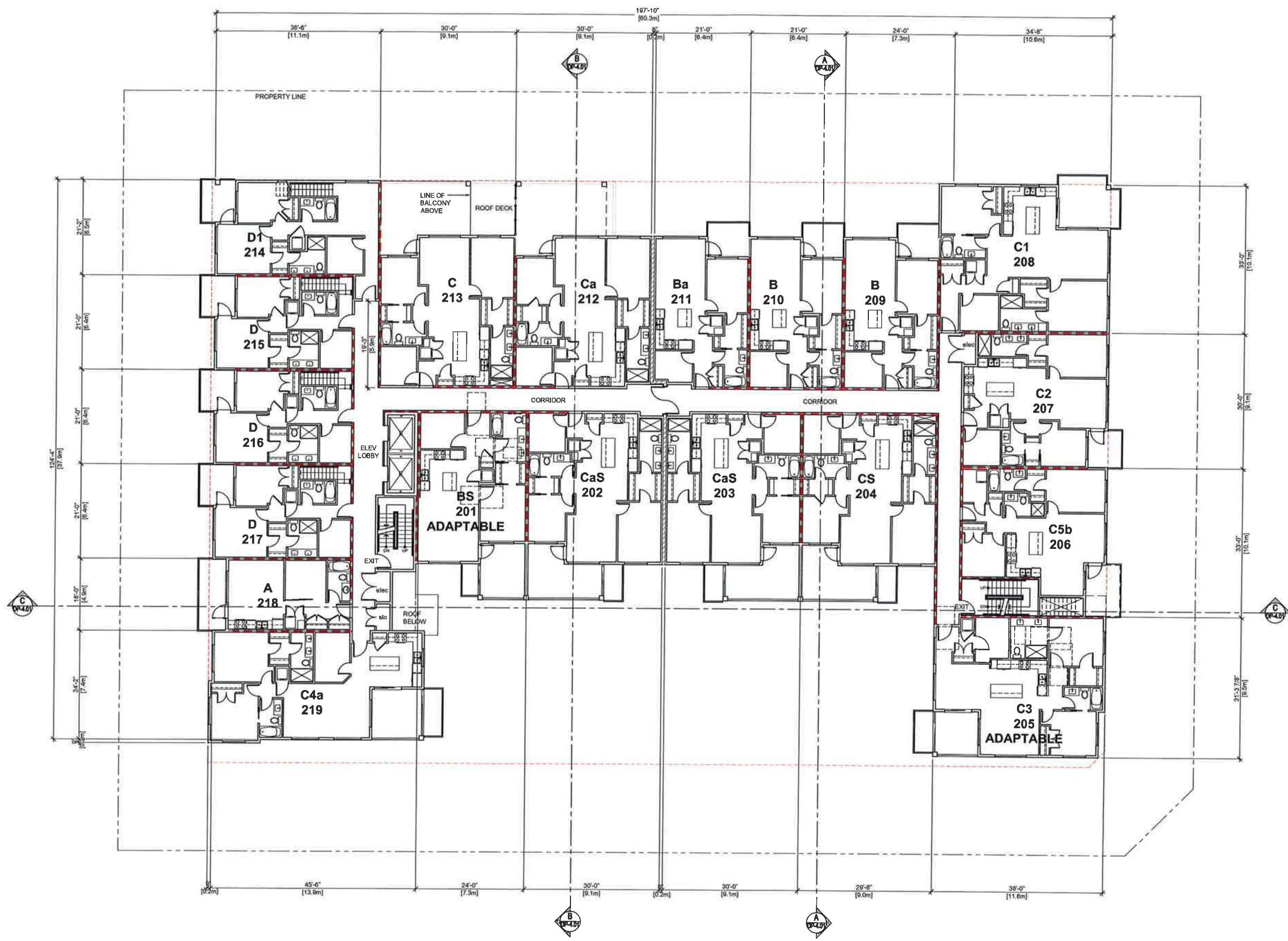
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MAIN FLOOR PLAN
SCALE: 3/32" = 1'-0"
FLOOR AREA: 18,479sf / 1,716m²
UNITS: 16 + AMENITY & LOCKERS



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**2ND
FLOOR PLAN**

DATE 2016.05.15 FILE NO.
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2ND FLOOR PLAN
SCALE: 3/32" = 1'-0"
FLOOR AREA: 17,710sf / 1,645m²
UNITS: 15

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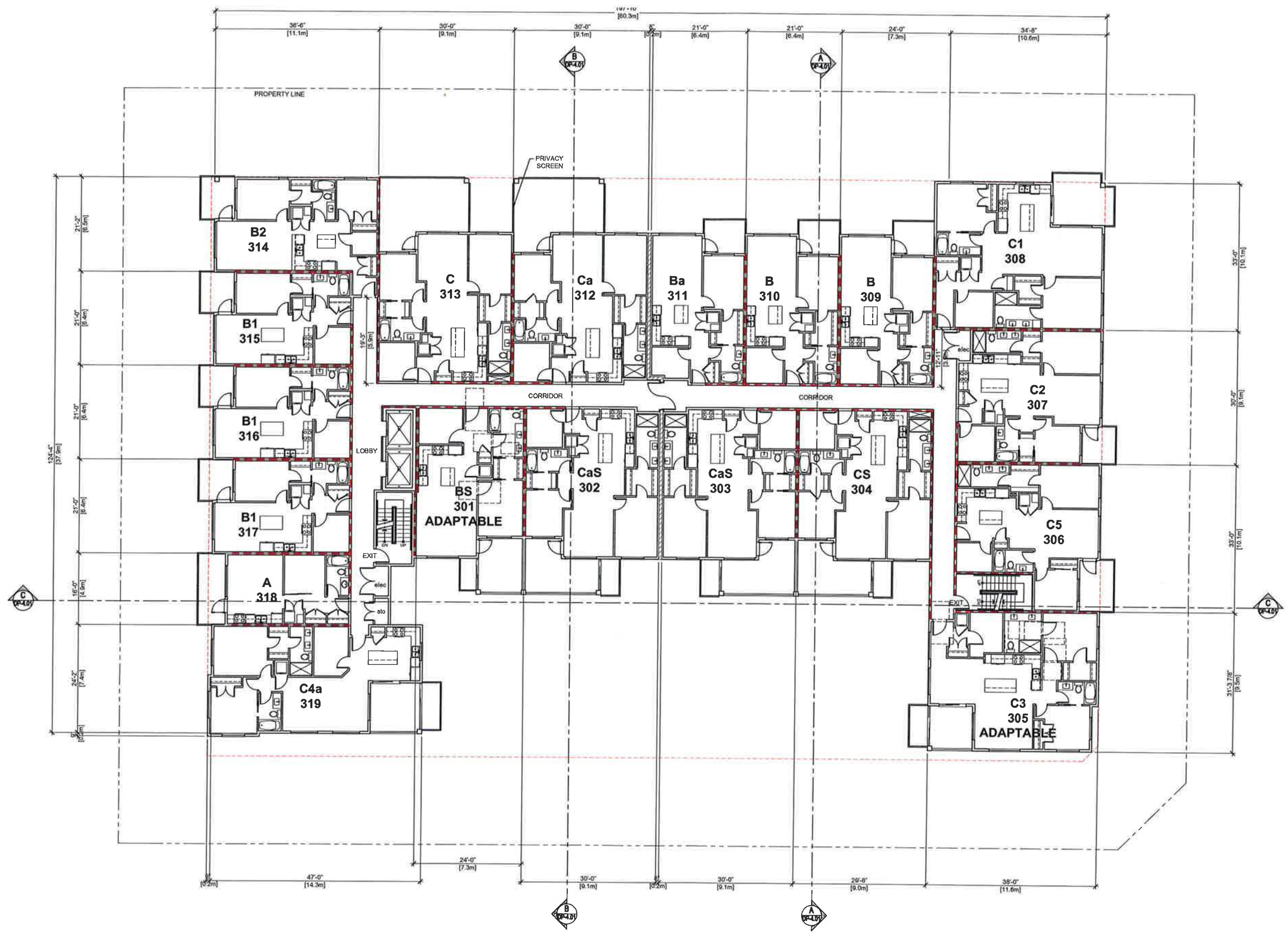
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3RD FLOOR PLAN

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3RD FLOOR PLAN

SCALE: 3/32" = 1'-0"

FLOOR AREA: 17,710sf / 1,645m²
UNITS: 19

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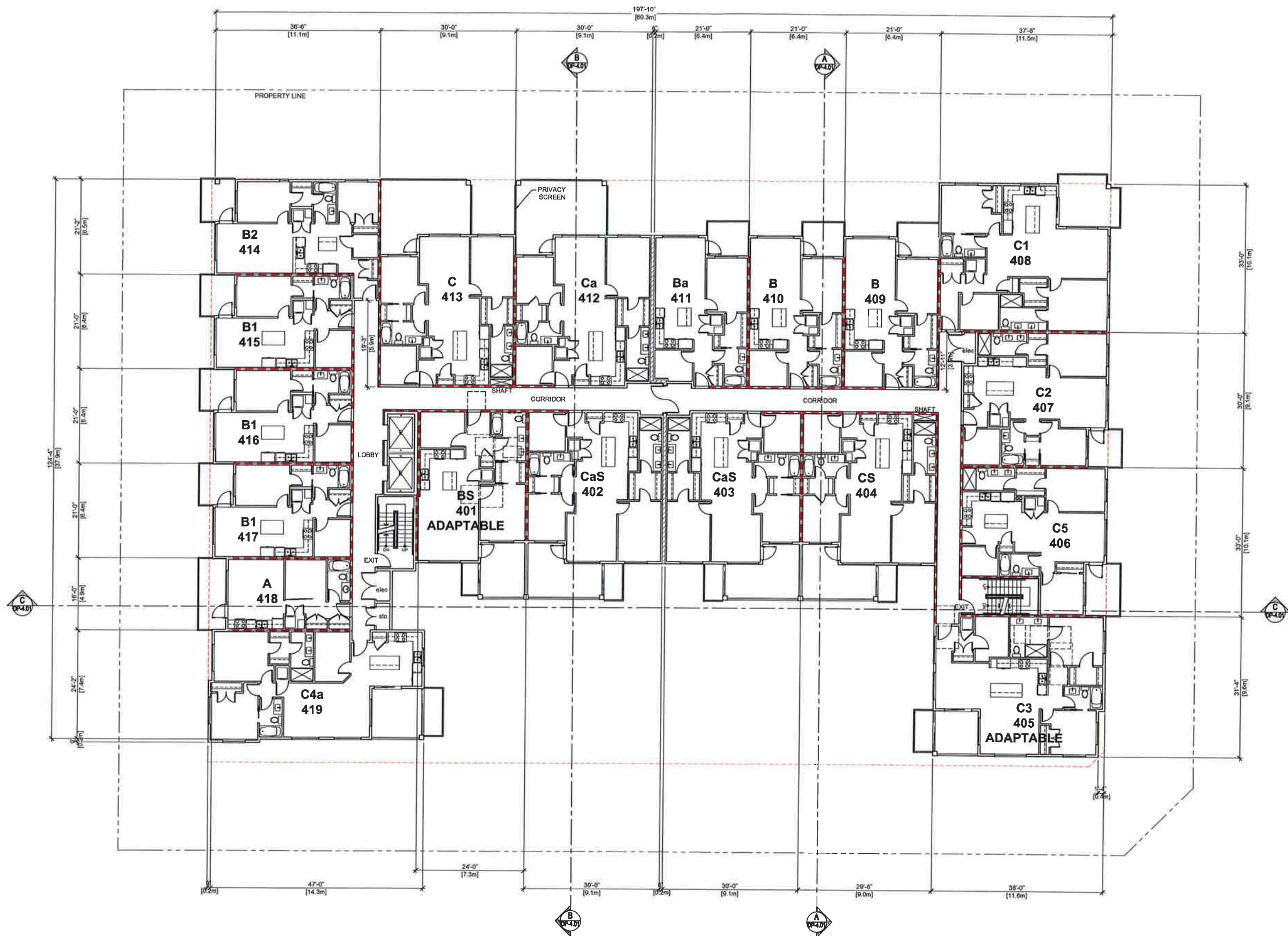
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4TH FLOOR PLAN

DATE: 2016.08.15 FILE NO.
DWN: lc
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SHEET NO.

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4TH FLOOR PLAN
SCALE: 3/32" = 1'-0"
FLOOR AREA: 17,710sf / 1,645m²
UNITS: 19

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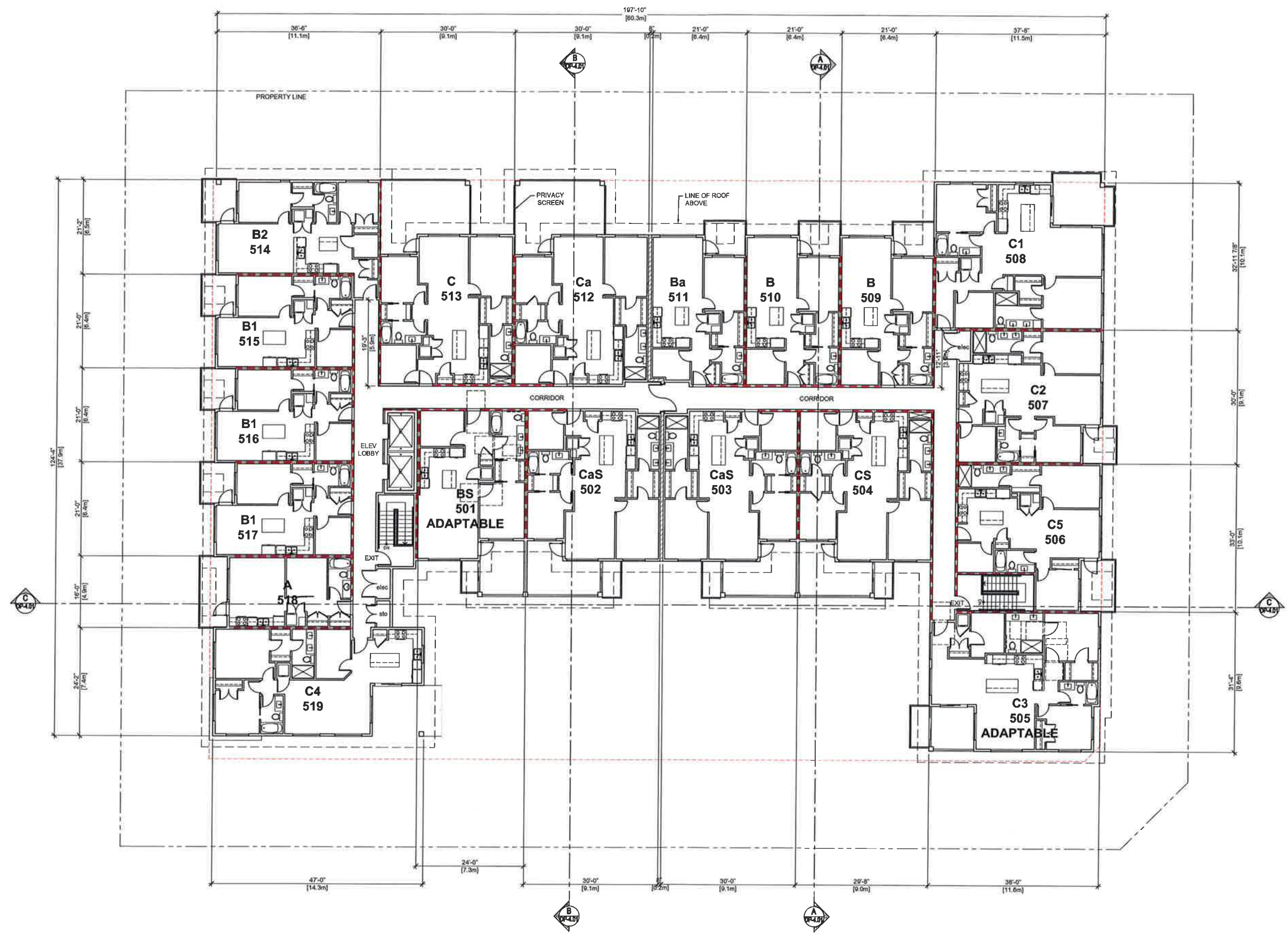
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**5TH
FLOOR PLAN**

DATE 2016.08.16 FILE NO.
DWN. lo
CHK. ch **1624**

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5TH FLOOR PLAN
SCALE: 3/32" = 1'-0"
FLOOR AREA: 17,692sf / 1,643m²
UNITS: 19



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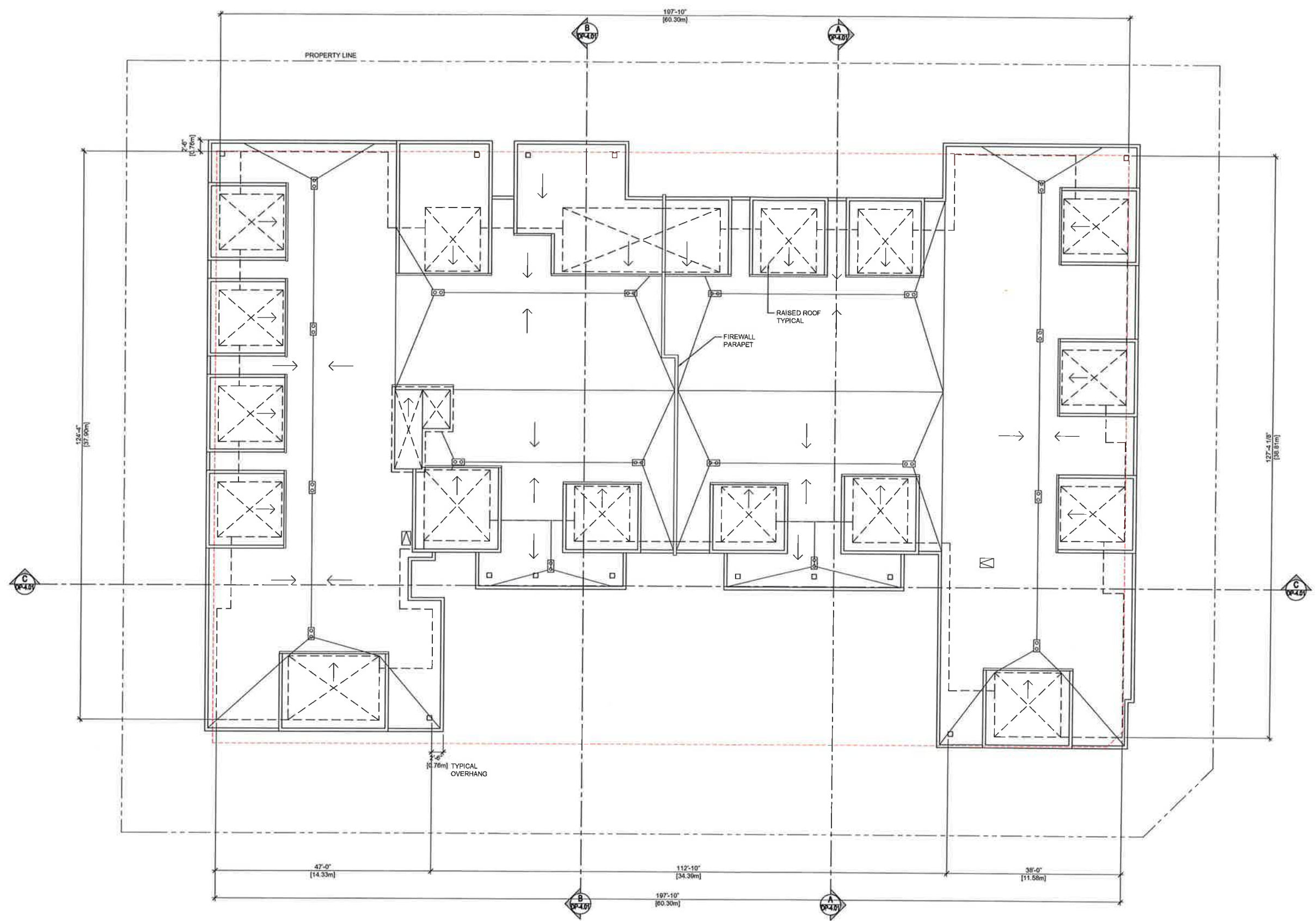
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ROOF PLAN

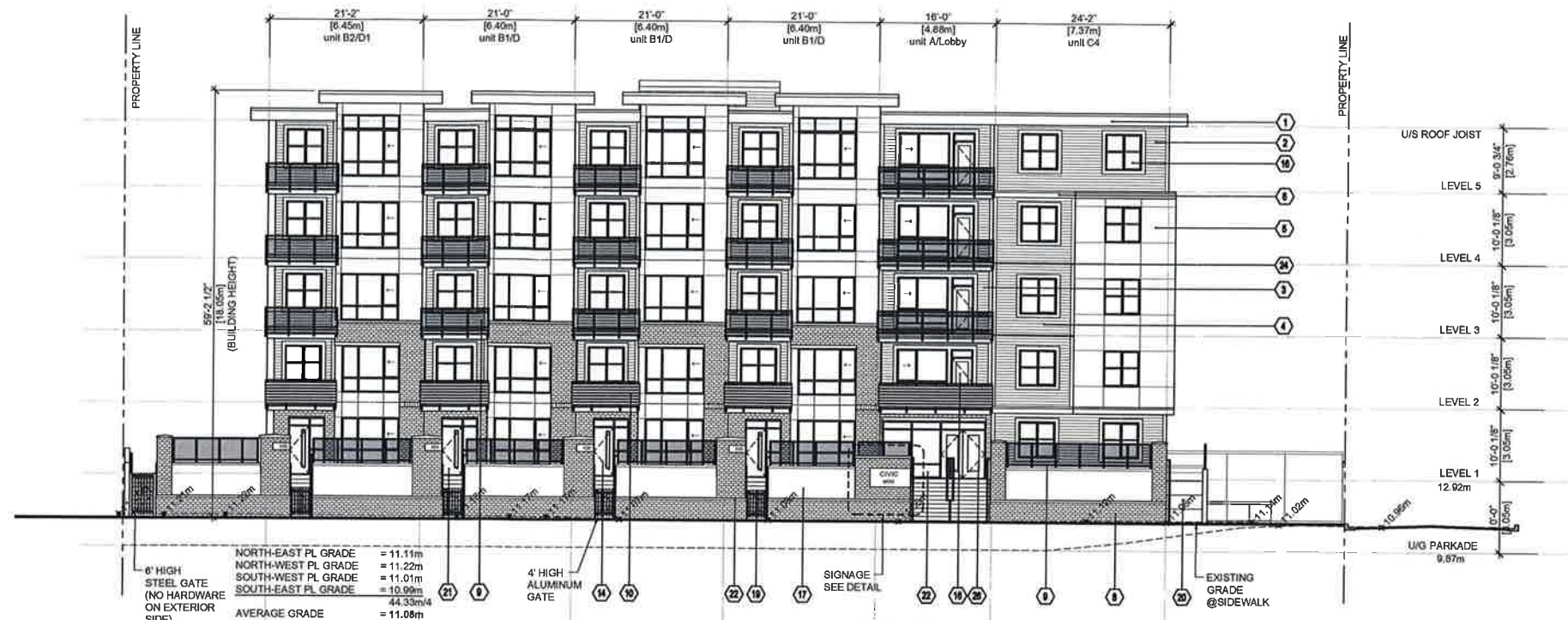
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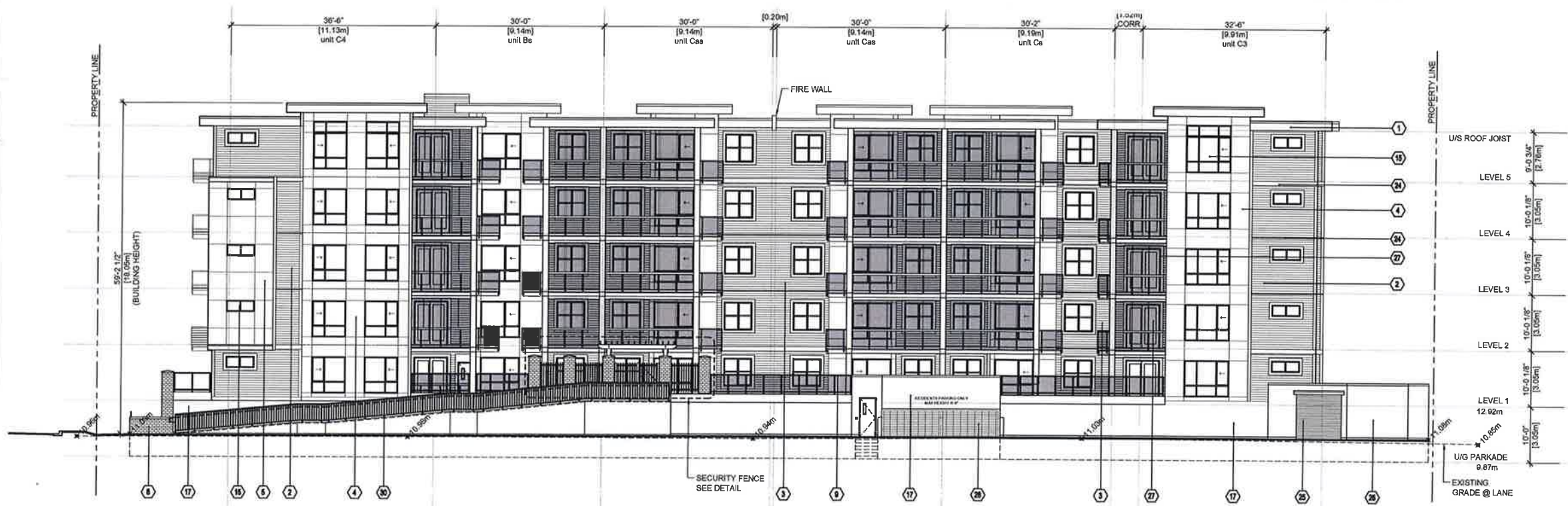
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ROOF PLAN
 SCALE: 3/32" = 1'-0"
 NORTH

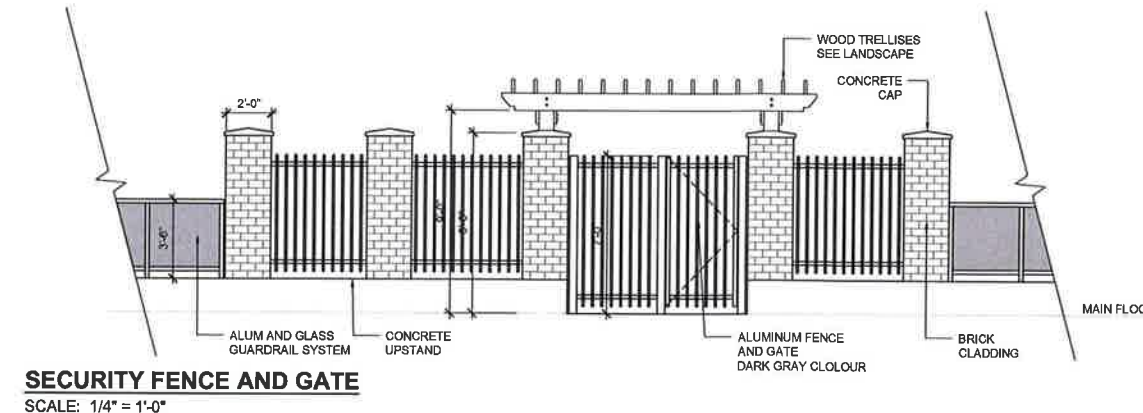
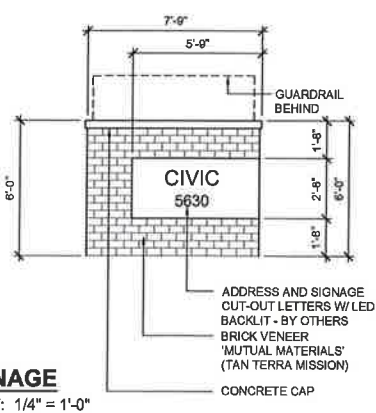


WEST ELEVATION
SCALE: 3/32" = 1'-0"



SOUTH ELEVATION
SCALE: 3/32" = 1'-0"

MATERIAL LEGEND	
1	HARDIE PANEL FASCIA 'COBBLE STONE' COLOUR
2	HARDIE LAP SIDING W/8" EXPOSURE, 'COBBLE STONE' COLOUR
3	HARDIE LAP SIDING W/8" EXPOSURE, IRON GRAY COLOUR
4	HARDIE SMOOTH PANEL SIDING W/ REVEAL SYSTEM, 'COBBLE STONE' COLOUR
5	HARDIE SMOOTH PANEL SIDING W/ REVEAL SYSTEM, IRON GRAY COLOUR
6	HARDIE TRIMS, TO MATCH SIDING COLOURS
7	ALUMINUM SOFFIT
8	BRICK VENEER, MUTUAL MATERIALS 'TAN TERRA MISSION' COLOUR
9	ALUMINUM AND GLASS GUARDRAIL SYSTEM, PRE-FINISHED DARK GREY
10	ALUMINUM GUARDRAIL SYSTEM, PRE-FINISHED DARK GREY W/ 4" ALUM STRIPS (LONGBOARD OR SIM) @ 5" O/C MOUNTED TO FACE 'DARK CHERRY' COLOUR
11	CANOPY, PAINTED BENJAMIN MOORE HC-166 KENDALL CHARCOAL
12	METAL FLASHING, PAINTED BENJAMIN MOORE HC-166 KENDALL CHARCOAL
13	ALUMINUM FRAME PRIVACY SCREEN W/ TEMPERED FROSTED GLASS
14	EXTERIOR WOOD DOOR W/ SIDELITE, PAINTED
15	SEALED DOUBLE GLAZED P.V.C. WINDOW, PREFINISHED DARK GREY
16	SEALED DOUBLE GLAZED PATIO DOOR, PREFINISHED DARK GREY
17	PAINTED CONCRETE WALL
18	CONCRETE LINTEL, SEALED
19	CONCRETE STAIRS
20	CONCRETE RAMP
21	ALUMINUM HANDRAIL, PRE-FINISHED 'DARK GREY'
22	ADDRESS/ SIGNAGE, BY OTHERS
23	ALUMINUM STOREFRONT, CLEAR ANODIZED FRAME AND CLEAR INSULATED GLAZING
24	METAL THROUGH-WALL FLASHING, PAINTED TO MATCH SIDING
25	OVERHEAD SECTIONAL STEEL DOOR
26	PAINTED CONCRETE WALL, TO MATCH HARDIE PANEL COLOUR - 'COBBLE STONE'
27	'LUMON' BALCONY ENCLOSURE SYSTEM
28	REMOTE CONTROLLED SECURITY GRILLE TO PARKADE
29	EXTERIOR STEEL DOOR W/ VIEW LITE, PAINTED
30	ALUMINUM GUARDRAIL SYSTEM WITH PICKETS, PRE-FINISHED DARK GREY



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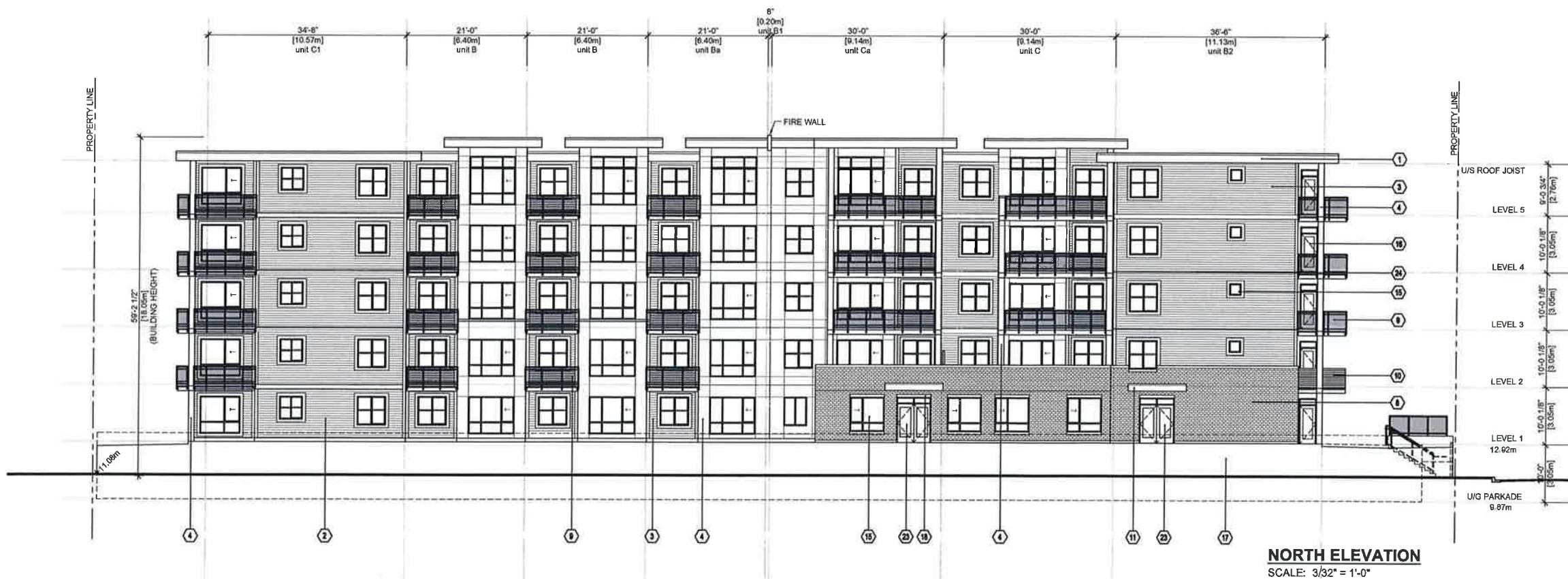
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- 3 HARDIE LAP SIDING W/6" EXPOSURE, 'IRON GRAY' COLOUR
- 4 HARDIE SMOOTH PANEL SIDING W/ REVEAL SYSTEM, 'COBBLE STONE' COLOUR
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- 28 REMOTE CONTROLLED SECURITY GRILLE TO PARKADE
- 29 EXTERIOR STEEL DOOR W/ VIEW LITE, PAINTED
- 30 ALUMINUM GUARDRAIL SYSTEM WITH PICKETS, PRE-FINISHED DARK GREY

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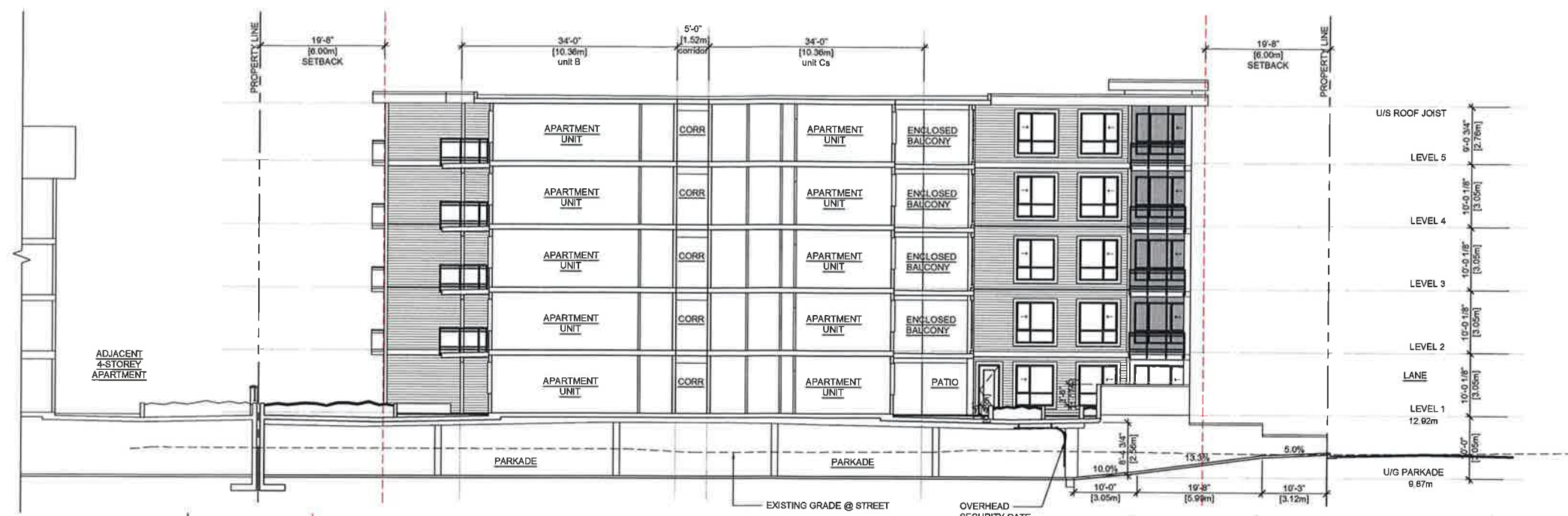
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**BUILDING
ELEVATIONS**

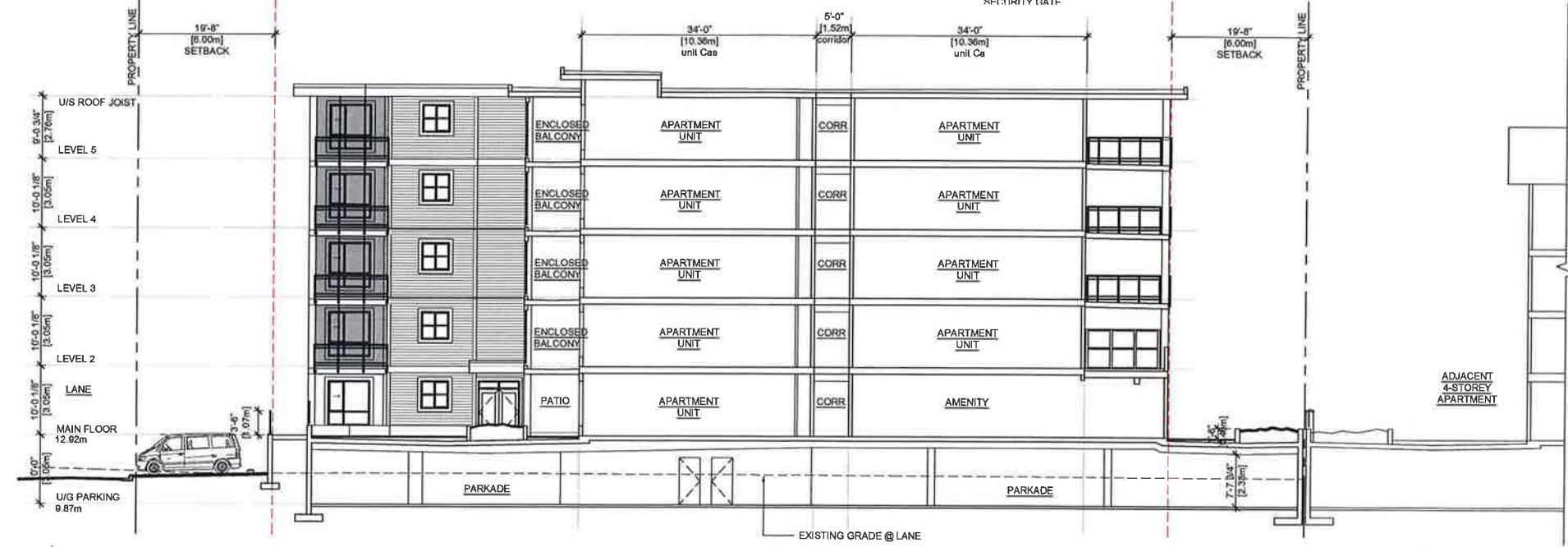
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SEAL
SHEET NO.

SECTION - A
SCALE: 3/32" = 1'-0"



SECTION - B
SCALE: 3/32" = 1'-0"



SECTION - C
SCALE: 3/32" = 1'-0"



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2017-02-06 ISSUED FOR REZONING/DP
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2016-10-17 CLIENT REVIEW
2016-09-30 CLIENT REVIEW
2016-09-07 CLIENT REVIEW
2016-09-02 CLIENT REVIEW

REVISIONS
CONSULTANT

CLIENT
CREADA HOLDINGS INC.

PROJECT
"CIVIC"
Proposed Multi-Family Project
5630 & 5640 201A STREET,
LANGLEY BC, V3A 1T1

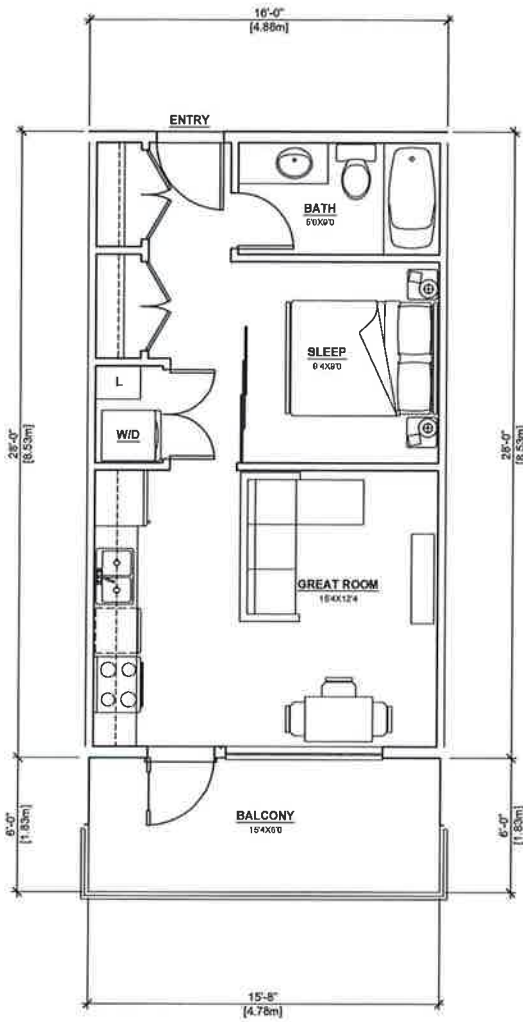
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SECTIONS

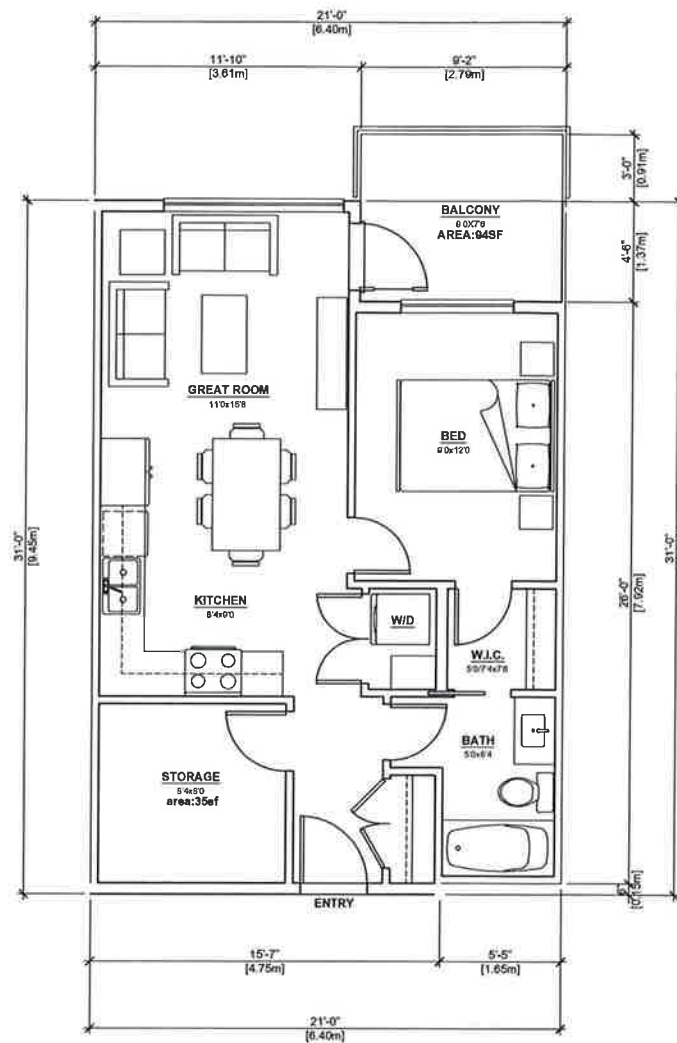
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CHK	ch		

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SHEET NO.

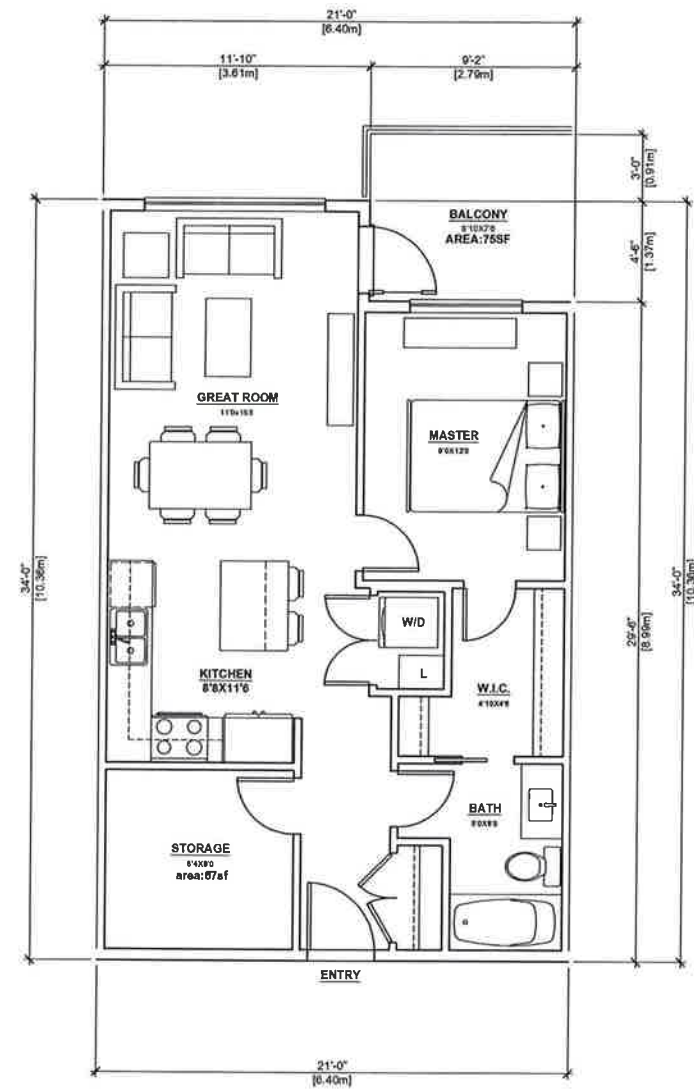
DP-4.01



UNIT 'A'
 SCALE: 1/4"= 1'-0"
 FINISHED FLOOR AREA: 448 SQ.FT.
 BALCONY AREA: 94 SQ.FT.



UNIT 'B'
 SCALE: 1/4"= 1'-0"
 FINISHED FLOOR AREA: 897 SQ.FT.
 BALCONY AREA: 87 SQ.FT.
 STORAGE AREA: 87 SQ.FT.



UNIT 'B1'
 SCALE: 1/4"= 1'-0"
 FINISHED FLOOR AREA: 873 SQ.FT.
 BALCONY AREA: 87 SQ.FT.
 STORAGE AREA: 87 SQ.FT.

- 2017-02-27 DESIGN REVISIONS
- 2017-02-08 ISSUED FOR REZONING/DP
- 2017-01-04 CLIENT REVISION
- 2016-10-17 CLIENT REVIEW
- 2016-09-30 CLIENT REVIEW
- 2016-09-07 CLIENT REVIEW
- 2016-09-02 CLIENT REVIEW

REVISIONS

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CREADA HOLDINGS INC.

PROJECT
"CIVIC"
Proposed Multi-Family Project

5830 & 5640 201A STREET,
 LANGLEY BC, V3A 1T1

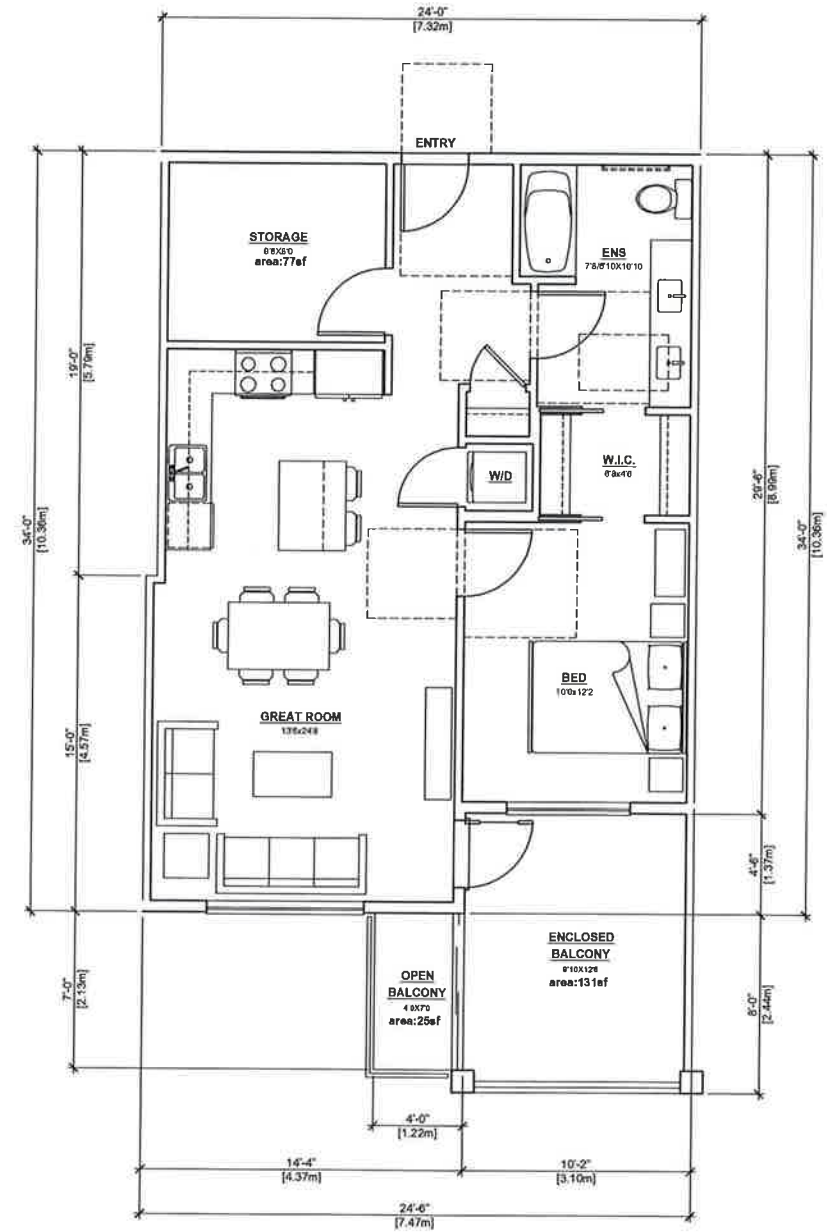
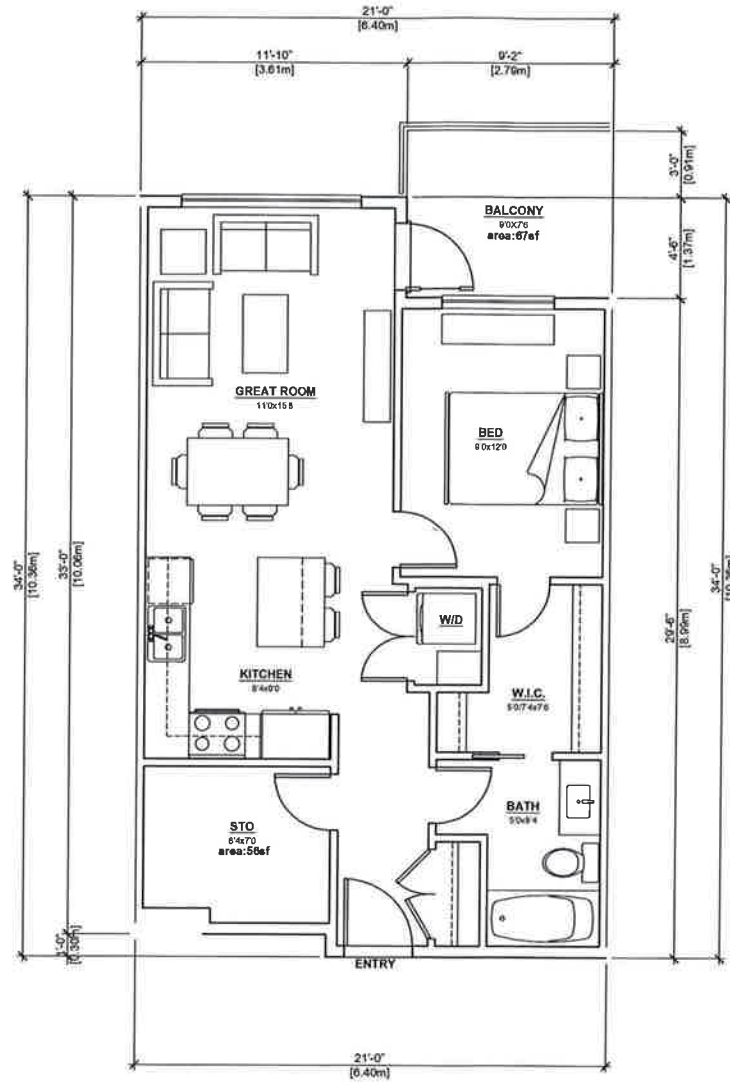
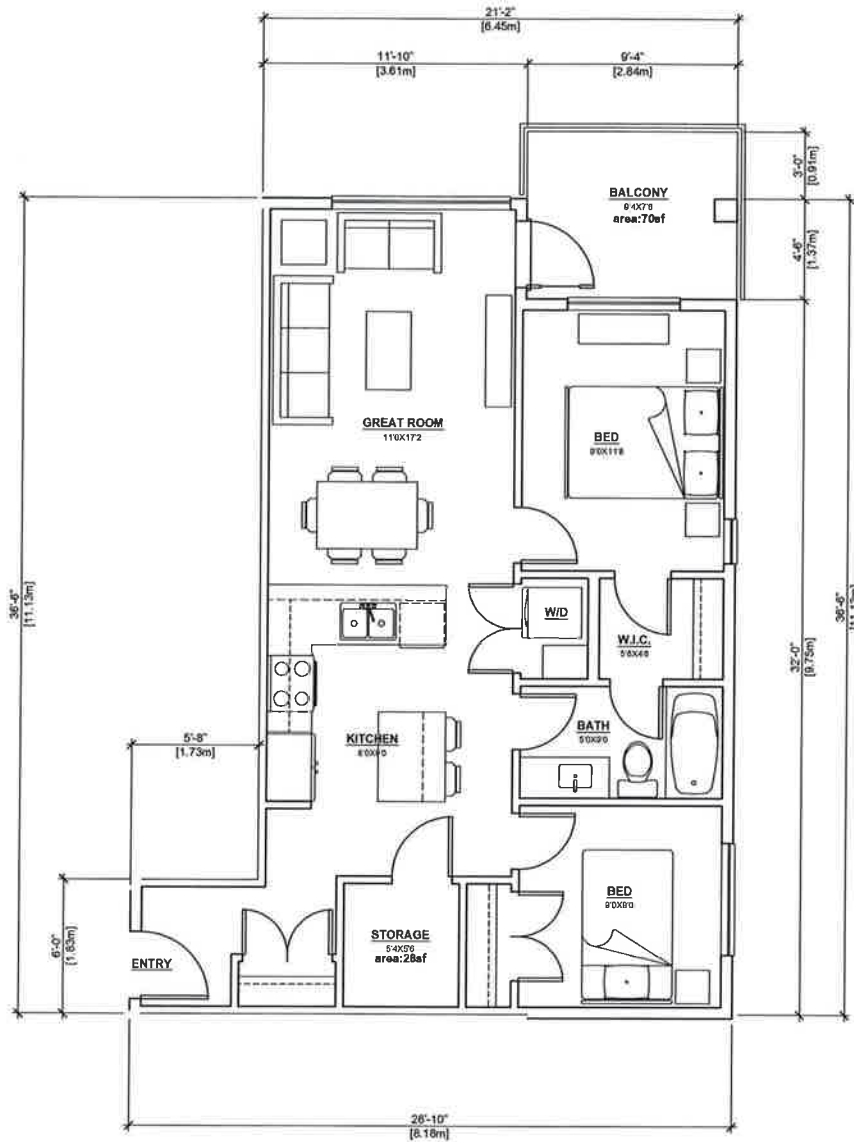
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DETAILED UNIT PLANS

DATE	2016.08.15	FILE NO.	
DWN.	LC		
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SEAL

SHEET NO.
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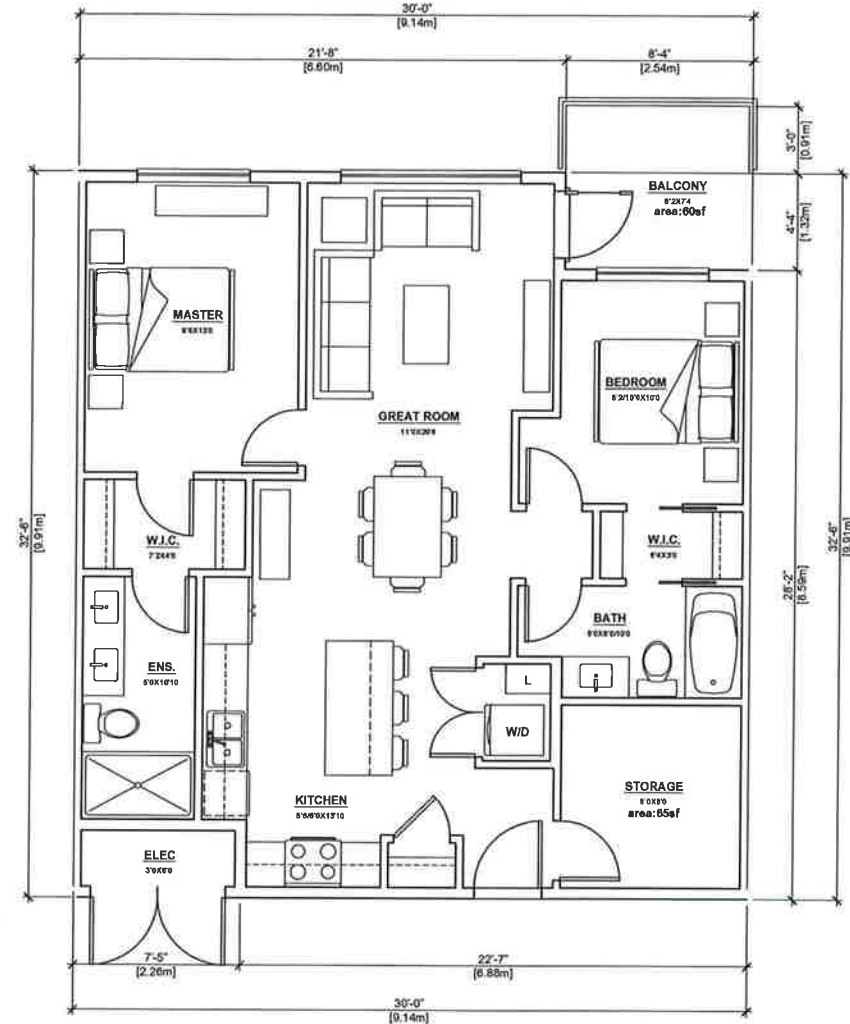
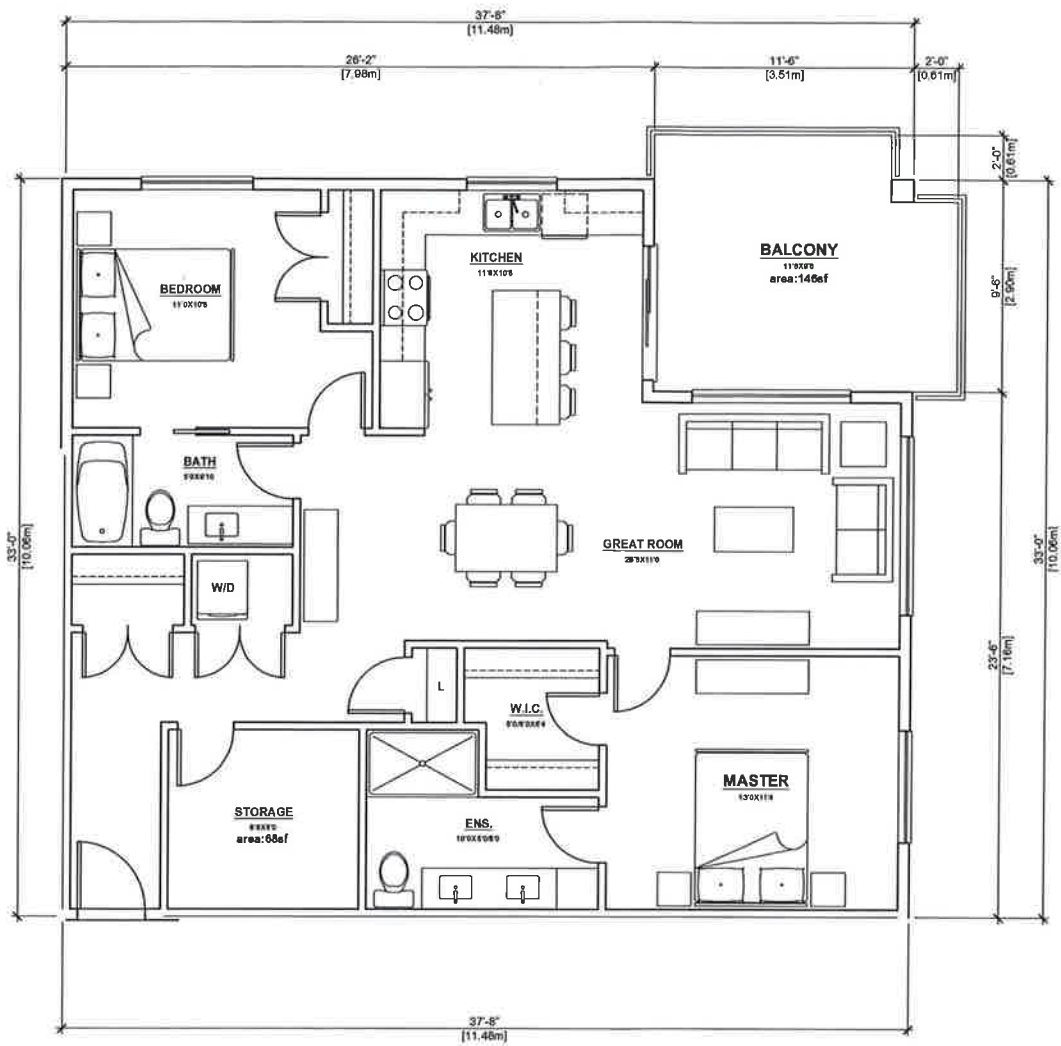
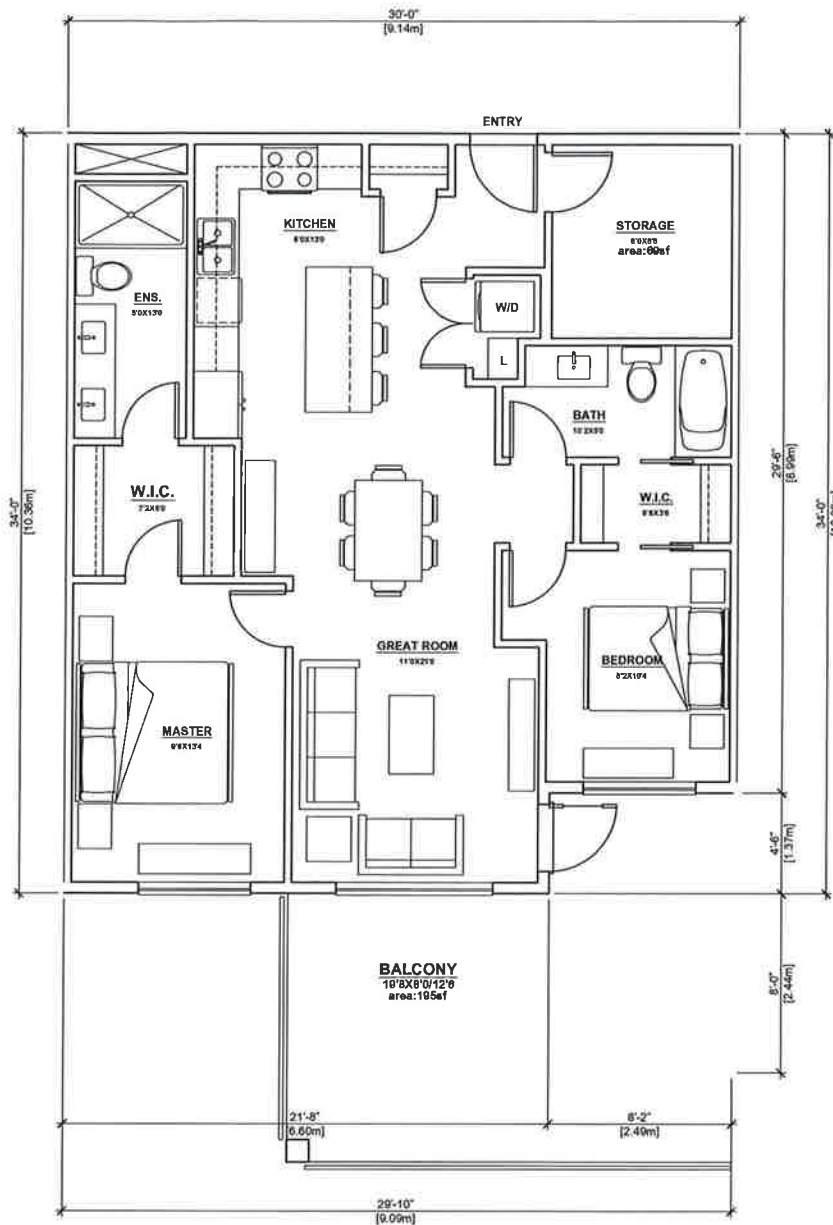
- 2017-02-27 DESIGN REVISIONS
- 2017-02-08 ISSUED FOR RE-ZONING DP
- 2017-01-04 CLIENT REVIEW
- 2016-10-17 CLIENT REVIEW
- 2016-09-30 CLIENT REVIEW
- 2016-09-07 CLIENT REVIEW
- 2016-09-02 CLIENT REVIEW

REVISIONS
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PROJECT
"CIVIC"
 Proposed Multi-Family Project
 5630 & 5640 201A STREET,
 LANGLEY BC, V3A 1T1

DRAWING TITLE
DETAILED UNIT PLANS

DATE	2016.08.15	FILE NO.	
DWN	LC		1624
CHK	ch		



2017-02-27 DESIGN REVISIONS
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 2016-10-17 CLIENT REVIEW
 2016-09-30 CLIENT REVIEW
 2016-08-07 CLIENT REVIEW
 2016-08-02 CLIENT REVIEW

REVISIONS

CLIENT
CREADA HOLDINGS INC.

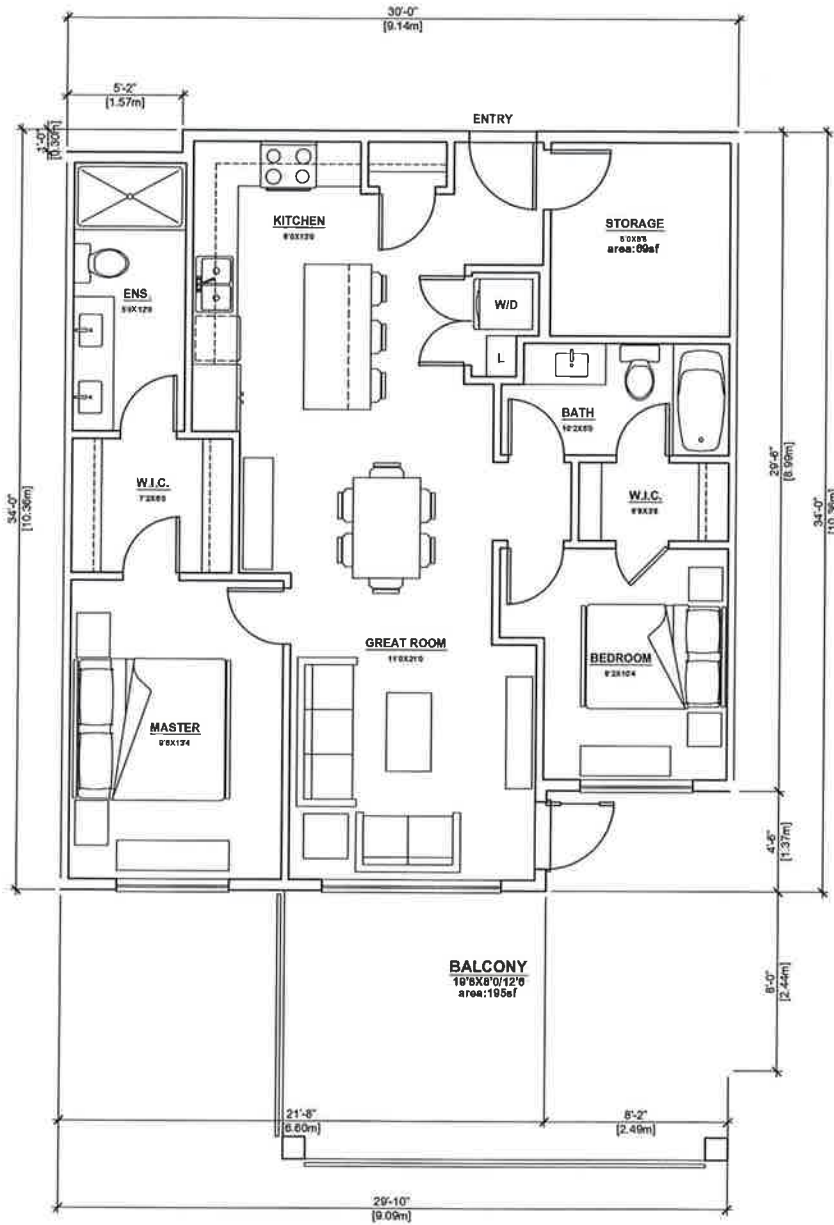
PROJECT
"CIVIC"
Proposed Multi-Family Project
 5630 & 5640 201A STREET,
 LANGLEY BC, V3A 1T1

DRAWING TITLE
DETAILED UNIT PLANS

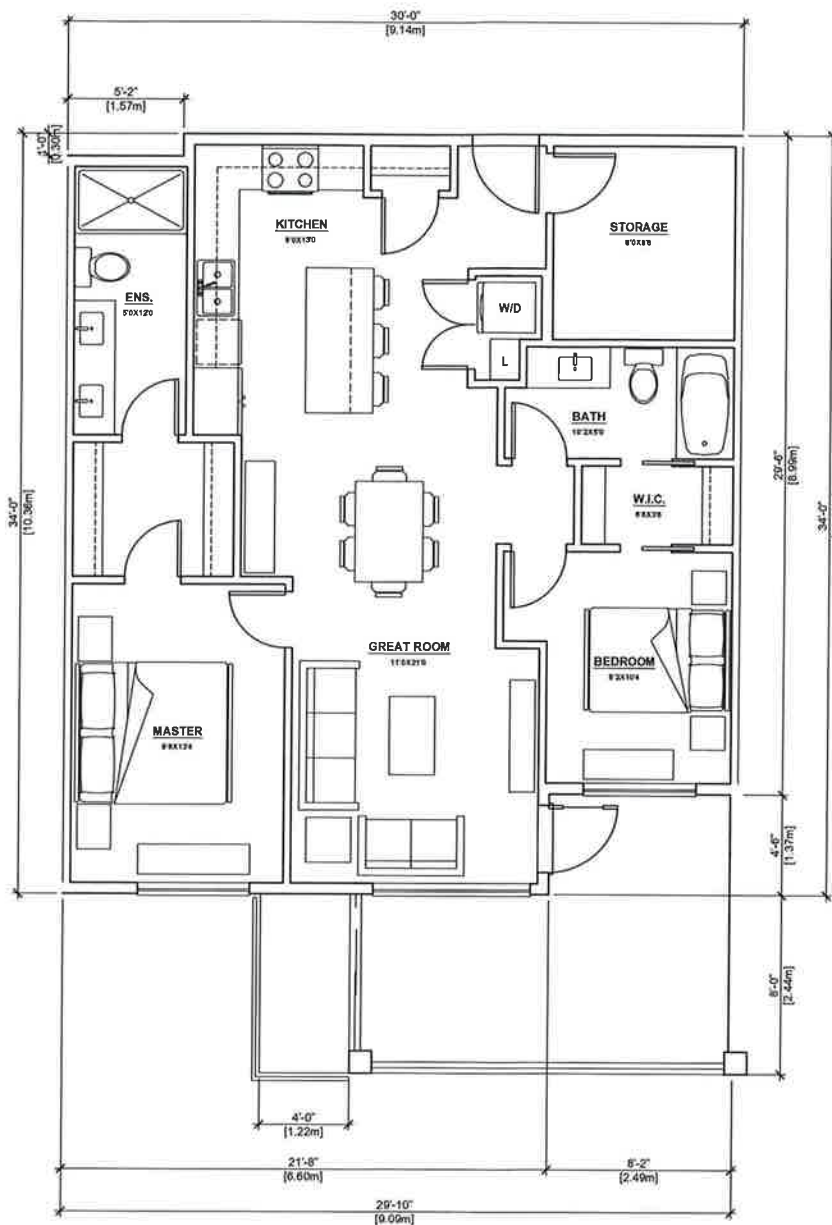
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SEAL
 SHEET NO.

DP-5.03

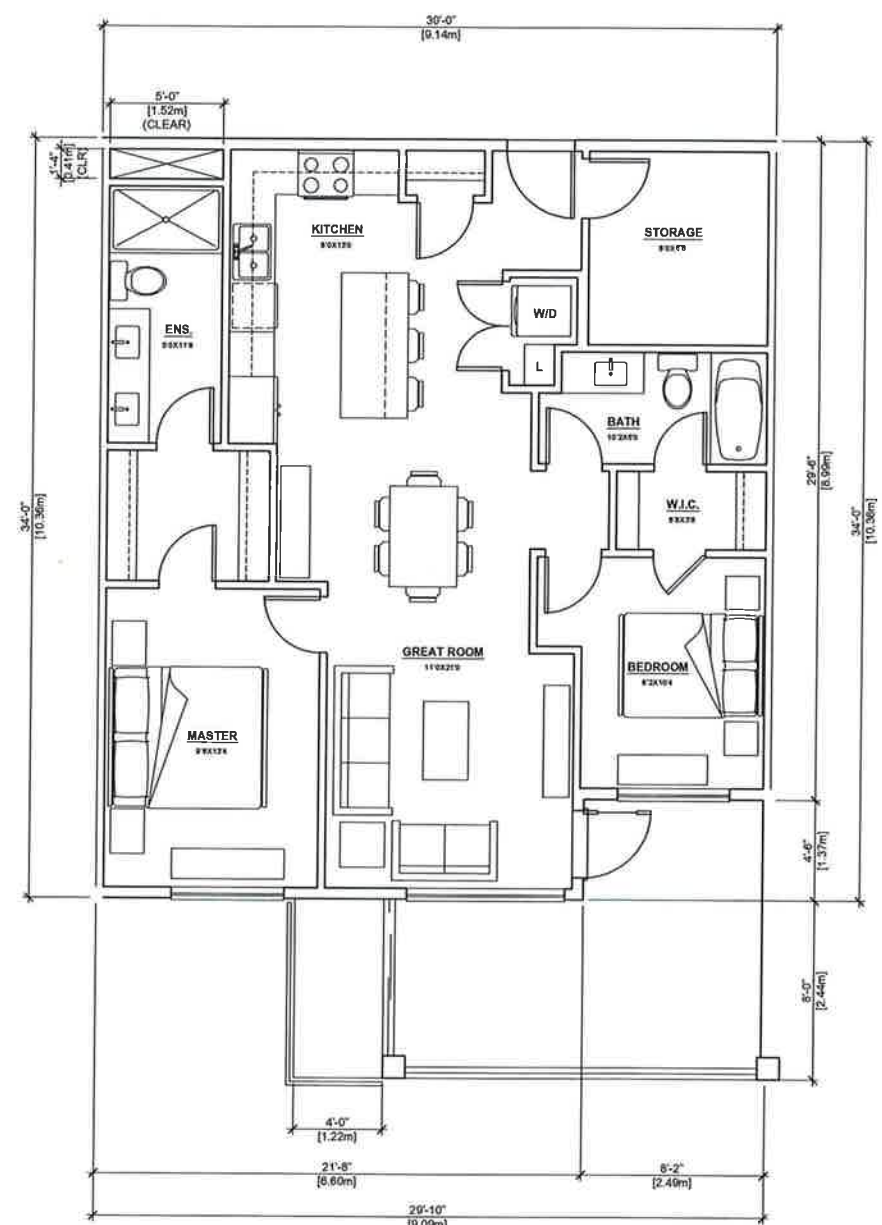


UNIT 'Ca'
SCALE: 1/4"= 1'-0"
FINISHED FLOOR AREA: 977 SQ. FT.
BALCONY AREA: 275 SQ. FT.
STORAGE AREA: 89 SQ. FT.



UNIT 'CaS'
SCALE: 1/4"= 1'-0"
FINISHED FLOOR AREA: 977 SQ. FT.
ENCLOSED BALCONY AREA: 175 SQ. FT.
OPEN BALCONY AREA: 32 SQ. FT.
STORAGE AREA: 89 SQ. FT.

NOTE: NO SOLARIUM ON MAIN FLOOR FOR UNIT CaS



UNIT 'CS'
SCALE: 1/4"= 1'-0"
FINISHED FLOOR AREA: 973 SQ. FT.
ENCLOSED BALCONY AREA: 175 SQ. FT.
OPEN BALCONY AREA: 32 SQ. FT.
STORAGE AREA: 89 SQ. FT.

NOTE: NO SOLARIUM ON MAIN FLOOR FOR UNIT CS

- 2017-02-27 DESIGN REVISIONS
- 2017-02-09 ISSUED FOR REZONING DP
- 2017-01-04 CLIENT REVISION
- 2016-10-17 CLIENT REVIEW
- 2016-09-30 CLIENT REVIEW
- 2016-08-07 CLIENT REVIEW
- 2016-06-02 CLIENT REVIEW

REVISIONS

CONSULTANT

CLIENT
CREADA HOLDINGS INC.

PROJECT
"CIVIC"
Proposed Multi-Family Project

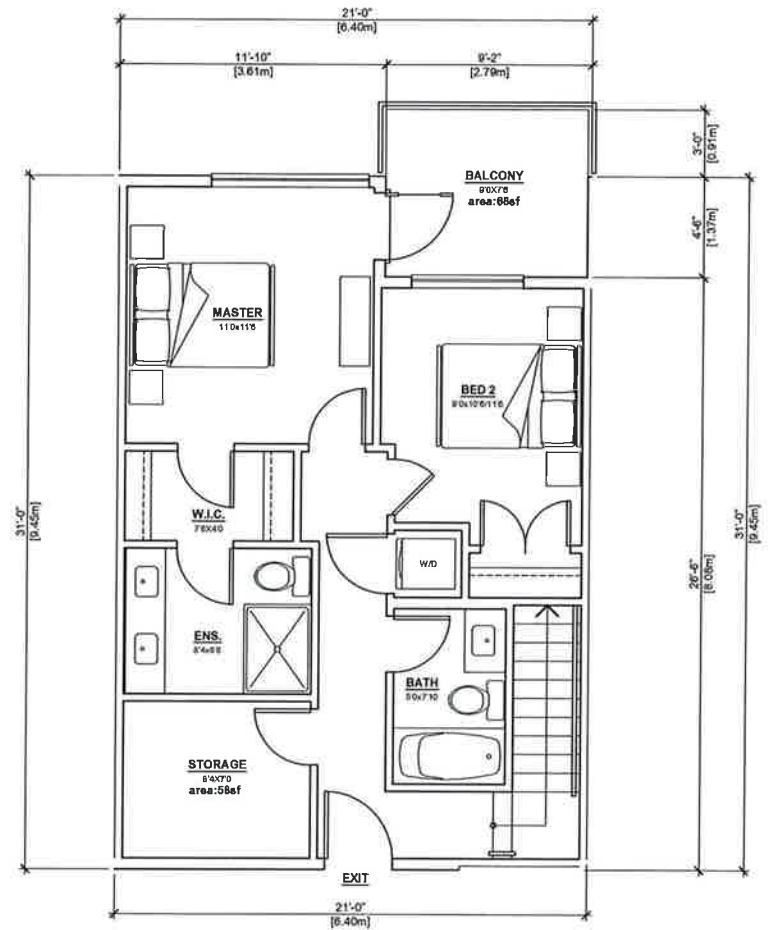
5630 & 5640 201A STREET,
LANGLEY BC, V3A 1T1

DRAWING TITLE

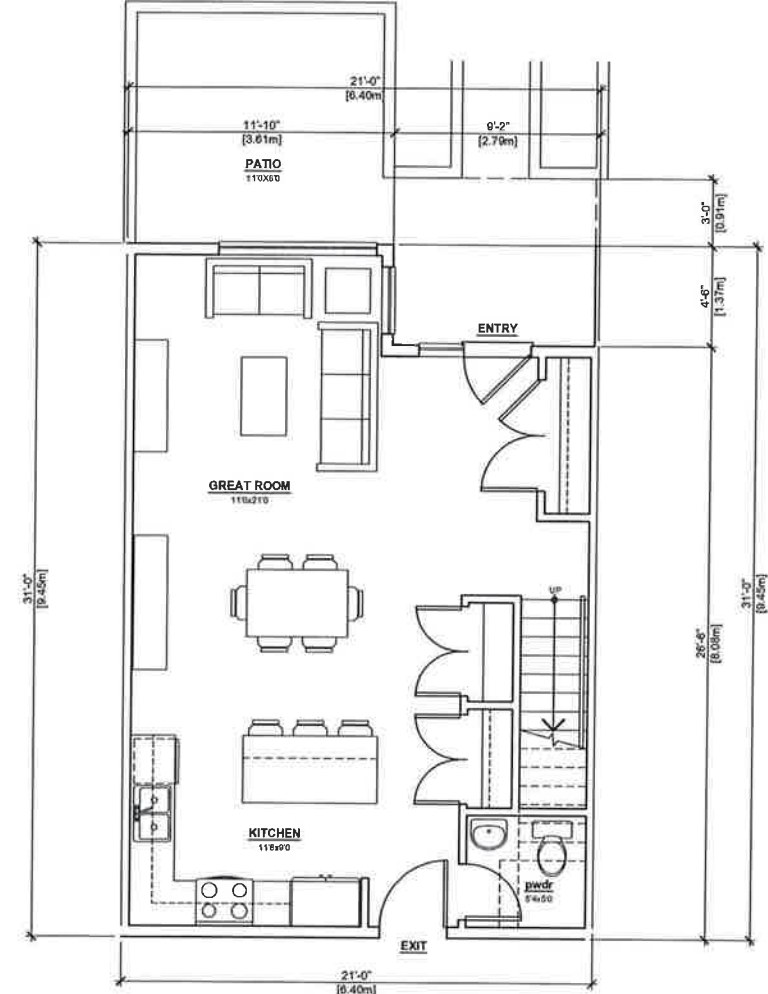
**DETAILED
UNIT PLANS**

DATE	2016.08.15	FILE NO.	
DWN	LC		
CHK	ch		1624

SEAL
SHEET NO.
DP-5.03a



UNIT 'D'
UPPER FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 FINISHED FLOOR AREA: 610 SQ. FT.
 BALCONY AREA: 66 SQ. FT.
 STORAGE AREA: 58 SQ. FT.



UNIT 'D'
LOWER FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 FINISHED FLOOR AREA: 610 SQ. FT.
 PATIO AREA: 88 SQ. FT.

- 2017-02-27
 DESIGN REVISIONS
 2017-02-06
 ISSUED FOR REZONINGDP
 2017-01-04
 CLIENT REVISION
 2016-10-17
 CLIENT REVIEW
 2016-09-30
 CLIENT REVIEW
 2016-08-07
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 2016-09-02
 CLIENT REVIEW

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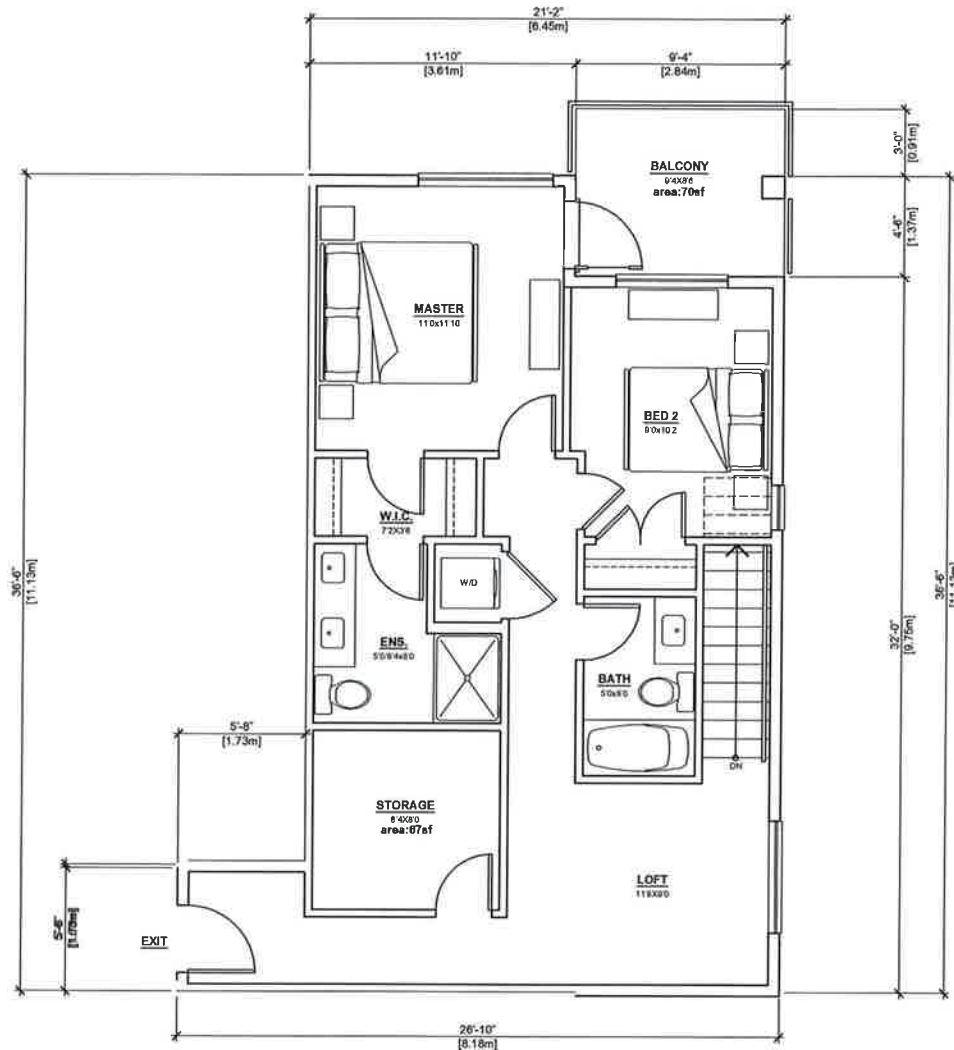
CLIENT
CREADA HOLDINGS INC.

PROJECT
"CIVIC"
Proposed Multi-Family Project
 5630 & 5640 201A STREET,
 LANGLEY BC, V3A 1T1

DRAWING TITLE
**DETAILED
 UNIT PLANS**

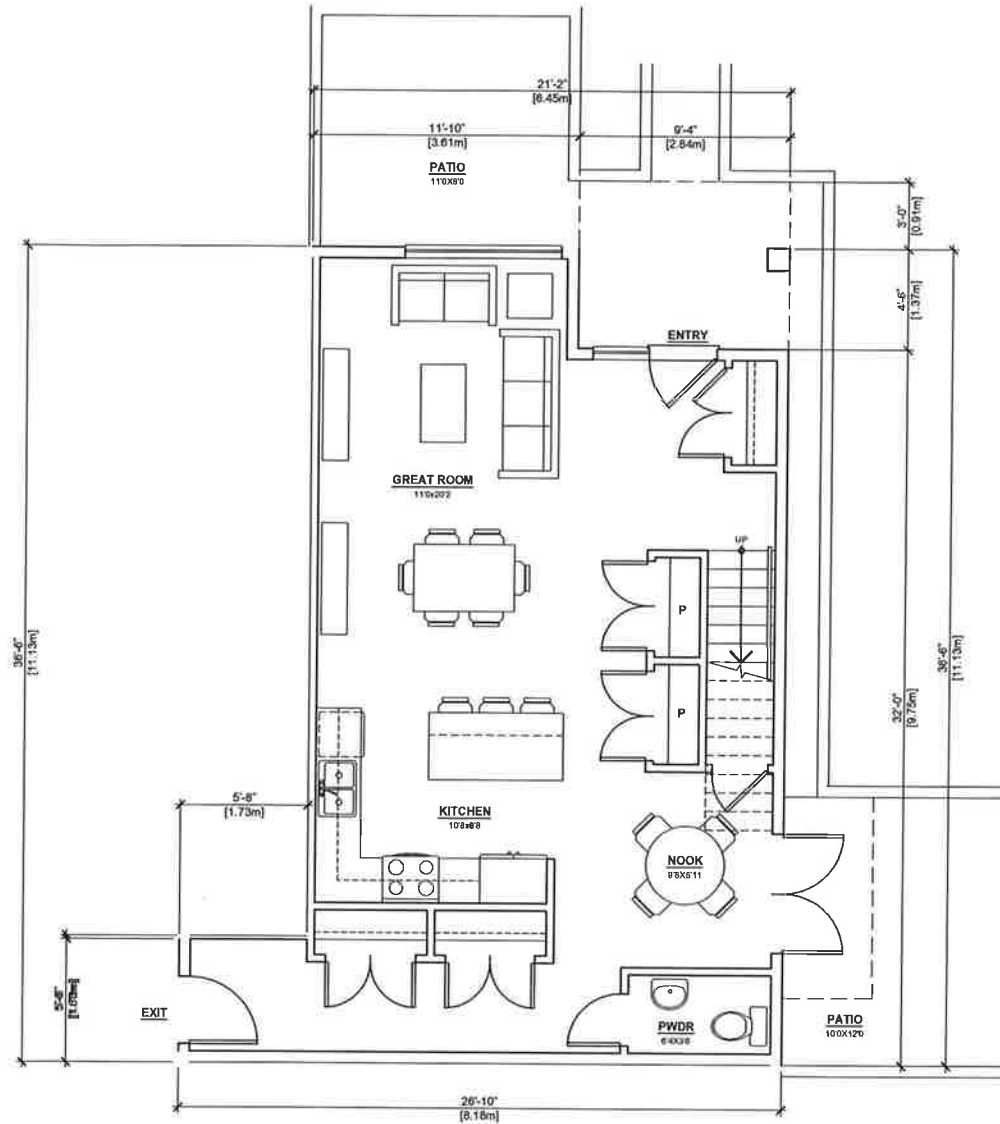
DATE	2016.08.15	FILE NO.
DWN.	LC	1624
CHK.	ch	

SEAL
 SHEET NO.
DP-5.06



UNIT 'D1'
UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"
FINISHED FLOOR AREA: 762 SQ. FT.
BALCONY AREA: 70 SQ. FT.
STORAGE AREA: 67 SQ. FT.



UNIT 'D1'
LOWER FLOOR PLAN

SCALE: 1/4" = 1'-0"
FINISHED FLOOR AREA: 763 SQ. FT.
PATIO AREA: 68 SQ. FT.

- 2017-02-27
DESIGN REVISIONS
2017-02-06
ISSUED FOR REZONING/DP
2017-01-04
CLIENT REVISION
2016-10-17
CLIENT REVIEW
2016-09-30
CLIENT REVIEW
2016-09-07
CLIENT REVIEW
2016-08-02
CLIENT REVIEW

REVISIONS
CONSULTANT

CLIENT
CREDA HOLDINGS INC.

PROJECT
"CIVIC"
Proposed Multi-Family Project
5630 & 5640 201A STREET,
LANGLEY BC, V3A 1T1

DRAWING TITLE
DETAILED UNIT PLANS

DATE	2016.08.15	FILE NO.
DWN	LC	1624
CHK	ch	

SEAL
SHEET NO.
DP-5.06a

Proposed Multi-Family

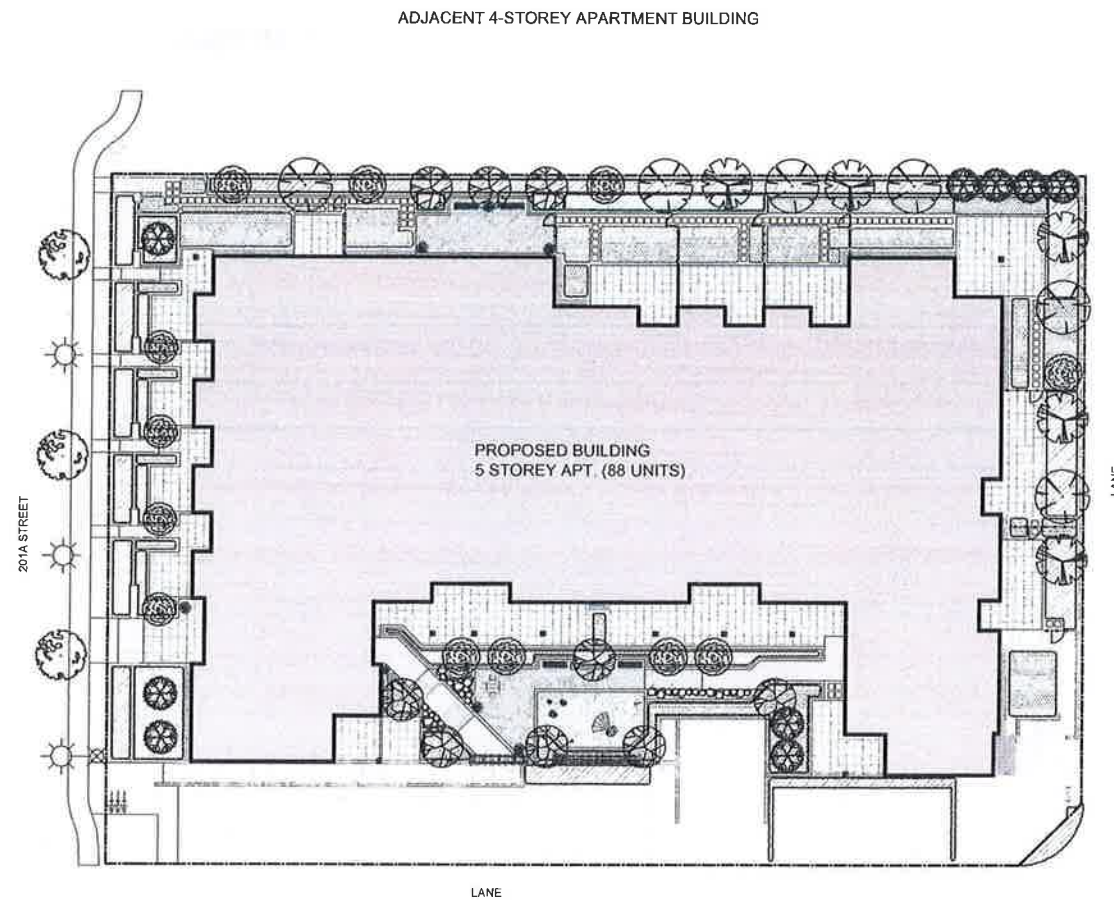
Issued for Development Permit



Contact Information van der Zalm + associates Inc. Project Landscape Architecture Suite 1 - 20177 97th Avenue Langley, British Columbia, V1M 4B9 t. 604 882 0024 f. 604 882 0042 Primary project contact: Stephen Heller Stephen@vdz.ca 604 882 0024 x.27 Alternate contacts (in case away): Mark van der Zalm Principal Landscape Architect mark@vdz.ca o. 604 882 0024 x22	Other Key Contacts: Creada Holdings Inc. Project Owner Linde Wu chwu@shaw.ca Focus Architecture Inc. Project Building Architecture 109 - 1528 McCallum Road Abbotsford, BC, V2S 8A3 t. 604.853.4222 f. 604.853.5442 Primary contact: Louis Chua lchua@focusai.ca
Legal Address and Description: LOTS 36 & 37 BOTH OF DISTRICT LOT 309 GROUP 2 NWD PLAN 28341 PID 002-692-104 & 004-622-430 CIVIC ADDRESS: 5630 & 5640 201A STREET, LANGLEY, BC	

Sheet List Table

Sheet Number	Sheet Title
L-01	COVER SHEET
L-02	OVERALL SITE PLAN
L-03	EAST AND WEST LANDSCAPE PLANS
L-04	NORTH AND SOUTH LANDSCAPE PLANS
L-05	EAST AND WEST PLANTING PLANS
L-06	NORTH AND SOUTH PLANTING PLANS
LD-01	LANDSCAPE DETAILS
LD-02	LANDSCAPE DETAILS



2 LOCATION MAP
NOT TO SCALE

No.	By:	Description	Date
3	MR	Reissued for D.P.	February 27, 2017
2	MR	Issued for D.P.	February 3, 2017
1	SH	Issued for Client Review	January 11, 2017

REVISIONS TABLE FOR DRAWINGS
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No.	By:	Description	Date
REVISIONS TABLE FOR SHEET			

Project:
 PROPOSED MULTI-FAMILY PROJECT
 Location:
 5630 & 5640 201A Street
 Langley, BC, V3A 1T1

Drawn: SH MR	Stamp:
Checked: DJ	
Approved: MVDZ	Original Sheet Size 24"x36"
Scale: AS SHOWN	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS/CHANGES/UPDATES MUST NOT BE MADE FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.

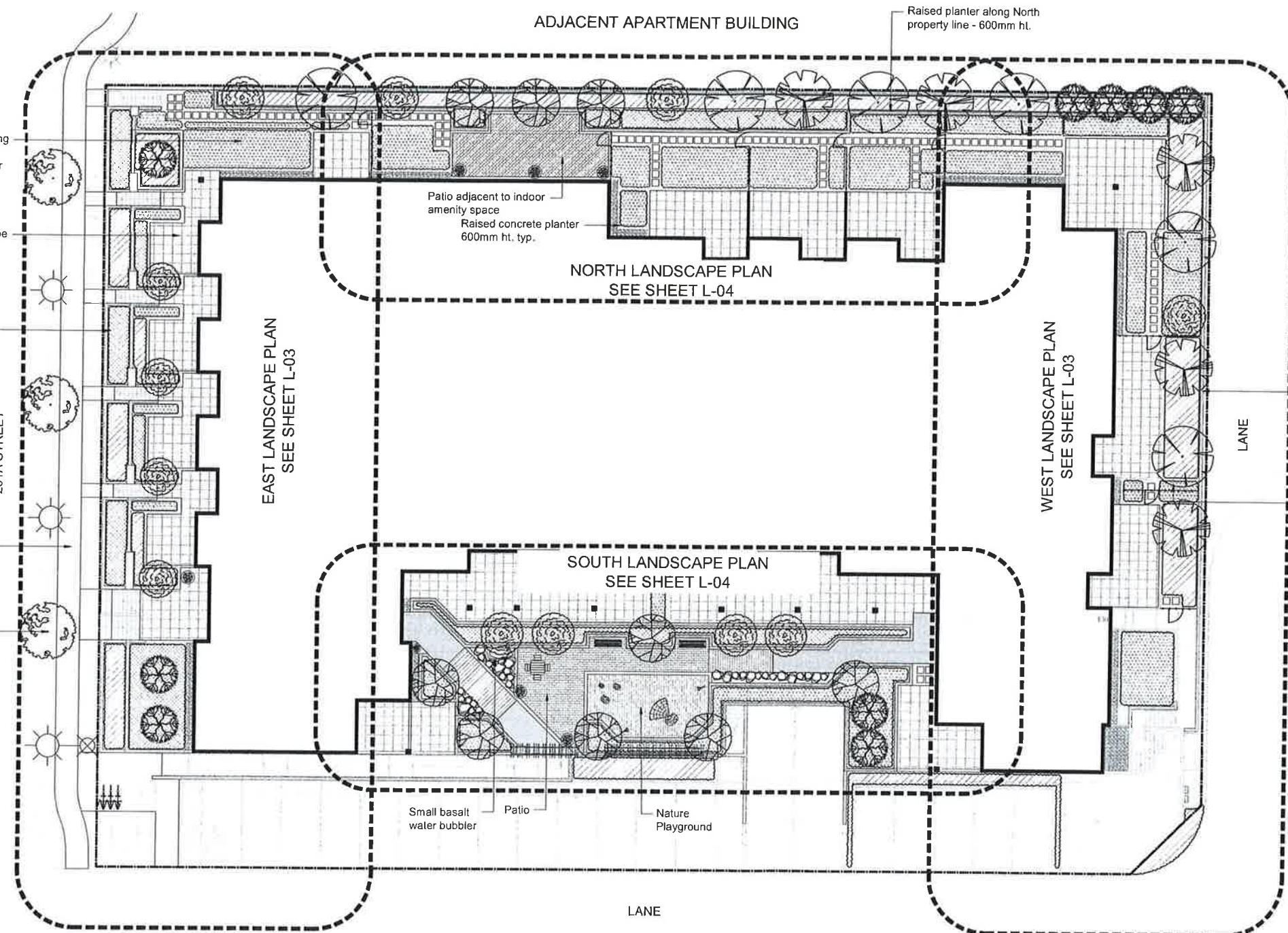
Drawing Title:
COVER SHEET

VDZ Project #:
DP2016-61

Drawing #:
L-01

W:\2016\PROJECTS\DEVELOPMENT PERMITS\ACTIV\DP2016-61 5630 & 5640 201A STREET\WDM\METR-L-01 COVER SHEET.DWG

1 SITE PLAN OVERVIEW
 Scale 1:250



Proposed shade garden planting on North side of building typ. Refer to North Planting Plan for planting spec.

Unit Patio typ. Refer to Landscape Plans for material specification

Raised concrete planter wall Refer to Arch, for elevations

201A STREET

201A curb and sidewalk Refer to Civil

Proposed street tree typ.

Concrete wall and railing typ. Refer to Arch.

Privacy screen typ. to tie into Arch, railing

LANE

1 OVERALL SITE PLAN
 Scale 1:150

TREE LEGEND

AC	AG	CK	PO
STY	STREET TREE		

PROPOSED TREE SCHEDULE

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
DECIDUOUS TREES					
AC	5	Acer palmatum 'Sango Kaku'	Sango Kaku Japanese maple	B+B; 3.0m Ht	Plant as shown
AG	9	Acer griseum	Paperbark maple	B+B; 60cm Cal	Plant as shown
CK	6	Cornus kousa 'Starlight'	Starlight Dogwood	B+B; 6cm Cal	Plant as shown
STY	12	Styax japonicus	Japanese snowbell, white	B+B; 6cm Cal	Plant as shown
CONIFEROUS TREES					
PO	9	Picea omorika	Serbian Spruce	B+B; 3.0m Ht	Plant as shown

PLANTING NOTES:

- ALL PLANT MATERIAL SHALL MEET OR EXCEED STANDARDS REQUIRED BY BCLMA OR PCSLA GUIDELINES.
- TOPSOIL DEPTHS FOR PLANTING AS FOLLOWS
 - A. GROUNDCOVERS: 300mm
 - B. SHRUBS: 450mm
 - C. TREE PITS: 1000mm WITH 300mm BELOW ROOT BALL
3. 1" MINUS COMPOST MULCH TO BE INSTALLED IN ALL SHRUB PLANTING AREAS.

No.	By	Description	Date
3	MR	Reissued for D.P.	February 27, 2017
2	MR	Issued for D.P.	February 3, 2017
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REVISIONS TABLE FOR DRAWINGS

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No.	By	Description	Date

Project:
 PROPOSED MULTI-FAMILY PROJECT

Location:
 5630 & 5640 201A Street
 Langley, BC, V3A 1T1

Drawn: SH, MR
 Checked: DJ
 Approved: MVDZ

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Scale: 1:150

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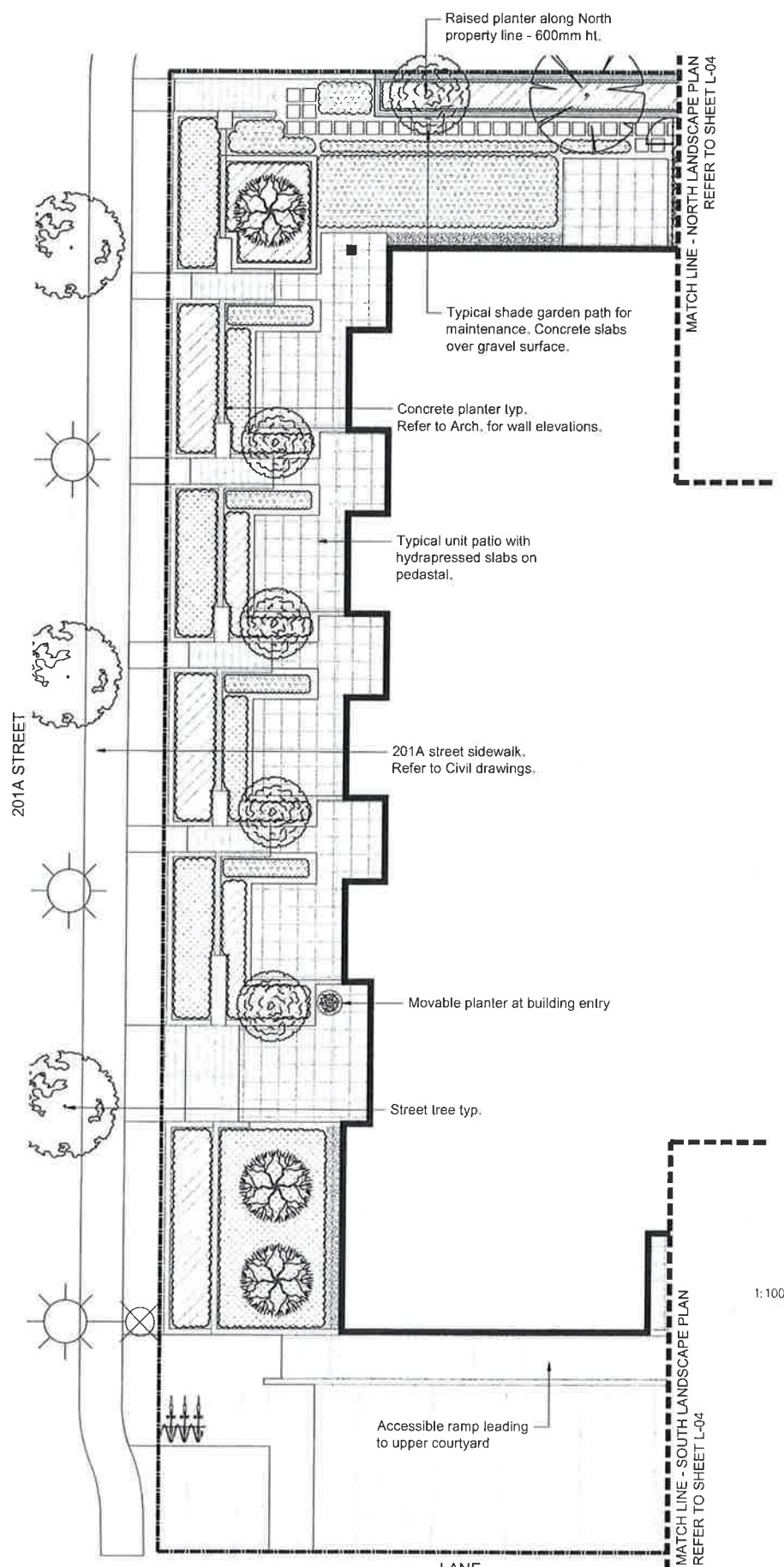


VDZ Project #: **DP2016-61**

Drawing #: **L-02**

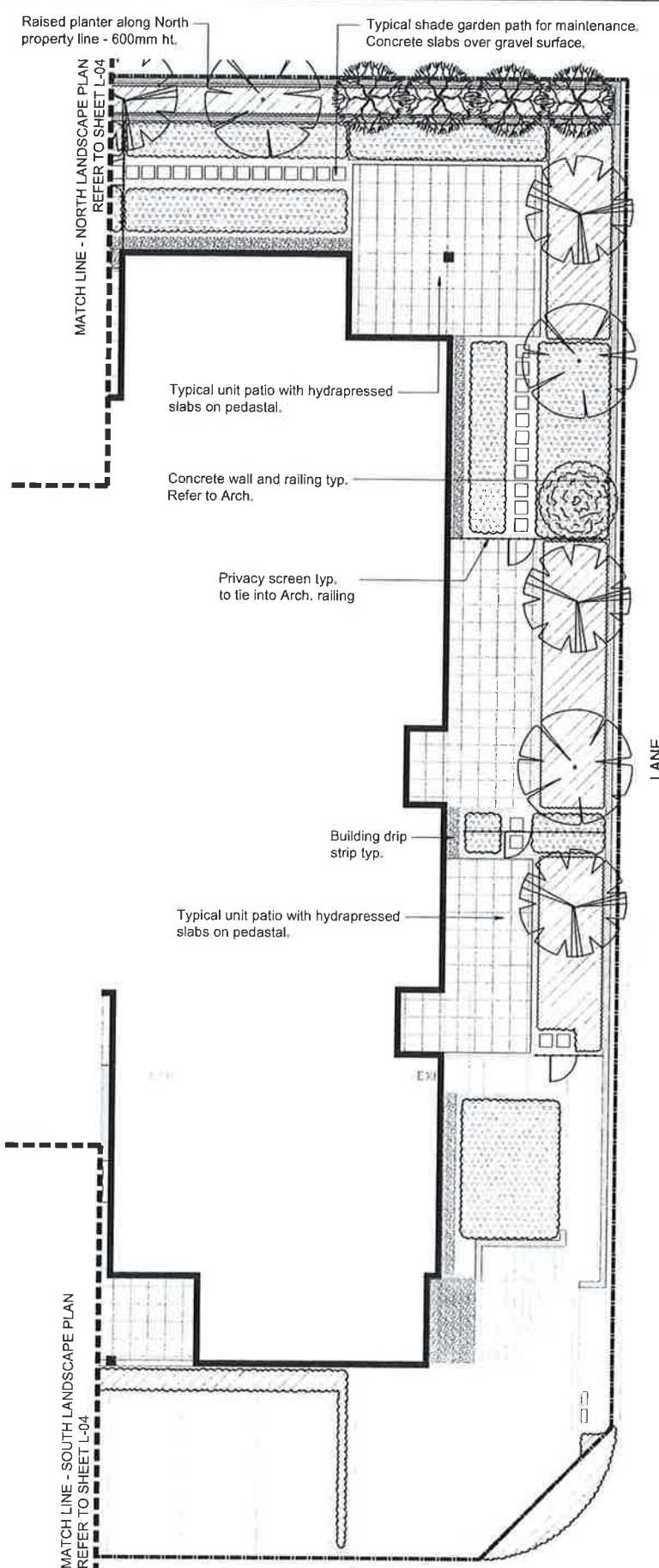
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0022-REPRODUCTION/PERMIT/ACTIVITY/PROVIDE-01 9500 & 5640 201A STREET/2016-SHEETS-01 EAST AND WEST LANDSCAPE PLANS DWG



1 WEST LANDSCAPE PLAN
 Scale 1:100

REF.	KEY	DESCRIPTION
2 LD-01		UNIT PAVERS Metropolitan Series Pavers Colour: Charcoal Supplier: Abbotsford Concrete Products
3 LD-01		PAVER SLABS Tevada Hydrapressed Slabs Colour: Charcoal Supplier: Abbotsford Concrete Products
2 LD-01		UNIT PAVERS Bridgwood Series Concrete Slabs Colour: Cedar Brown Supplier: Barkman Concrete
1 LD-01		CONCRETE SIDEWALK Over Structural Slab
		RAILINGS Refer to Architects Drawings
1 LD-02		SHADE GARDEN PLANTING Refer to Planting Plan
1 LD-02		FEATURE SHRUB AND GROUNDCOVER PLANTING Refer to Planting Plan
1 LD-02		PERIMETER SCREEN PLANTING Refer to Planting Plan
		DECORATIVE POTS GRTS -077 by Baldwin Site Elements or approved equal Contact: 604-434-4166 adrenne@baldwinse.com
4 LD-01		ALLAN BLOCK RETAINING WALL 600mm Ht. raised planters (Typ.)
6 LD-01		BENCH Magin MLB720-W
7 LD-01		TABLE Magin MLPT400-S-W
8 LD-01		SHADE GARDEN PATH Hydrapressed slabs on compacted gravel base for maintenance access.
5 LD-02		BUILDING DRIP STRIP
		BIKE RACK Loopy Series L21-BR52 by Francon Andrew Site Furnishings Ltd. Surface Mount
5 LD-01		WOOD FIBAR PLAY SURFACE
7 LD-02		TIMBER STEP DOWN FENCE

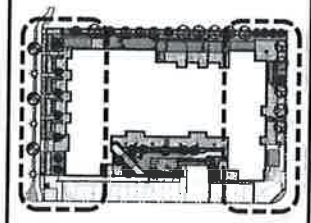


2 EAST LANDSCAPE PLAN
 Scale 1:100

van der Zalm + associates inc.
 Parks & Recreation • Civil Engineering
 Urban Design • Landscape Architecture
 Suite 1, 20111 97th Avenue
 Langley, British Columbia
 V3M 4B8
 P: 604.882.0004
 F: 604.882.0043
 info@vzai.com



Key Map (NTS)



No.	By	Description	Date
3	MR	Revised for D.P.	February 27, 2017
2	MR	Issued for D.P.	February 3, 2017
1	SH	Issued for Client Review	January 11, 2017

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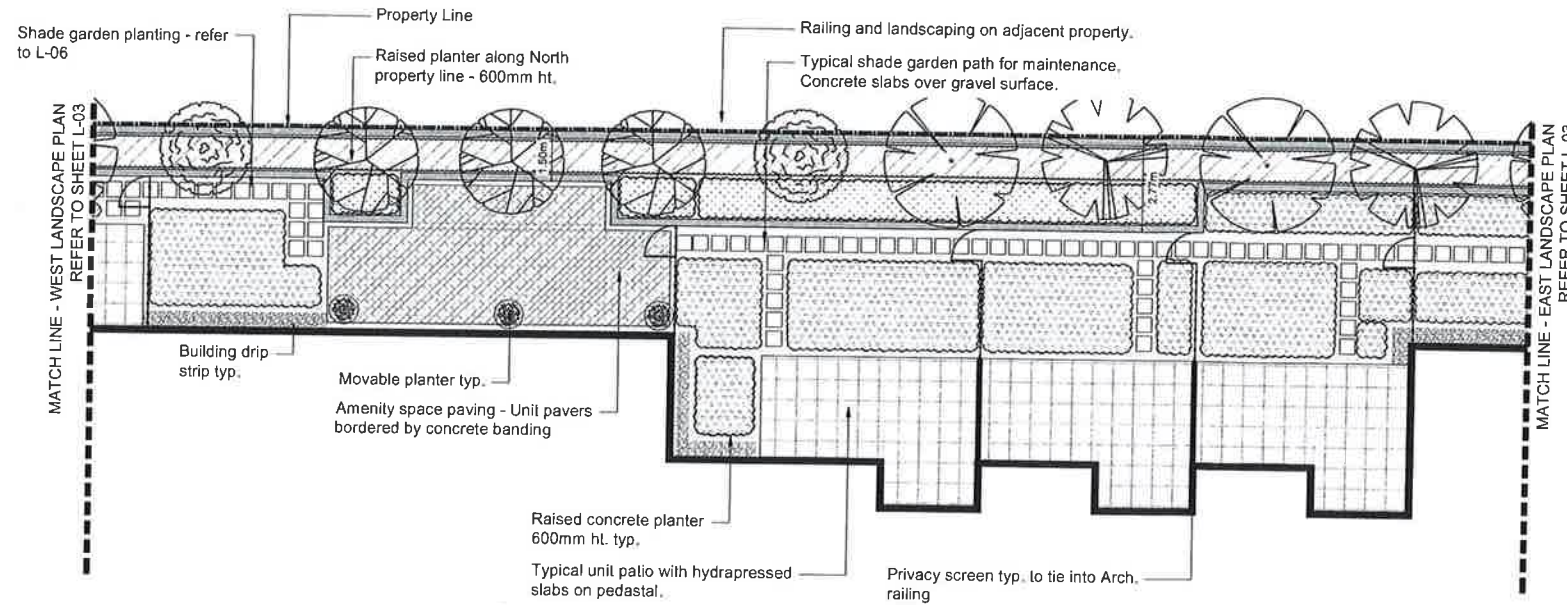
No.	By	Description	Date

Project:
PROPOSED MULTI-FAMILY PROJECT
 Location:
 5630 & 5640 201A Street
 Langley, BC, V3A 1T1

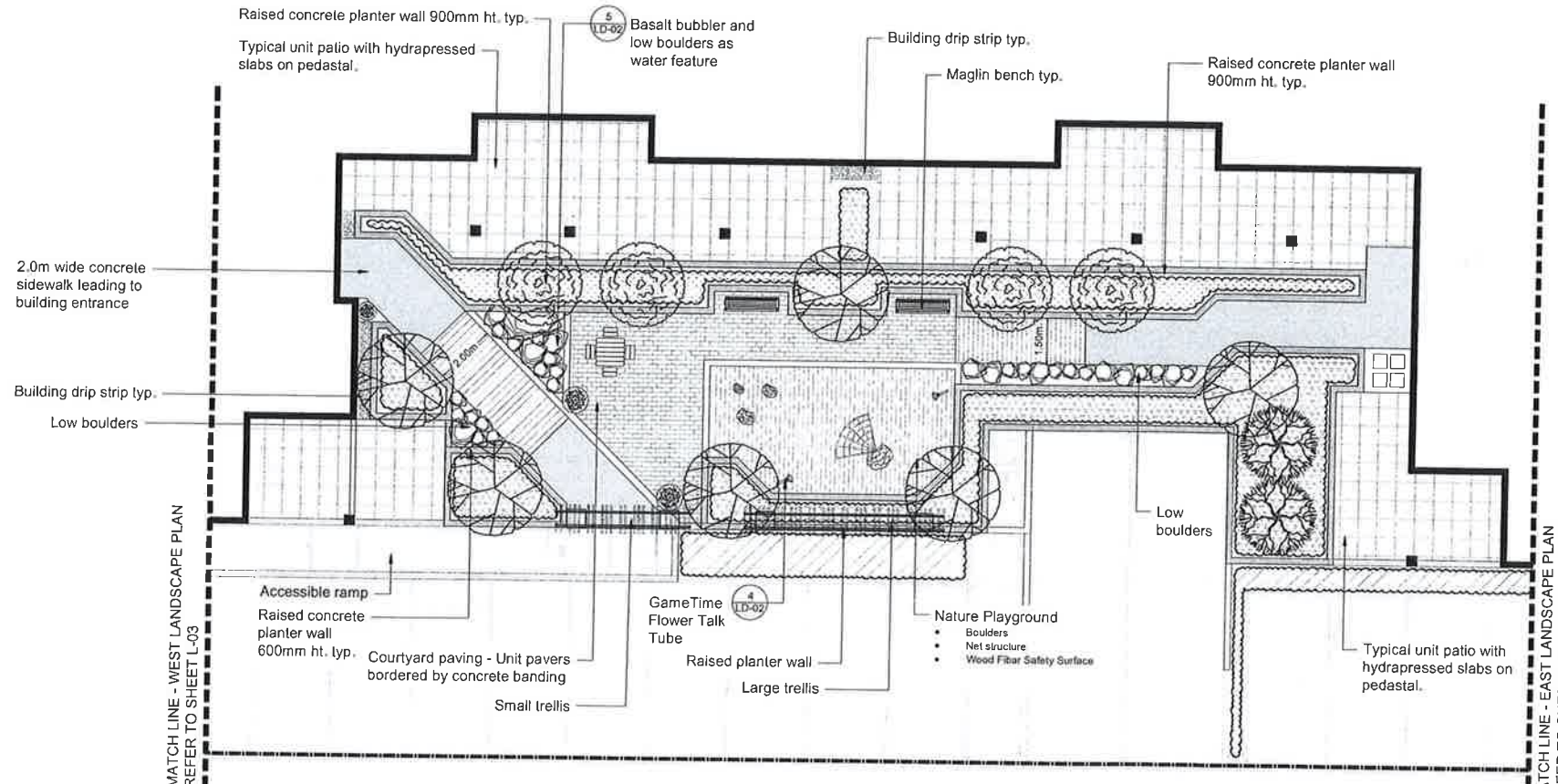
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Drawing Title: **EAST AND WEST LANDSCAPE PLANS**
 VZD Project #: **DP2016-61**
 Drawing #: **L-03**



1 NORTH LANDSCAPE PLAN
 Scale 1:100

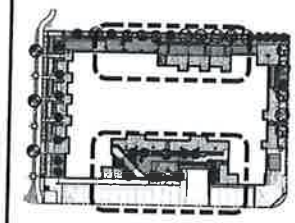


2 SOUTH LANDSCAPE PLAN (COURTYARD)
 Scale 1:100

LANDSCAPE LEGEND

REF.	KEY	DESCRIPTION
2 LD-01	[Pattern]	UNIT PAVERS Metropolitan Series Pavers Colour: Charcoal Supplier: Abbotsford Concrete Products
3 LD-01	[Pattern]	PAVER SLABS Taxada Hydrapressed Slabs Colour: Charcoal Supplier: Abbotsford Concrete Products
2 LD-01	[Pattern]	UNIT PAVERS Bridgewood Series Concrete Slabs Colour: Cedar Brown Supplier: Barkman Concrete
1 LD-01	[Pattern]	CONCRETE SIDEWALK Over Structural Slab
	[Symbol]	RAILINGS Refer to Architects Drawings
1 LD-02	[Pattern]	SHADE GARDEN PLANTING Refer to Planting Plan
1 LD-02	[Pattern]	FEATURE SHRUB AND GROUND COVER PLANTING Refer to Planting Plan
1 LD-02	[Pattern]	PERIMETER SCREEN PLANTING Refer to Planting Plan
	[Symbol]	DECORATIVE POTS GRTS - 077 by Baldwin Site Elements or approved equal. Contact: 604-424-4166 ad@baldwin.com
4 LD-01	[Symbol]	ALLAN BLOCK RETAINING WALL 600mm Ht. raised planters (Typ.)
6 LD-01	[Symbol]	BENCH Maglin MLB720-W
7 LD-01	[Symbol]	TABLE Maglin MLPT400-S-W
8 LD-01	[Symbol]	SHADE GARDEN PATH Hydrapressed slabs on compacted gravel base for maintenance access.
5 LD-02	[Symbol]	BUILDING DRIP STRIP
5 LD-01	[Symbol]	BIKE RACK Loopy Series L21-BR22 By Francis Andrew Site Furnishings Ltd Surface Mount
5 LD-01	[Symbol]	WOOD FIBER PLAY SURFACE
7 LD-02	[Symbol]	TIMBER STEP DOWN FENCE

Key Map (N1S)



No.	By	Description	Date
3	MR	Revised for D.P.	February 27, 2017
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No.	By	Description	Date

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Project:
PROPOSED MULTI-FAMILY PROJECT

Location:
 5630 & 5640 201A Street
 Langley, BC, V3A 1T1

Drawn:
 SH
 MR

Checked:
 DJ

Approved:
 MVDZ

Stamp:

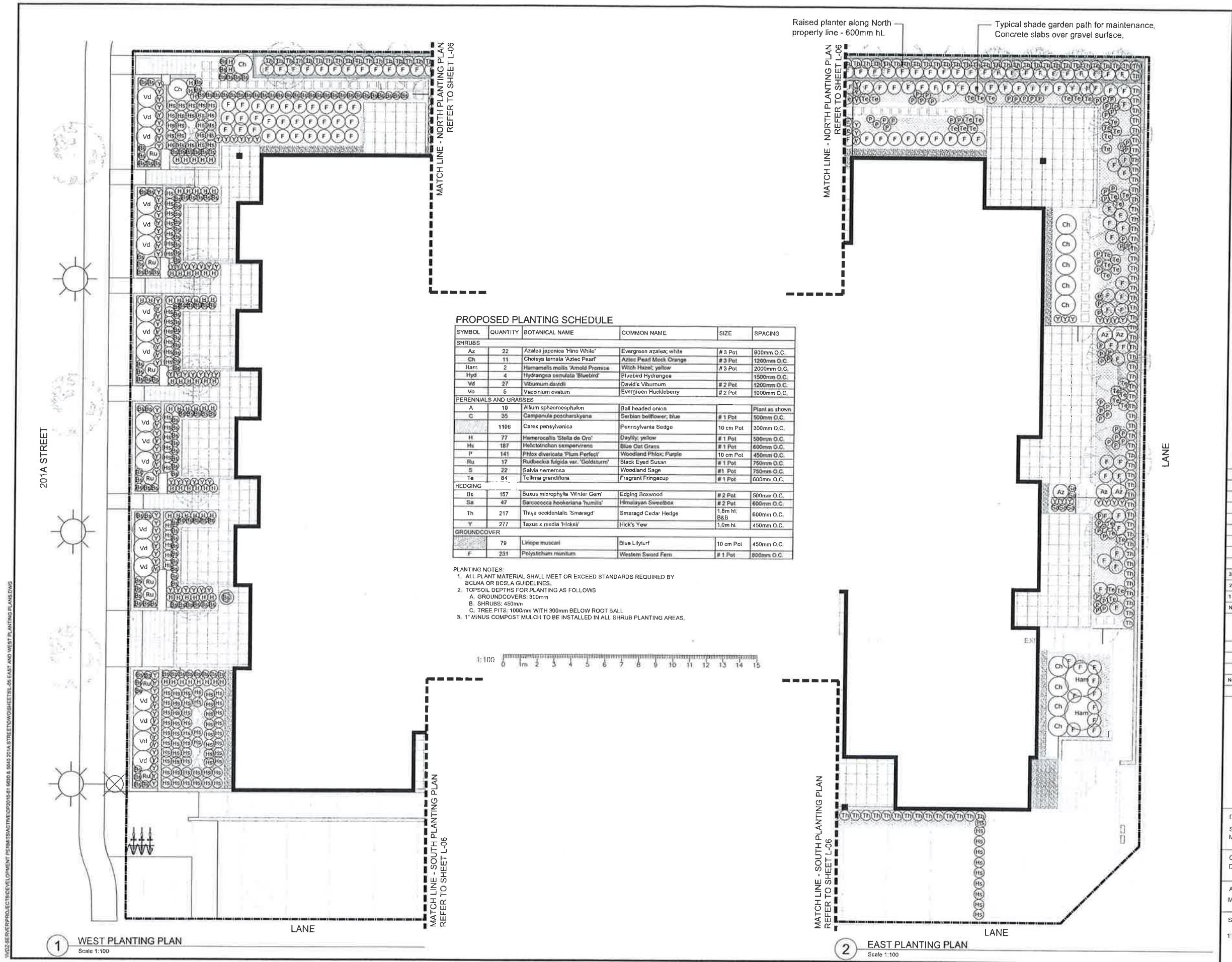
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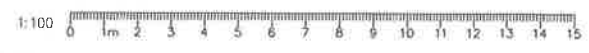
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PROPOSED PLANTING SCHEDULE

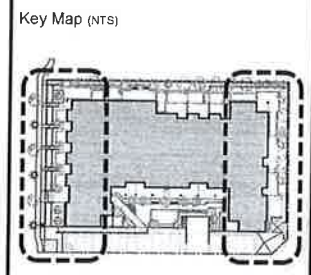
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
SHRUBS					
Az	22	<i>Azalea japonica</i> 'Hino White'	Evergreen azalea; white	# 3 Pot	600mm O.C.
Ch	11	<i>Choisya ternata</i> 'Aztec Pearl'	Aztec Pearl Mock Orange	# 3 Pot	1200mm O.C.
Ham	2	<i>Hamamelis mollis</i> 'Arnold Promise'	Witch Hazel; yellow	# 3 Pot	2000mm O.C.
Hyd	4	<i>Hydrangea semulata</i> 'Bluebird'	Bluebird Hydrangea	# 3 Pot	1500mm O.C.
Vd	27	<i>Viburnum davidii</i>	David's Viburnum	# 2 Pot	1200mm O.C.
Vo	5	<i>Vaccinium ovatum</i>	Evergreen Huckleberry	# 2 Pot	1000mm O.C.
PERENNIALS AND GRASSES					
A	19	<i>Allium sphaerocephalon</i>	Ball headed onion	Plant as shown	
C	35	<i>Campanula poscharskyana</i>	Serbian bellflower; blue	# 1 Pot	500mm O.C.
	1196	<i>Carex pensylvanica</i>	Pennsylvania Sedge	10 cm Pot	300mm O.C.
H	77	<i>Hemerocallis</i> 'Stella de Oro'	Daylily; yellow	# 1 Pot	500mm O.C.
Hs	187	<i>Melilotichon sempervirens</i>	Blue Oat Grass	# 1 Pot	600mm O.C.
P	141	<i>Phlox divaricata</i> 'Plum Perfect'	Woodland Phlox; Purple	10 cm Pot	450mm O.C.
Ru	17	<i>Rudbeckia hirta</i> var. 'Goldsturm'	Black Eyed Susan	# 1 Pot	750mm O.C.
S	22	<i>Salvia nemorosa</i>	Woodland Sage	# 1 Pot	750mm O.C.
Te	84	<i>Tellima grandiflora</i>	Fragrant Fringecup	# 1 Pot	600mm O.C.
HEDGING					
Bs	157	<i>Buxus microphylla</i> 'Winter Gem'	Edging Boxwood	# 2 Pot	500mm O.C.
Sa	47	<i>Sarcococca hookeriana</i> 'humilis'	Himalayan Sweetbox	# 2 Pot	600mm O.C.
Th	217	<i>Thuja occidentalis</i> 'Smaragd'	Smaragd Cedar Hedge	1.8m ht. B&B	600mm O.C.
Y	277	<i>Taxus x media</i> 'Hicksii'	Hick's Yew	1.0m ht.	450mm O.C.
GROUND COVER					
L	79	<i>Lilium muscari</i>	Blue Lilyturf	10 cm Pot	450mm O.C.
F	231	<i>Polystichum munatum</i>	Western Sword Fern	# 1 Pot	800mm O.C.

- PLANTING NOTES:**
- ALL PLANT MATERIAL SHALL MEET OR EXCEED STANDARDS REQUIRED BY BCLNA OR BCSLA GUIDELINES.
 - TOPSOIL DEPTHS FOR PLANTING AS FOLLOWS
 - A. GROUND COVERS: 300mm
 - B. SHRUBS: 450mm
 - C. TREE PITS: 1000mm WITH 300mm BELOW ROOT BALL
 - 1" MINUS COMPOST MULCH TO BE INSTALLED IN ALL SHRUB PLANTING AREAS.



Raised planter along North property line - 600mm ht.
 Typical shade garden path for maintenance. Concrete slabs over gravel surface.

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No.	By	Description	Date
3	MR	Revised for D.P.	February 27, 2017
2	MR	Issued for D.P.	February 3, 2017
1	SH	Issued for Client Review	January 11, 2017

REVISIONS TABLE FOR DRAWINGS
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No.	By	Description	Date
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Project:
 PROPOSED MULTI-FAMILY PROJECT

Location:
 5630 & 5640 201A Street
 Langley, BC, V3A 1T1

Drawn: SH MR	Stamp:
Checked: DJ	
Approved: MVZ	Original Sheet Size: 24"x36"

Scale:
1"=100'

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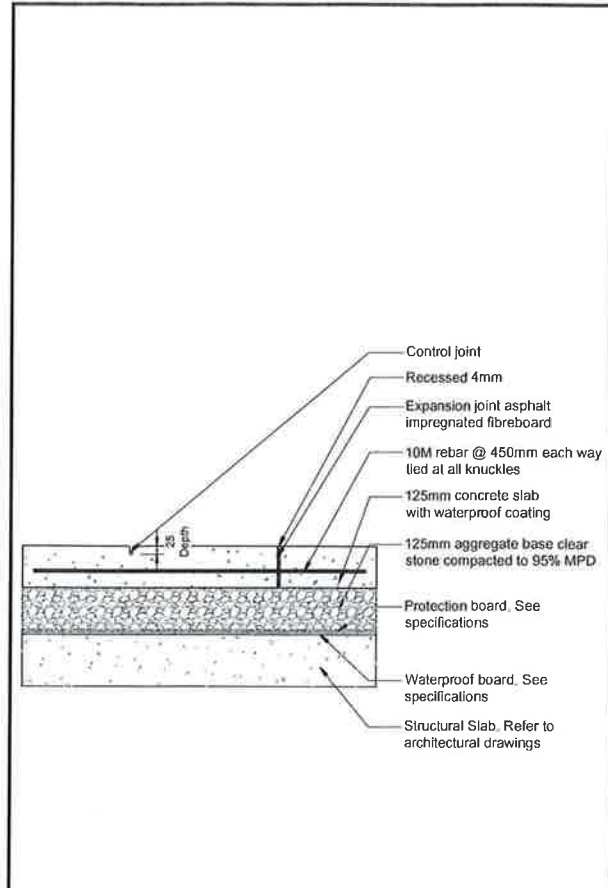
Drawing Title: EAST AND WEST PLANTING PLANS



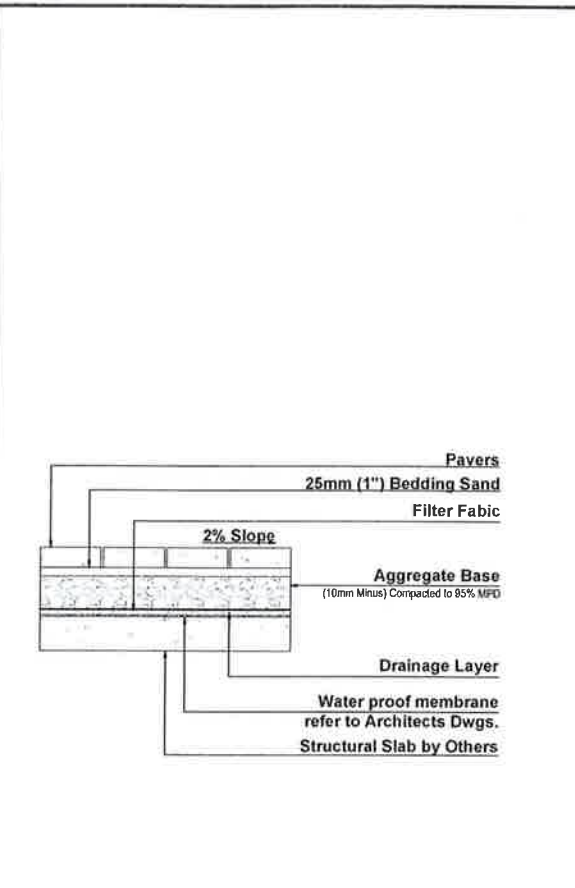
VDZ Project #: DP2016-61

Drawing #: L-05

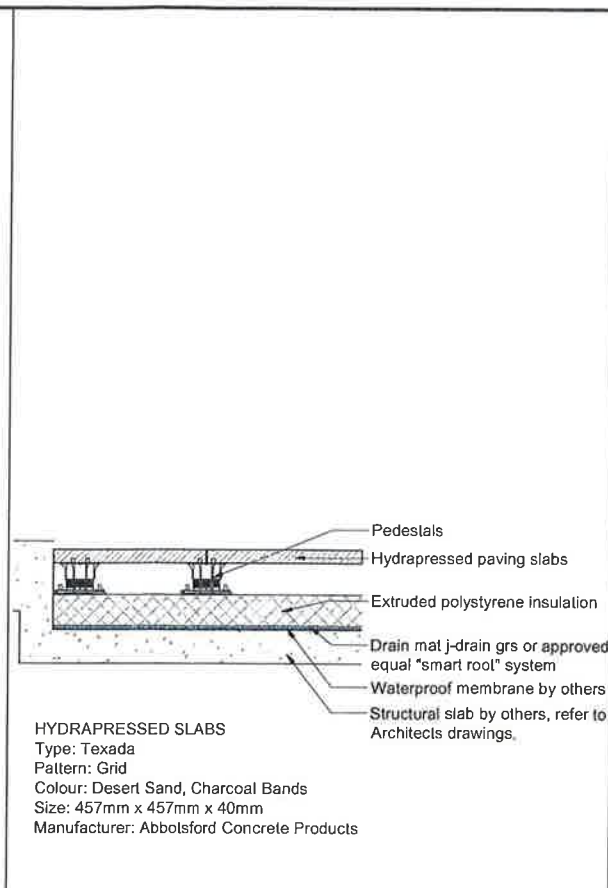
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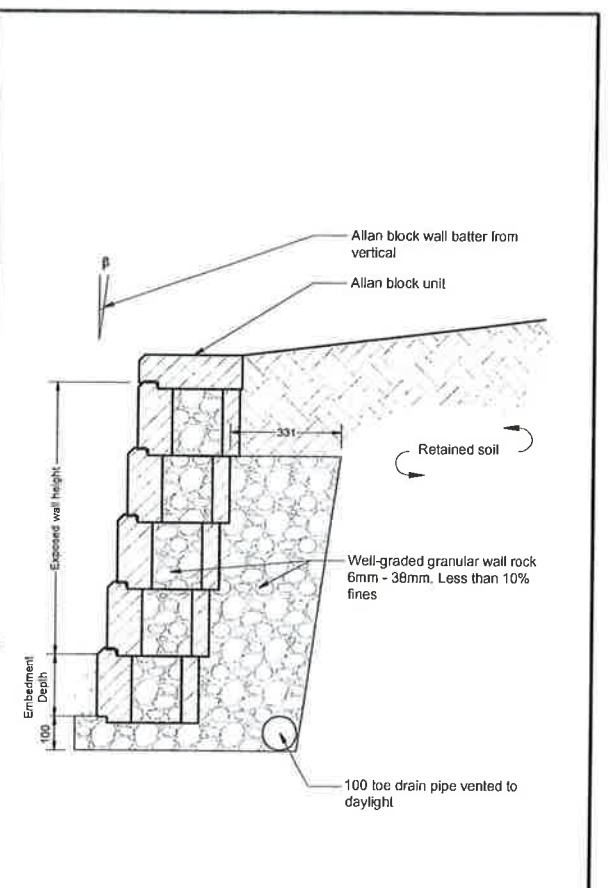
1 CONCRETE SIDEWALK OVER STRUCTURAL SLAB
Scale 1:10



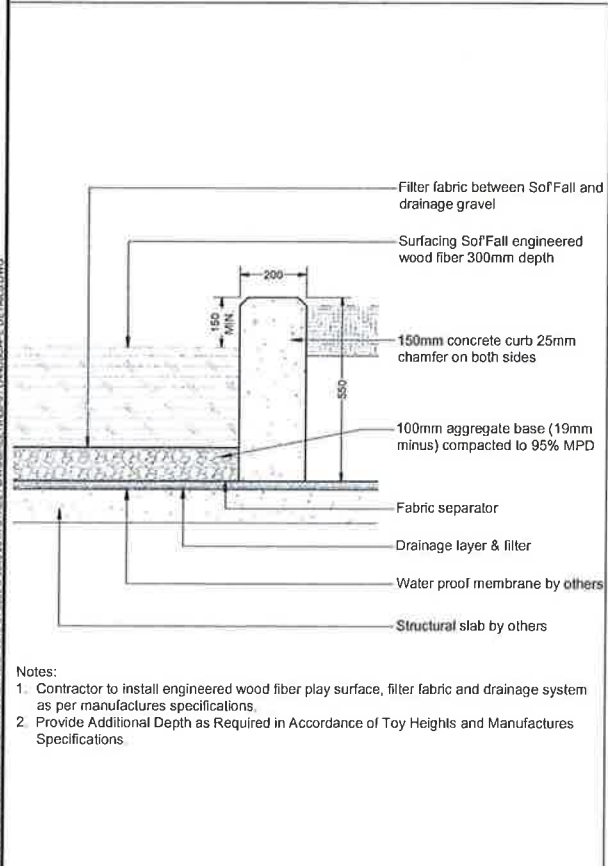
2 UNIT PAVERS OVER STRUCTURAL SLAB
Scale 1:10



3 HYDRAPRESSED SLABS ON PEDESTAL
Scale 1:10



4 ALLAN BLOCK PLANTER WALL
Scale 1:10



5 WOOD FIBER PLAYGROUND SURFACE
Scale 1:10

MLB720-W BENCH

MATERIALS Bench made of steel pipe and slats. The frame is made of 40x40x2.0mm galvanized steel pipe. The slats are made of 25x100x4mm treated wood.

FINISH The frame is powder coated. The slats are painted.

INSTALLATION The bench is installed on a concrete slab. The concrete slab should be 100mm thick and compacted to 95% MPD.

OPTIONS Bench with backrest, Bench with armrests, Bench with storage compartment.

MAGLIN

6 MAGLIN BENCH
NTS

MLPT400-S-W 400 SERIES

MATERIALS The table and benches are made of 40x40x2.0mm galvanized steel pipe. The table top is made of 25x100x4mm treated wood.

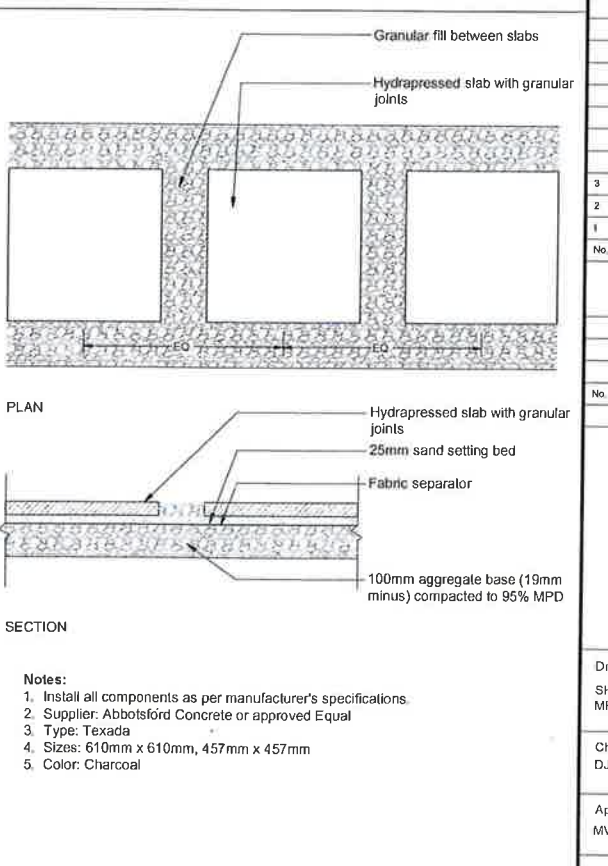
FINISH The frame is powder coated. The table top is painted.

INSTALLATION The cluster seating is installed on a concrete slab. The concrete slab should be 100mm thick and compacted to 95% MPD.

OPTIONS Cluster seating with backrest, Cluster seating with armrests, Cluster seating with storage compartment.

MAGLIN

7 MAGLIN CLUSTER SEATING
NTS



8 SHADE GARDEN PATH DETAIL
Scale 1:10

Notes:
1. Contractor to install engineered wood fiber play surface, filter fabric and drainage system as per manufactures specifications.
2. Provide Additional Depth as Required in Accordance of Toy Heights and Manufactures Specifications.



No.	By	Description	Date
3	MR	Released for D.P.	February 27, 2017
2	MR	Issued for D.P.	February 9, 2017
1	SH	Issued for Client Review	January 11, 2017

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No.	By	Description	Date

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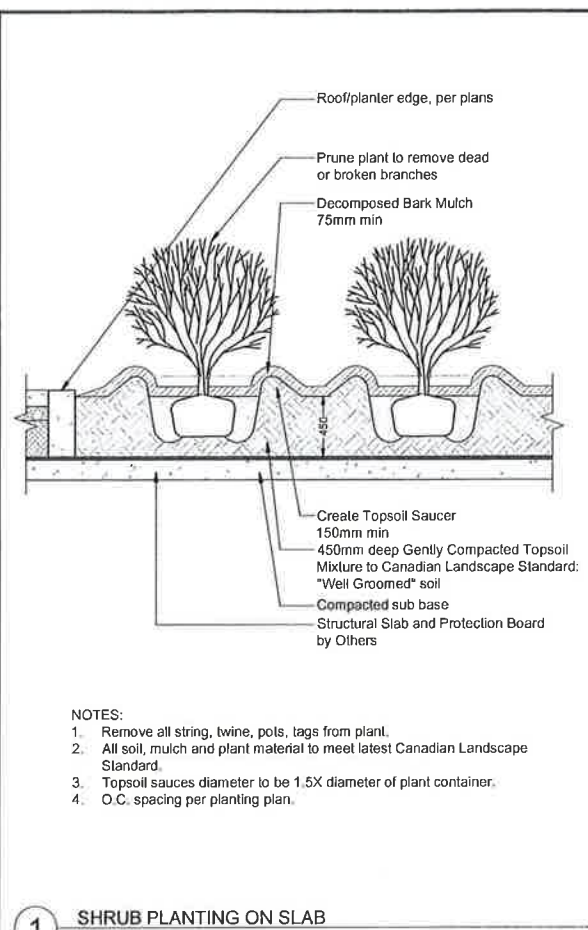
Project:
PROPOSED MULTI-FAMILY PROJECT

Location:
5630 & 5640 201A Street
Langley, BC, V3A 1T1

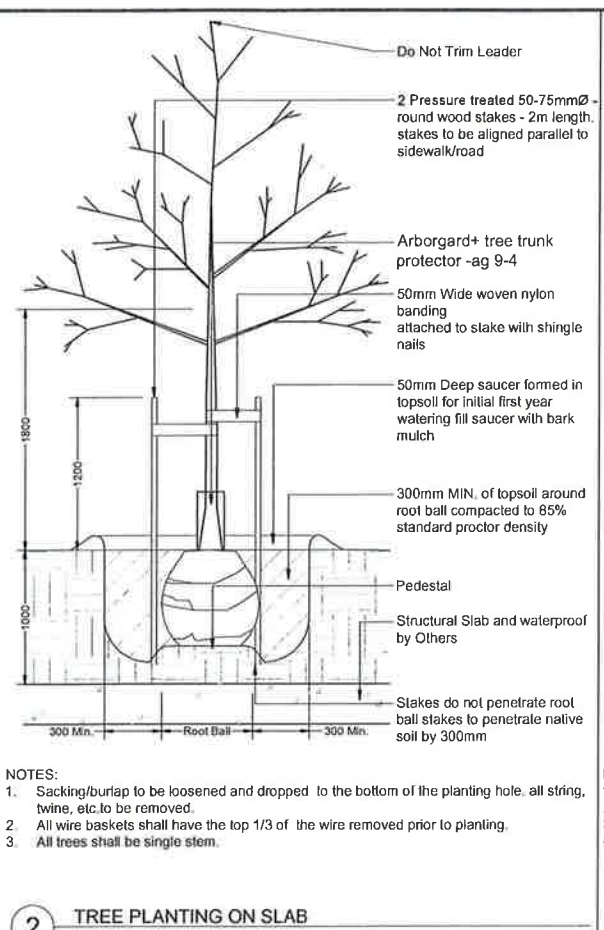
Drawn: SH MR
Checked: DJ
Approved: MVDZ
Scale: AS SHOWN

Stamp:
Original Sheet Size: 24"x36"

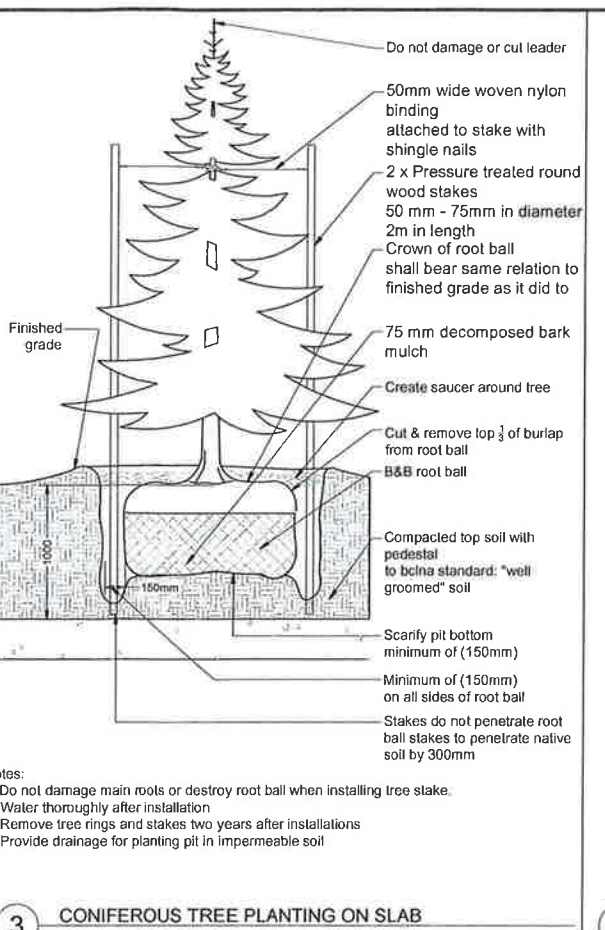
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- NOTES:
1. Remove all string, twine, pots, tags from plant.
 2. All soil, mulch and plant material to meet latest Canadian Landscape Standard.
 3. Topsoil saucers diameter to be 1.5X diameter of plant container.
 4. O.C. spacing per planting plan.



- NOTES:
1. Sacking/burlap to be loosened and dropped to the bottom of the planting hole, all string, twine, etc to be removed.
 2. All wire baskets shall have the top 1/3 of the wire removed prior to planting.
 3. All trees shall be single stem.



- Notes:
1. Do not damage main roots or destroy root ball when installing tree stake.
 2. Water thoroughly after installation
 3. Remove tree rings and stakes two years after installations
 4. Provide drainage for planting pit in impermeable soil

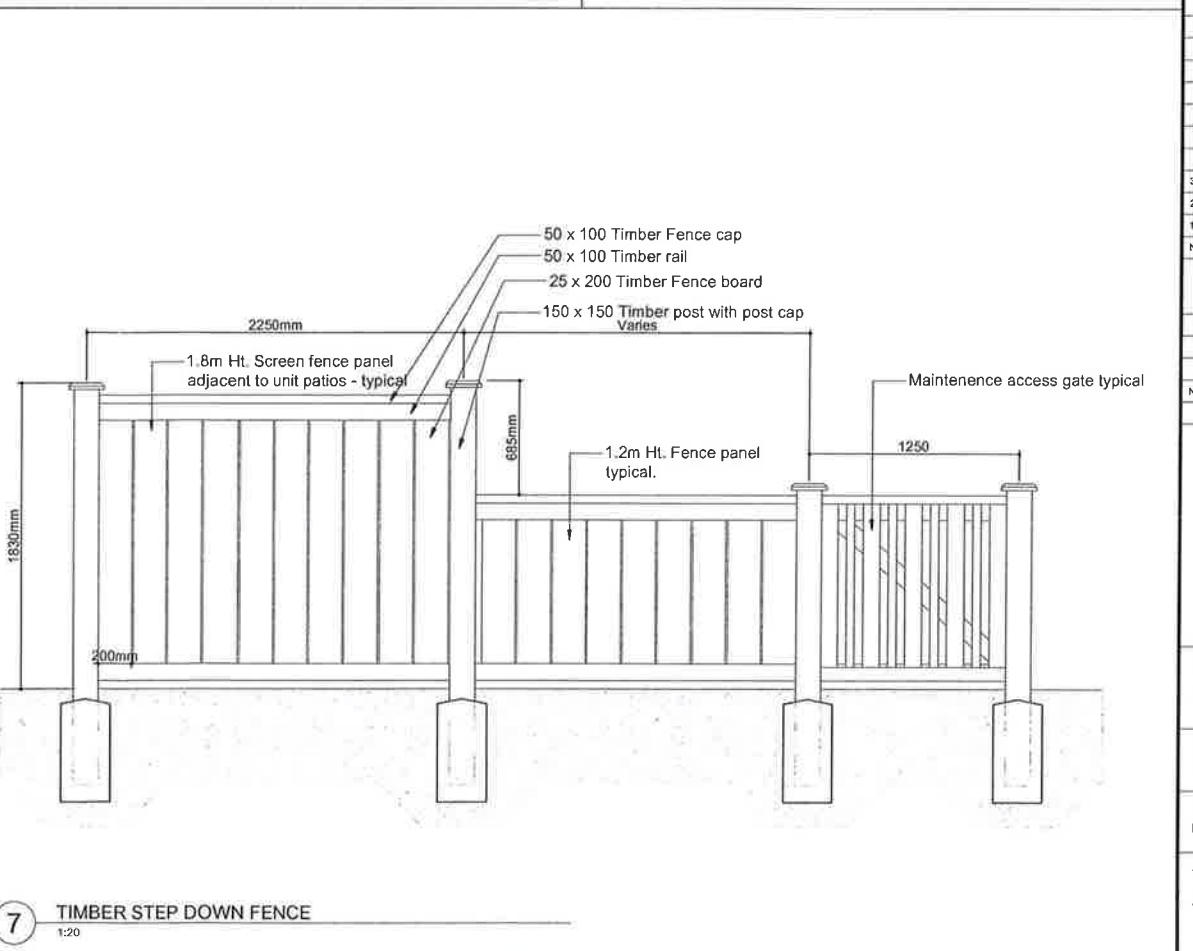
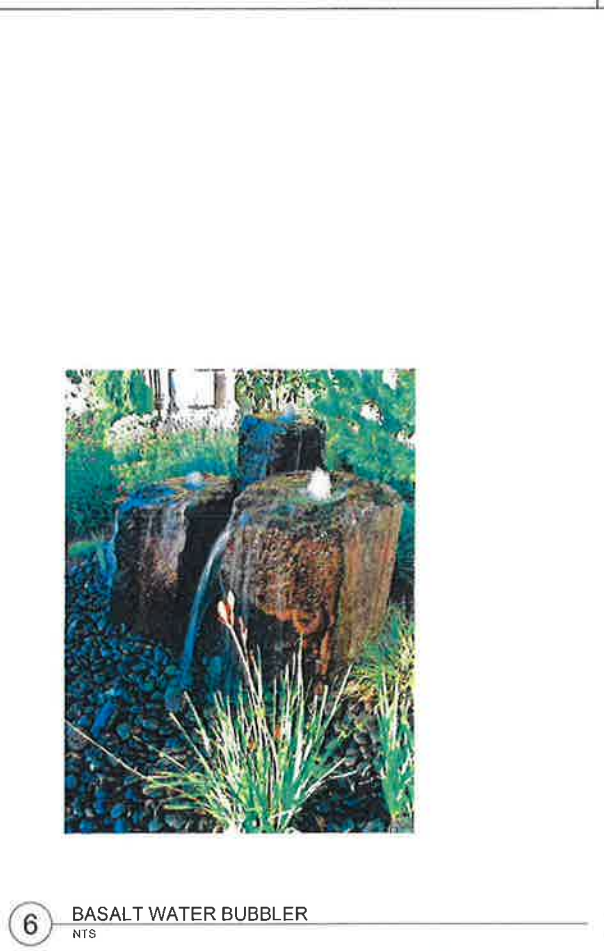
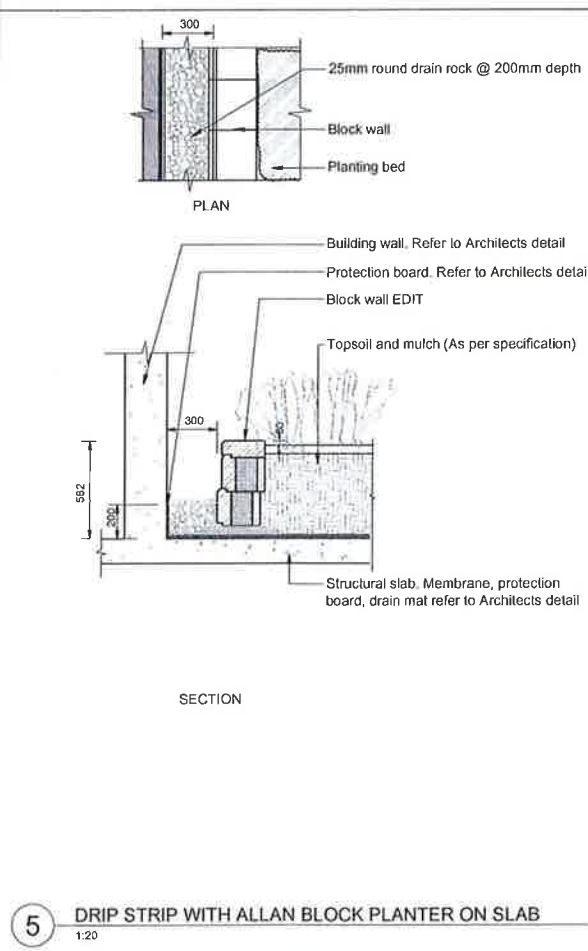
4 GAMETIME FLOWER TALK TUBE (PURPLE)
 NTS

Model: 3011
 Age Group: 2 to 5 Years
 Age Group: 5 to 12 Years

Features and Benefits:

- Easy to play! Inflated plants provide constant and treated aromatic flower buds for smelling and watching messages.
- PVC stem piping stands up to 32 or 40" allowing flowers to be placed in different areas of the playground to play point!

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No.	By:	Description	Date
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M:\DRAWING\PROJECTS\DEVELOPMENT PERMITS\ACTIVATION\2016-61 DP2016-61 5630 & 5640 201A STREET\WORKSHEETS\LD-02 LANDSCAPE DETAILS & DWG