



points west  
ARCHITECTURE

PUBLIC INFORMATION MEETING – March 31, 2017

Public Information meeting for proposed strata condo development located at:

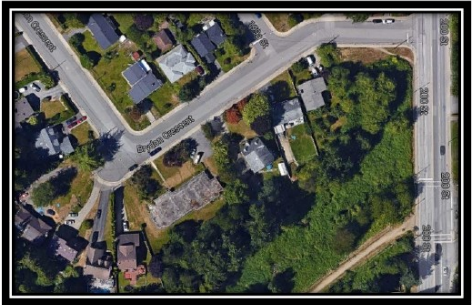
**19942 Brydon Cres, Langley, BC (see map below)**

Dear Neighbour,

You are invited to attend a public information meeting to review and discuss the proposed development at 19942 Brydon Crescent, Langley BC. The intent of this Public Information Meeting is to seek input from the area residents on the proposed development and address any questions that may arise.

The proposal includes the following components:

- Rezoning from RM1 to RM3 zone
- 54 strata titled condo units ranging from 450 sq. ft. to 1,104 sq. ft.
- City of Langley Official Community Plan Designation: High density 80 UPA (allowable density: 80 units per acre)



The meeting will be held at:

Multi-purpose room # 2

– Timms Community Center

20399 Douglas Crescent

Date: Friday, March 31, 2017

Time: 7:00 pm – 8:30 pm

Additional details pertaining to the proposed development will be given at the Public Information meeting. The project consultant will be in attendance as well to answer any questions you may have prior to proceeding to Council for further consideration.

\*\*\*\*\***PLEASE NOTE THIS IS NOT A PUBLIC HEARING NOTICE**\*\*\*\*\*

Please join us as your thoughts are important to us.

Sincerely,

White Tail Homes Ltd.

# BRYDON CRESCENT MULTIPLE FAMILY PROJECT

## CPTED REVIEW REPORT

### WHITETAIL HOMES LTD.



LIAHONA SECURITY CONSORTIUM INC.



P.O. Box 88  
Mill Bay, BC. V0R 2P0  
Phone: (250) 743-8948  
Fax: (250) 743-8941  
E-mail: [liahonasecurity@shaw.ca](mailto:liahonasecurity@shaw.ca)  
Web: [www.liahonasecurity.com](http://www.liahonasecurity.com)

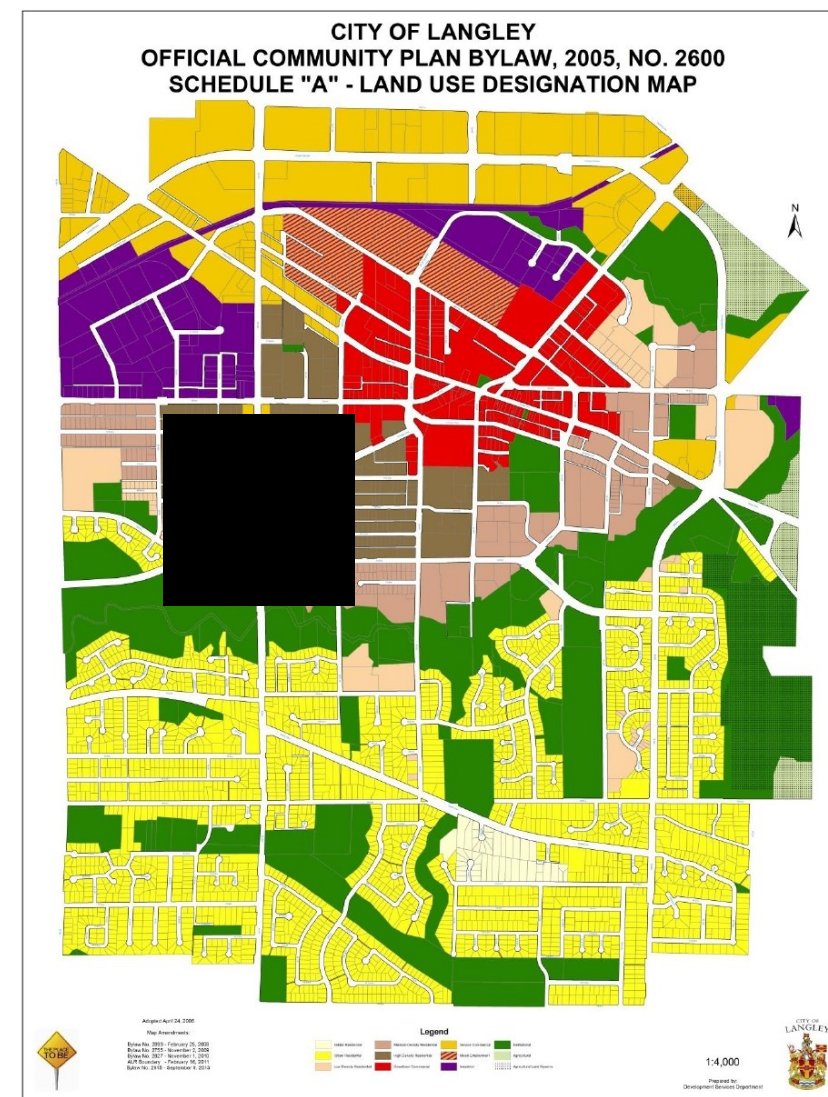
Report Date: 19/Feb/2017





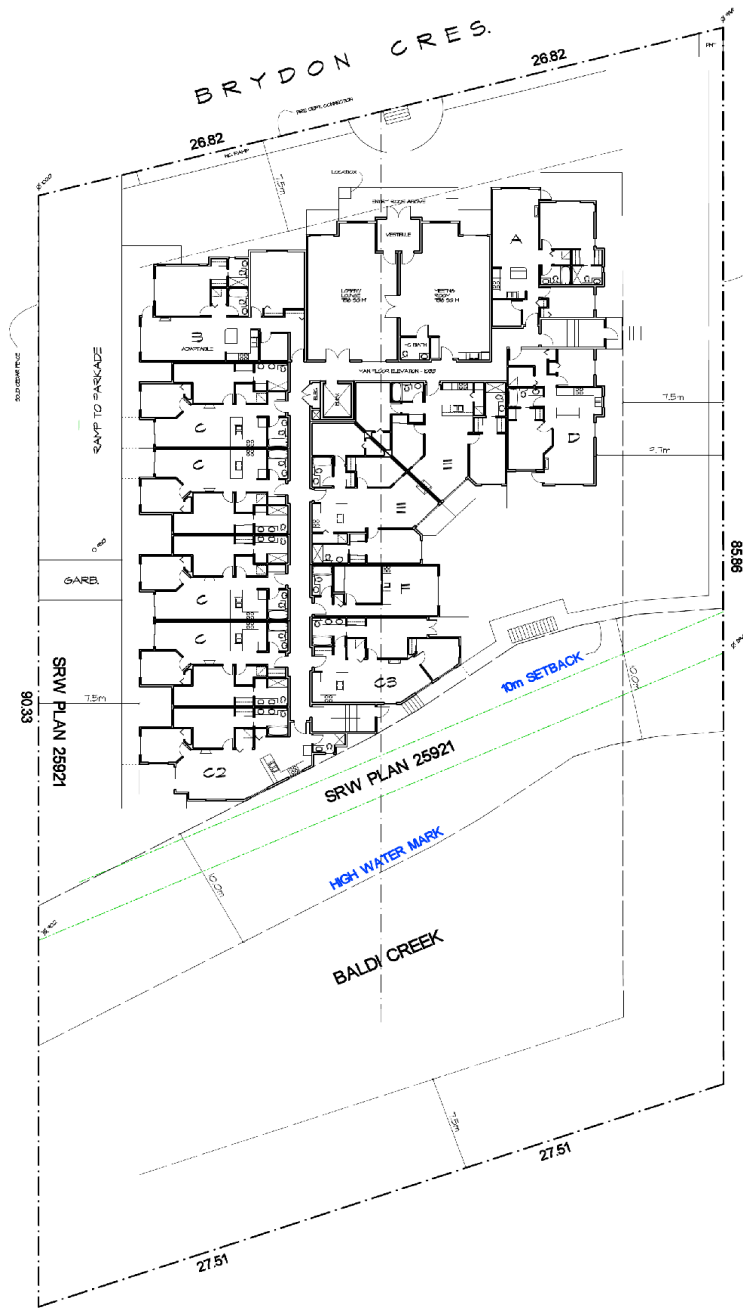


OFFICIAL COMMUNITY PLAN BYLAW, 2005, NO. 2600







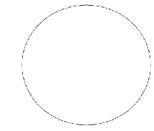


**SITE RECONCILIATION**

LOT AREA	- 49,284 SQ FT (1.13 ACRES)
PROPOSED ZONE	- RV 3
DENSITY	- 54 UNITS PROPOSED (90 UNITS ALLOWABLE)
BUILDING HEIGHT	- 4 STOREYS
LOT COVERAGE	- 26 % PROPOSED (40% ALLOWABLE)
FLOOR AREA RATIO	- 0.8
SETBACKS	- 15m REQUIRED
AMENITY SPACE	- 54 X 23 = 242 SQ M REQUIRED ( 472 SQ M PROVIDED )
PARKING	- 4 ONE BED X 2 + 50 TWO BED X 3 = 610 STALLS REQUIRED - 54 UNITS X 0.2 = 10.8 VISITOR STALLS REQUIRED - 21 TOTAL STALLS PROVIDED - 21 TOTAL STALLS X 5 % = 4 H/C STALLS REQUIRED
ADAPTABLE UNITS	- 4 UNITS PROVIDED ( 7% )
EV PARKING	- 2 STALLS PROVIDED



**SITE PLAN**  
SCALE = 1/8" = 1'-0"



APR 10, 2017 ISSUED FOR DEVELOPMENT PERMIT  
MARCH 22, 2017 - REVISED FOR DEVELOPMENT PERMIT  
COMMISSION

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PROJECT:  
**54 UNIT APARTMENT**  
1740 BRYDON CRES.  
ABBOTSFORD, BC

DATE	NOV 22, 2016
SCALE	1/8" = 1'-0"
DRAWN BY	WJ

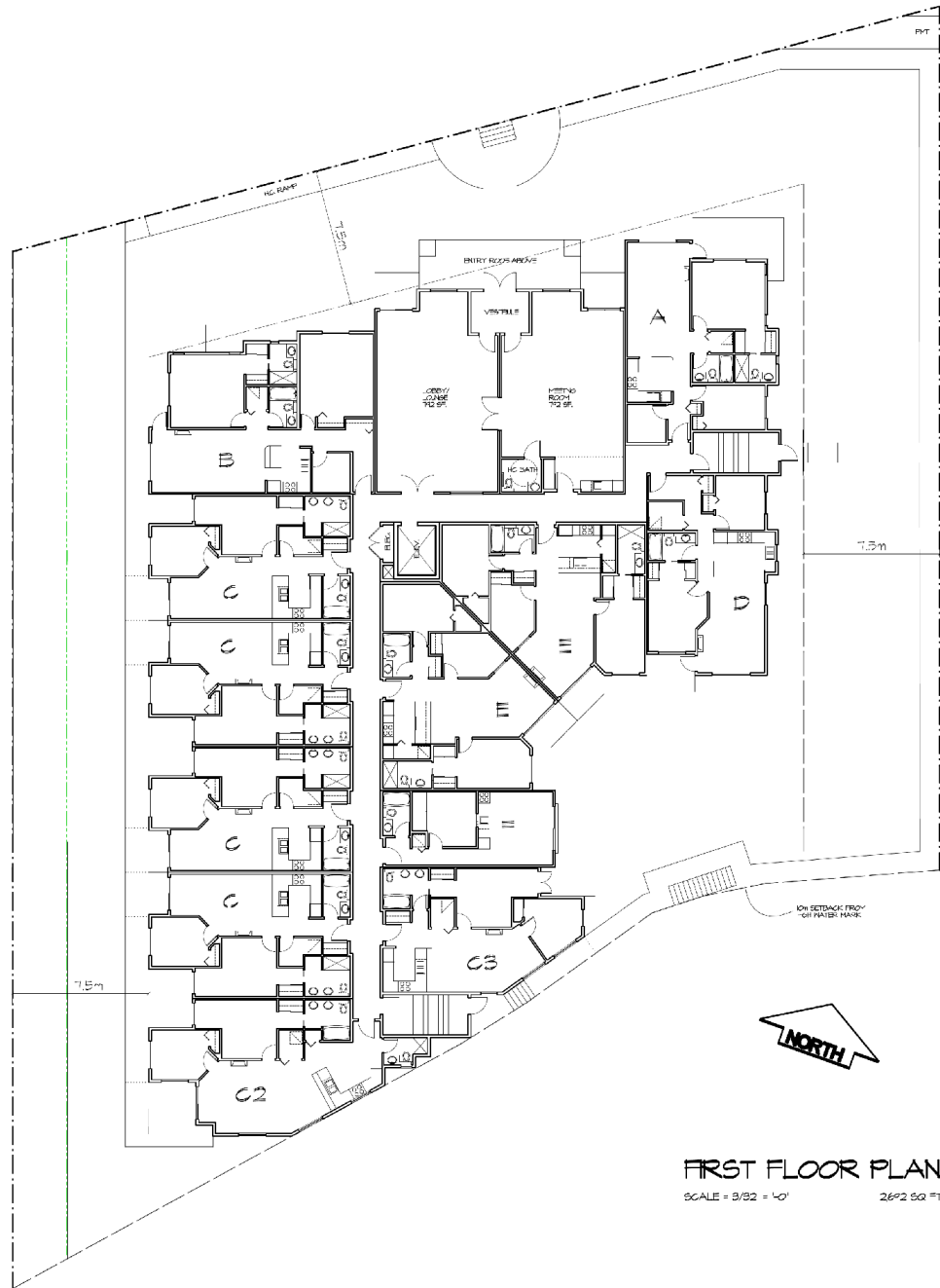
DRAWING TITLE:  
**PRELIMINARY SITE PLAN**

JOB NO.:	SHEET NO.:
<b>1611</b>	<b>P-1</b>

C:\Users\jdoe\Documents\Projects\1611\1611\_P-1.dwg 11/22/2016 11:11:11 AM



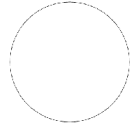




# FIRST FLOOR PLAN

SCALE = 3/32" = 1'-0"

26'2" SQ. FT.



APRIL 10, 2017 PERIOD FOR DEVELOPMENT PERMIT  
MARCH 22, 2017 - REVISION FOR DEVELOPMENT PERMIT

REVISIONS

5-1 DRAWING IS THE PROPERTY OF POINTS WEST ARCHITECTURE AND WILL NOT BE REPRODUCED OR COPIED WITHOUT THE WRITTEN PERMISSION OF POINTS WEST ARCHITECTURE.

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Nashville, TN 37203

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FAX: 615-259-8856  
EMAIL: info@pointswestarch.com

PROJECT:  
**54 UNIT APARTMENT**

17522 BRIMCOM CRTS  
ANDER, BC

DATE: NOV 22, 2016  
SCALE: 3/32" = 1'-0"  
DRAWN: VWF

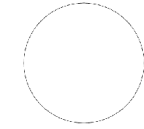
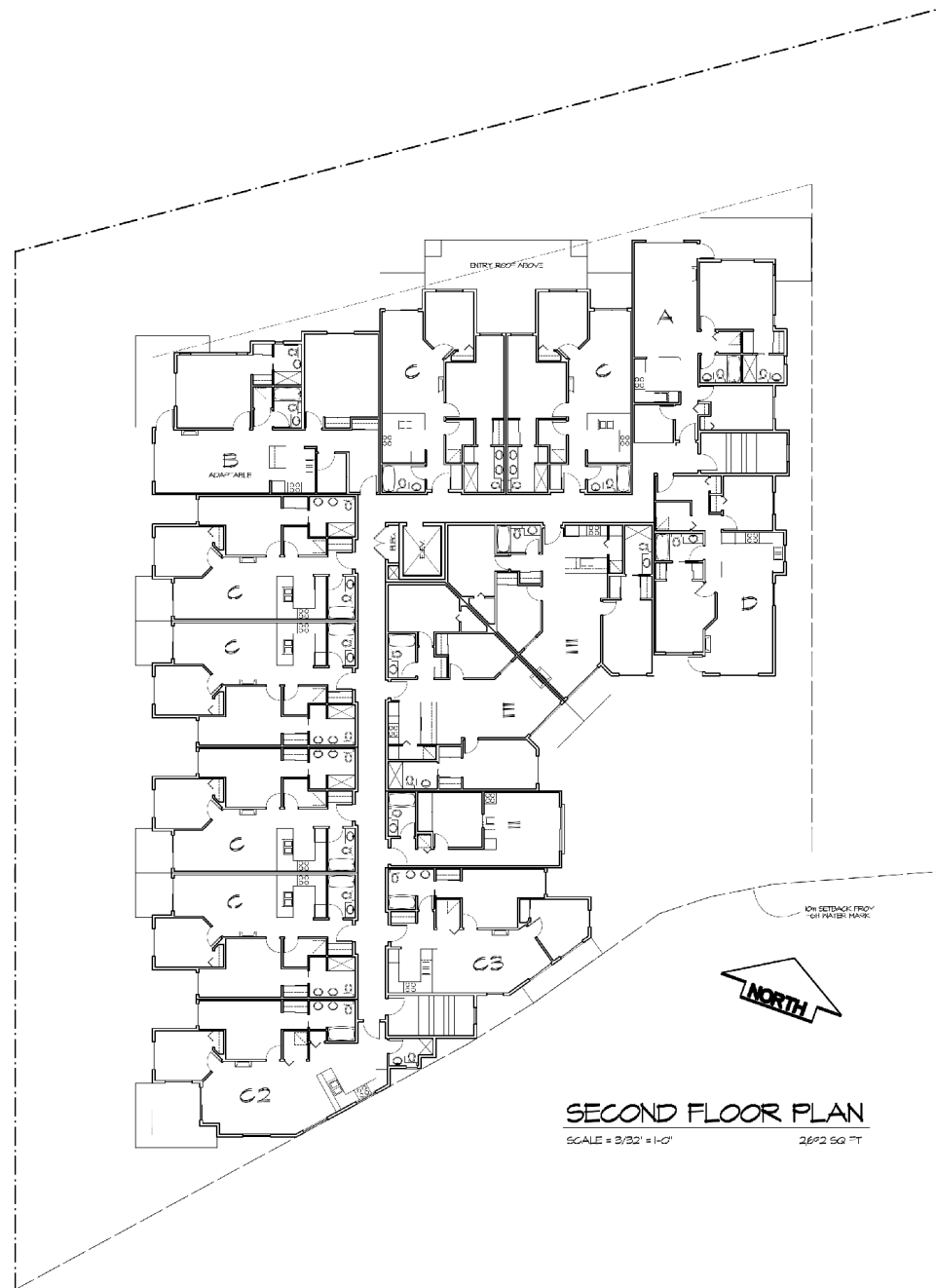
DRAWING TITLE:  
**PRELIMINARY FIRST FLOOR PLAN**

OR NO:

**1611**

SHEET NO:

**P-3**



APR 10, 2017 - REVISION FOR DEVELOPMENT PERMIT.  
MARCH 22, 2017 - REVISION FOR DEVELOPMENT PERMIT.

COMMENTS:

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Email: pw@pwest.net

PROJECT:  
**54 UNIT  
APARTMENT**

2102 BRIDGEMORE ST.  
VANCOUVER, BC

DATE: 04.10.2017  
SCALE: 3/32" = 1'-0"  
DRAWN BY: VWF

DRAWING TITLE:  
**PRELIMINARY  
SECOND  
FLOOR PLAN**

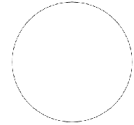
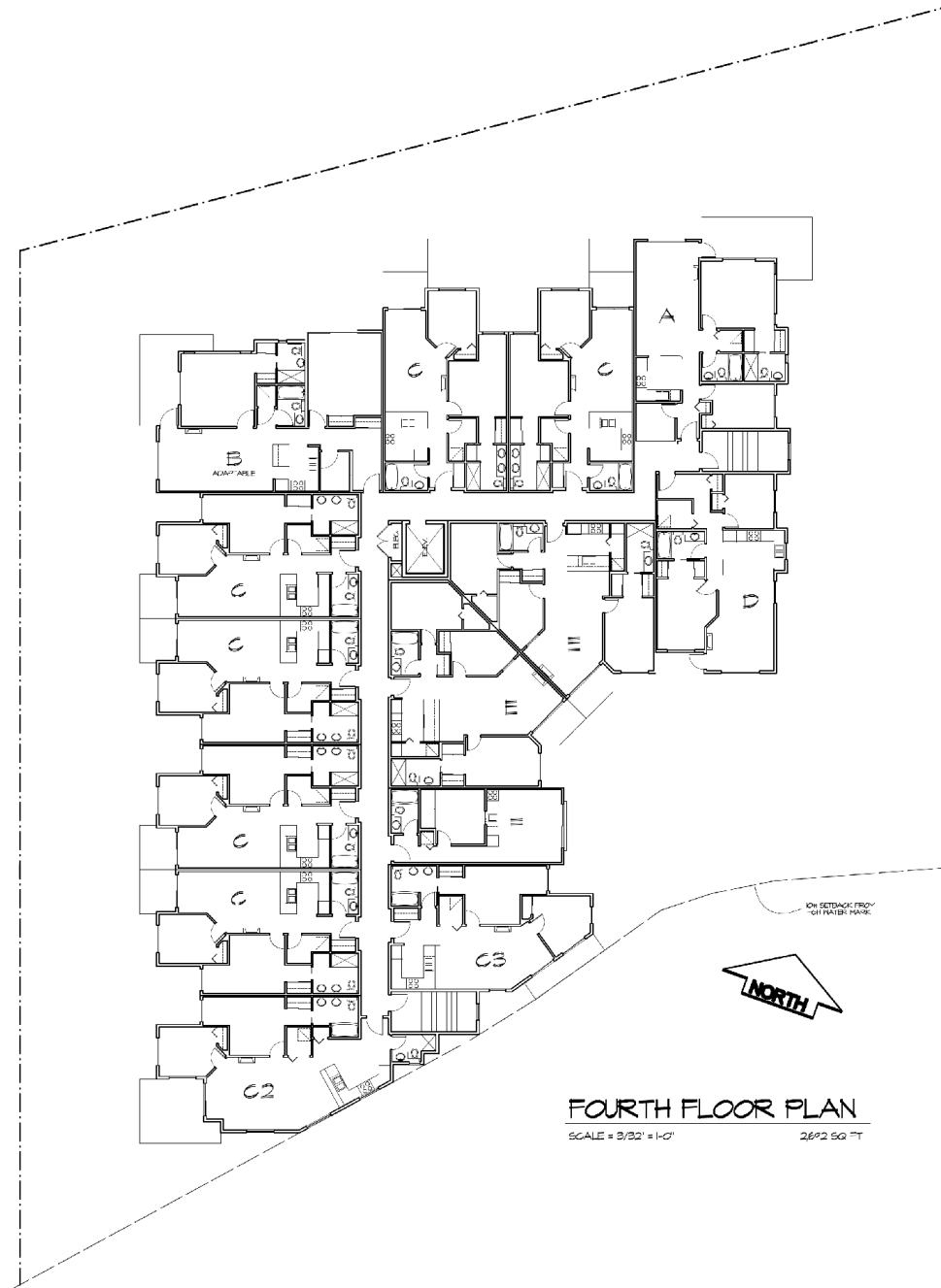
JOB NO.:

**1611**

SHEET NO.:

**P-4**





APR 10 2017 - REVISION FOR DEVELOPMENT TEAM  
MARCH 22 2017 - REVISION FOR DEVELOPMENT TEAM

REVISIONS:

54 UNIT APARTMENT  
ARCHITECTURAL AND MECHANICAL  
AND ELECTRICAL WORKSHOPS  
AND MECHANICAL WORKSHOPS

CONSULTANT:

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FAX: 918-584-8889  
EMAIL: info@pointswest.com

PROJECT:  
**54 UNIT  
APARTMENT**

DESIGNER:  
JANICE B.

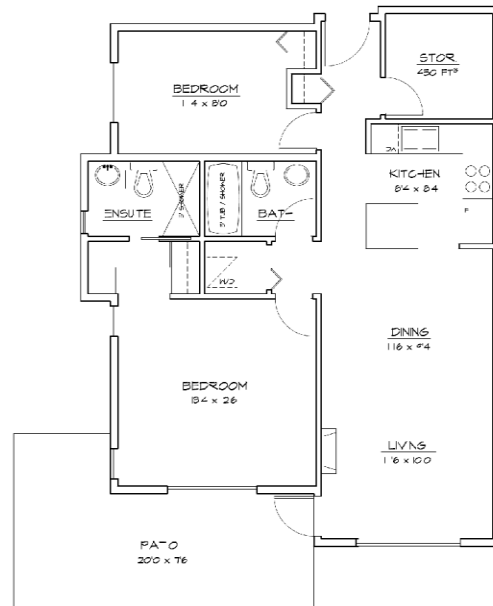
DATE: 6/20/17  
SCALE: 3/32" = 1'-0"  
DRAWN: JTB

DRAWING TITLE:  
**PRELIMINARY  
FOURTH  
FLOOR PLAN**

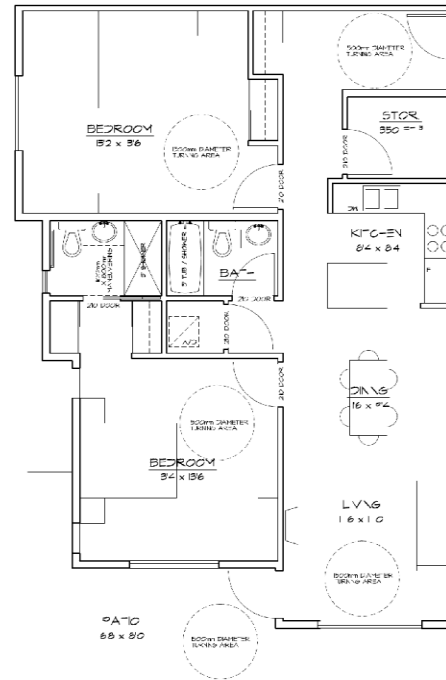
JOB NO.:  
**1611**

SHEET NO.:  
**P-6**

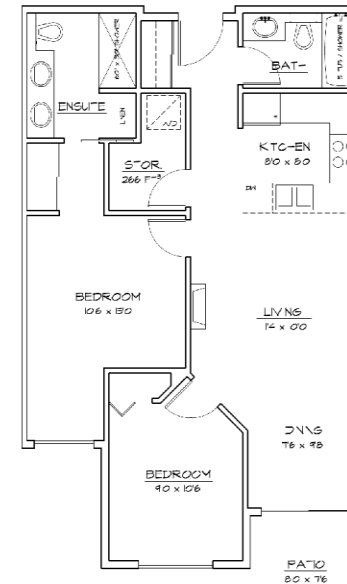




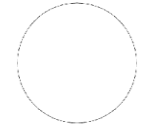
'A' UNIT PLAN 880 SQ FT  
SCALE = 1/4" = 1'-0"



'B' UNIT PLAN 645 SQ FT  
SCALE = 1/4" = 1'-0" ADAPTABLE UNIT



'C' UNIT PLAN 720 SQ FT  
SCALE = 1/4" = 1'-0"



APR 12 2017 REFER FOR DEVELOPMENT PLAN  
MAY 22 2017 REFER FOR DEVELOPMENT PLAN  
CONSONS

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PROJECT:  
**54 UNIT APARTMENT**

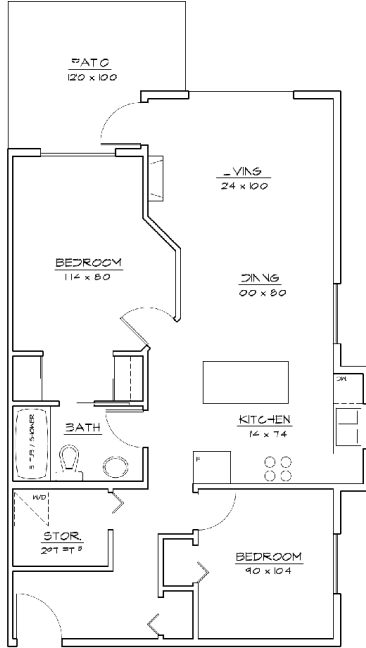
THIS DRAWING IS THE PROPERTY OF POINTS WEST ARCHITECTURE AND MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM POINTS WEST ARCHITECTURE.

DATE:	NOV 30 2016
SCALE:	1/4" = 1'-0"
DRAWN BY:	W

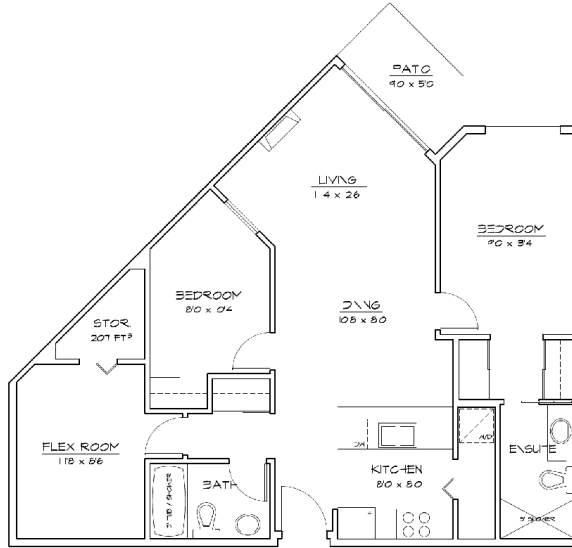
DRAWING TITLE:  
**PRELIMINARY SUITE PLANS**

JOB NO.:  
**1611**

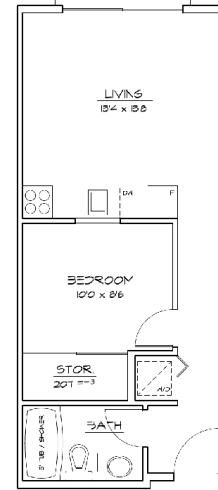
SHEET NO.:  
**P-7**



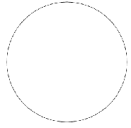
**'D' UNIT PLAN** 800 SQ FT  
SCALE = 1/4" = 1'-0"



**'E' UNIT PLAN** 980 SQ FT  
SCALE = 1/4" = 1'-0"



**'F' UNIT PLAN** 450 SQ FT  
SCALE = 1/4" = 1'-0"



APR 10 2017 REVISED FOR PRELIMINARY PLAN  
MAY 22 2017 REVISED FOR PRELIMINARY PLAN

REVISIONS:

1. THE DRAWING IS THE PROPERTY OF POINTS WEST ARCHITECTURE AND WILL NOT BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF POINTS WEST ARCHITECTURE.

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PROJECT:  
**54 UNIT APARTMENT**

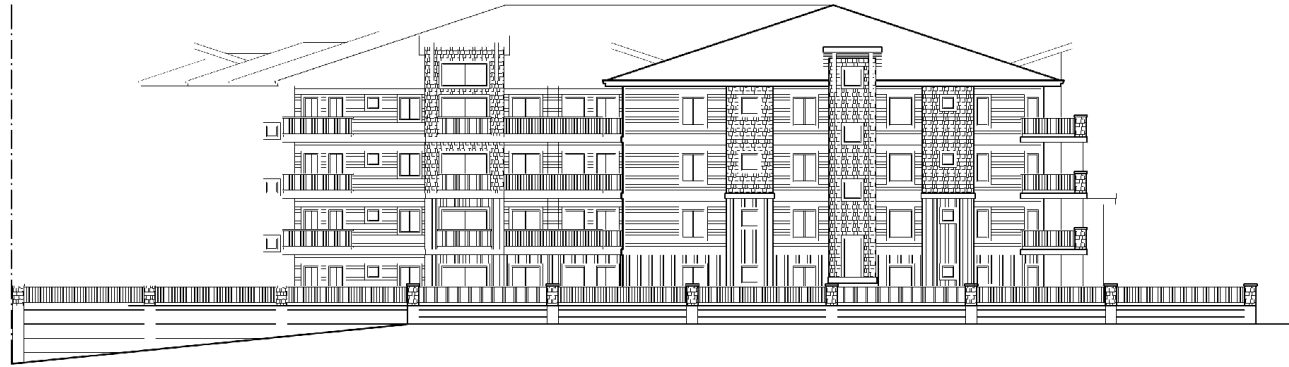
PROJECT LOCATION:  
ATLANTA, GA

DATE:	MAY 30 2016
SCALE:	1/4" = 1'-0"
DRAWN BY:	WJ

DRAWING TITLE:  
**PRELIMINARY SUITE PLANS**

JOB NO.:  
**1611**

SUIT NO.:  
**P-8**



**EAST ELEVATION**

SCALE = 3/32" = 1'-0"

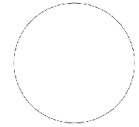


**NORTH ELEVATION**

SCALE = 3/32" = 1'-0"

**EXTERIOR FINISHES :**

- ① - ASPHALT SHINGLE ROOF (10 YR. WARRANTY)
- ② - PREFINISHED ALUMINUM TARGA GUTTERS
- ③ - HORIZONTAL VINYL SIDING (2ND-4TH FLOOR)
- ④ - 2ND FLOOR MOULDING
- ⑤ - VINYL SHAKE ACCENTS (2ND-4TH FLOOR)
- ⑥ - VERTICAL SIDING (1ST FLOOR)
- ⑦ - VINYL TRIM AND CORNERS
- ⑧ - LEDGESTONE COLUMNS
- ⑨ - PREFINISHED ALUMINUM PICKET RAILS



APRIL 12, 2017 - REBID FOR DEVELOPMENT PERMIT  
REVISED 22.05.17 - REBID FOR DEVELOPMENT PERMIT

CONSONS.

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PROJECT:  
**54 UNIT  
APARTMENT**

PROJECTION OFF  
ARCHITECT

DATE	04.12.2017
SCALE	3/32" = 1'-0"
DRAWN BY	WF

DRAWING TITLE:  
**PRELIMINARY  
NORTH & EAST  
ELEVATIONS**

JOB NO.:

**1611**

SHEET NO.:

**P-9**



**SOUTH ELEVATION**

SCALE = 3/32" = 1'-0"

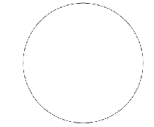


**WEST ELEVATION**

SCALE = 3/32" = 1'-0"

**EXTERIOR FINISHES :**

- (1) - ASPHALT SHINGLE ROOF (40 YR. WARRANTY)
- (2) - PREFINISHED ALUMINUM FASCIA GUTTERS
- (3) - HORIZONTAL VINYL SIDING (2ND-4TH FLOOR)
- (4) - 2X6 WOOD SIDING
- (5) - VINYL SHAKE ACCENTS (2ND-4TH FLOOR)
- (6) - VERTICAL SIDING (1st FLOOR)
- (7) - VINYL FRAME WINDOWS
- (8) - LESTERSTONE COLUMNS
- (9) - PREFINISHED ALUMINUM PICKET RAILING



APRIL 12, 2007 - REVISION FOR DEVELOPMENT PERMIT  
MARCH 22, 2007 - REVISION FOR DEVELOPMENT PERMIT

REVISIONS:

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V2S 2Z2

**PROJECT:**  
**54 UNIT APARTMENT**

PROJECT LOCATION:  
ABBOTSFORD, B.C.

DATE: DEC. 8, 2005  
SCALE: 3/32" = 1'-0"  
DRAWN BY: WIT

**DRAWING TITLE:**  
**PRELIMINARY SOUTH & WEST ELEVATIONS**

OR NO.:  
**1611**

SHEET NO.:  
**P-10**



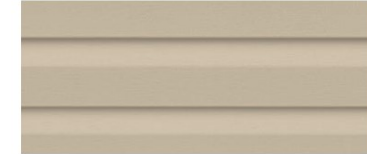
Asphalt Shingles  
'Cambridge' by IKO  
Colour - Weatherwood



Fascia & Window Trim  
'Hardie Trim' by Gentek  
Colour - Arctic White



Accent Shakes  
by Gentek  
Colour - Storm - 631



Vertical Vinyl siding  
'Concord' by Gentek  
Col: Monterey Sand -673



Horizontal Vinyl Siding  
'Concord' by Gentek  
Colour - Linen - 012



Columns and Gable Braces  
Semi Transparent Stain by  
Benjamin Moore



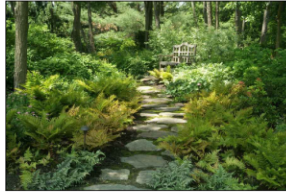
Stone Accent & Columns  
'Custom Fit Ledgestone' by Rocky  
Mountain Stoneworks



Aluminum Railings  
'Prefinished Aluminum' by  
Duracoat Colour - Black

**Brydon Crescent**

**Exterior Materials  
Colour Selection**



NATURE WALK SHADE GARDEN



KEEPING SERBIAN SPRUCE

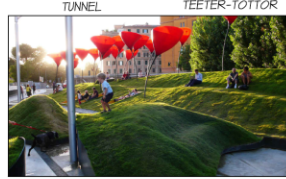


STYRAX JAPONICA TREE

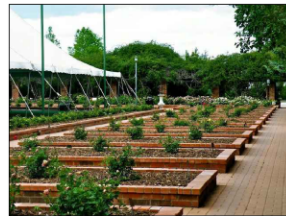


TUNNEL

TEETER-TOTTOR



LOW RAISED MOUNDS



RAISED VEGGIE PLOTS

PRIMARY ENTRY:  
SYMMETRICAL LANDSCAPE  
SEQUENCE WITH TREES AND  
PATHWAYS)

NATURE WALK SHADE GARDEN

CONCRETE RETAINING WALL  
(POURED IN PLACE)

PRIVATE PATIO 12' X 17'

5'-0" HIGH WOODEN FENCE:  
SEE DETAIL ON L-5

4'-0" WIDE CONCRETE  
PATHWAY

D RIP STRIP

RAMP TO PARKADE

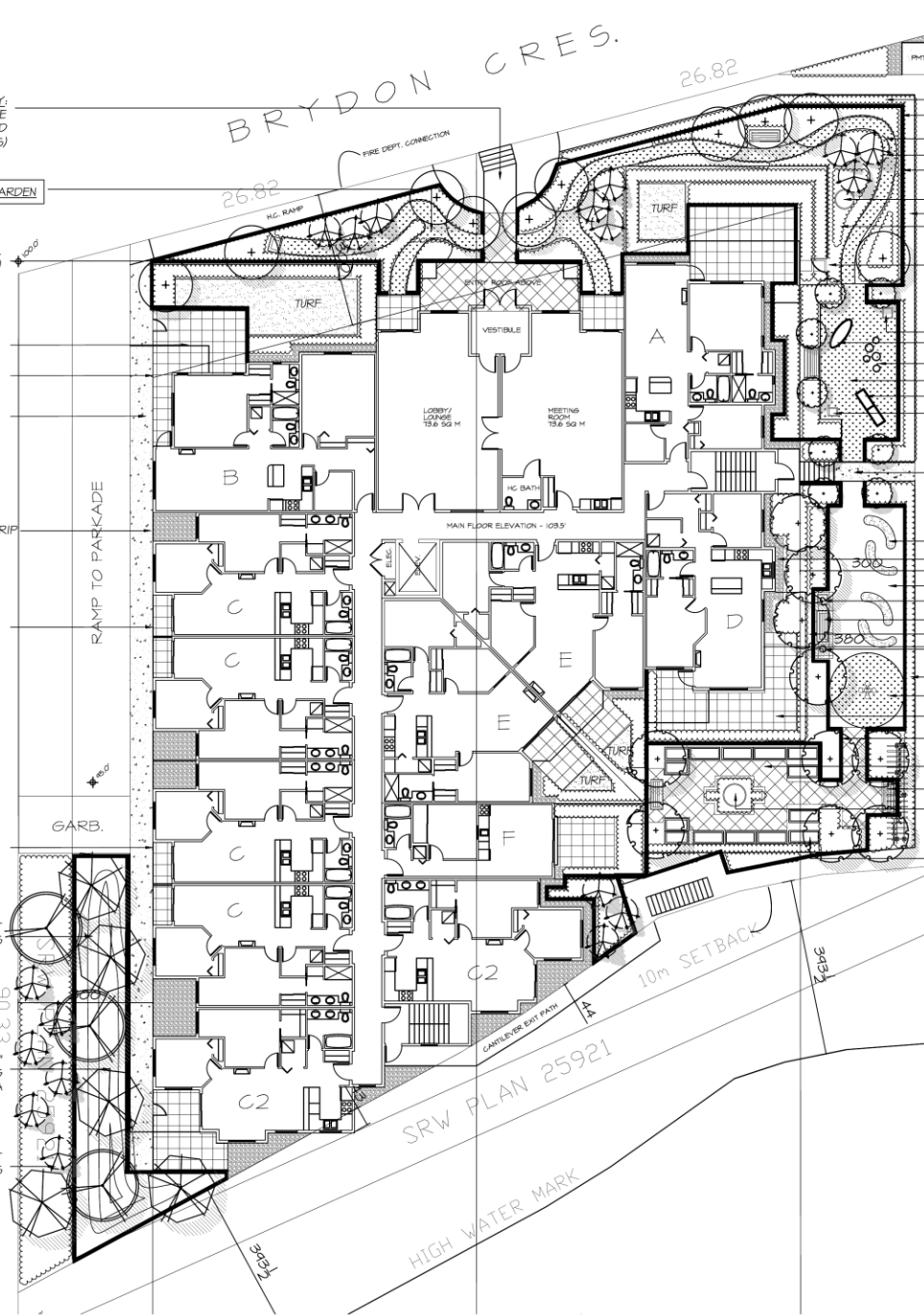
GARB.

5'-0" HIGH WOODEN FENCE:  
SEE DETAIL ON L-5

DROUGHT TOLERANT  
GRASSES AND ROSES

MOUND SOIL UP BY 36"  
INSIDE THE RETAINING  
WALL AREA

DROUGHT TOLERANT  
GRASSES AND ROSES



NATURE WALK SHADE GARDEN

EVERGREEN SCREENING  
POURED IN PLACE CONCRETE  
RETRAINING WALL  
WOOD MULCH PATH  
KEEPING SERBIAN SPRUCE  
CONCRETE POURED IN  
PLACE RETAINING WALL  
SHALLOW WATER BOWL  
EVERGREEN SCREENING  
INDIGENOUS SHADE  
TOLERANT PLANTINGS

5'-0" WOODEN PRIVACY FENCE WITH  
MAINTENANCE GATE

DOG PARK

TRASH RECEPTACLE  
TUNNEL  
DOG STEPS  
WOOD MULCH  
TEETER-TOTTOR  
WATER SOURCE (FAUCET)

EAST ENTRY: BROOM  
FINISHED CONCRETE

TODDLER AMENITY

LOW RAISED MOUNDS  
D RIP STRIP  
SOD LAWN SURROUND  
TRASH RECEPTACLE  
SITTING BENCH  
6'-0" WOODEN PRIVACY FENCE  
BOLLARD LIGHT

EVERGREEN PLANT SCREENING  
CRAZY DAISY PLAY TOY  
LARGE PRIVATE PATIO ( 8'X24')  
P&P CONCRETE RETAINING WALL

COMMON AMENITY

WOODEN TRELLIS & BENCH  
WATER BOWL SURROUNDED  
BY PERENNIALS  
(BIRD FRIENDLY )  
RAISED VEGGIE PLOTS



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NO.	DATE	REVISION DESCRIPTION	DR.
1	JAN 24 2017	ADDED 4'-0" WIDE WALKWAY (P&P)	TK
2	JAN 25 2017	CONCEPT SITE PLAN	TK
3	JAN 25 2017	CREATING LANDSCAPE FOLDER	BN

SEAL:

PROJECT:  
54 UNITS RESIDENTIAL  
DEVELOPMENT  
19942 BRYDON CRES.  
LANGLEY, BC

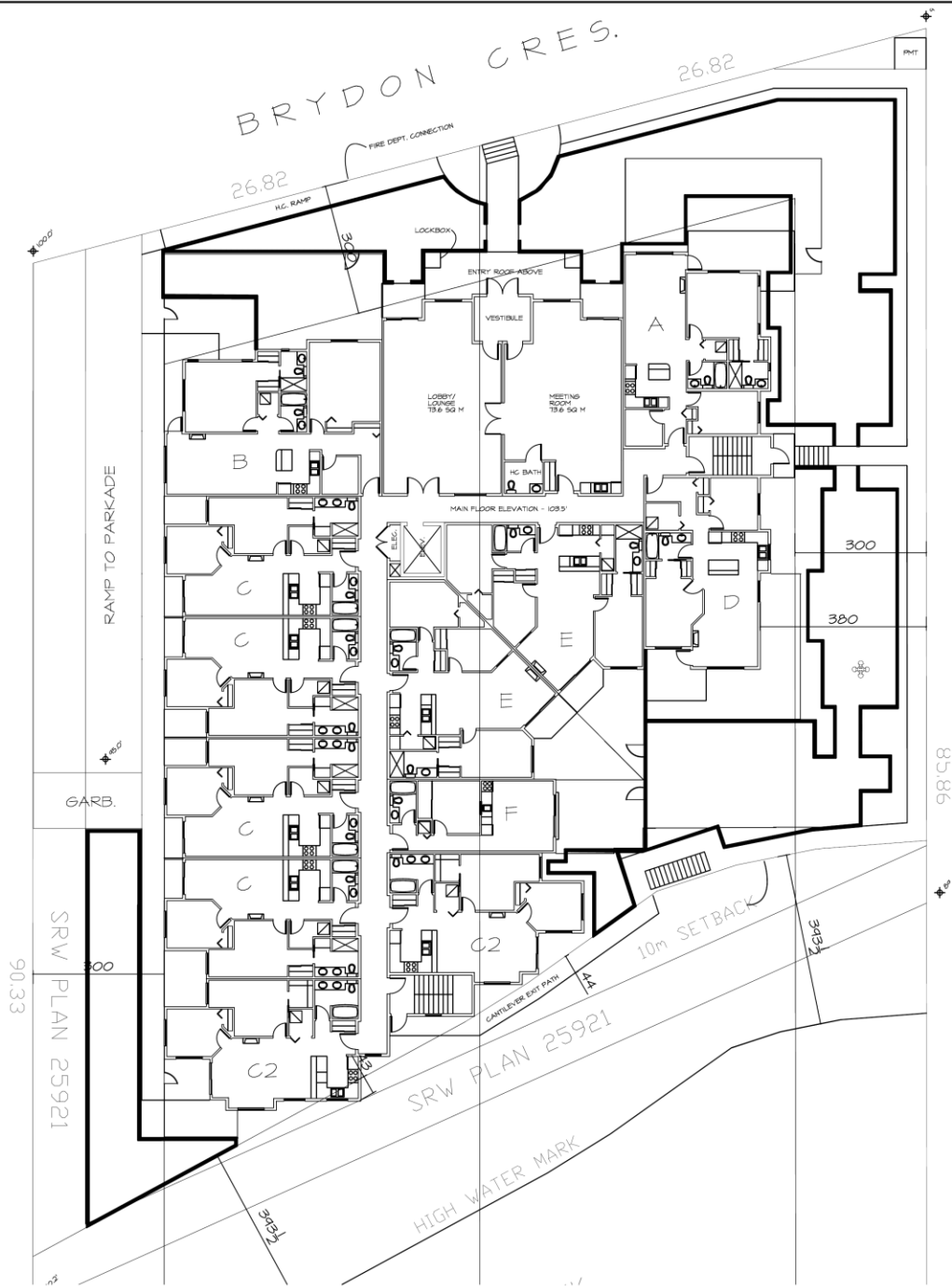
DRAWING TITLE:  
**SITE  
PLAN**

DATE: 17 JAN 18	DRAWING NUMBER:
SCALE: 3/32" = 1'-0"	<b>L1</b>
DRAWN: TK	
DESIGN: TK	
CHK'D: MTH	

M2LA PROJECT NUMBER: 17 006

17006-012P





## LEGEND

POURED IN PLACE ARCHITECTURAL  
CONCRETE WALL

5'-0" HIGH WOODEN PRIVACY  
FENCE WITH MAINTENANCE GATES

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#220 - 26 Lorne Mews  
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Fax: 604.553.0045  
Email: office@m2la.com

NO.	DATE	REVISION DESCRIPTION	DR.
1	JAN 25 2017	CONCEPT SITE PLAN	TK
2	JAN 25 2017	CREATING LANDSCAPE FOLDER	BN
3	MARCH 24 2017	ADDED 4'-0" HIGH WOODEN FENCE	TK
4	MARCH 24 2017	ADDED 4'-0" HIGH WOODEN FENCE	TK

SEAL:

PROJECT:  
54 UNITS RESIDENTIAL  
DEVELOPMENT  
19942 BRYDON CRES.  
LANGLEY, BC

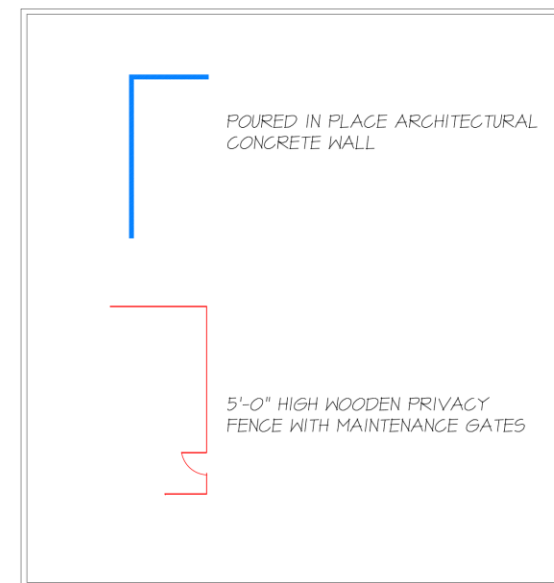
DRAWING TITLE:  
**RETAINING WALLS  
AND FENCES**

DATE:	17 JAN 18	DRAWING NUMBER:	L3
SCALE:	3/32" = 1'-0"		
DRAWN:	TK		
DESIGN:	TK		
CHK'D:	MM		

M2LA PROJECT NUMBER: 17 006

OF 7



POURED IN PLACE ARCHITECTURAL  
CONCRETE WALL

5'-0" HIGH WOODEN PRIVACY  
FENCE WITH MAINTENANCE GATES

[illegible]

PROJECT:  
54 UNITS RESIDENTIAL  
DEVELOPMENT  
19942 BRYDON CRES.  
LANGLEY, BC

DRAWING TITLE:

**RETAINING WALLS  
AND FENCES**

DATE: 17 JAN 08	DRAWING NUMBER:  <b>L3</b>
SCALE: 3/32" = 1'-0"	
DRAWN: TK	
DESIGN: TK	
CHK'D: MM	

OF 7

DOG PARK EQUIPMENT REC TEC INDUSTRIES



TUNNEL, REC TEC INDUSTRIES



TEETER TOTTER, REC TEC INDUSTRIES



SIGN/DOG WASTE CONTAINER



DOG STEPS, REC TEC INDUSTRIES



KOMPAN "DAISY"; MODEL M128P



TRASH RECEPTACLE;  
PUBLIC PLACE WASTE  
RECEPTACLE BY WISHBONE;  
MODEL NUMBER: 184418



BENCH;  
PARKER PARK BENCH  
BY WISHBONE;  
MODEL NUMBER: PKB-6

Aluminum Bollard (DB30) Specification Sheet

Project Name:	Location:	MFG: Philips Hadco
Fixture Type:	Catalog No.:	Qty:



Ordering Guide

Example: DB30 | A0 12L E

Product Code	DB30	Aluminum Bollard
Finish	A	Gray
	B	Black
	H	Brass
Optics	A0	Symmetrical
Wattage	15L	12.5W LED
	15B	100W HPS
	20P	20W CFL
	30P	30W CFL
	40P	40W CFL
	50H	50W HPS
	70H	70W HPS
	100	100W HPS
	150	150W HPS
Voltage	E	120V
	F	240V
	G	240V
	H	277V
	A	347V

\*1 Available in 120V (E) only  
\*2 Not available in 240V (G)  
\*3 Available in 120V (E) and 277V (H) only

Specifications

**HOUSING:**  
36 in. high strength, low copper, proprietary cast aluminum alloy. Dome roof with die-cast aluminum louvers. Easy access to lamp. 5" dia. extruded aluminum with a wall thickness of 0.125". All non-ferrous fasteners prevent corrosion and ensure longer life.

**FINISH:**  
Thermoplastic polyester powdercoat is electrostatically applied after a five-stage conversion clearing process and bonded by heat fusion thermosetting. Laboratory tested for superior weatherability and fade resistance in accordance with ASTM B117 specifications. For larger projects where a custom color is required, contact the factory for more information.

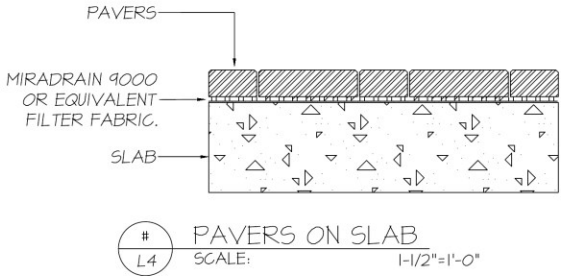
**OPTICAL ASSEMBLY:**  
Symmetrical. Die-cast aluminum louvers with underside painted with highly reflective white powdercoat. Tempered glass globe.

**LAMPING:**  
LED 80V medium base porcelain socket A15.  
MR and HPS Medium base: E17.  
Incandescent Medium Base A15.  
20W CFL (GX24Q-3).  
30W CFL (GX24Q-3).  
40W CFL (GX24Q-3).  
50W CFL (GX24Q-3).  
70W CFL (GX24Q-3).  
100W CFL (GX24Q-3).  
150W CFL (GX24Q-3).

**ELECTRICAL ASSEMBLY:**  
LED is 2700K warm white, delivers 800 lumens, and is dimmable. Lamp life is rated at 25,000 hours. 120 volt only. 80V rated medium base porcelain socket.  
Key-locked Ballast Assembly is mounted to an aluminum plate, which is mounted inside the base. Quick disconnects for easy installation and removal.  
40w rated medium base porcelain socket. Nickel-plated screw shell with center contact.  
20W Fluorescent socket is a GX24Q-3 base.  
30W Fluorescent socket is a GX24Q-3 base.  
40W Fluorescent socket is a GX24Q-3 base.  
50W Fluorescent socket is a GX24Q-3 base.

**BALLAST:**  
All HED ballasts are core and coil and regulated with power factors better than 90% (HPF). Ballast provides +/- 5% lamp power regulation with +/- 10% input voltage regulation.

ISO 9001:2008 Registered  
Note: Philips reserves the right to modify the above details to reflect changes in the cost of materials and/or production and/or design without prior notice.  
100 Craftway Drive, Littleton, PA 17340 | P: +1-717-358-7131 F: +1-717-358-8288 | <http://www.hadco.com> | Copyright 2011 Philips HADCO



# L4  
SCALE: 1-1/2" = 1'-0"

Aluminum Bollard (DB30) Specification Sheet

Project Name:	Location:	MFG: Philips Hadco
Fixture Type:	Catalog No.:	Qty:

Ballasts are factory pre-wired and tested. Metal halide ballasts are capable of starting at 20°F or -30°C and HPS at -40°F or -40°C. NOTE: All ballasts are EISA / Title 20 / Title 24 compliant where applicable. Fluorescent ballast is electronic. Ballast is capable of starting at 0°F or -18°C. Ballast is factory wired and tested.

**INSTALLATION & MOUNTING:**  
This is intended for the base plate with three (3) 5/16-18 flat head often key stainless steel tamper resistant screws.

**WARRANTY:**  
Three-year limited warranty.  
**CERTIFICATIONS:**  
ETL listed to U.S. safety standards for wet locations. cETL listed to Canadian safety standards for wet locations. Manufactured to ISO 9001:2008 Standards.

**Height:**  
30" (76cm)  
**Width:**  
8" (20cm)  
**Bolt Circle:**  
8" (20cm)  
**Anchor Rods:**  
Internal (3) 5/8" dia. x 8" long (1 cm x 20cm)  
**Base Diameter:**  
8" (20cm)  
**Max. Weight:**  
Payload: 10 lbs  
CraftStone: 10 lbs

NOTES:  
-SEE ELECTRICAL DRAWINGS FOR  
CONSTRUCTION DETAILS  
-INSTALL AS PER MANUFACTURER'S  
SPECIFICATIONS

ISO 9001:2008 Registered  
Note: Philips reserves the right to modify the above details to reflect changes in the cost of materials and/or production and/or design without prior notice.  
100 Craftway Drive, Littleton, PA 17340 | P: +1-717-358-7131 F: +1-717-358-8288 | <http://www.hadco.com> | Copyright 2011 Philips HADCO

# L4  
SCALE: N.T.S.

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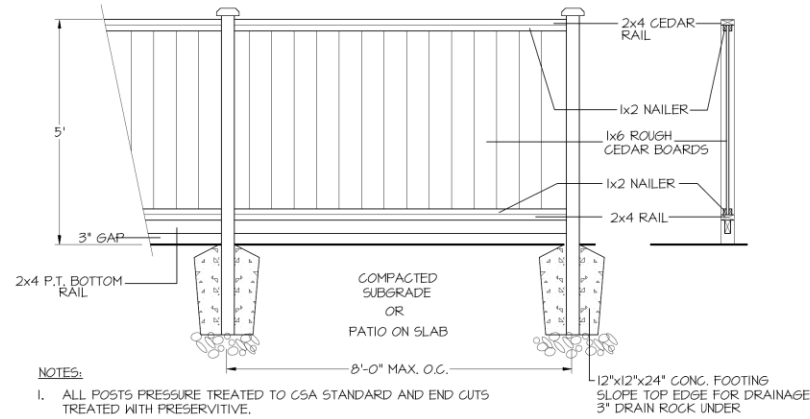
NO.	DATE	REVISION DESCRIPTION	DR.
1	JAN 24 2011	CONCEPT SITE PLAN	TK
2	JAN 25 2011	CREATING LANDSCAPE FOLDER	BN
3	JAN 26 2011	CONCEPT SITE PLAN	TK
4	MARCH 24 2011	ADDED 4'-0" WIDE WEST WALKWAY (SP. 1)	TK

SEAL:

PROJECT:  
54 UNITS RESIDENTIAL  
DEVELOPMENT  
19942 BRYDON CRES.  
LANGLEY, BC

DRAWING TITLE:  
LANDSCAPE  
DETAILS

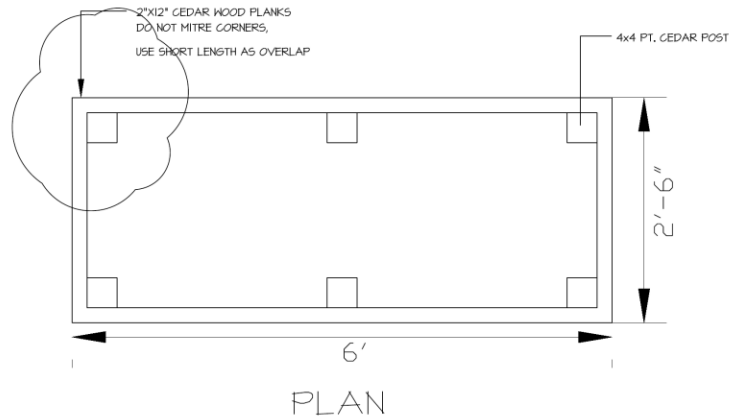
DATE:	17 JAN 11	DRAWING NUMBER:	L4
SCALE:			
DRAWN:	TK		
DESIGN:	TK		
CHK'D:	MTM		
M2LA PROJECT NUMBER:		OFF 7	17 006



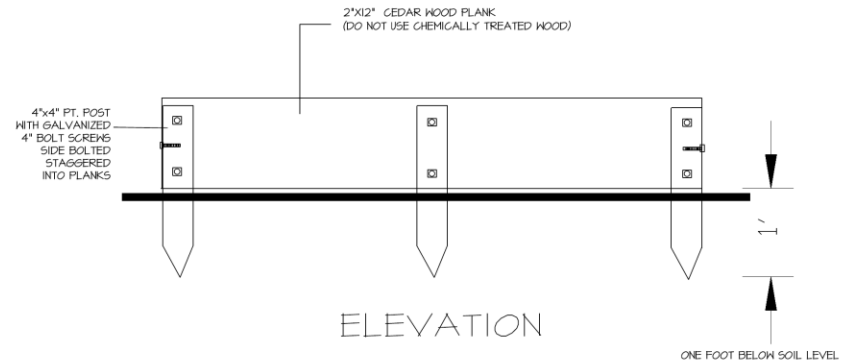
**NOTES:**

1. ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE.
2. ALL OTHER MEMBERS TO BE CEDAR, #2 (CONSTRUCTION) GRADE MINIMUM.
3. ALL HARDWARE HOT DIPPED GALVANIZED.
4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION. FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.
5. ALL FENCES TO BE LEVEL. CHANGES IN GRADE TO BE IN 12"-18" STEPS (MAX). GAPS TO GRADE TO FOLLOW FINISH GRADE. GAP TO BE 3-6".

# 5' HT. WOODEN PRIVACY FENCE  
L5 SCALE: 3/4"=1'-0"



# RAISED VEGGIE PLOTS  
L5 SCALE: 1-1/2"=1'-0"



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NO.	DATE	REVISION DESCRIPTION	DR.
1	JAN 10 2017	CREATING LANDSCAPE FOLDER	BN
2	JAN 25 2017	CONCEPT SITE PLAN	TK
3	JAN 30 2017	DP SET	TK
4	MARCH 24 2017	ADDED 4'-0" WIDE WEST WALKWAY DP 1	TK

SEAL:

PROJECT:  
54 UNITS RESIDENTIAL  
DEVELOPMENT  
19942 BRYDON CRES.  
LANGLEY, BC

DRAWING TITLE:  
**LANDSCAPE  
DETAILS**

DATE: 17 JAN 18	DRAWING NUMBER:
SCALE:	<b>L5</b>
DRAWN: TK	OF 7
DESIGN: TK	
CHECK: MTH	

M2LA PROJECT NUMBER: 17 006

