



THE TERRACES (PHASE-3)

5453 - 198th Street and 19728, 19738, 19752, 19762, 19770, 19780 - 55 Avenue, Langley, BC

Proposed Townhouse Development

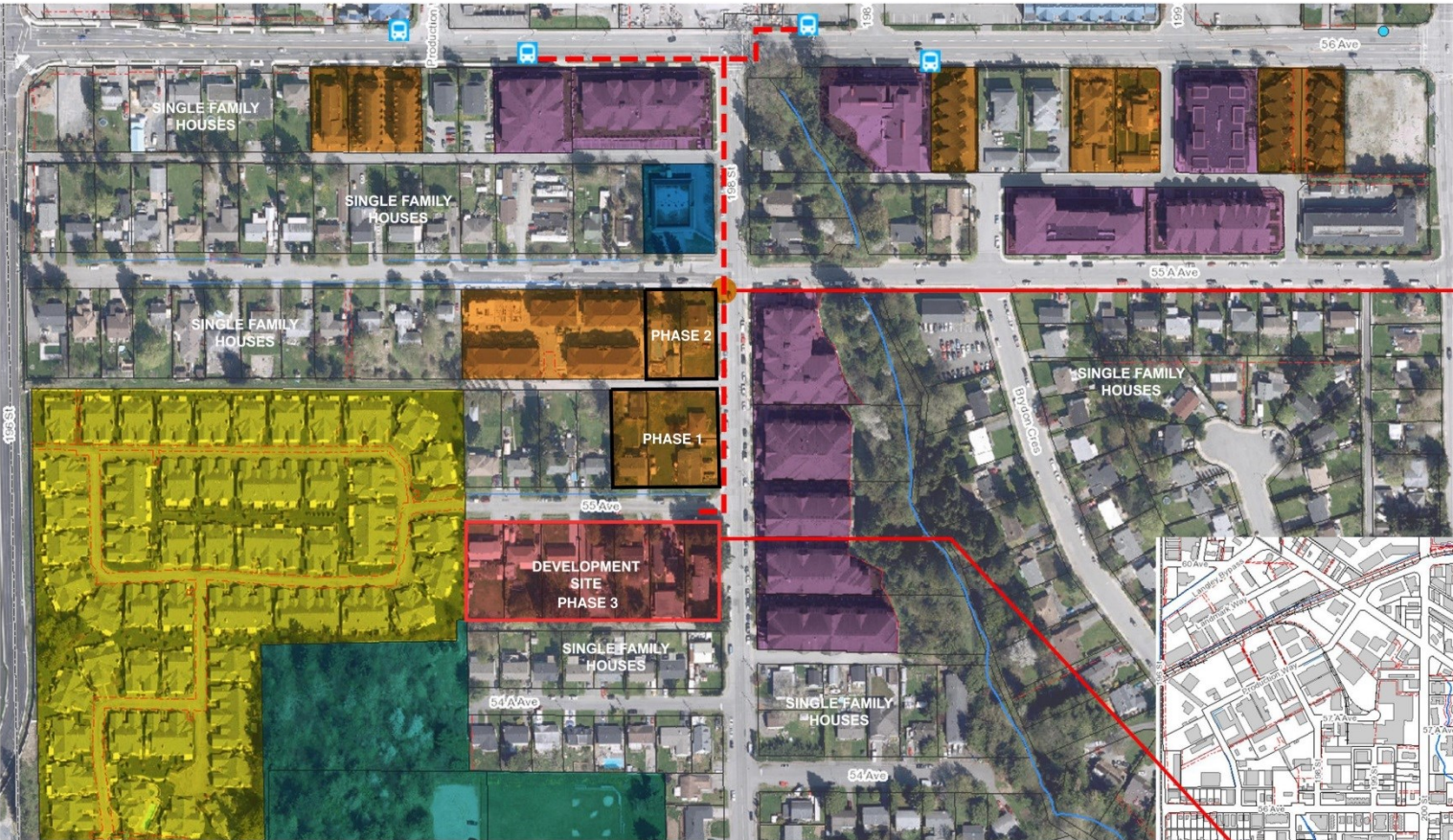
ATELIER PACIFIC ARCHITECTURE INC.

FEBRUARY 5, 2018

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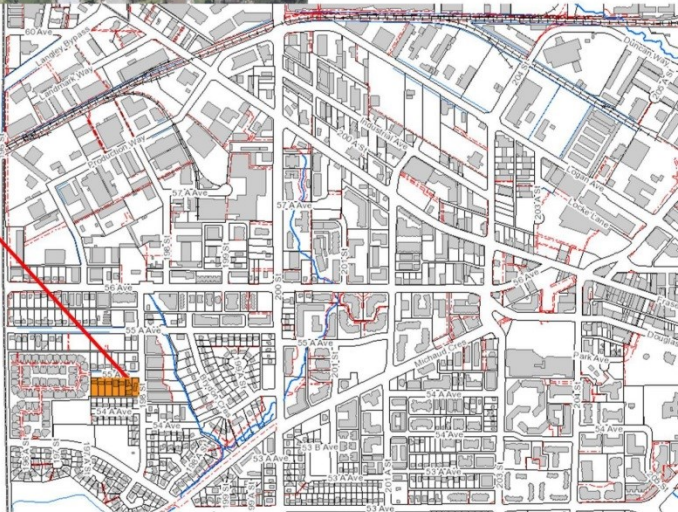


CONTEXT PLAN & NEIGHBOURHOOD ANALYSIS



DISTANCE FROM
DEVELOPMENT
SITE TO PUBLIC
BUS STOP IS
ABOUT 370m.

- | | | | | | |
|--|---|---|--|---|---------------------------------|
|  | DEVELOPMENT SITE |  | MEDIUM DENSITY
MULTI-FAMILY
TOWNHOUSES |  | PARK AND
RECREATION |
|  | LOW DENSITY
MULTI-FAMILY
TOWNHOUSES |  | HIGH DENSITY
MULTI-FAMILY
TOWNHOUSES |  | COMMUNITY SERVICES
(DAYCARE) |



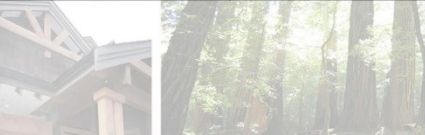
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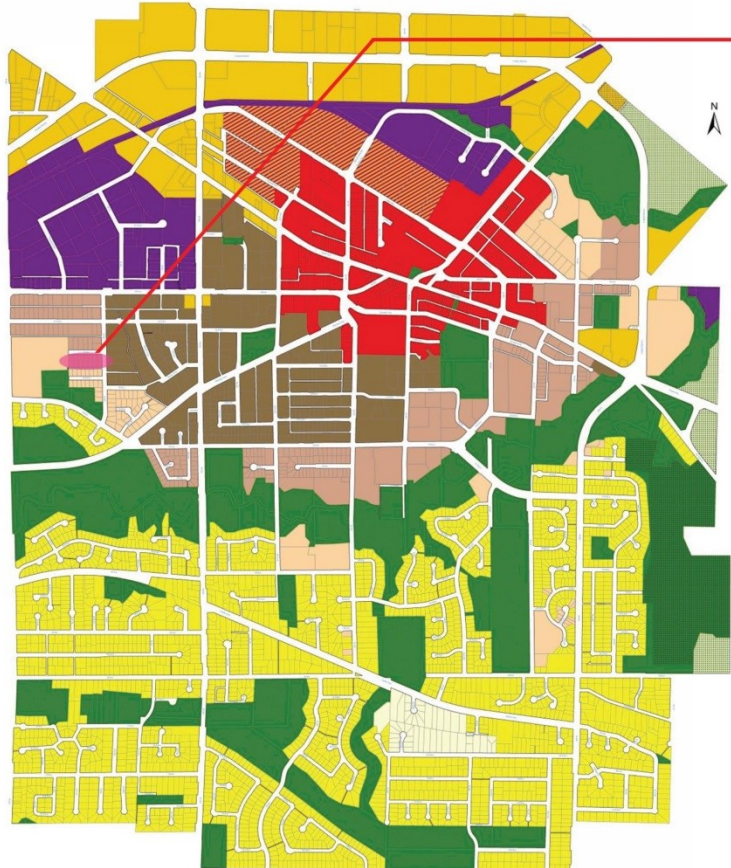


DP 0.0

CONTEXT PLAN
NEIGHBOURHOOD ANALYSIS
SCALE: N.T.S.

OFFICIAL COMMUNITY PLAN COMPLIANCES

CITY OF LANGLEY OFFICIAL COMMUNITY PLAN BYLAW, 2005, NO. 2600 SCHEDULE "A" - LAND USE DESIGNATION MAP



PROPOSED SITE IS LOCATED ON
THE MEDIUM DENSITY RESIDENTIAL
AREA (SHOWN ON THE OFFICIAL
COMMUNITY PLAN)

CITY OF LANGLEY OFFICIAL COMMUNITY PLAN BYLAW, 2005, NO. 2600

- THE PURPOSE OF THE OFFICIAL COMMUNITY PLAN IS TO GUIDE DECISION-MAKING BY OFFERING A LONG RANGE OUTLOOK ON THE CITY'S DEVELOPMENT.
- PROVIDES PROPERTY OWNERS AND DEVELOPERS WITH A REASONABLE DEGREE OF CERTAINTY CONCERNING LAND USE POLICIES AND FUTURE FORM AND CHARACTER OF DIFFERENT AREAS OF THE CITY.
- THE SUBJECT PROPERTY IS CURRENTLY DESIGNATED "MEDIUM DENSITY RESIDENTIAL" IN THE CITY'S OFFICIAL COMMUNITY PLAN.
- MEDIUM DENSITY RESIDENTIAL ALLOWS A DENSITY OF 70 UNITS PER ACRE (173 UNITS PER HECTARE) AND A BUILDING HEIGHT OF 4 STOREYS.
- THEREFORE, BASED UPON THE LOT AREA OF 1.922 ACRES, 134.5 MULTIPLE FAMILY RESIDENTIAL UNITS WOULD COMPLY WITH THE EXISTING CITY OCP BYLAW DESIGNATION.
- THE PROPOSED DEVELOPMENT CONSISTS OF 64 UNITS, A BUILDING HEIGHT OF 3 STOREYS.

	ALLOWED	PROPOSED
DENSITY	70 UNITS/ACRE	33.3 UNITS/ACRE
NUMBER OF UNIT	115.5 UNITS	64 UNITS
BUILDING HEIGHT	4 STOREY	3 STOREY

Adopted April 24, 2005
Map Amendment:
Bylaw No. 2600 - February 22, 2006
Bylaw No. 2610 - November 1, 2006
Bylaw No. 2617 - November 1, 2010
Bylaw No. 2618 - February 10, 2011
Bylaw No. 2619 - September 9, 2011



 MEDIUM DENSITY RESIDENTIAL

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FEBRUARY 5, 2018

Proposed Townhouse Development



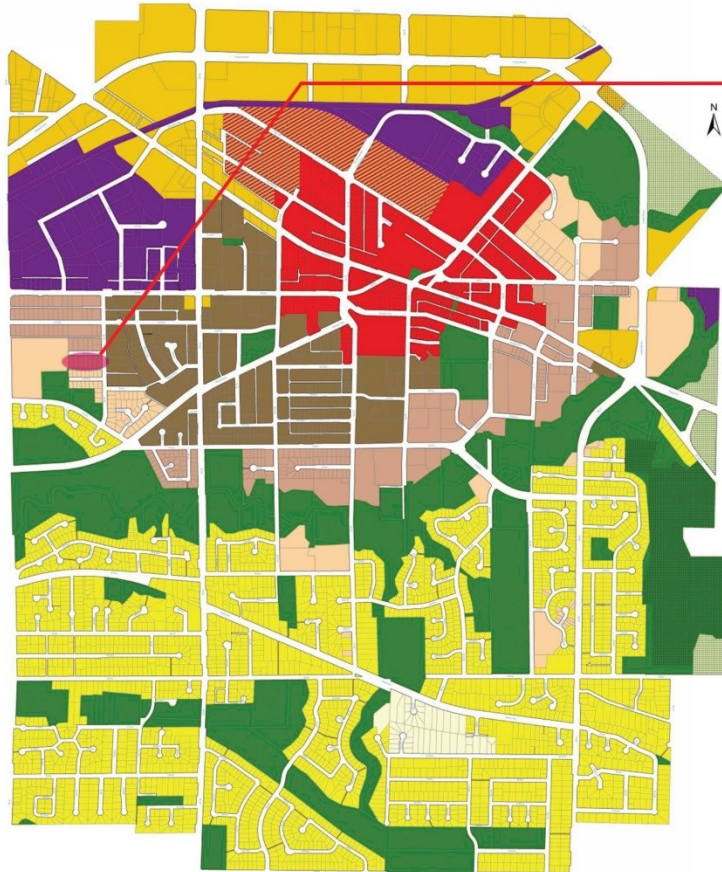
DP 0.0a

OFFICIAL COMMUNITY PLAN
COMPLIANCE

SCALE: N.T.S.

OFFICIAL COMMUNITY PLAN COMPLIANCES

CITY OF LANGLEY OFFICIAL COMMUNITY PLAN BYLAW, 2005, NO. 2600 SCHEDULE "A" - LAND USE DESIGNATION MAP



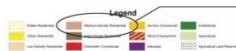
PROPOSED SITE IS LOCATED ON
THE MEDIUM DENSITY RESIDENTIAL
AREA (SHOWN ON THE OFFICIAL
COMMUNITY PLAN)

CITY OF LANGLEY OFFICIAL COMMUNITY PLAN BYLAW, 2005, NO. 2600

THE CITY'S OCP BYLAW STATES:

- ☒ • "TOWNHOUSE UNITS SHOULD BE ORIENTED TOWARD PUBLIC ROADS"
- ☒ • "VEHICLE ACCESS SHOULD BE PROVIDED FROM INTERNAL ROADS OR LANES"
- ☒ • "AVOID PRESENTING GARAGE ENTRANCES TO PUBLIC ROADS WHERE POSSIBLE"
- ☒ • THEREFORE, THE PROPOSED DEVELOPMENT COMPLIES WITH THE CITY OF LANGLEY'S OFFICIAL COMMUNITY PLAN BYLAW.

Revised April 24, 2008
Map Amendments:
Bylaw No. 2005-2600 February 23, 2006
Bylaw No. 2006-2600 November 1, 2006
Bylaw No. 2007-2600 February 1, 2007
Bylaw No. 2008-2600 February 1, 2008
Bylaw No. 2009-2600 February 1, 2009
Bylaw No. 2010-2600 February 1, 2010
Bylaw No. 2011-2600 February 1, 2011
Bylaw No. 2012-2600 February 1, 2012
Bylaw No. 2013-2600 February 1, 2013



 MEDIUM DENSITY RESIDENTIAL

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FEBRUARY 5, 2018

Proposed Townhouse Development

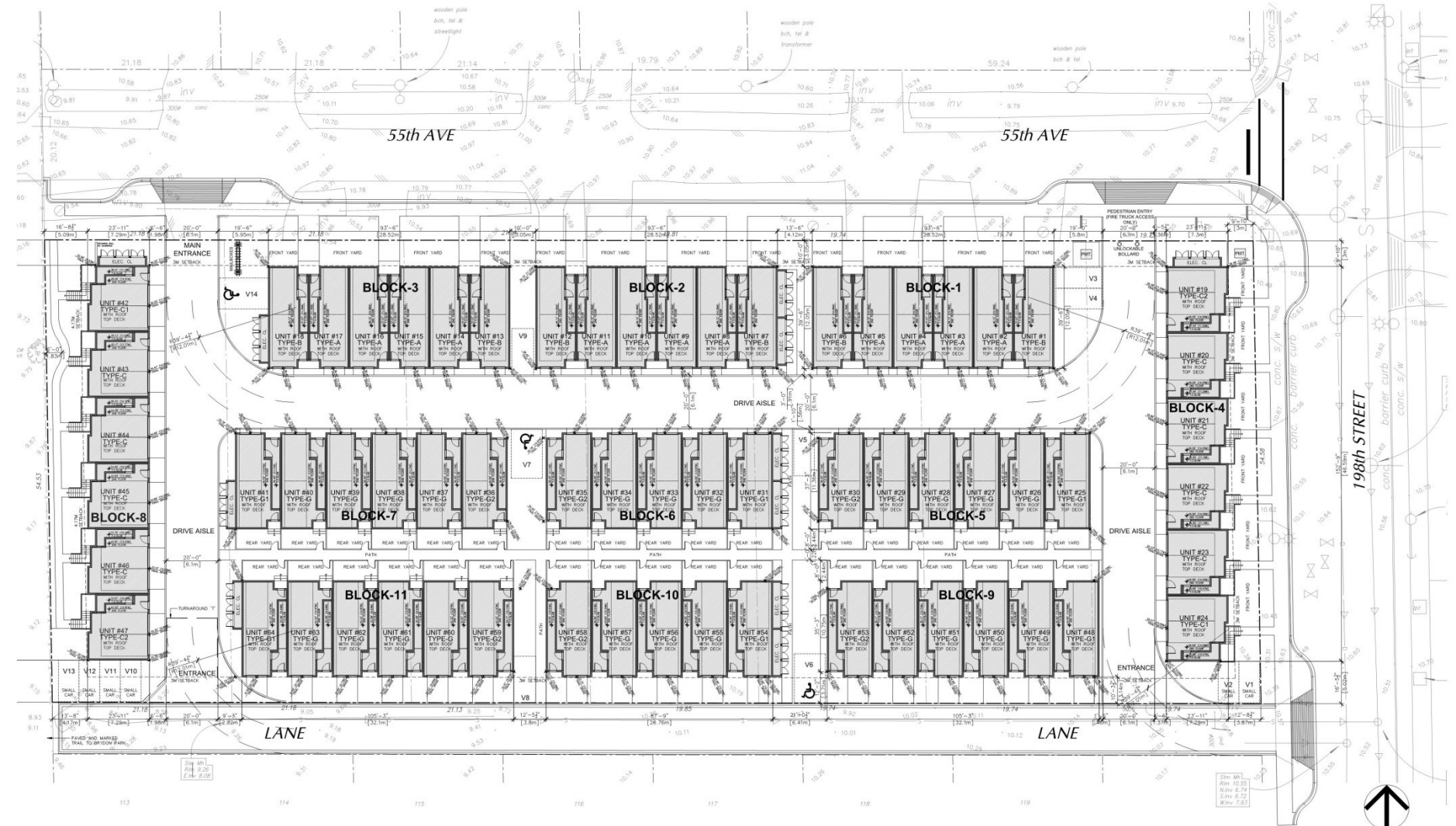


DP 0.0b

OFFICIAL COMMUNITY PLAN
COMPLIANCE

SCALE: N.T.S.

SITE PLAN



THE TERRACES (PHASE-3)

Proposed Townhouse Development

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ATELIER PACIFIC ARCHITECTURE INC.

FEBRUARY 5, 2018



PROJECT NORTH

DP 0.1

OVERALL SITE PLAN

SCALE: 1/16"=1'-0"



THE TERRACES (PHASE-3)

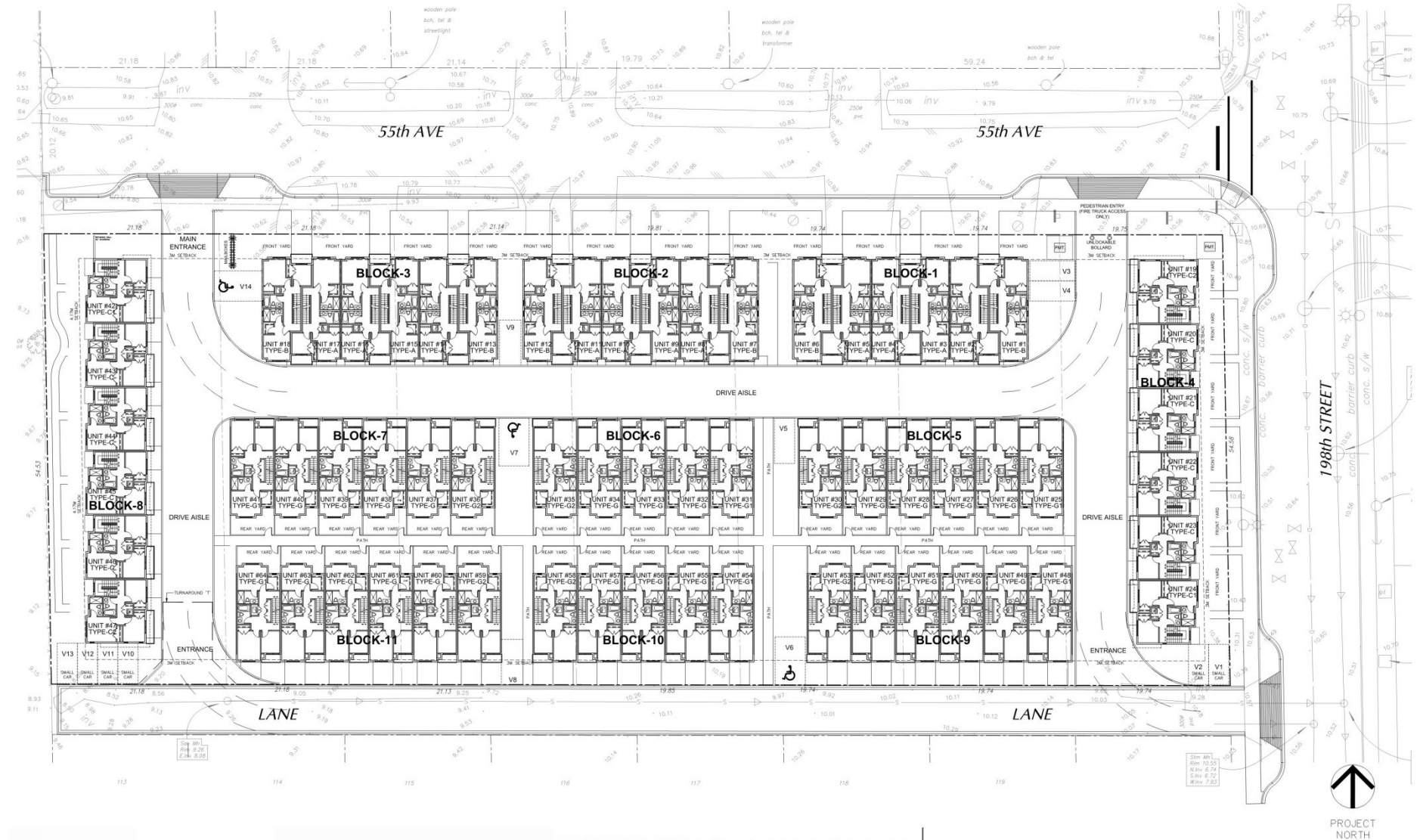
Proposed Townhouse Development

FEBRUARY 5, 2018

DP 1.2

SCALE: 1/16"=1'-0"

THIRD FLOOR PLAN ON PROPERTY



THE TERRACES (PHASE-3)

5453 - 198th Street and 19728, 19738, 19752, 19762, 19770, 19780 - 55 Avenue, Langley, BC

Proposed Townhouse Development

ATELIER PACIFIC ARCHITECTURE INC.

FEBRUARY 5, 2018

DP 1.3

THIRD FLOOR PLAN ON
PROPERTY

SCALE: 1/16"=1'-0"

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Proposed Townhouse Development

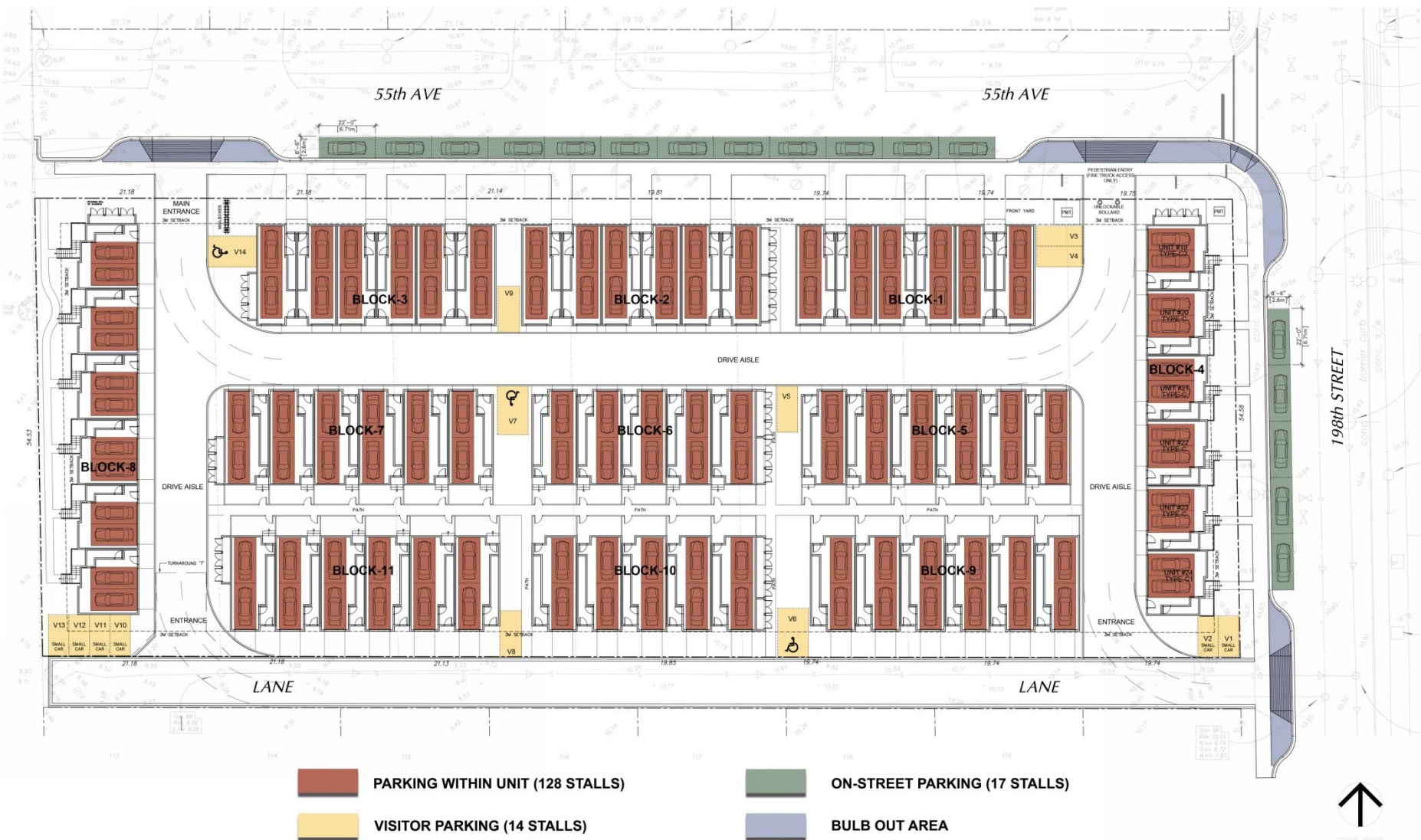
ATELIER PACIFIC ARCHITECTURE INC.

DP 1.4

ROOF DECK ON PROPERTY

SCALE: 1/16"=1'-0"

PARKING PLAN



THE TERRACES (PHASE-3)

5453 - 198th Street and 19728, 19738, 19752, 19762, 19770, 19780 - 55 Avenue, Langley, BC

ATELIER PACIFIC ARCHITECTURE INC.

FEBRUARY 5, 2018

Proposed Townhouse Development



PROJECT NORTH

DP 0.5

PARKING PLAN

SCALE: 1/16"=1'-0"



SUSTAINABILITY FEATURES: ON SITE:

- STORM WATER MANAGEMENT TO MITIGATE AGAINST FLOODING AND HABITAT DESTRUCTION;
- DESIGNED TO PREVENT GROUND WATER CONTAMINATION
- NO ADDITIONAL EXTERIOR LIGHTING TO CONTROL LIGHT POLLUTION CREATED;
- LIGHT COLOR PAVING MATERIAL ON ROOF DECK TO REDUCE HEAT ISLAND AFFECT;
- DROUGHT TOLERANT PLANTS ARE PROPOSED TO MITIGATE IRRIGATION;
- IRRIGATION SYSTEM.

THE TERRACES (PHASE-3)

5453 - 198th Street and 19728, 19738, 19752, 19762, 19770, 19780 - 55 Avenue, Langley, BC

ATELIER PACIFIC ARCHITECTURE INC.

Proposed Townhouse Development





SUSTAINABILITY FEATURES:

WITHIN UNITS:

- HEAT RECOVERY SYSTEM TO REDUCE ENERGY CONSUMPTION;
- DUAL FLUSH TOILETS;
- ENERGY STAR EFFICIENT APPLIANCES.

CONSTRUCTION:

- INCORPORATING CONSTRUCTION TECHNIQUES TO PROTECT AIR QUALITY TO REDUCE SITE DISTURBANCE;
- RECYCLE PLAN FOR WASTE BUILDING MATERIALS.

THE TERRACES (PHASE-3)

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ATELIER PACIFIC ARCHITECTURE INC.

Proposed Townhouse Development





CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN:

(REPORT BY: LIAHONA SECURITY CONSORTIUM INC.)

- HIGH QUALITY DESIGN TO IMPROVE EXISTING SITE CONDITION
- CREATE A SENSE OF OBSERVATION/NATURAL SURVEILLANCE AND TERRITORIALITY ON 198th STREET, 55th AVE., AND LANE;
- NATURAL SURVEILLANCE AND ACCESS CONTROL THROUGH EYES ON THE STREET BY WINDOW FACING YARDS, STREETS, INTERNAL DRIVEWAYS;
- GARAGE DOORS WILL BE OVERLOOKED FROM TOWNHOUSES AND THE PUBLIC REALM;
- LAMINATE WRAPPED UTILITY BOX TO RESIST GRAFFITI AND MAKE CLEAN UP EASIER;
- WOOD FENCE ON THE WEST SIDE OF THE PROPERTY TO DELINEATE PRIVATE PROPERTY AND DETER INTRUDERS;
- 1.2m HIGH FENCE AND GATE BETWEEN BUILDINGS TO DEFINE AND CONTROL ACCESS INTO YARDS;
- ALL OUTDOOR SPACES TO BE PRIVATE, ABOVE GRADE AND CONTROLLED BY EACH UNIT;

THE TERRACES (PHASE-3)

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ATELIER PACIFIC ARCHITECTURE INC.

Proposed Townhouse Development



STREETSCAPE AND COLOURED ELEVATIONS:



MATERIAL & COLOUR SCHEME-A



FASCIA BOARD
METAL RAILING
CHARCOAL



IXL BRICK
MIDNIGHT-MATTE
BRICK



HARDIE PANEL
(JAMES HARDIE)
(COBBLES STONE)



HARDIE PANEL
(JAMES HARDIE)
(PEARL GRAY)



HARDIE SIDING
WOODTONE
MOUNTAIN CEDAR



ENTRY DOOR,
GARAGE DOOR
CEDAR
(TO MATCH HARDIE
SIDING COLOR)

THE TERRACES (PHASE-3)

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ATELIER PACIFIC ARCHITECTURE INC.

FEBRUARY 5, 2018

Proposed Townhouse Development



DP 0.6

COLOUR ELEVATION

SCALE: 3/16"=1'-0"

STREETSCAPE AND COLOURED ELEVATIONS:



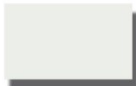
MATERIAL & COLOUR SCHEME-B



FASCIA BOARD
METAL RAILING
CHARCOAL



CULTURED BRICK
USED BRICK
HIGH DESERT



HARDIE PANEL
(JAMES HARDIE)
(ARCTIC WHITE)



HARDIE PANEL
(JAMES HARDIE)
(AGED PEWTER)



HARDIE SIDING
WOODTONE
OLD CHERRY



ENTRY DOOR,
GARAGE DOOR
STAIN WOOD GRAIN
DARK OAK

THE TERRACES (PHASE-3)

5453 - 198th Street and 19728,19738,19752,19762,19770,19780 - 55 Avenue, Langley, BC

ATELIER PACIFIC ARCHITECTURE INC.

FEBRUARY 5, 2018

Proposed Townhouse Development



DP 0.6b

COLOUR ELEVATION

SCALE: 3/16"=1'-0"

STREETSCAPE AND COLOURED ELEVATIONS:



EAST ELEVATION OF BLOCK-4 (FACING 198 STREET)

MATERIAL & COLOUR SCHEME-A



FASCIA BOARD
METAL RAILING
CHARCOAL



IXL BRICK
MIDNIGHT-MATTE
BRICK



HARDIE PANEL
(JAMES HARDIE)
(COBBLES STONE)



HARDIE PANEL
(JAMES HARDIE)
(PEARL GRAY)



HARDIE SIDING
WOODTONE
MOUNTAIN CEDAR



ENTRY DOOR,
GARAGE DOOR
CEDAR
(TO MATCH HARDIE
SIDING COLOR)

THE TERRACES (PHASE-3)

5453 - 198th Street and 19728,19738,19752,19762,19770,19780 - 55 Avenue, Langley, BC

ATELIER PACIFIC ARCHITECTURE INC.

FEBRUARY 5, 2018

Proposed Townhouse Development



DP 0.7

COLOUR ELEVATION

SCALE: 3/16"=1'-0"

STREETSCAPE AND COLOURED ELEVATIONS:



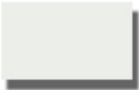
MATERIAL & COLOUR SCHEME-B



FASCIA BOARD
METAL RAILING
CHARCOAL



CULTURED BRICK
USED BRICK
HIGH DESERT



HARDIE PANEL
(JAMES HARDIE)
(ARCTIC WHITE)



HARDIE PANEL
(JAMES HARDIE)
(AGED PEWTER)



HARDIE SIDING
WOODTONE
OLD CHERRY



ENTRY DOOR,
GARAGE DOOR
STAIN WOOD GRAIN
DARK OAK

THE TERRACES (PHASE-3)

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ATELIER PACIFIC ARCHITECTURE INC.

FEBRUARY 5, 2018

Proposed Townhouse Development



DP 0.6c

COLOUR ELEVATION

SCALE: 3/16"=1'-0"

LANDSCAPE DESIGN:

TREE SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	FIELD4	QTY
	Acer palmatum 'Sango Kaku' / Coral Bark Maple	B&B	6cm			6
	Amelanchier x grandiflora 'Princess Diana' / Princess Diana Serviceberry	B&B	6cm	1.8m std	Single Leader	67
	Parrotia persica 'Vanessa' / Persian Parrotia	B&B	4cm			15
	Picea glauca pendula / Weeping White Spruce	B&B		3.0m ht	Single Leader	15
	Picea pungens 'Bakeri' / Bakeri Spruce	B&B		3.0m ht	Single Leader	11

LEGEND - TERRACES 3

KEY	REF.	DESCRIPTION
	1 LD-02	CONCRETE SLAB
	6 LD-02	PAVER WALKWAYS Material: Classic Standard Series Color: Natural Finish: Random Pattern: Random Size: 150mm x 150mm x 10mm Installation: Random Notes: See Specifications
	7 LD-02	RECTANGULAR PAVERS Material: Classic Standard Series Color: Natural Finish: Random Pattern: Random Size: 150mm x 150mm x 10mm Installation: Random Notes: See Specifications
	8 LD-02	HYDRAPRESSED SLABS Material: Classic Standard Series Color: Natural Finish: Random Pattern: Random Size: 150mm x 150mm x 10mm Installation: Random Notes: See Specifications
	9 LD-02	SOIL TOP HYDRAPRESSED SLABS Material: Classic Standard Series Color: Natural Finish: Random Pattern: Random Size: 150mm x 150mm x 10mm Installation: Random Notes: See Specifications
	10 LD-02	PATHWAY PAVERS Material: Classic Standard Series Color: Natural Finish: Random Pattern: Random Size: 150mm x 150mm x 10mm Installation: Random Notes: See Specifications

KEY	REF.	DESCRIPTION
	1 LD-01	1.2m HIGH ALUMINUM WOOD FENCE ON PORT WALL
	2 LD-01	2.3m HIGH WOOD FENCE
	3 LD-01	GUARDRAIL AS PER ARCH.

KEY	REF.	DESCRIPTION
	1 LD-01	SOD Base Critical Landscape Notes for Specifications
	2 LD-01	SHRUB PLANTING

OFF-SITE TREE LEGEND		
AS	HC	EXISTING TREE

QUAN.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
1	AS	Acer glabrum 'Red November'	Red November Acer Maple	B&B, 1.8m ht	As shown
1	HC	Parrotia persica	Parrotia	B&B, 1.8m ht	As shown

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July 1, 2017 1776 Avenue
Langley, British Columbia
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info@vaz-inc.ca



Drawing Title: SITE & TREE PLAN - GROUND LEVEL

Project: The Terraces Phase 3
Location: 5453 - 198th Street and 19770, 19780 - 55 Avenue, Langley, British Columbia

Drawing #: L-03

No.	By	Description	Date
4	JW	ISSUED FOR ADP	FEB 6 2018
3	JW	ISSUED FOR REVISED-CP	DEC 15 2017
2	JW	ISSUED FOR REVISED-CP	NOV 30 2017
1	JW	ISSUED FOR CP	NOV 17 2017

REVISIONS TABLE FOR DRAWINGS
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No.	By	Description	Date
REVISIONS TABLE FOR SHEET			

Drawn: LJ MM	Stamp:
Checked: JW	
Approved: DJ	Original Sheet Size: 24"x36"
Scale: 1:250	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE FIELD AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY. ALL DIMENSIONS AND SPECIFICATIONS ARE THE ARCHITECT'S RESPONSIBILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND SPECIFICATIONS ON THE FIELD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND SPECIFICATIONS ON THE FIELD.

LANDSCAPE DESIGN:

TREE SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	FIELD4	QTY
	Acer palmatum 'Sango Kaku' / Coral Bark Maple	B&B	6cm			6
	Amelanchier x grandiflora 'Princess Diana' / Princess Diana Serviceberry	B&B	6cm	1.8m std	Single Leader	67
	Parrotia persica 'Vanessa' / Persian Parrotia	B&B	4cm			15
	Picea glauca pendula / Weeping White Spruce	B&B		3.0m ht	Single Leader	15
	Picea pungens 'Bakeri' / Bakeri Spruce	B&B		3.0m ht	Single Leader	11

LEGEND - TERRACES 3

KEY	REF.	DESCRIPTION
	1 LD-02	CONCRETE SLAB
	5 LD-02	PAVER WALKWAYS Material: Pavers - Standard Series Size: 150mm x 150mm x 40mm Colour: Natural Border: Pavers Colour: Natural Size: 150mm x 150mm x 40mm Colour: Natural Manufacturer: Pavers Product: Pavers
	1 LD-02	VEHICULAR PAVERS Material: Pavers - Standard Series Size: 150mm x 150mm x 40mm Colour: Natural Border: Pavers Colour: Natural Size: 150mm x 150mm x 40mm Colour: Natural Manufacturer: Pavers Product: Pavers
	5 LD-02	HYDRAPRESSED SLABS Material: Concrete Size: 150mm x 150mm x 40mm Colour: Natural Border: Concrete Colour: Natural Size: 150mm x 150mm x 40mm Colour: Natural Manufacturer: Concrete Product: Concrete
	5 LD-02	ROOFTOP HYDRAPRESSED SLABS Material: Concrete Size: 150mm x 150mm x 40mm Colour: Natural Border: Concrete Colour: Natural Size: 150mm x 150mm x 40mm Colour: Natural Manufacturer: Concrete Product: Concrete
	5 & 7 LD-02	PATHWAY PAVERS Material: Pavers - Standard Series Size: 150mm x 150mm x 40mm Colour: Natural Border: Pavers Colour: Natural Size: 150mm x 150mm x 40mm Colour: Natural Manufacturer: Pavers Product: Pavers

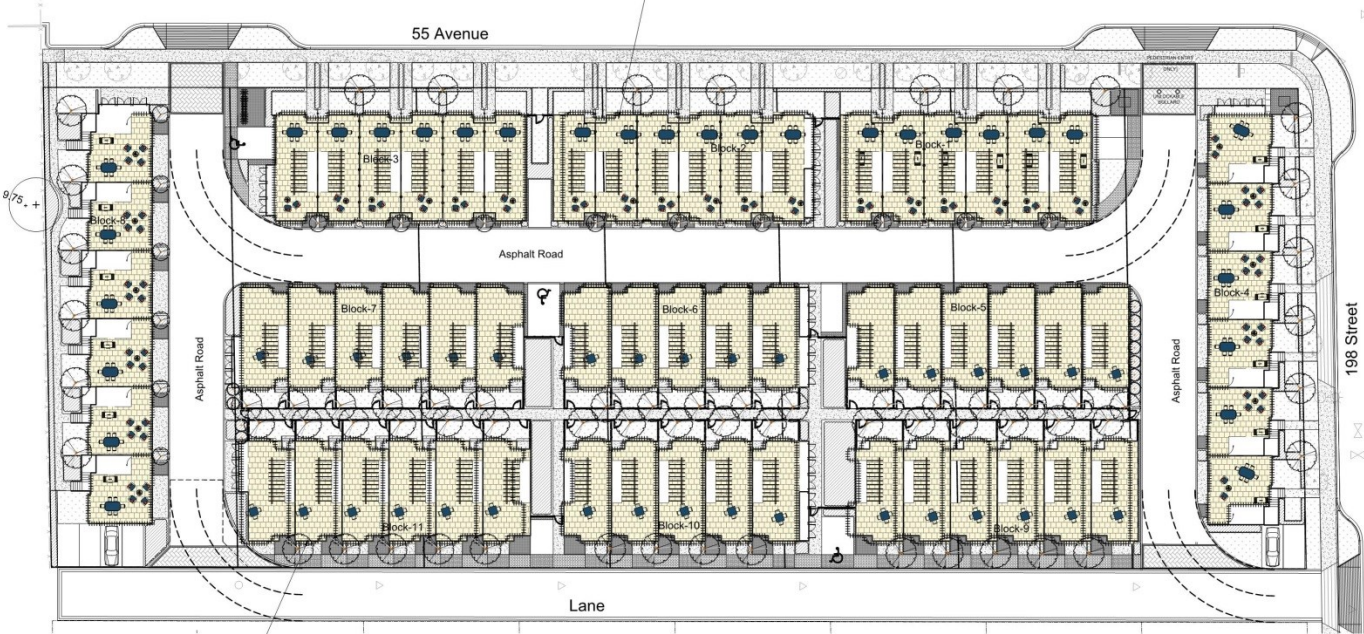
KEY	REF.	DESCRIPTION
	1 LD-01	2m HIGH ALUMINUM WOOD FENCE ON POST WALL
	2 LD-02	3m HIGH WOOD FENCE
		GUARDRAIL AS PER ARCH.

KEY	REF.	DESCRIPTION
		SOD See Critical Landscape Notes for Specifications
	3-5 LD-01	SHRUB PLANTING

OFF-SITE TREE LEGEND	
	EXISTING TREE

TREES	QUAN.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
1	1	LD	Acer glaberrimum 'Nimbus'	Red-leafed Norway Spruce	150mm x 150mm x 40mm	As shown
4	4	LD	Parrotia persica	Parrotia	150mm x 150mm x 40mm	As shown

Rooftop patios hydrapressed slabs and guardrail around. Guardrail by Arch. Site furnishings by homeowner.



Hydrapressed slabs on pedestal. Typ. of all on podium patios. Site furnishings by homeowner.

1:250 0 2.5m 5 7.5 10 12.5 15 17.5 20 22.5 25 27.5 30 32.5 35 37.5

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No.	By	Description	Date
4	JW	ISSUED FOR ADP	FEB 6 2018
3	JW	ISSUED FOR REVISED DP	DEC 15 2017
2	JW	ISSUED FOR REVISED DP	NOV 30 2017
1	JW	ISSUED FOR DP	NOV 17 2017

No.	By	Description	Date
1	JW	DESCRIPTION	NOV 17 2017

Project:
The Terraces Phase 3
Location:
5453 - 198th Street and
19770, 19780 - 55 Avenue,
Langley, British Columbia

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Checked: JW	
Approved: DJ	Original Sheet Size: 24"x36"
Scale: 1:250	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS AND SPECIFICATIONS ARE THE SOLE RESPONSIBILITY OF THE CONSULTANT. CONTRACTOR SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION DETAILS LABELED OTHERWISE FOR THE CONSULTANT.

Drawing Title: SITE PLAN - ROOFTOP
Drawing #: DP2017-57
L-04