

199A STREET,
TOWNHOUSE RESIDENCES
CITY OF LANGLEY, B.C.

PROJECT STATISTICS

REVISION NO.02		DATE:		05-Mar-18	
SITE INFORMATION					
LEGAL DESCRIPTION		NOTED			
CIVIC ADDRESS		5491, 5501, 5511, 5521, 5520 199A St., Langley, BC V3A 1J7			
ZONING		RM3		PROPOSED CD	
SITE AREA (ft²)		55,525	TBC BY SURVEYOR	1.01 FSR	
SITE DATA		ALLOWED		PROPOSED	
DENSITY		80 units/acre		28 units/acre	
SITE COVERAGE		40%		0.49	
BUILDING HEIGHT		4 storeys		4 Storeys	
SETBACKS	Front	24.61" (7.5m)		14.76" (4.5m)	
	Side (West)	24.61" (7.5m)		14.76" (4.5m)	
	Side (East)	24.61" (7.5m)		14.76" (4.5m)	
	Rear	24.61" (7.5m)		14.76" (4.5m)	
BUILDING DATA					
UNIT GROSS AREA	DESCRIPTION	AREA (ft²)	# OF UNITS	COMBINED (ft²)	
TOTAL GROSS AREA	(Saleable Area)		39	55,084	
TOTAL BUILDING AREA (Horizontal Projection)				26,985	
AMENITY SPACE		24.76 ft2 (2.3m2) / dwelling unit			
STORAGE LOCKERS		200.23 ft2 (5.67m2) / dwelling unit			
PARKING DATA					
	DESCRIPTION	QUANTITY	# OF UNITS	PROVIDED	
REQUIRED PARKING	Spaces per Studio/1 Bed	1.2		0	
	Spaces per 2 Bed	1.3			
	Spaces per 3 Bed	2	39	78	
	Visitor Parking	0.2/unit	39	8	
Accessible Parking -min 5%	Small car parking-max 40%			0	
TOTAL REQUIRED PARKING				86	
PROPOSED PARKING	Spaces per Unit	2	39	78	
	Visitor Parking	10		10	
TOTAL PROPOSED PARKING				88	
REQUIRED BICYCLE STORAGE	Bicycle Parking per Unit	2	39	78	
	Visitor Parking per Bldg	6	n/a		
PROPOSED BICYCLE STORAGE					

DRAWING LIST

ARCHITECTURAL	A0000	COVER SHEET - STATISTICS
	A0100	EXISTING SURVEY PLAN
	A0101	CIVIL GRADING PLAN
	A0102	SITE PLAN
	A0103	PHASE PLAN
	A0200	CLUSTER-1 LEVEL 1 & LEVEL 2 PLANS
	A0201	CLUSTER-1 LEVEL 3 & ROOF PLANS
	A0202	CLUSTER-2 LEVEL 1 & LEVEL 2 PLANS
	A0203	CLUSTER-2 LEVEL 3 & ROOF PLANS
	A0204	CLUSTER-3 LEVEL 1 & LEVEL 2 PLANS
	A0205	CLUSTER-3 LEVEL 3 & ROOF PLANS
	A0206	CLUSTER-4 LEVEL 1 & LEVEL 2 PLANS
	A0207	CLUSTER-4 LEVEL 3 & ROOF PLANS
	A0208	CLUSTER-5 LEVEL 1 & LEVEL 2 PLANS
	A0209	CLUSTER-5 LEVEL 3 & ROOF PLANS
	A0210	CLUSTER-6 LEVEL 1 & LEVEL 2 PLANS
	A0211	CLUSTER-6 LEVEL 3 & ROOF PLANS
	A0212	TOWNHOUSE PLANS
	A0213	TOWNHOUSE PLANS
	A0214	TOWNHOUSE PLANS
	A0215	TOWNHOUSE PLANS
	A0300	CLUSTER 1 ELEVATIONS
	A0301	CLUSTER 1 ELEVATIONS
	A0302	CLUSTER 2 ELEVATIONS
	A0303	CLUSTER 2 ELEVATIONS
	A0304	CLUSTER 3 ELEVATIONS
	A0305	CLUSTER 3 ELEVATIONS
	A0306	CLUSTER 4 ELEVATIONS
	A0307	CLUSTER 5 ELEVATIONS
	A0308	CLUSTER 6 ELEVATIONS
	A0309	CLUSTER 6 ELEVATIONS
	A0310	MATERIAL BOARD
	A0400	BUILDING SECTIONS
	A0401	BUILDING SECTIONS
		TOTAL SHEETS: 34 PAGES

LEGAL DESCRIPTION

P.I.D.	006-795-641 (LOT 75)
CIVIC Address:	#5491 199A STREET
P.I.D.	006-795-692 (LOT 76)
CIVIC ADDRESS:	#5501 199A STREET
P.I.D.	006-795-765 (LOT 77)
SUBJECT PROPERTY MAY BE AFFECTED BY STATUTORY RIGHT OF WAY D53418 (PLAN 33767)	
CIVIC ADDRESS:	#5511 199A STREET
P.I.D.	002-459-451 (LOT 78)
SUBJECT PROPERTY MAY BE AFFECTED BY STATUTORY RIGHT OF WAY D53418 (PLAN 33767)	
CIVIC ADDRESS:	#5521 199A STREET
P.I.D.	006-795-811 (LOT 79)
SUBJECT PROPERTY MAY BE AFFECTED BY STATUTORY RIGHT OF WAY D53418 (PLAN 33767)	
CIVIC ADDRESS:	#5520 199A STREET

CONSULTANT LIST

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202-5489 BYRNE ROAD
*BURNABY, BC V5J 3J1
20570 56th AVENUE
*LANGLEY, B.C. V3A 3Z1
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CARL HUMPHREY
LANDSCAPE
VAN DER ZALM + ASSOCIATES
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CENTRAS ENGINEERING LTD.
216-2630 CROYDON DRIVE
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TEL: 604 782 6927
CONT: STEVE O'CONNELL

FORM + CHARACTER INSPIRATION

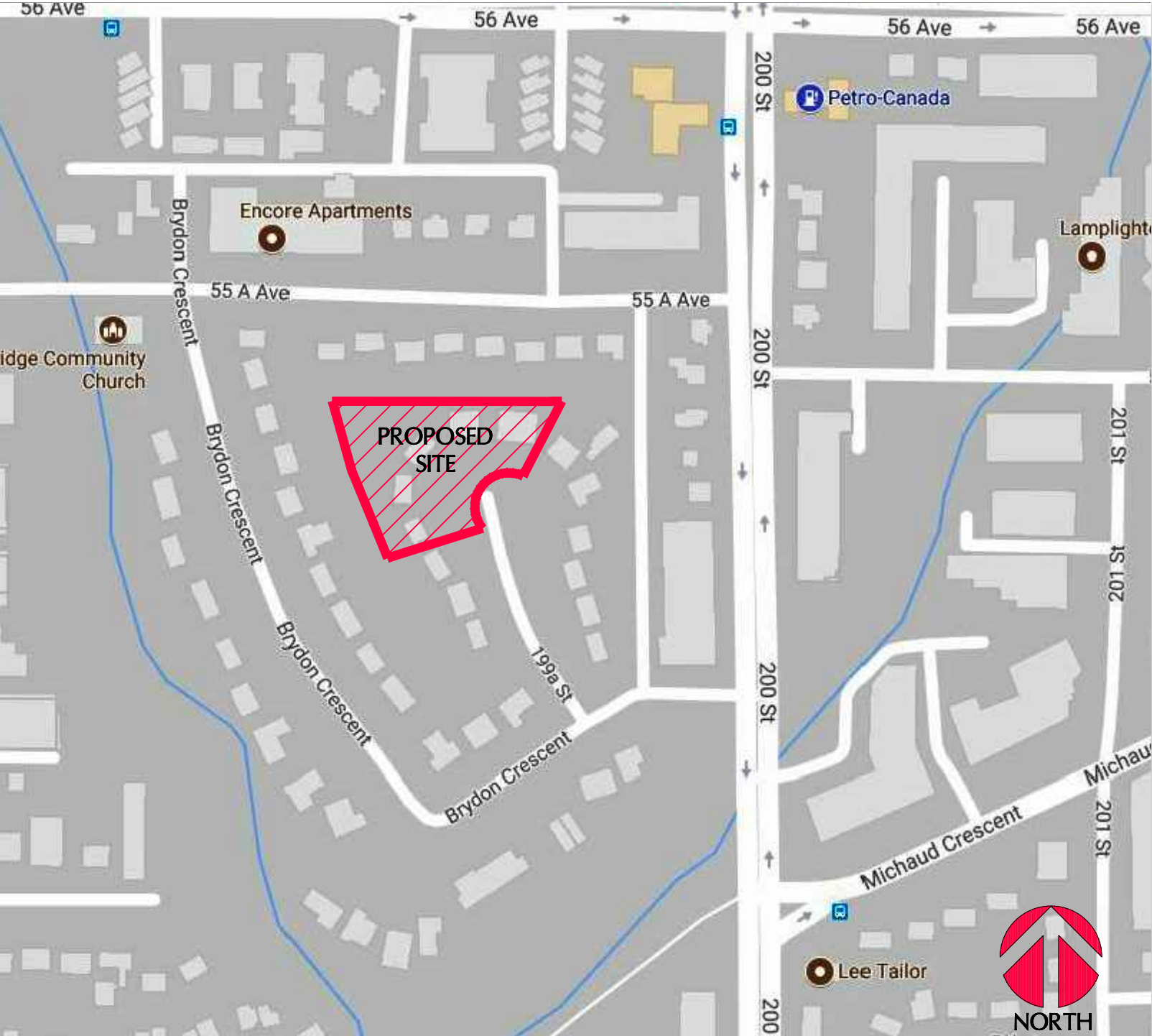


ENTRY SIGNAGE

TOWNHOUSE STATISTICS

UNIT TYPE	NO. BED.	NO. BATH.	NET AREA	UNITS	TYPE OF UNITS				TOTAL NUMBER OF UNITS	%
			(excluding storage)		3 Bed	4 Bed				
A1	3	3	1389	5	5				5	12.8%
A2	3	3	1398	7	7				7	17.9%
B1	3	3	1457	2	2				2	5.1%
C1	3	3	1350	4	4				4	10.3%
D1	3	3	1342	12	12				12	30.8%
D1-END	3	3	1354	4	4				4	10.3%
F1	3	3	1528	2	2				2	5.1%
G1	4	3	1821	3	3				3	7.7%
			55084	39	39				39	
					100%	0%	0%	0%	100%	100.0%

SITE MAP



LOCATION MAP



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SEAL

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CONCOSTS
THE CONCOST GROUP

03	REVISED	DP	RE-SUBMISSION(REVIEW)	03/05/18
02		DP	RE-SUBMISSION	10/25/17
01		DP	SUBMISSION	09/15/17
NO.		REVISION		MIDY

PROJECT NAME

199 A
TOWNHOUSE
RESIDENCES

PROJECT ADDRESS:

199A STREET
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104-3212 Jacklin Rd.
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STRUCTURAL:
MECHANICAL:
ELECTRICAL:
CIVIL:
LANDSCAPE:

DRAWING TITLE:

COVER SHEET

PROJECT NO:	17087	DRAWN BY:	CSH
SCALE:		REVIEW BY:	DEM
DATE:	MARCH,2018	DRAWING NO:	A0000



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02	DP RE-SUBMISSION	10/25/17
01	DP SUBMISSION	09/15/17
NO.	REVISION	MDY

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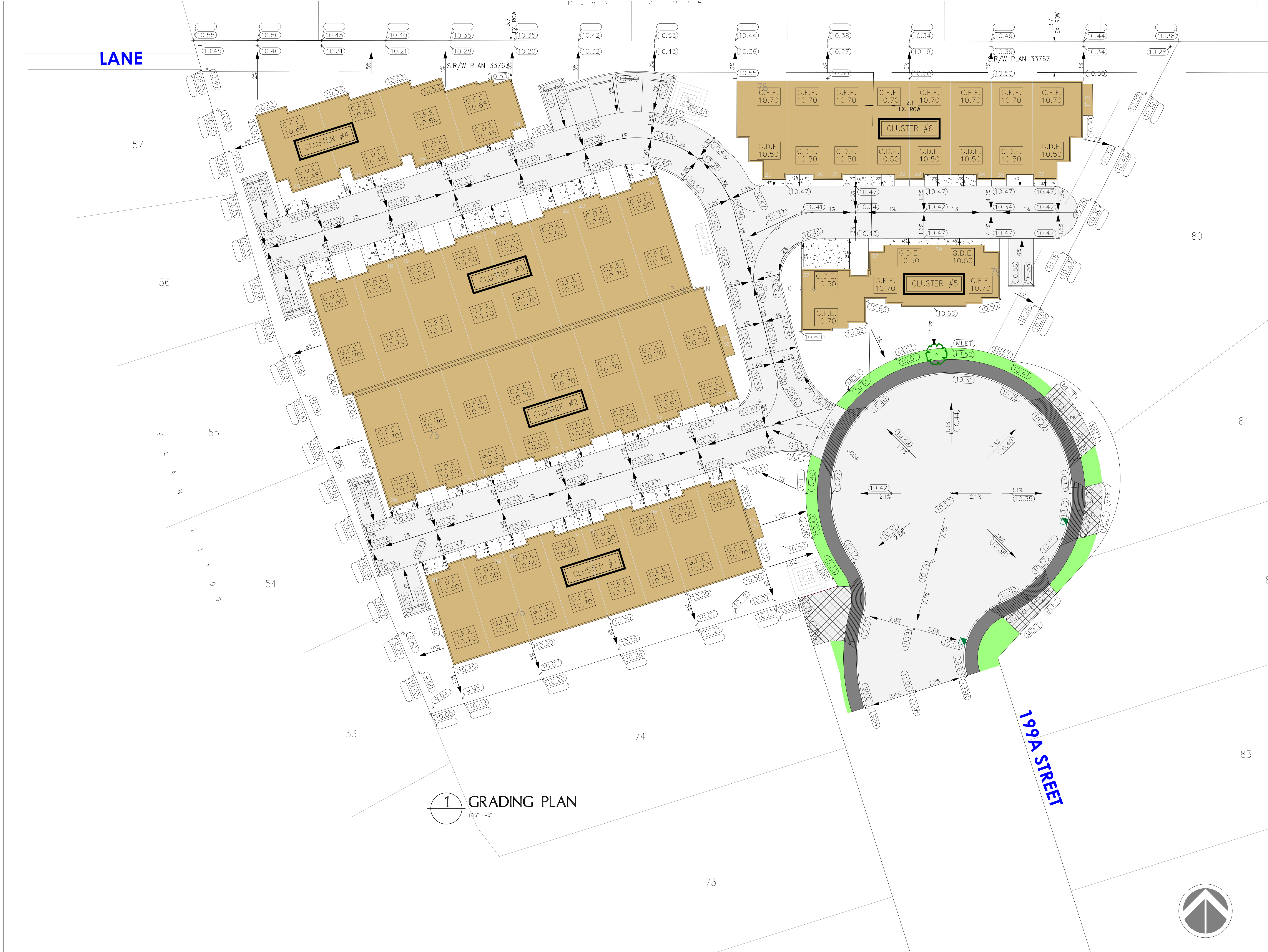
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LANDSCAPE:

DRAWING TITLE: **EXISTING
SURVEY**

PROJECT NO:	17087	DRAWN BY:	CSH
SCALE:	1/16"=1'-0"	REVIEW BY:	DEM
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01	DP SUBMISSION	09/15/17
NO.	REVISION	DATE

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**CIVIL GRADING
PLAN**

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SCALE:	1/16"=1'-0"	REVIEW BY:	DEM
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PHASE PLAN

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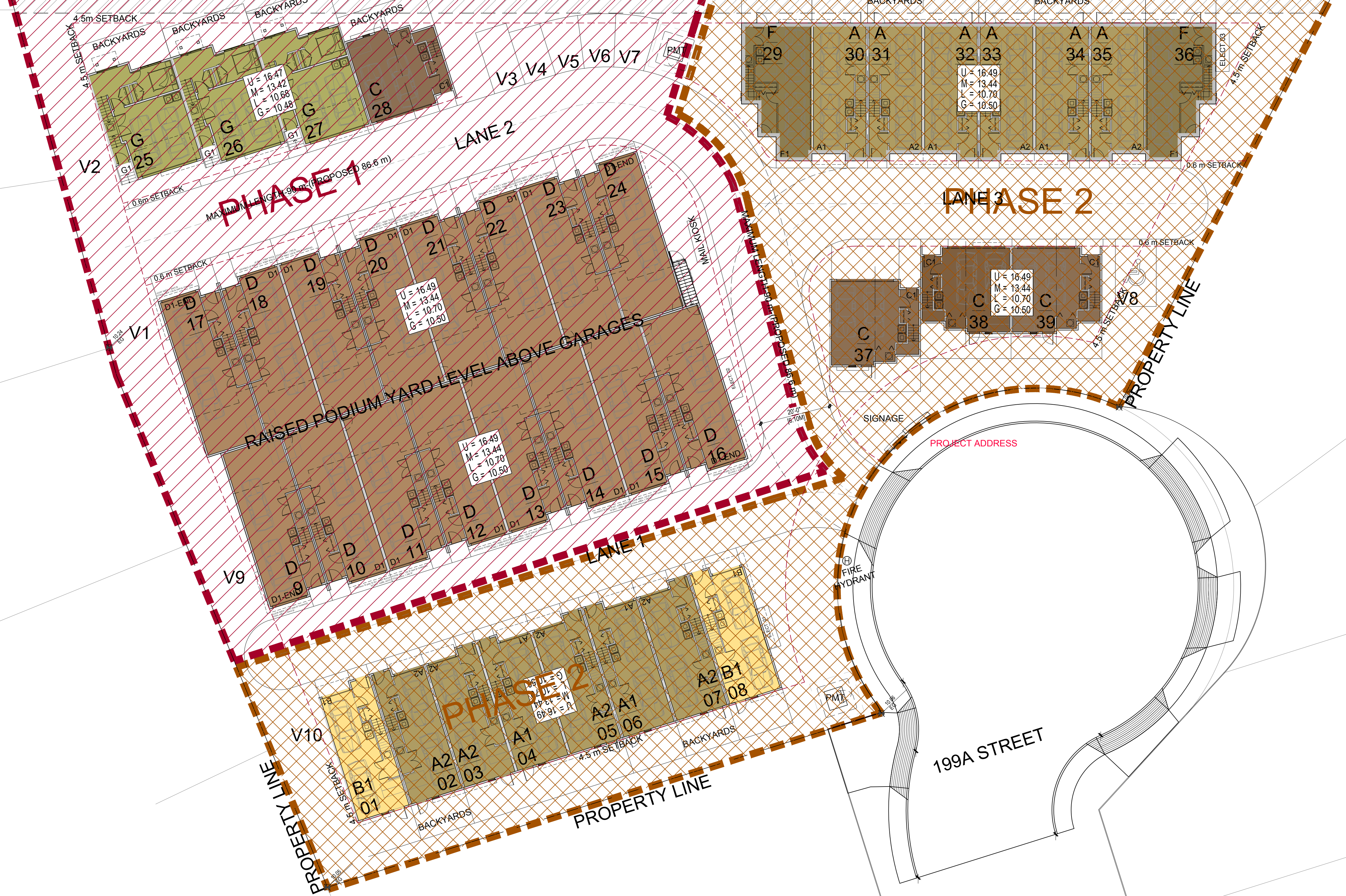
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R.O.W.

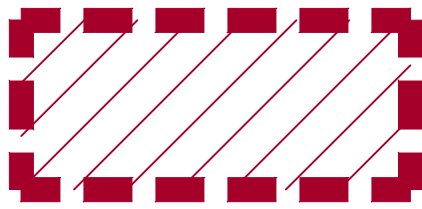
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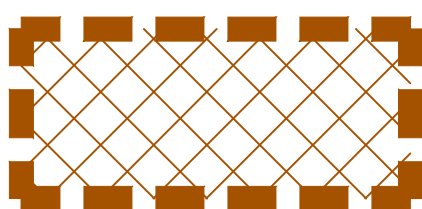
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KEY PLAN:

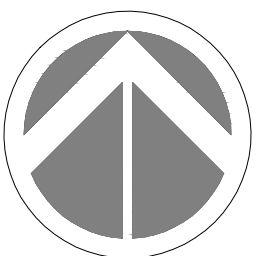


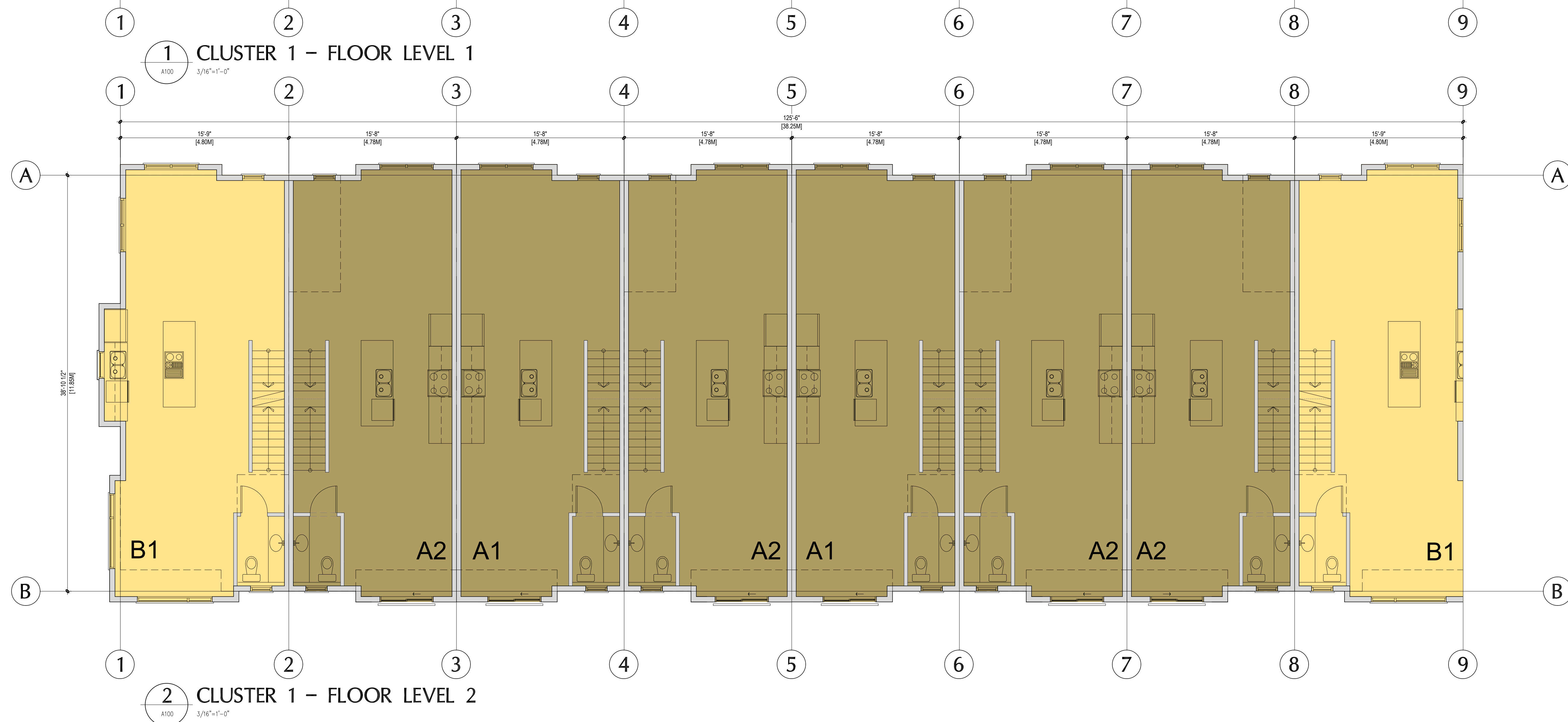
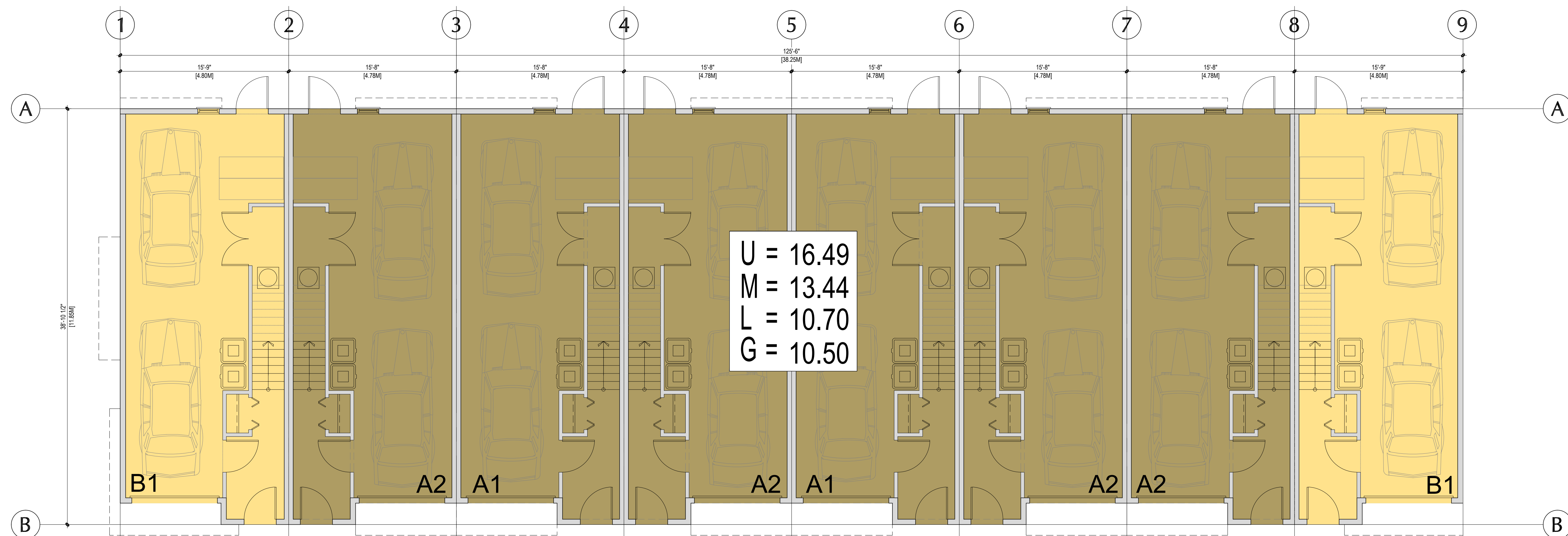
PHASE I



PHASE II

1 PHASE PLAN
1/16"=1'-0"





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3 KEY PLAN
A100 N.T.S.

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01	DP SUBMISSION	09/15/17
NO.	REVISION	M/D/Y

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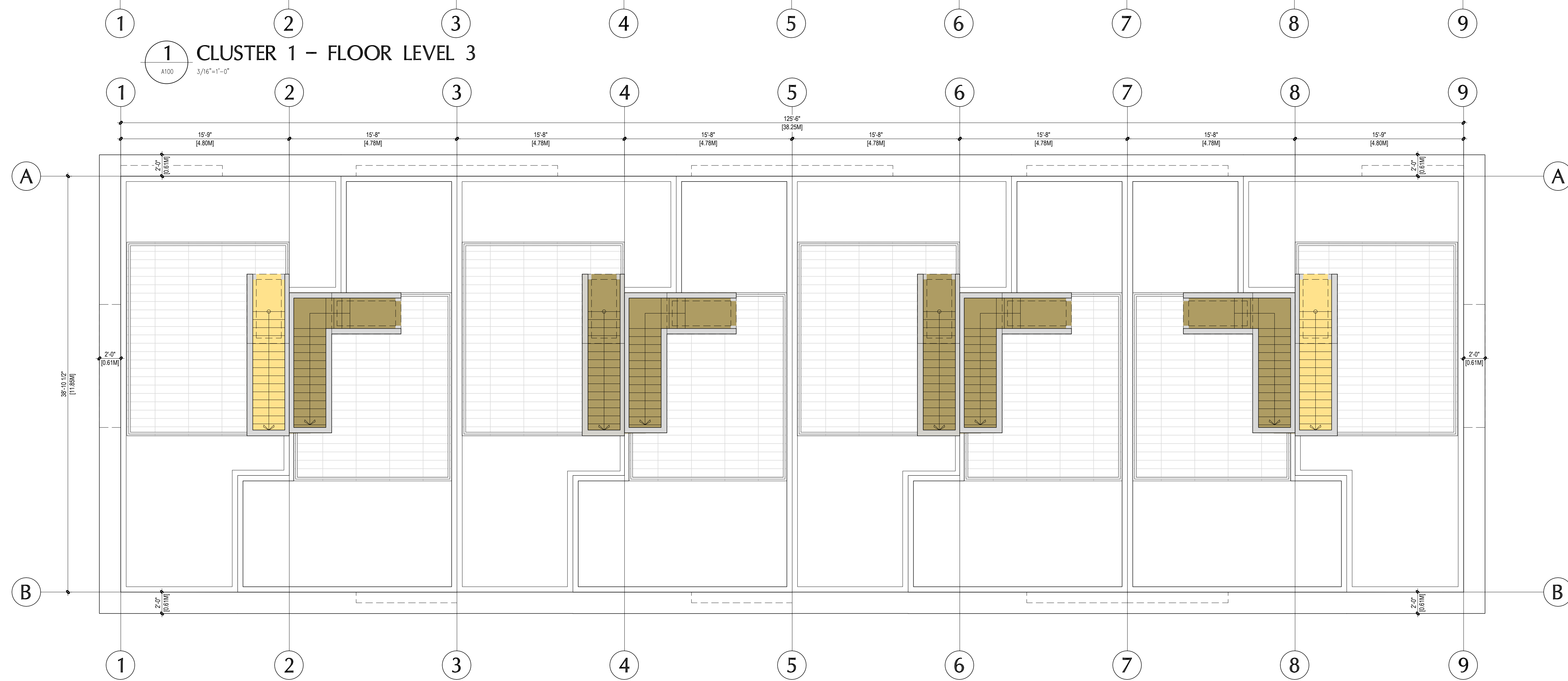
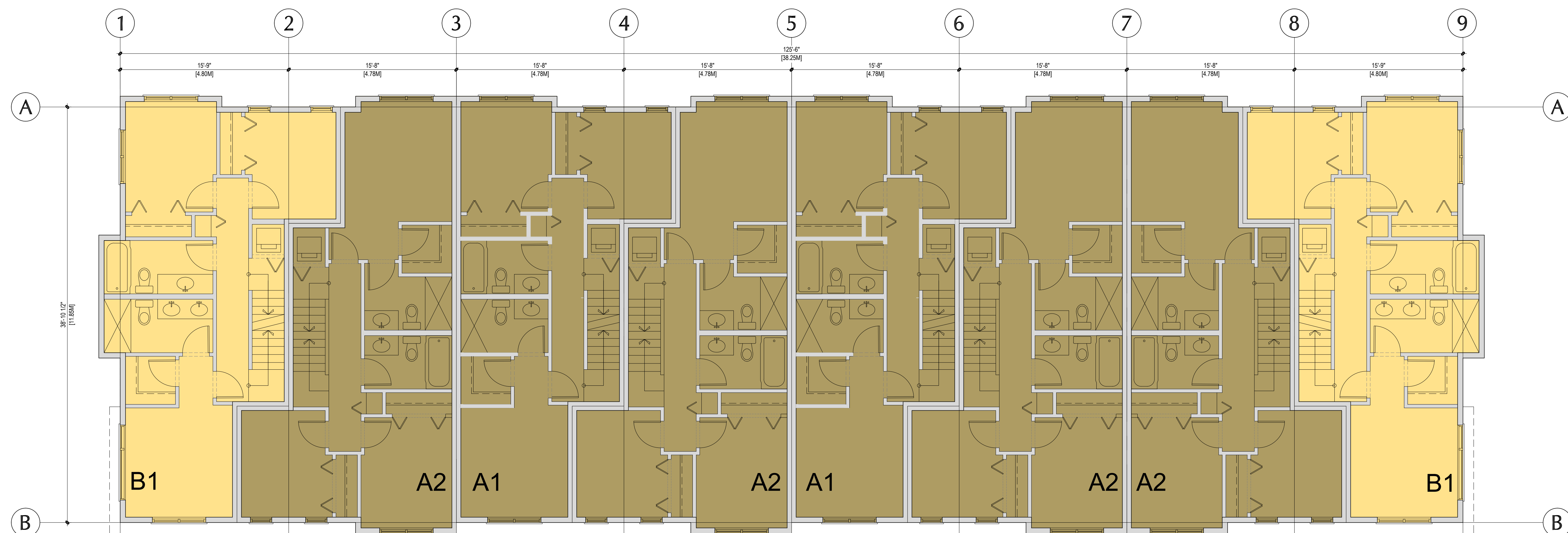
LANDSCAPE:

DRAWING TITLE:

c

CLUSTER-1
LEVEL 1, LEVEL 2

PROJECT NO: 17087	DRAWN BY: CSH
SCALE: 3/16" =1'-0"	REVIEW BY: DEM
DATE: OCTOBER, 2017	DRAWING NO: A0200



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LANDSCAPE: _____

DRAWING TITLE: **cl**

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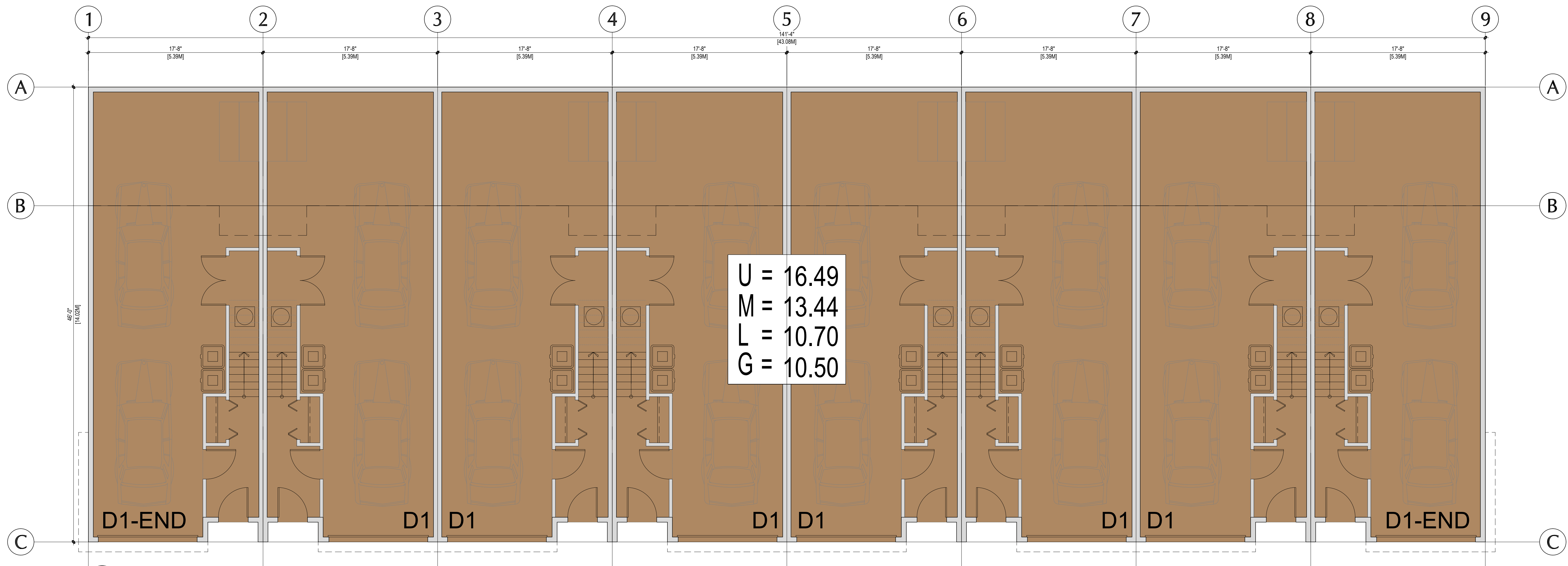
LEVEL 3, ROOF

ECT NO:	17087	DRAWN BY:	CSH
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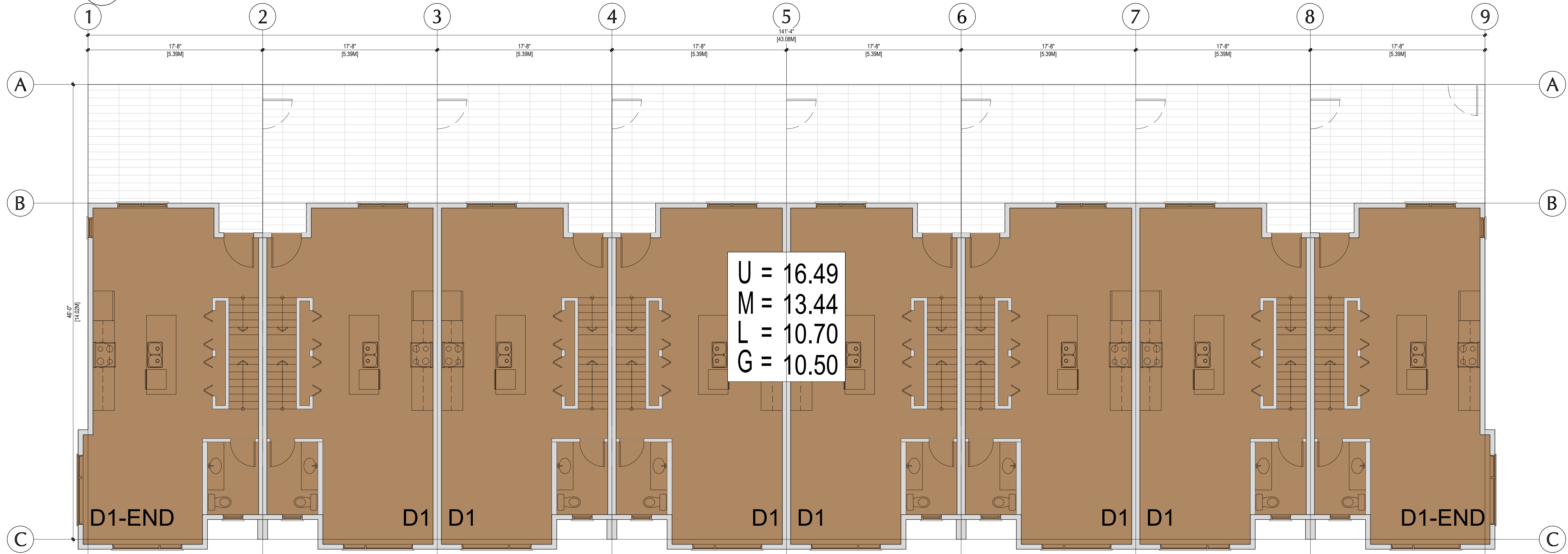
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DRAWING NO: A0201

DATE: OCTOBER, 2017	DRAWING NO: 710201
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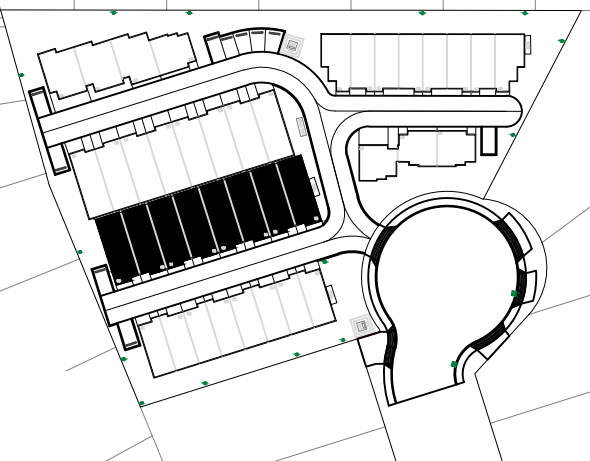
1 CLUSTER 2 - FLOOR LEVEL 1
A100 3/16"=1'-0"



2 CLUSTER 2 - FLOOR LEVEL 2
A100 3/16"=1'-0"

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3 KEY PLAN
A100 N.T.S.

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THE CONCOST GROUP

NO.	REVISION	DATE
02	DP - SUBMISSION	10/25/17
01	DP - SUBMISSION	09/15/17
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PROJECT NAME

199 A
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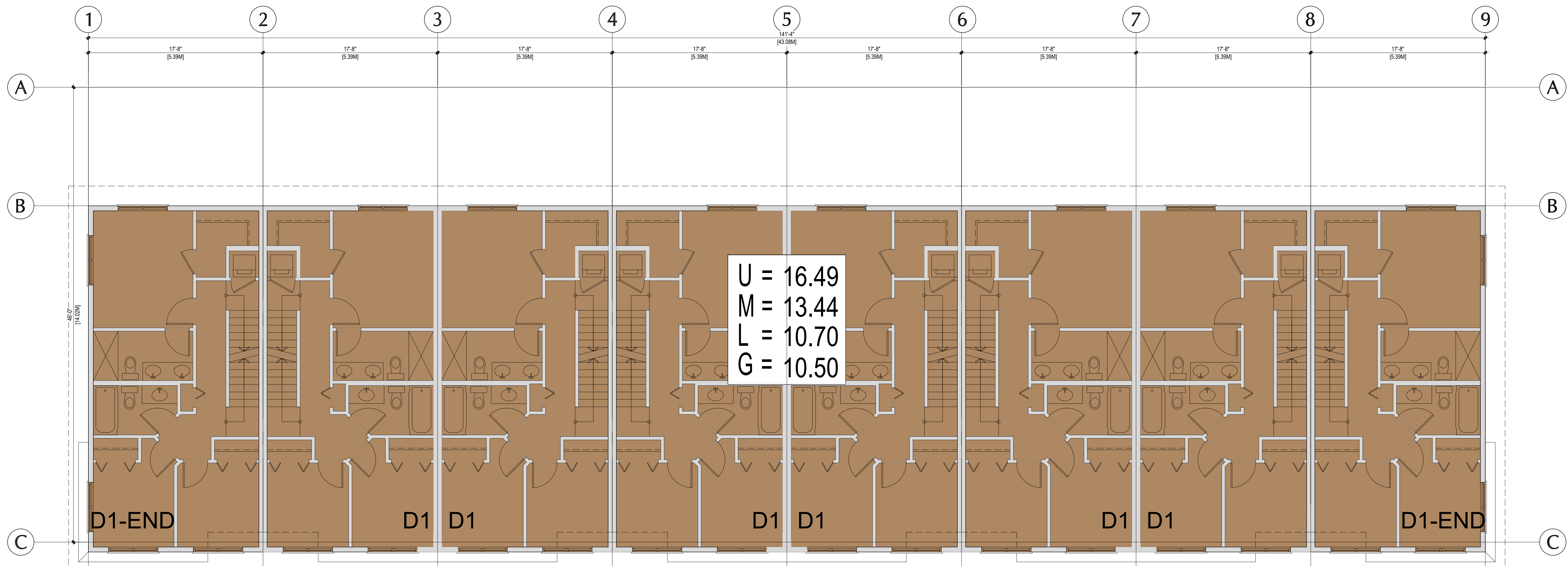
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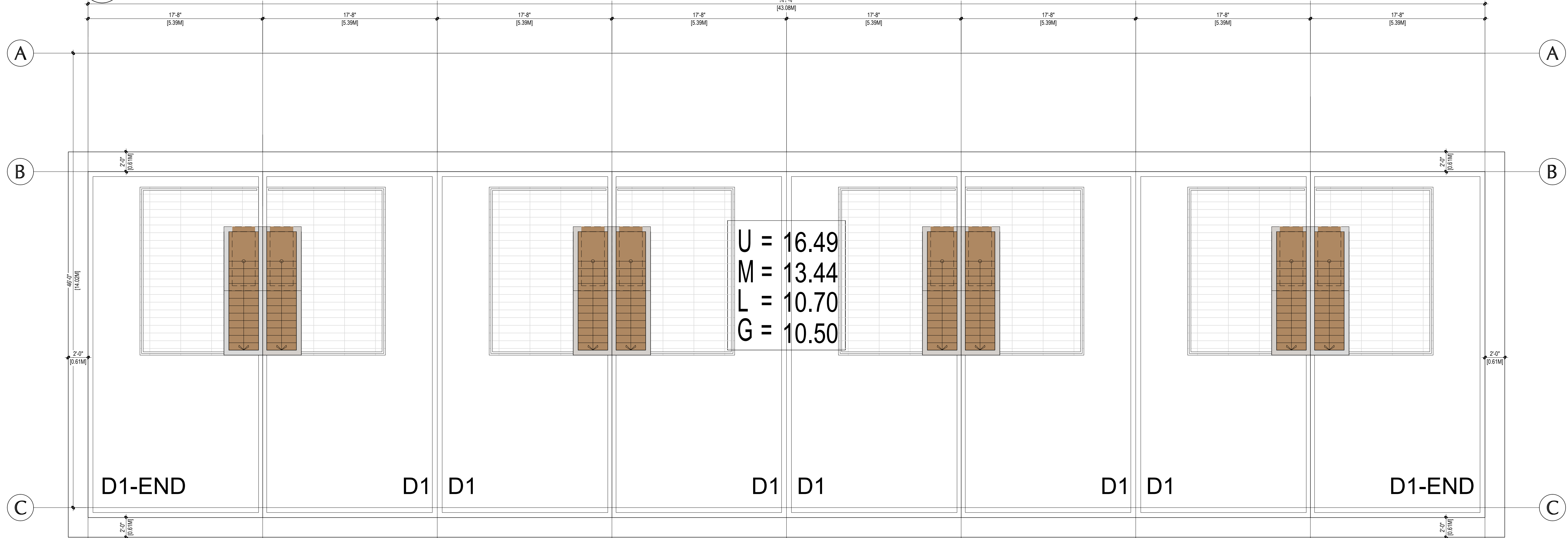
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CLUSTER-2
LEVEL 1, LEVEL 2

PROJECT NO.	17087	DRAWN BY:	CSH
SCALE:	3/16" = 1'-0"	REVIEW BY:	DEM
DATE:	OCTOBER, 2017	DRAWING NO.	A0202



1 CLUSTER 2 - FLOOR LEVEL 3
A100 3/16"=1'-0"



2 CLUSTER 2 - ROOF
A100 3/16"=1'-0"

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3 KEY PLAN
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**CONCOSTS
THE CONCOST GROUP**

NO.	REVISION	MDY
02	DP RE-SUBMISSION	10/25/17
01	DP SUBMISSION	09/15/17

PROJECT NAME
**199 A
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LANDSCAPE:

DRAWING TITLE:
**CLUSTER-2
LEVEL 3, ROOF**

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DATE:	OCTOBER, 2017	DRAWING NO:	A0203

PROJECT NO:	17087	DRAWN BY:	CSH
SCALE:	3/16" = 1'-0"	REVIEW BY:	DEM
DATE:	OCTOBER, 2017	DRAWING NO:	A0204

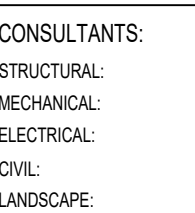


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PROJECT NAME

PROJECT ADDRESS:

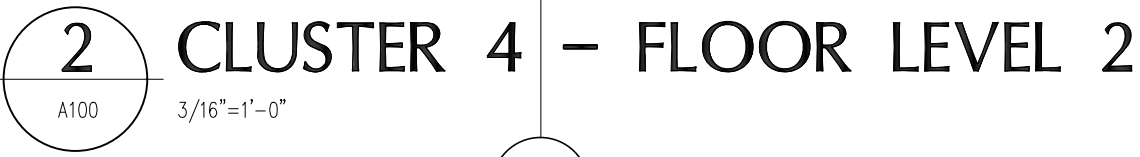
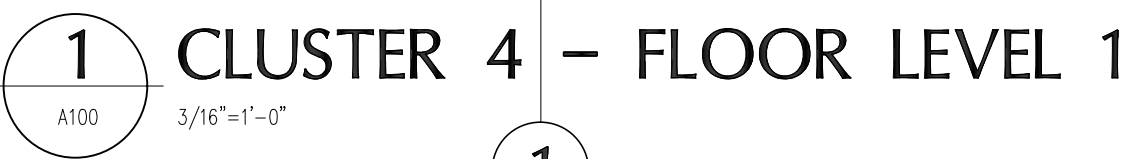
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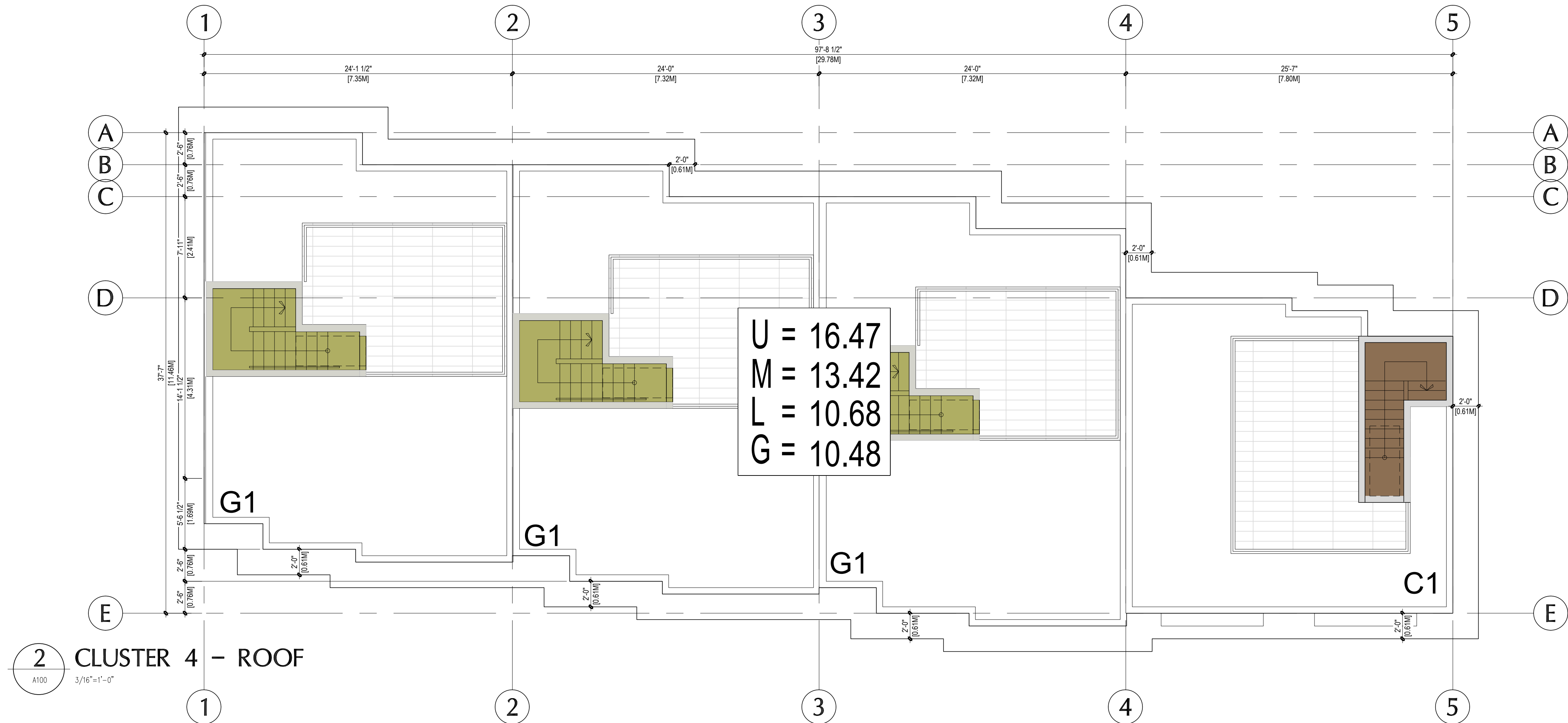
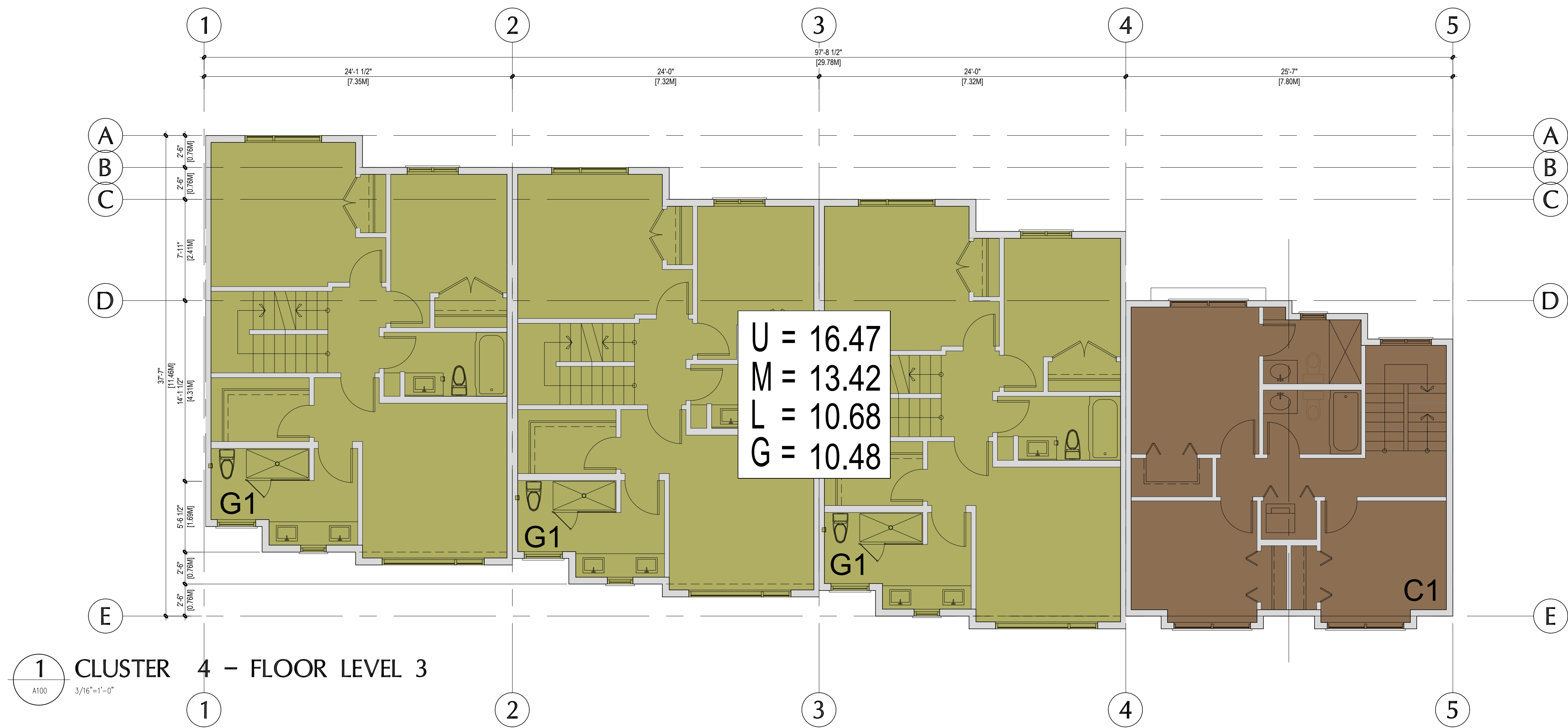


DRAWING TITLE:

CLUSTER-4
LEVEL 1, LEVEL 2

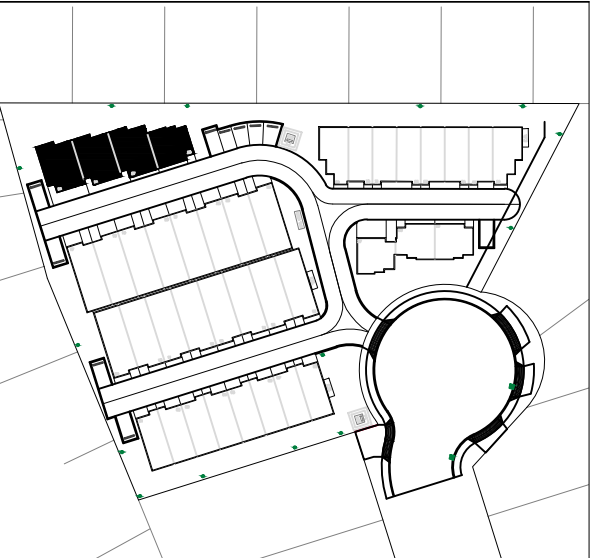
PROJECT NO: 17087	DRAWN BY: CSH
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SEAL



OWNER/CLIENT

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02	DP RE-SUBMISSION	10/25/17
01	DP SUBMISSION	09/15/17
NO.	REVISION	MDY

PROJECT NAME

199 A
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PROJECT ADDRESS:

199A STREET
CITY OF LANGLEY, BC

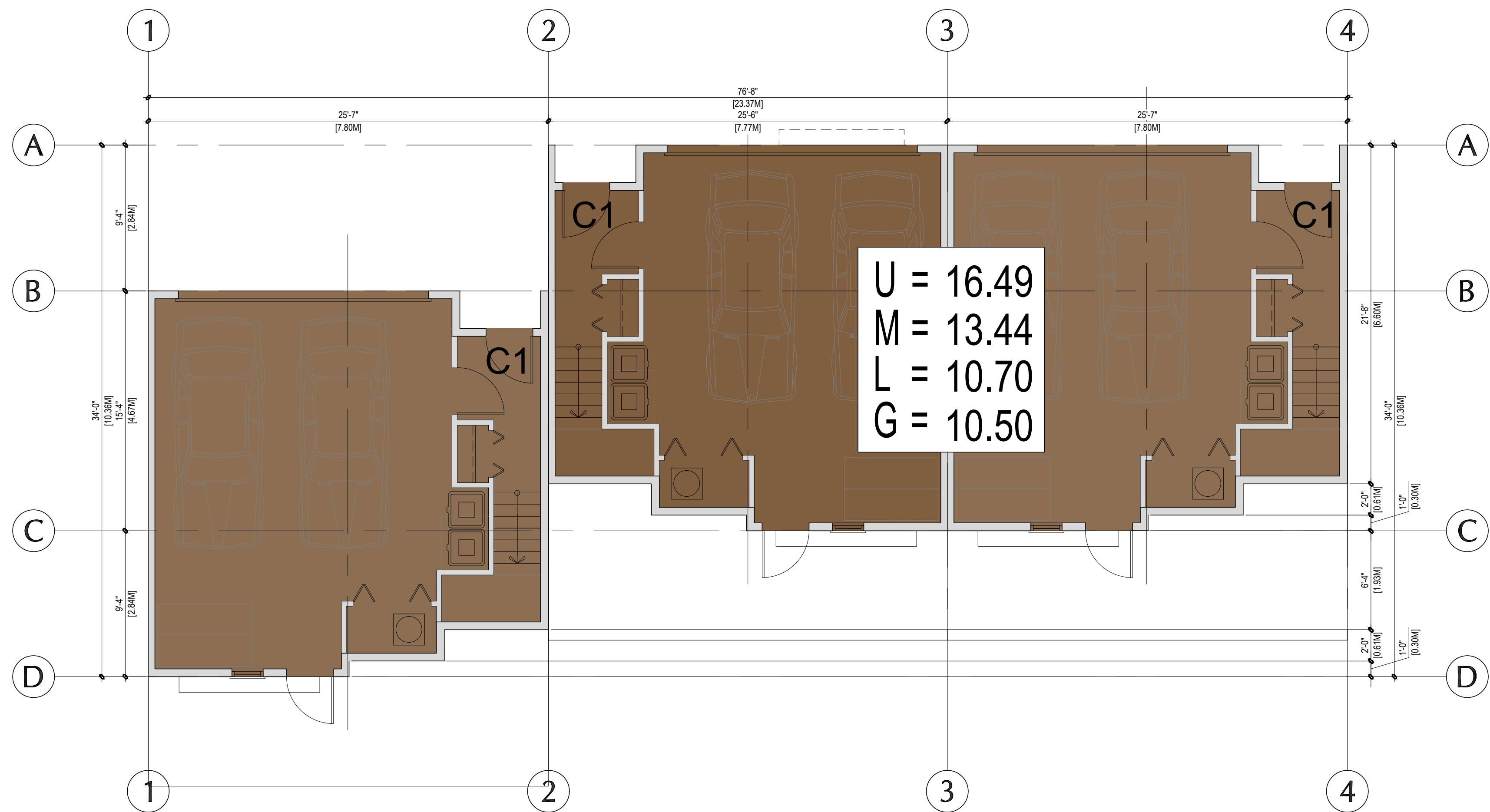
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CIVIL:
LANDSCAPE:

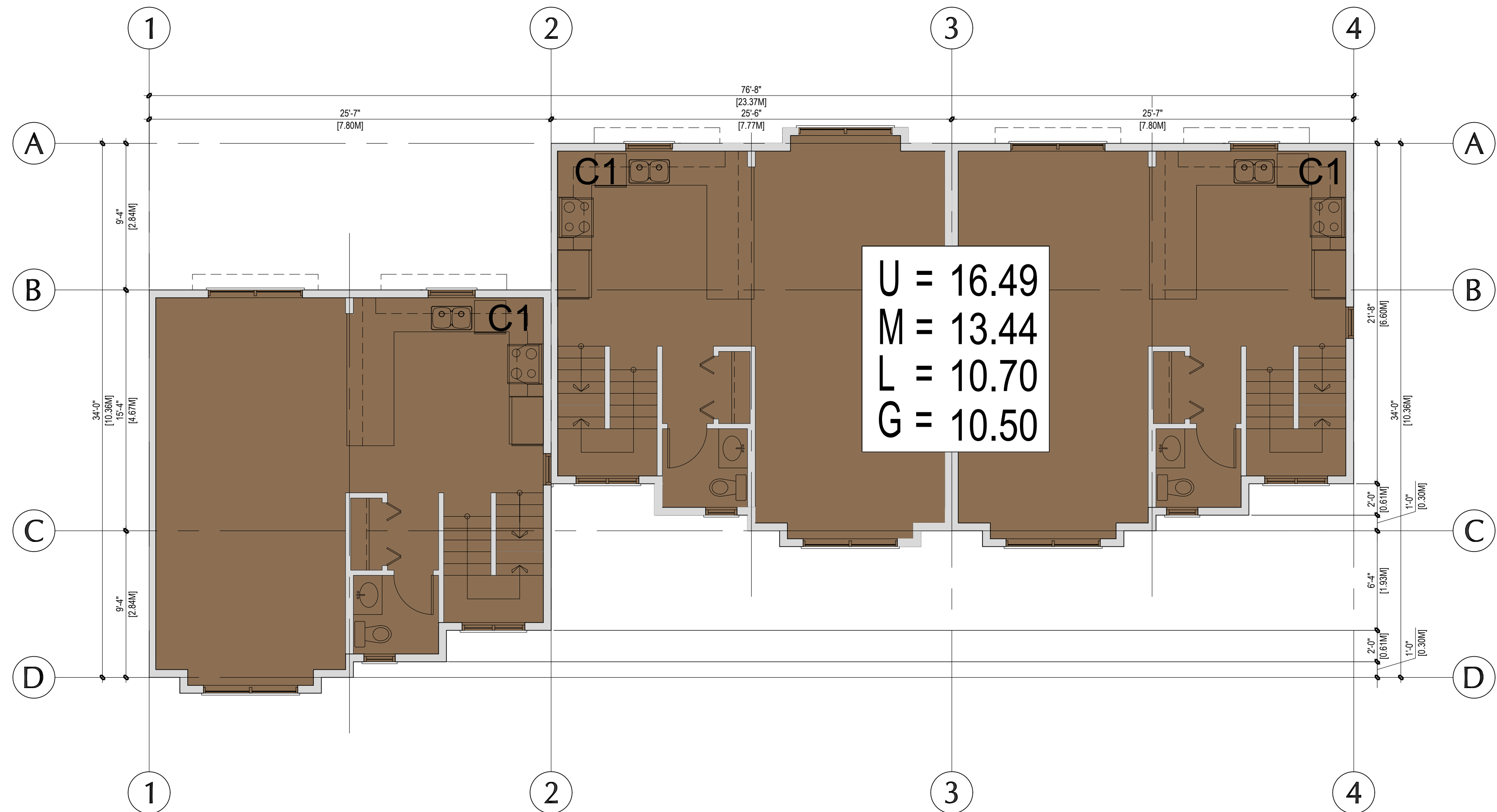
DRAWING TITLE:

CLUSTER-4
LEVEL 3, ROOF

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SCALE:	3/16" = 1'-0"	REVIEW BY:	DEM
DATE:	OCTOBER, 2017	DRAWING NO:	A0207



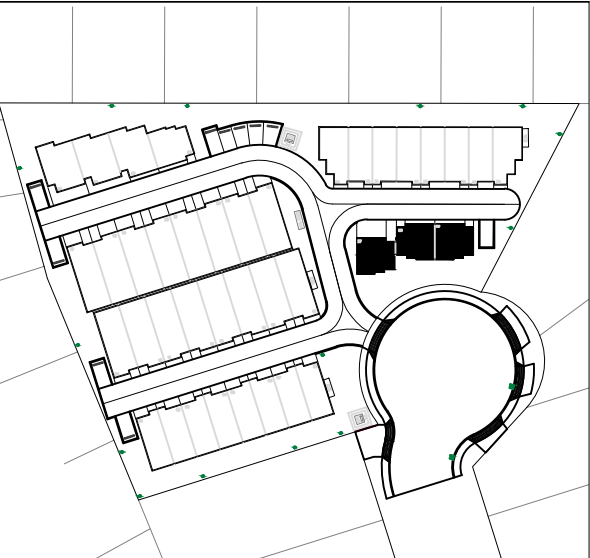
1 CLUSTER 5 – FLOOR LEVEL 1
A100 3/16"=1'-0"



2 CLUSTER 5 – FLOOR LEVEL 2
A100 3/16"=1'-0"

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SEAL



3 KEY PLAN

A100 N.T.S.

OWNER/CLIENT

CONCOSTS
THE CONCOST GROUP

02	DP RE-SUBMISSION	10/25/17
01	DP SUBMISSION	09/15/17

NO. REVISION MIDY

PROJECT NAME

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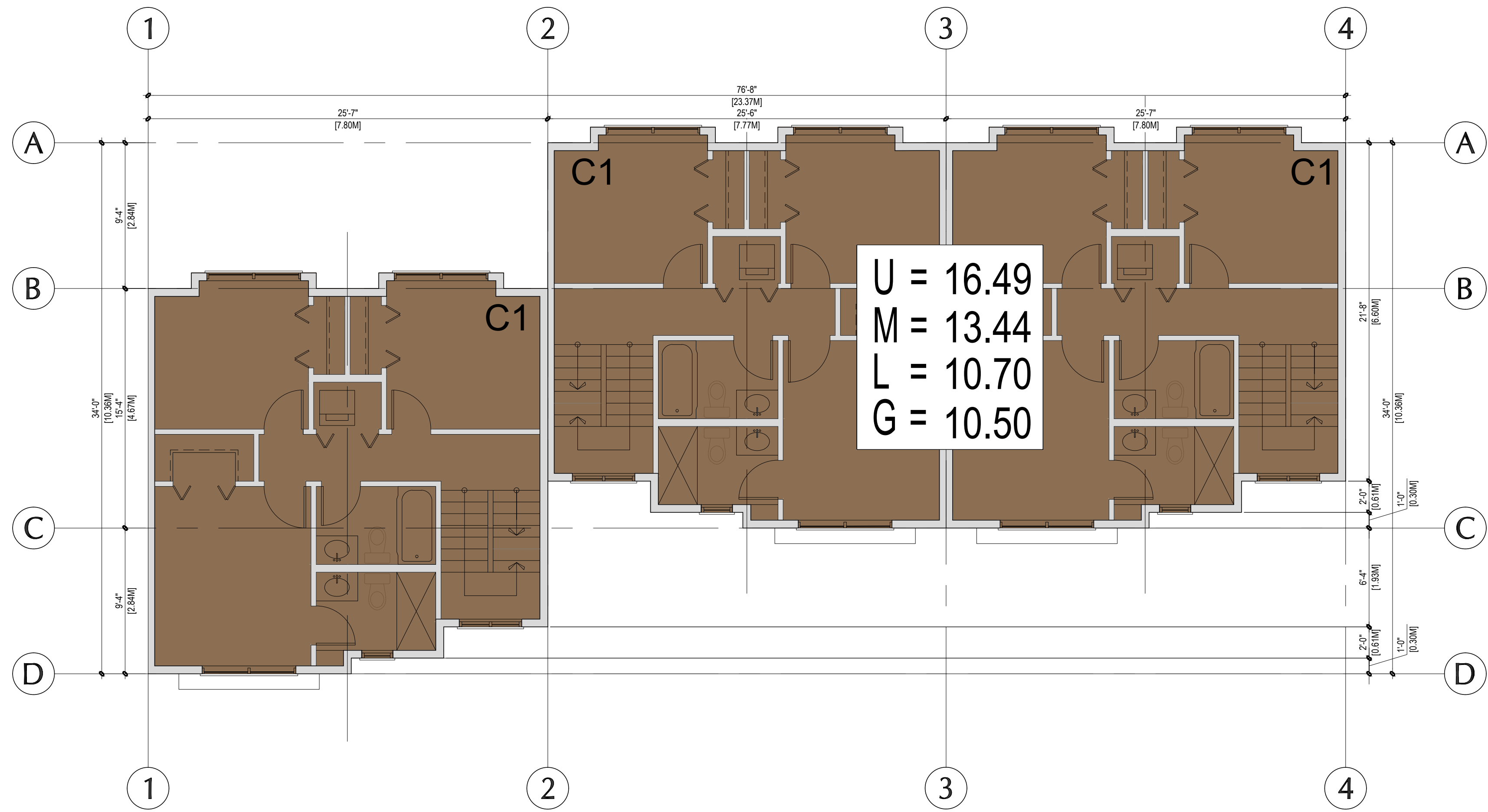
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LANDSCAPE:

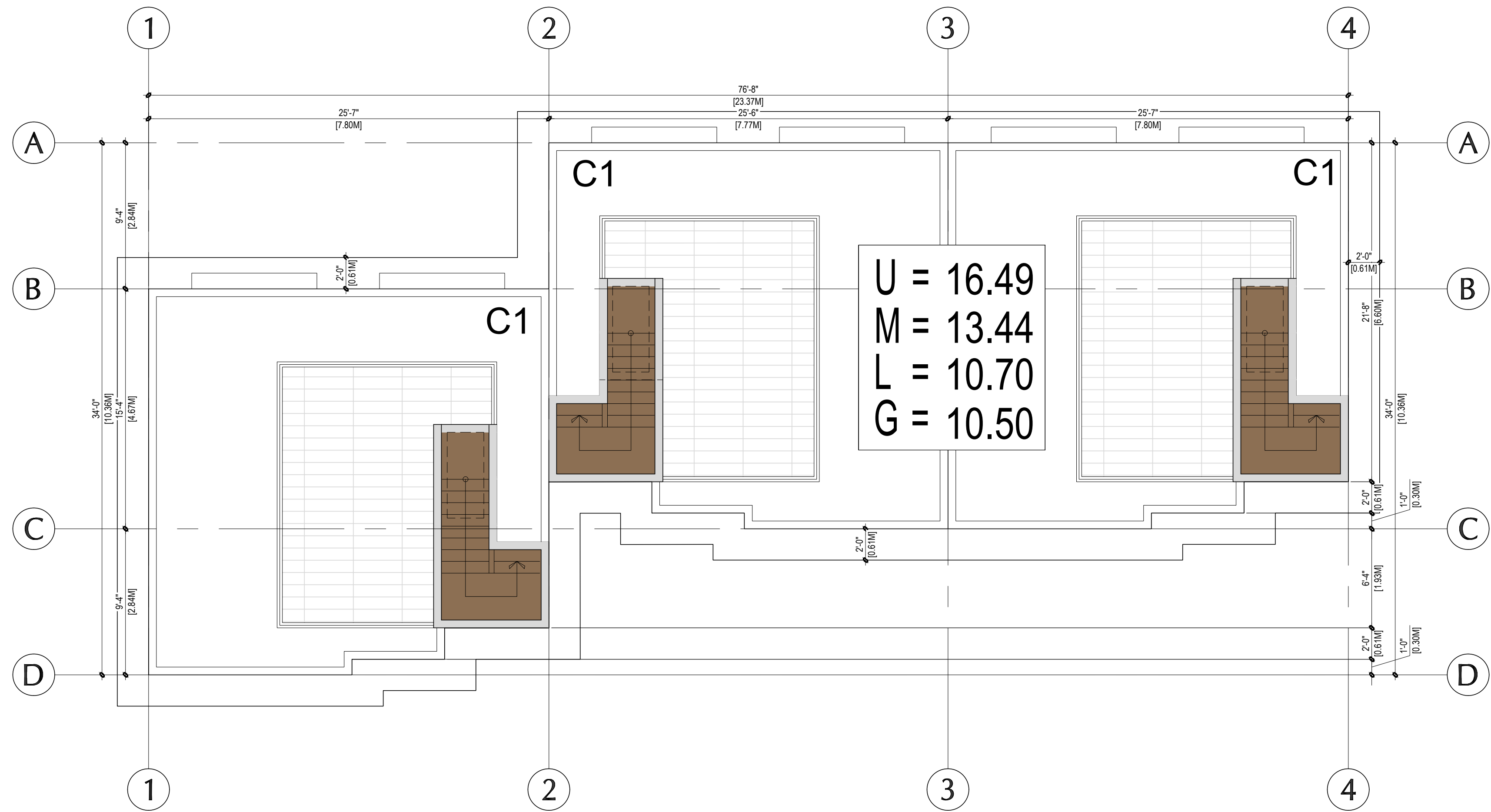
DRAWING TITLE:

CLUSTER-5
LEVEL 1, LEVEL 2

PROJECT NO:	17087	DRAWN BY:	CSH
SCALE:	3/16" =1'-0"	REVIEW BY:	DEM
DATE:	OCTOBER,2017	DRAWING NO:	A0208



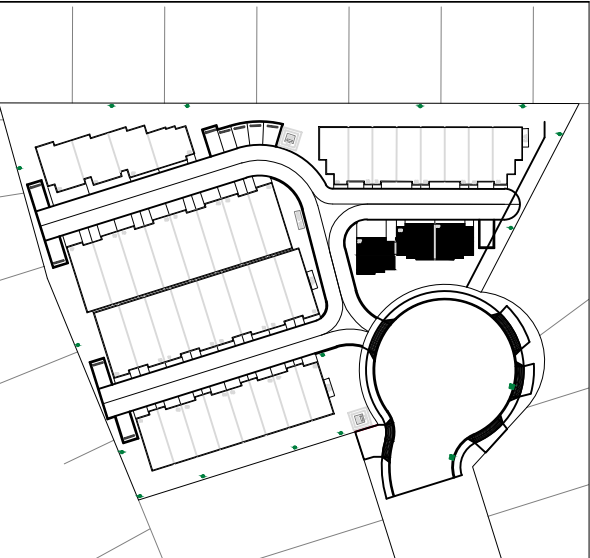
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A100 3/16"=1'-0"



2 CLUSTER 5 - ROOF
A100 3/16"=1'-0"

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SEAL



3 KEY PLAN
A100 N.T.S.

OWNER/CLIENT

CONCOSTS
THE CONCOST GROUP

02	DP RE-SUBMISSION	10/25/17
01	DP SUBMISSION	09/15/17

NO. REVISION MIDY

PROJECT NAME

199 A
TOWNHOUSE
RESIDENCES

PROJECT ADDRESS:

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CITY OF LANGLEY, BC

104-3212 Jacklin Rd.
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office@wensleyarch.com

WA
WENSLEY ARCHITECTURE LTD

CONSULTANTS:

STRUCTURAL:

MECHANICAL:

ELECTRICAL:

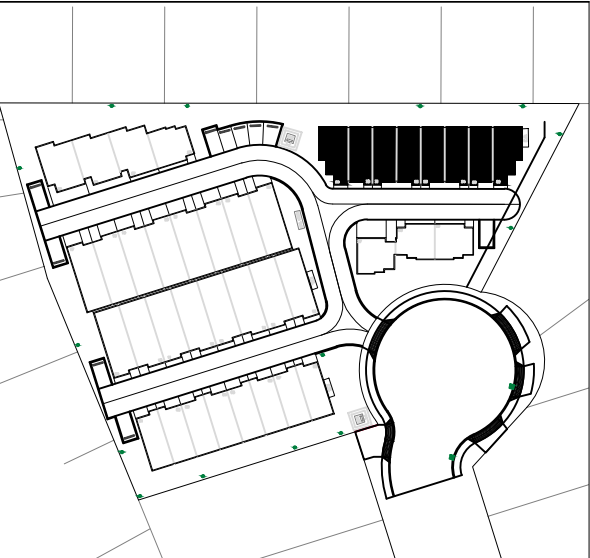
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LANDSCAPE:

DRAWING TITLE:

CLUSTER-5
LEVEL 3, ROOF

PROJECT NO:	17087	DRAWN BY:	CSH
SCALE:	3/16" =1'-0"	REVIEW BY:	DEM
DATE:	OCTOBER,2017	DRAWING NO:	A0209



3 KEY PLAN

A100 N.T.S.

OWNER/CLIENT

CONCOSTS
THE CONCOST GROUP

02	DP RE-SUBMISSION	10/25/17
01	DP SUBMISSION	09/15/17
NO.	REVISION	MDY

PROJECT NAME

199 A
TOWNHOUSE
RESIDENCES

PROJECT ADDRESS:

199A STREET
CITY OF LANGLEY, BC



CONSULTANTS:

STRUCTURAL:

MECHANICAL:

ELECTRICAL:

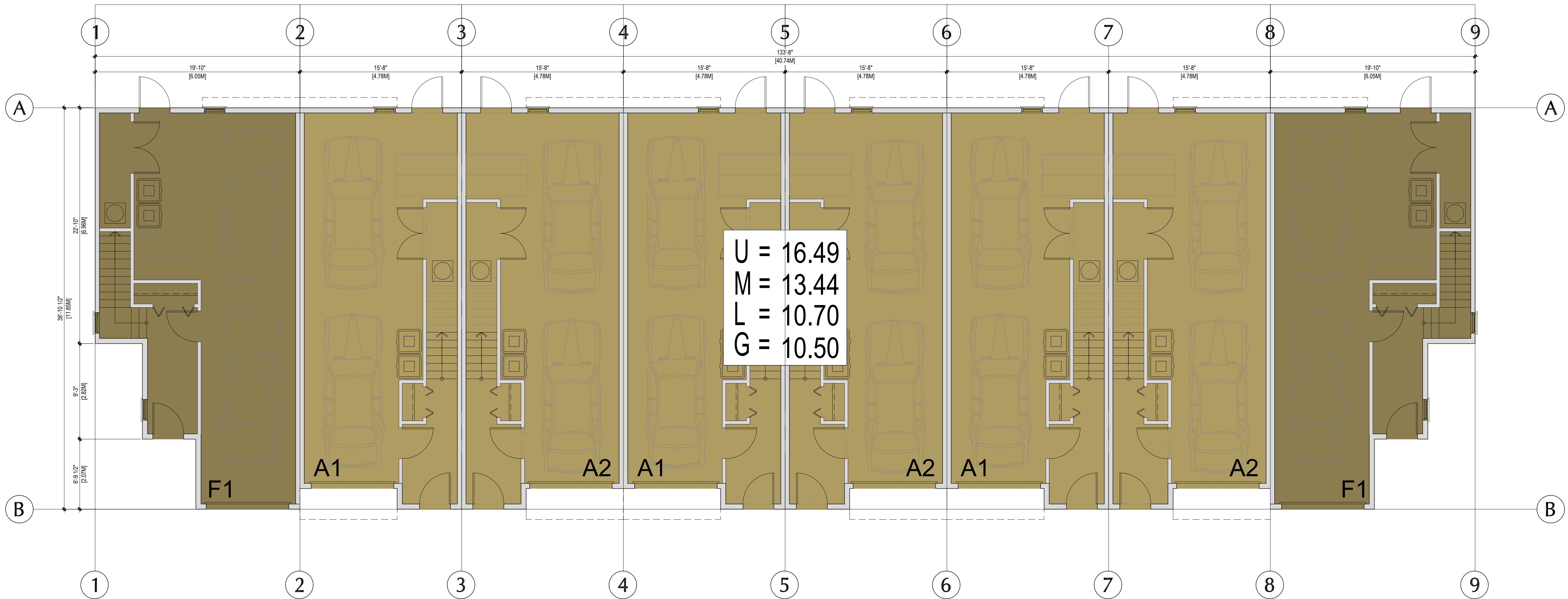
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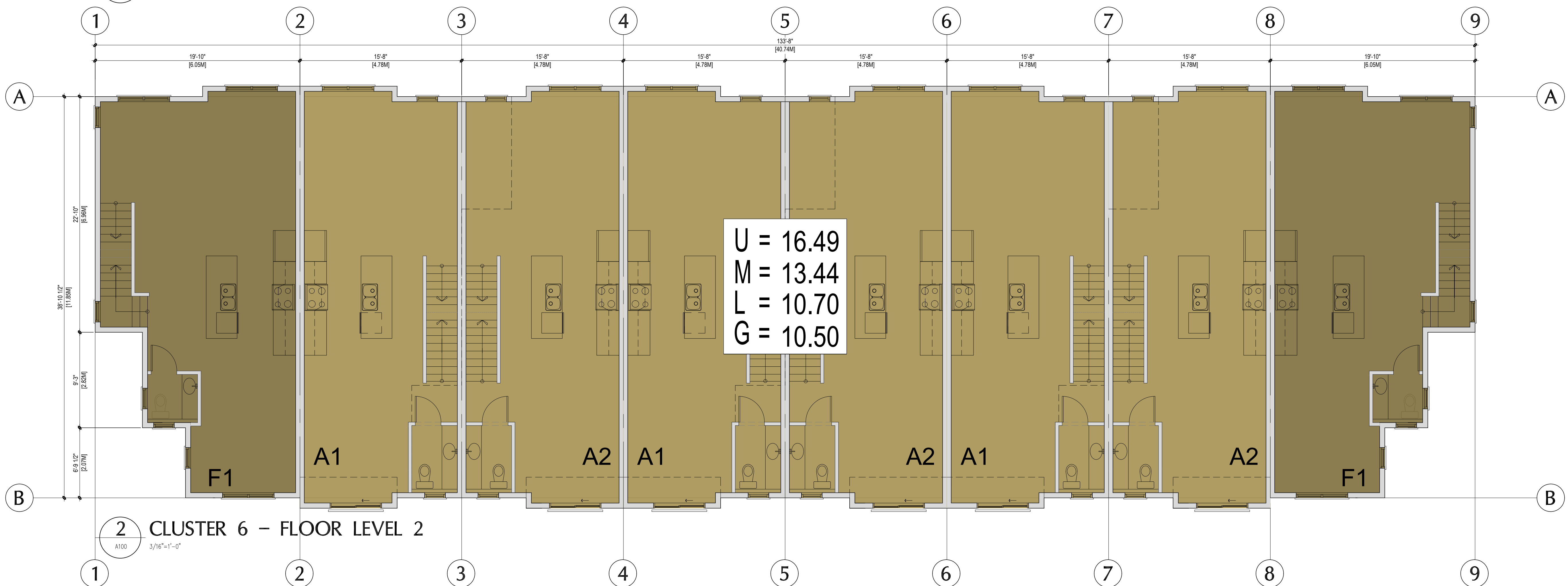
CLUSTER-6
LEVEL 1, LEVEL 2

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DATE:	OCTOBER, 2017	DRAWING NO:	A0210



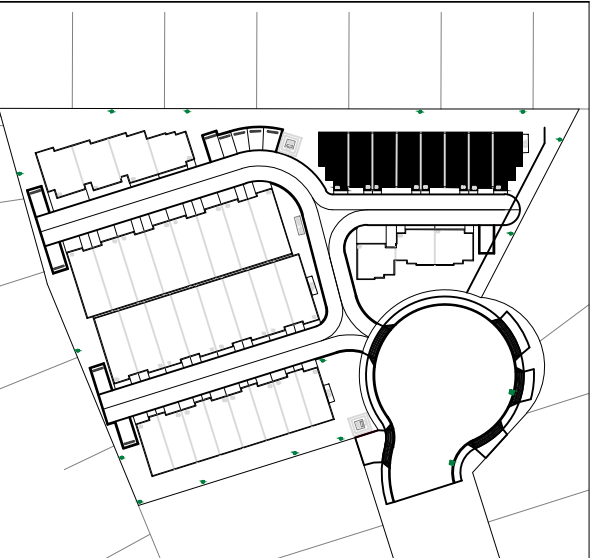
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A100 3/16"=1'-0"



2 CLUSTER 6 - FLOOR LEVEL 2

A100 3/16"=1'-0"



3 KEY PLAN
A100 N.T.S.

OWNER/CLIENT

CONCOSTS
THE CONCOST GROUP

02	DP RE-SUBMISSION	10/25/17
01	DP SUBMISSION	09/15/17
NO.	REVISION	MDY

PROJECT NAME

199 A
TOWNHOUSE
RESIDENCES

PROJECT ADDRESS:

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CITY OF LANGLEY, BC

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office@wensleyarch.com



CONSULTANTS:

STRUCTURAL:

MECHANICAL:

ELECTRICAL:

CIVIL:

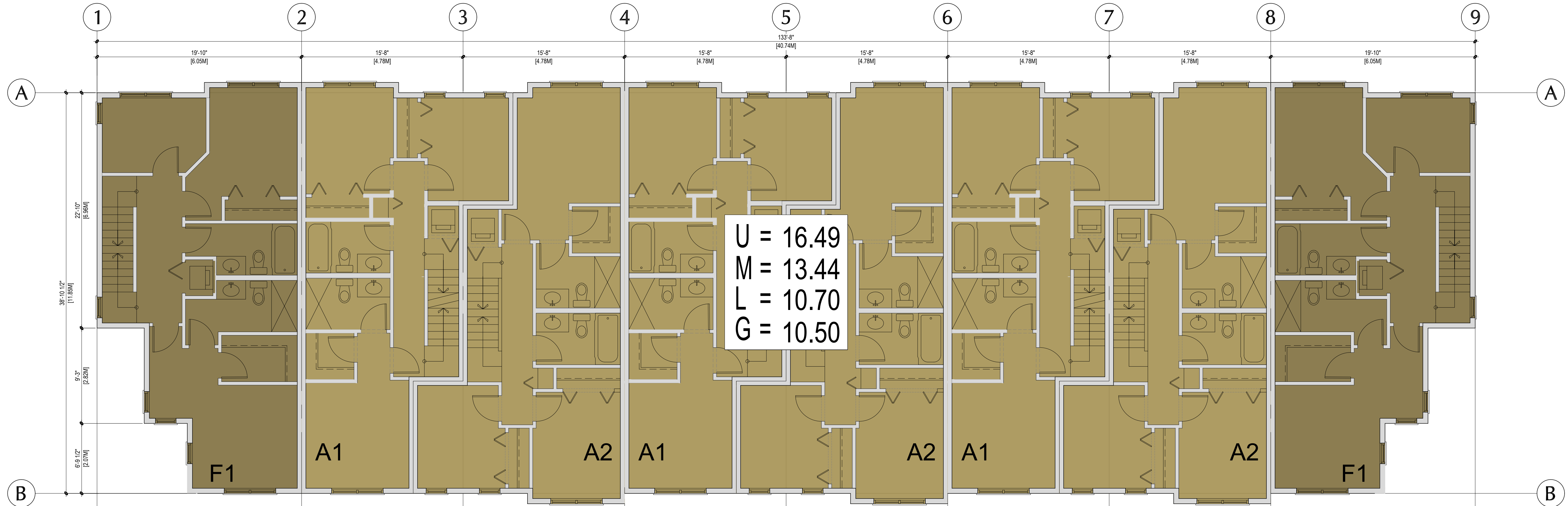
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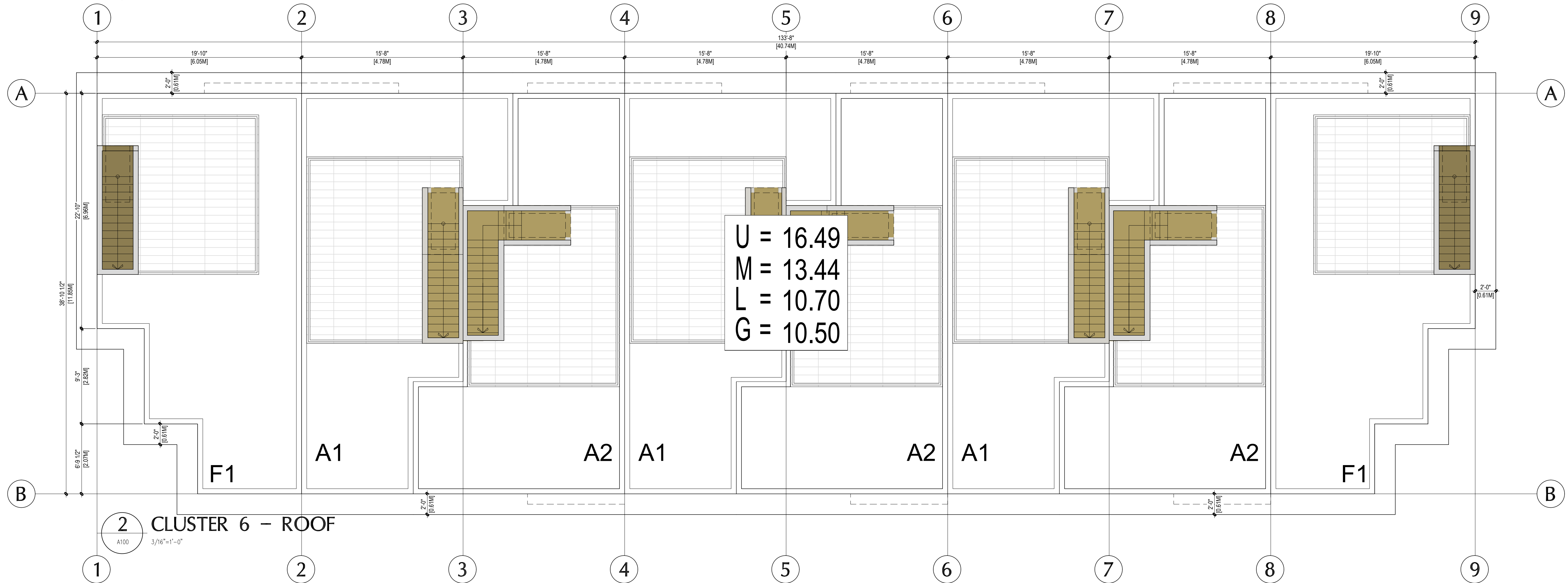
CLUSTER-6

LEVEL 3, ROOF

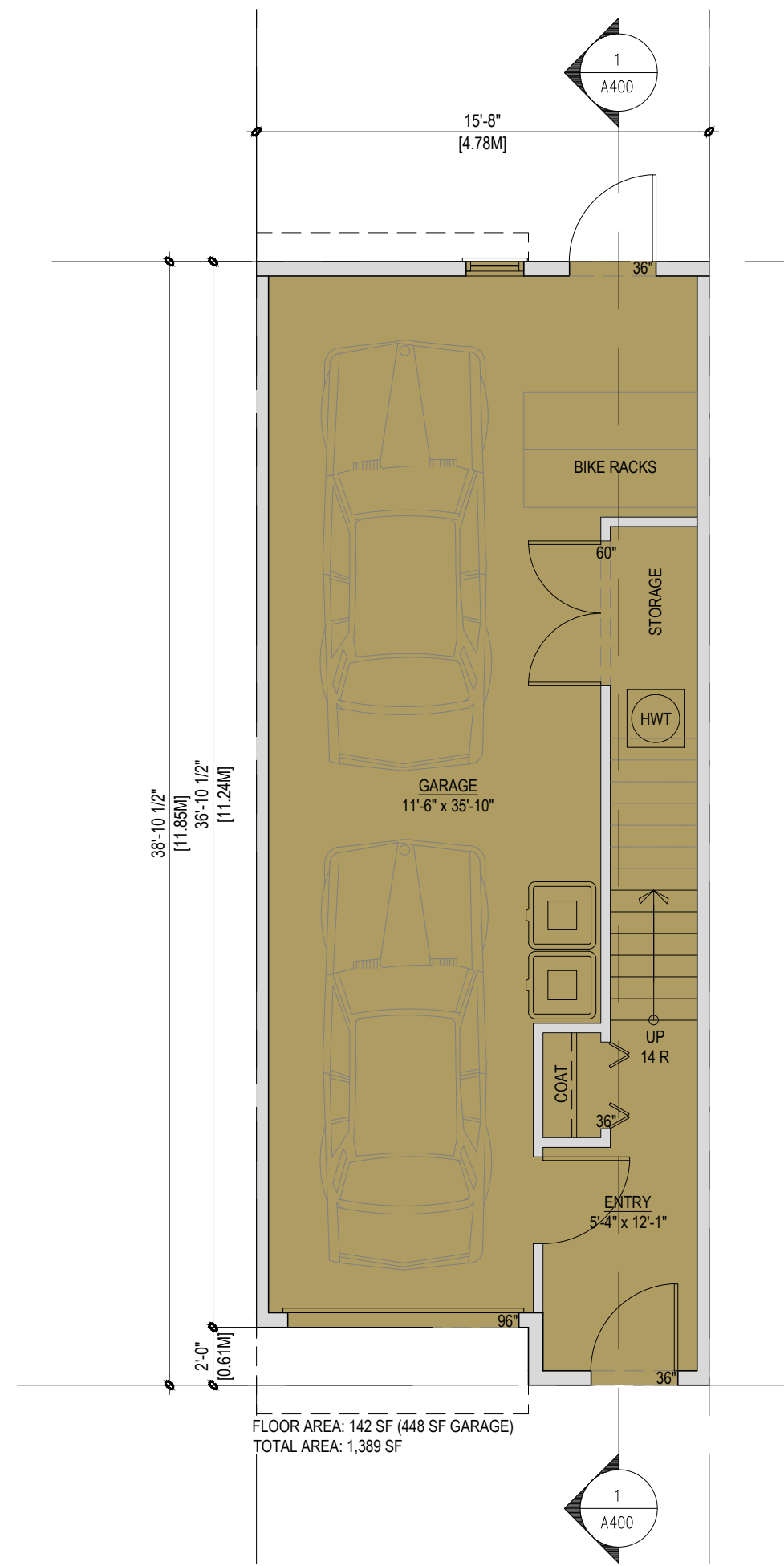
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DATE:	OCTOBER, 2017	DRAWING NO:	A0211



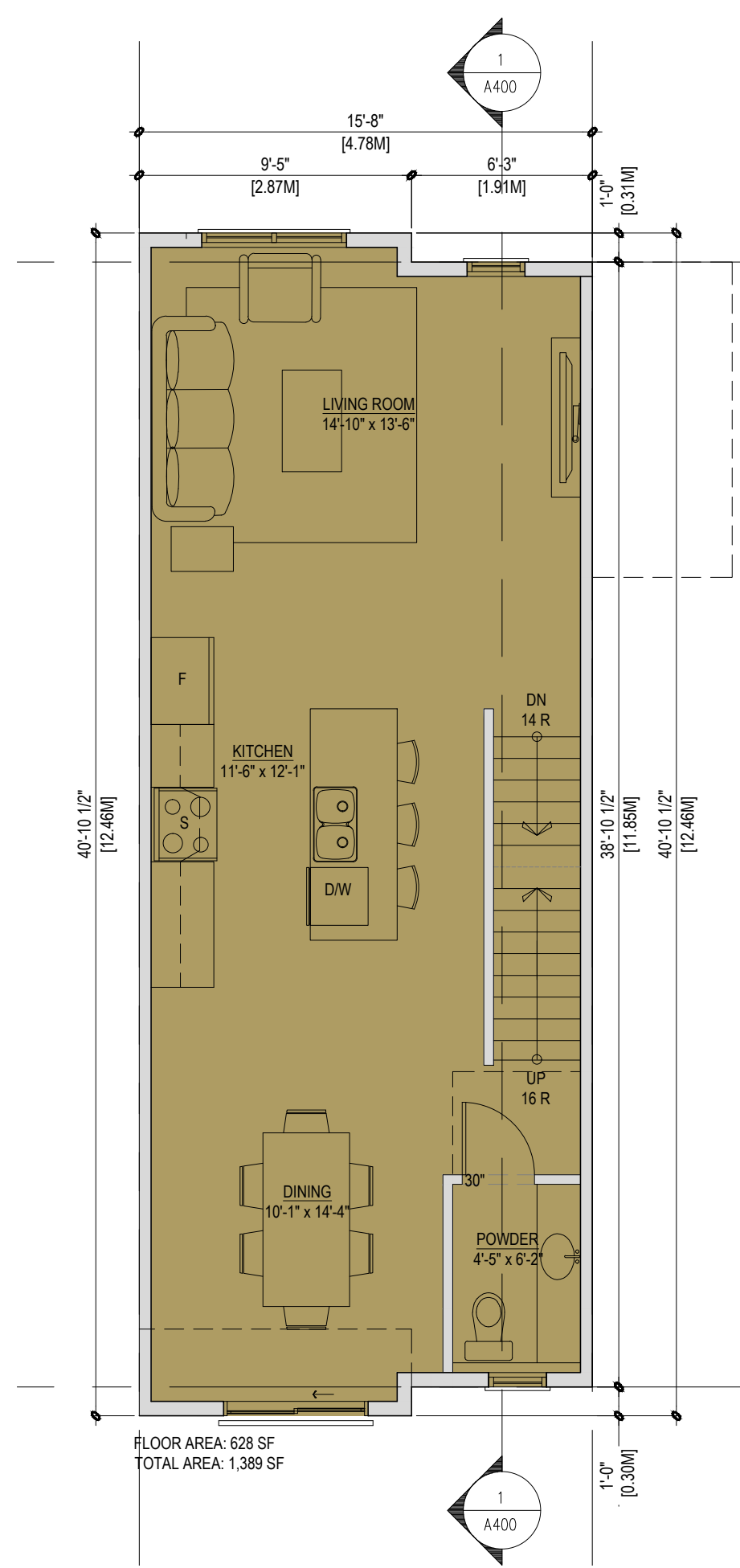
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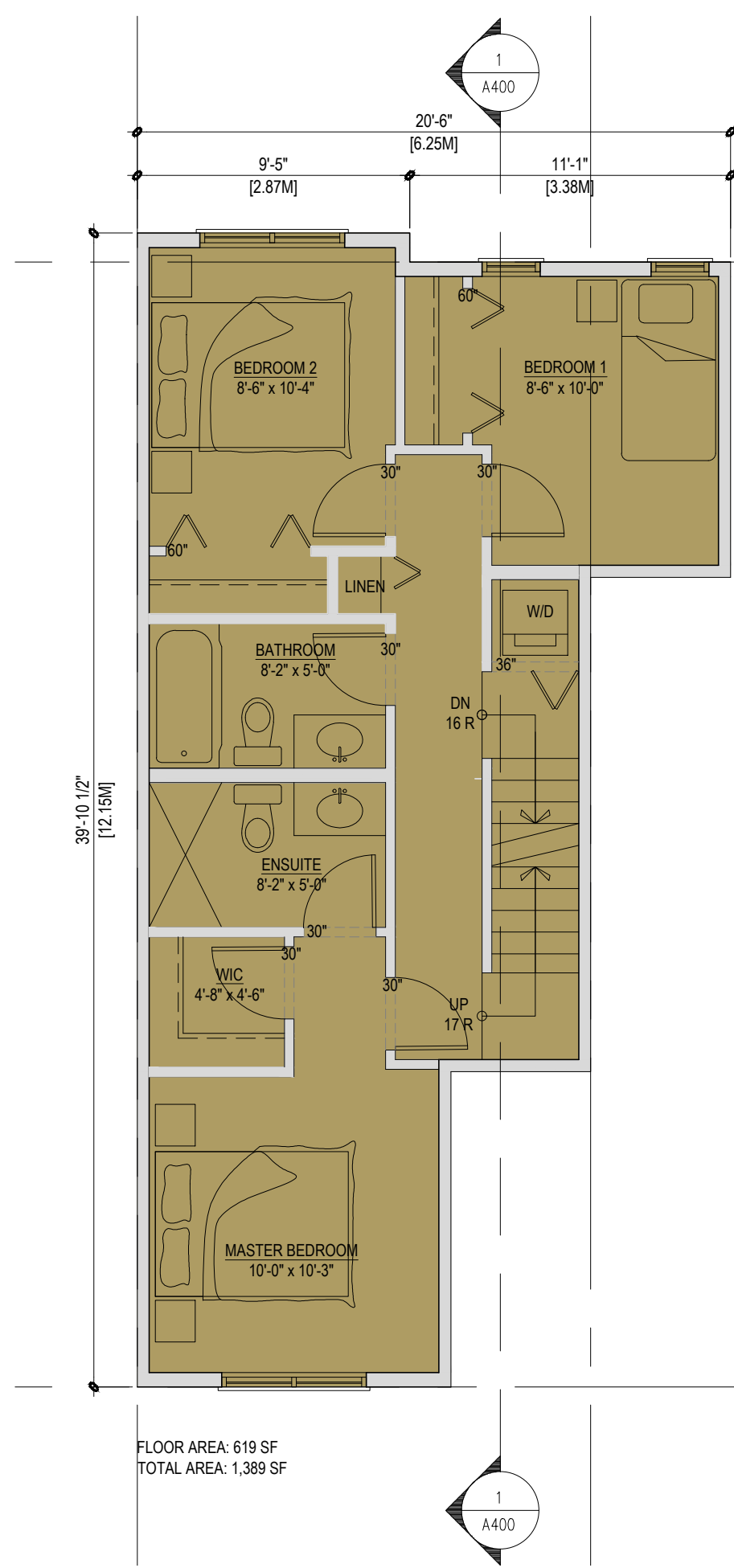
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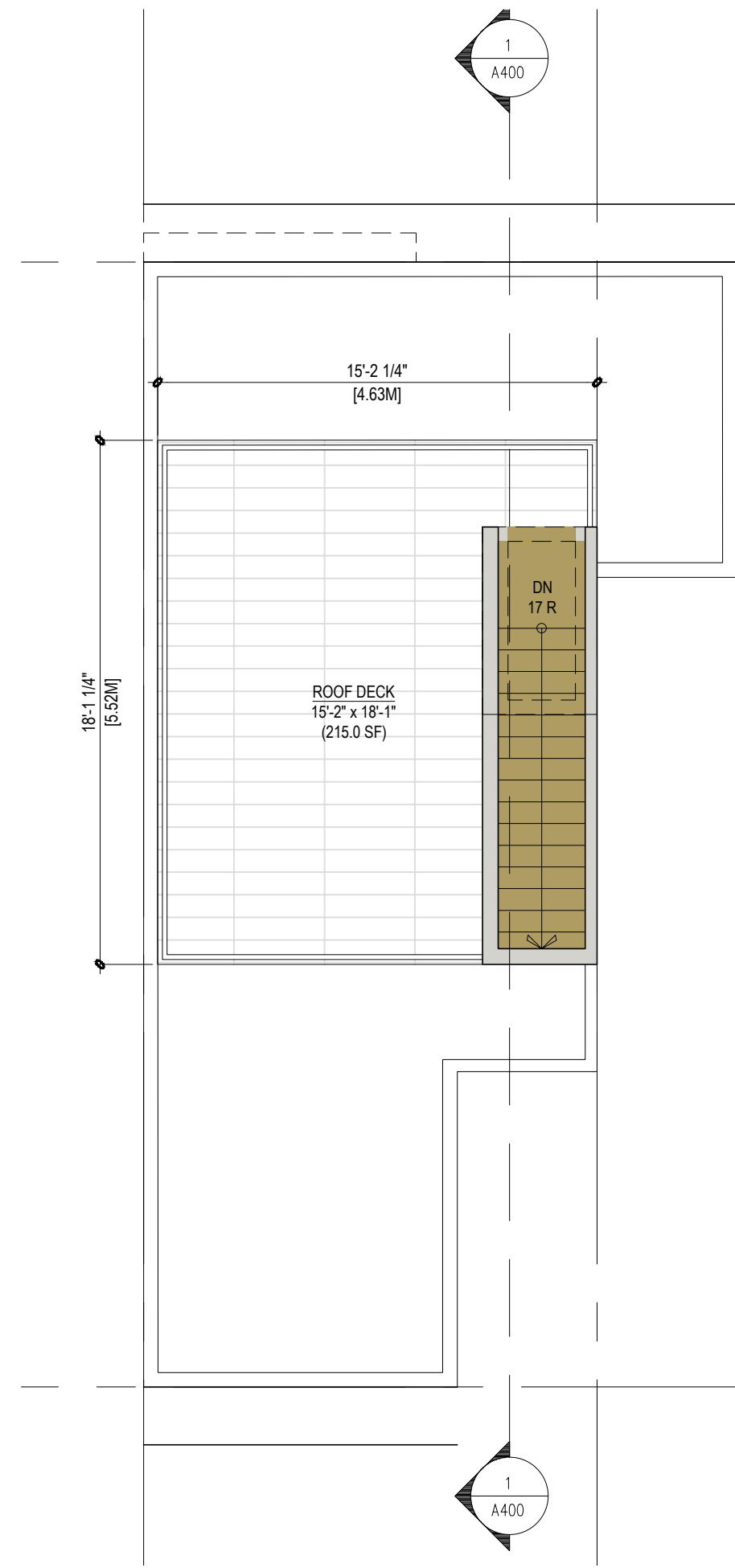
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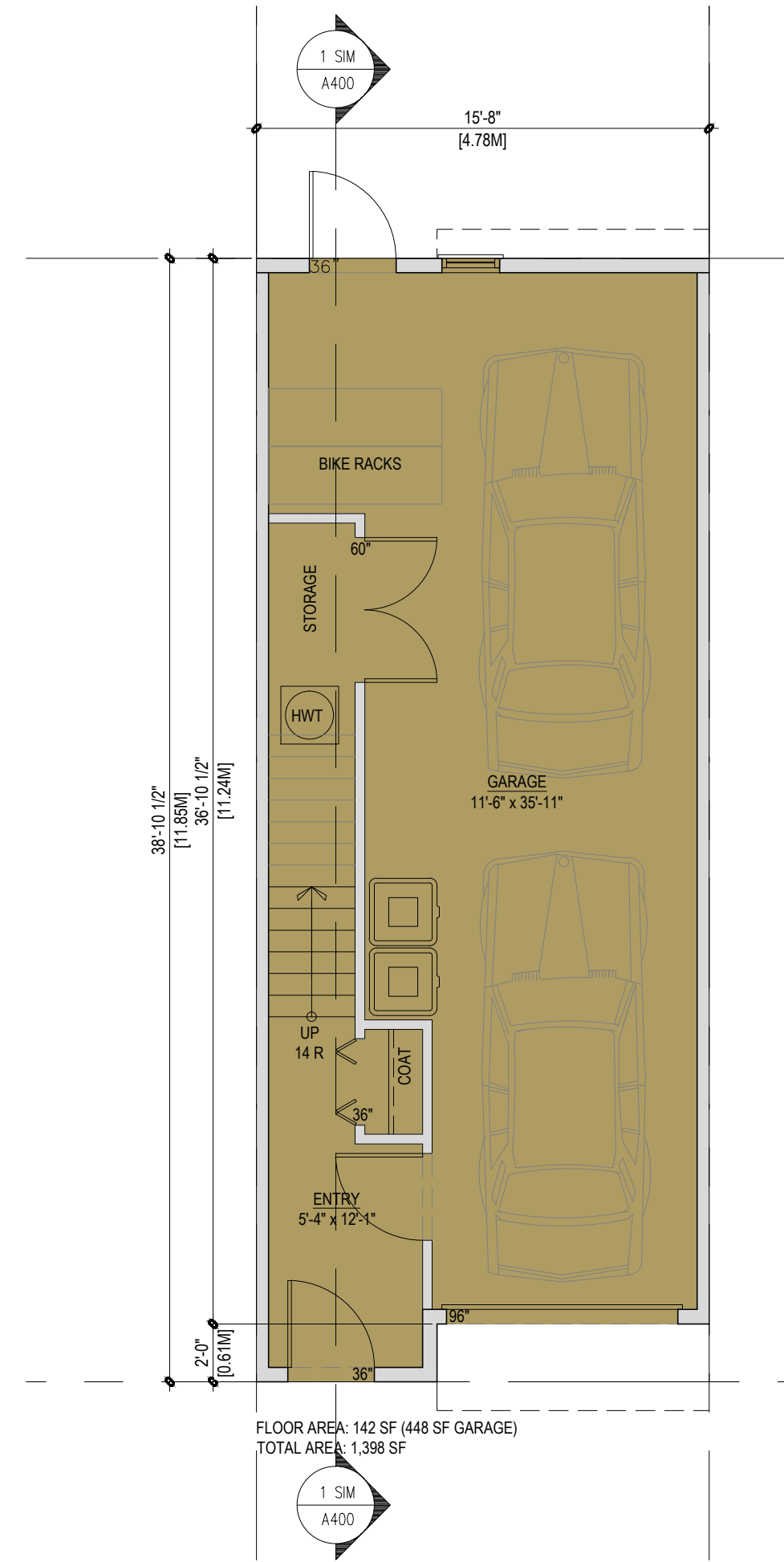
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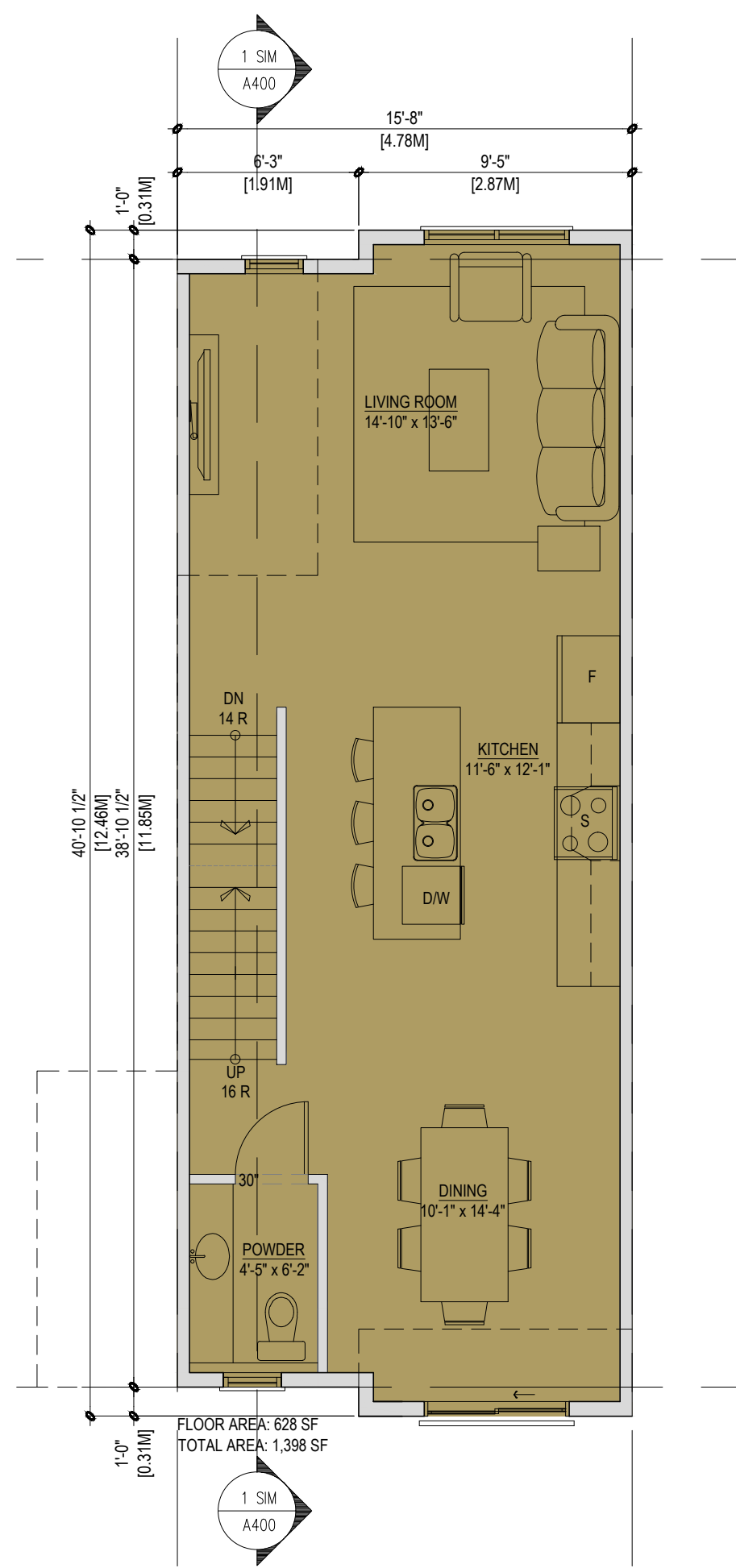
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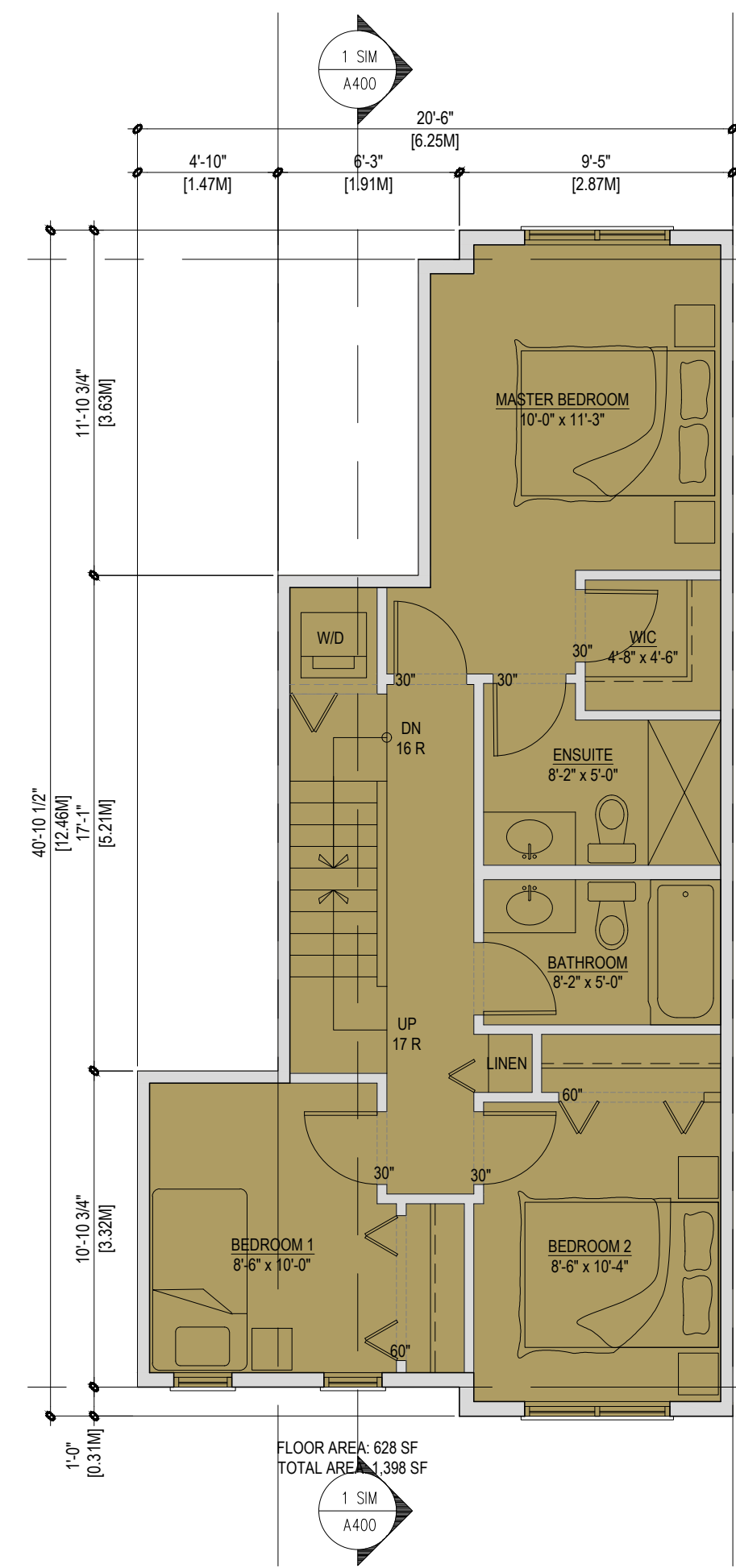
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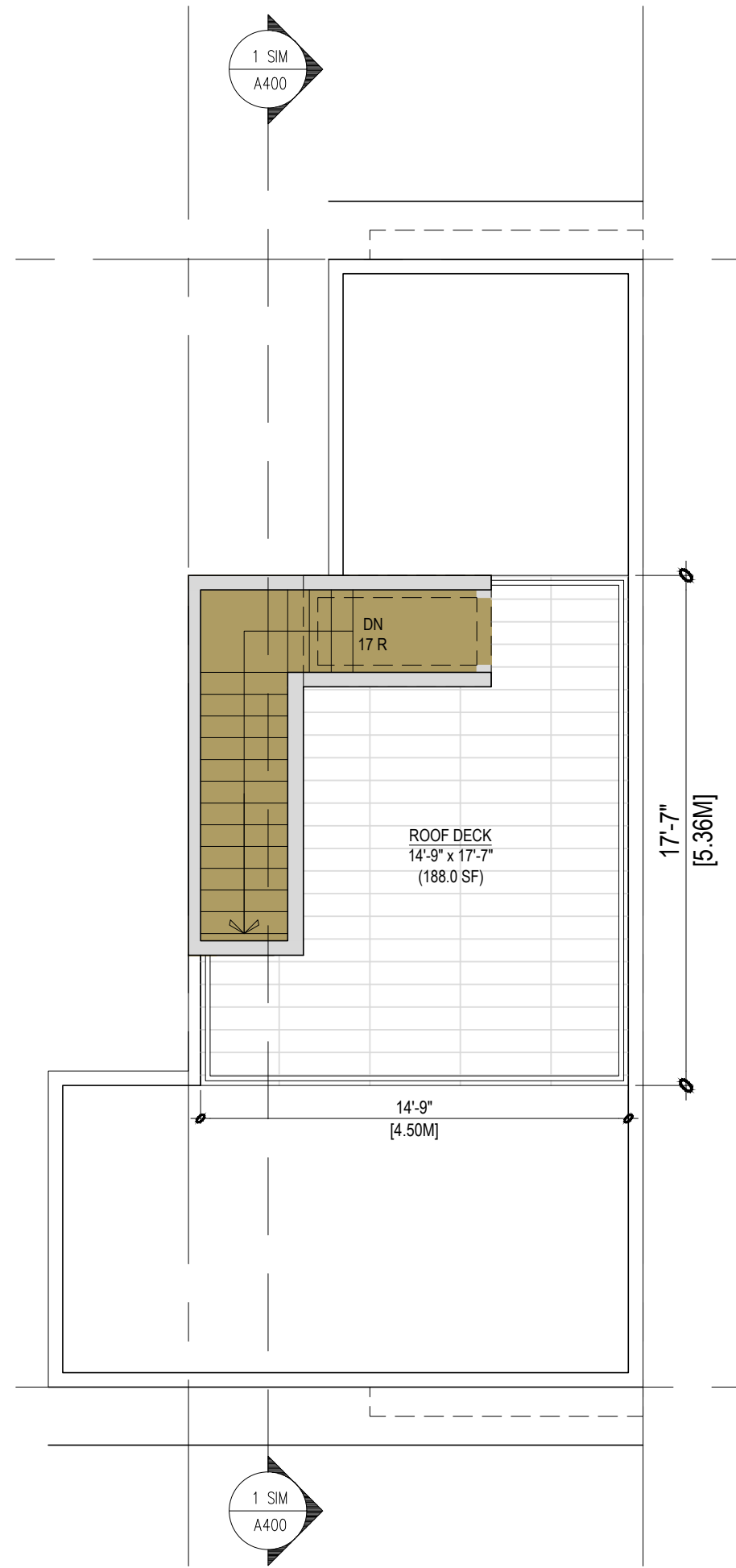
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2 A2 – FLOOR LEVEL 2
A100 3/16"=1'-0"



3 A2 – FLOOR LEVEL 3
A100 3/16"=1'-0"



4 A2 – ROOF PLAN
A100 3/16"=1'-0"

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**CONCOSTS
THE CONCOST GROUP**

NO.	REVISION	DATE
02	DP RE-SUBMISSION	10/25/17
01	DP SUBMISSION	09/15/17
NO.	REVISION	MDY

PROJECT NAME

**199 A
TOWNHOUSE
RESIDENCES**

PROJECT ADDRESS:

**199A STREET
CITY OF LANGLEY, BC**

104-3212 Jacklin Rd.
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office@wensleyarch.com

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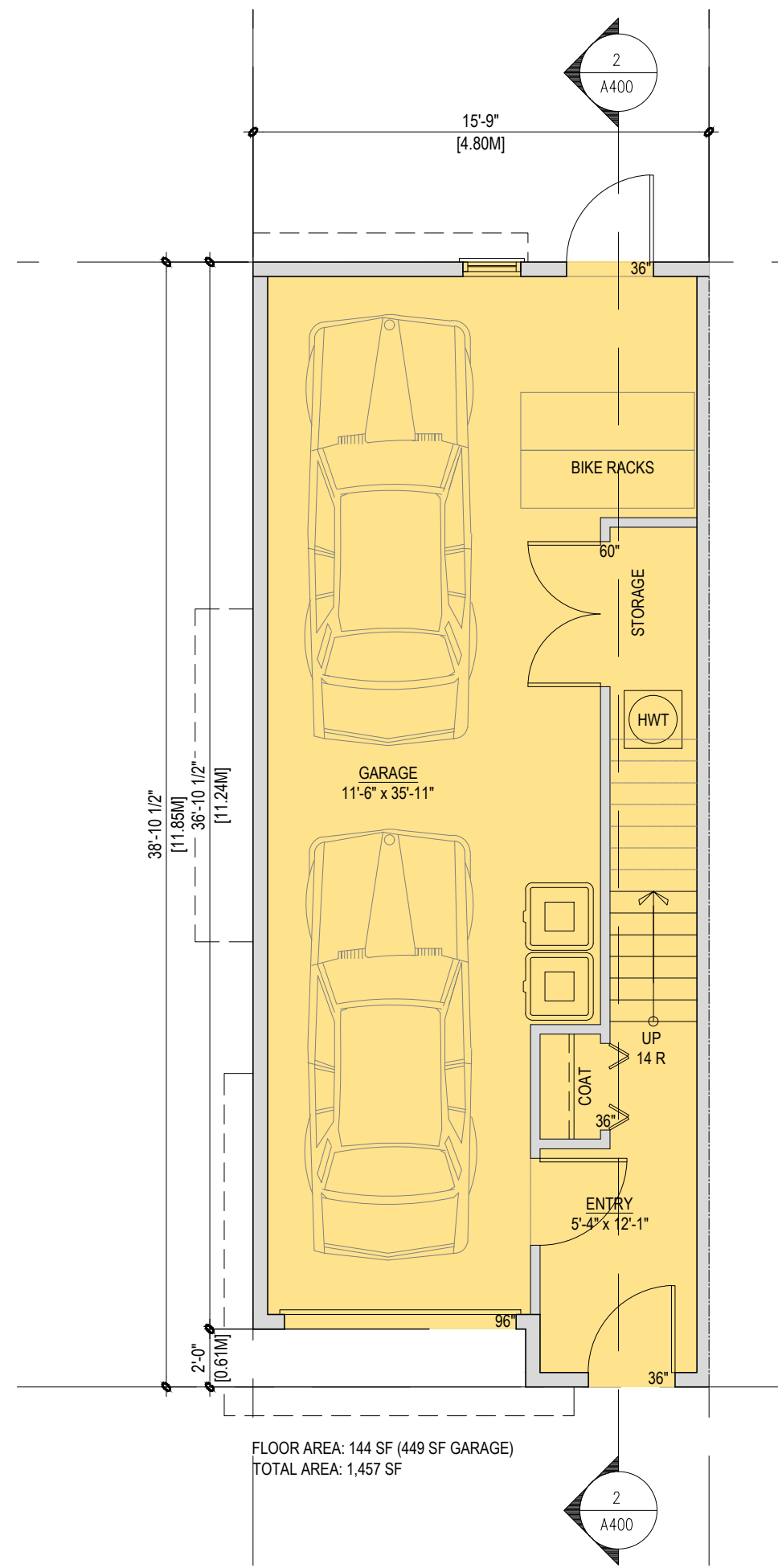
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STRUCTURAL:
MECHANICAL:
ELECTRICAL:
CIVIL:
LANDSCAPE:

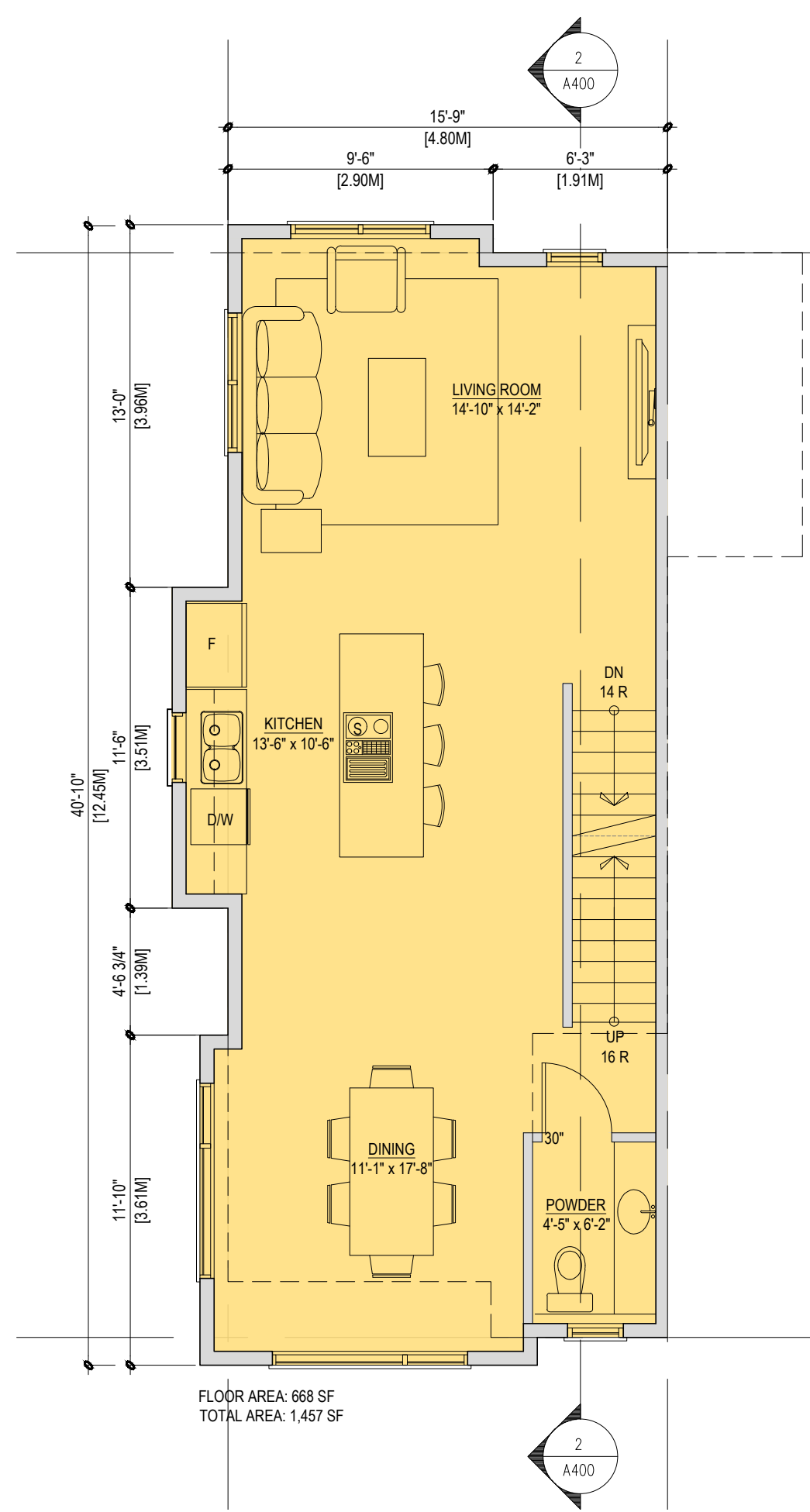
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**TOWNHOUSE
PLANS**

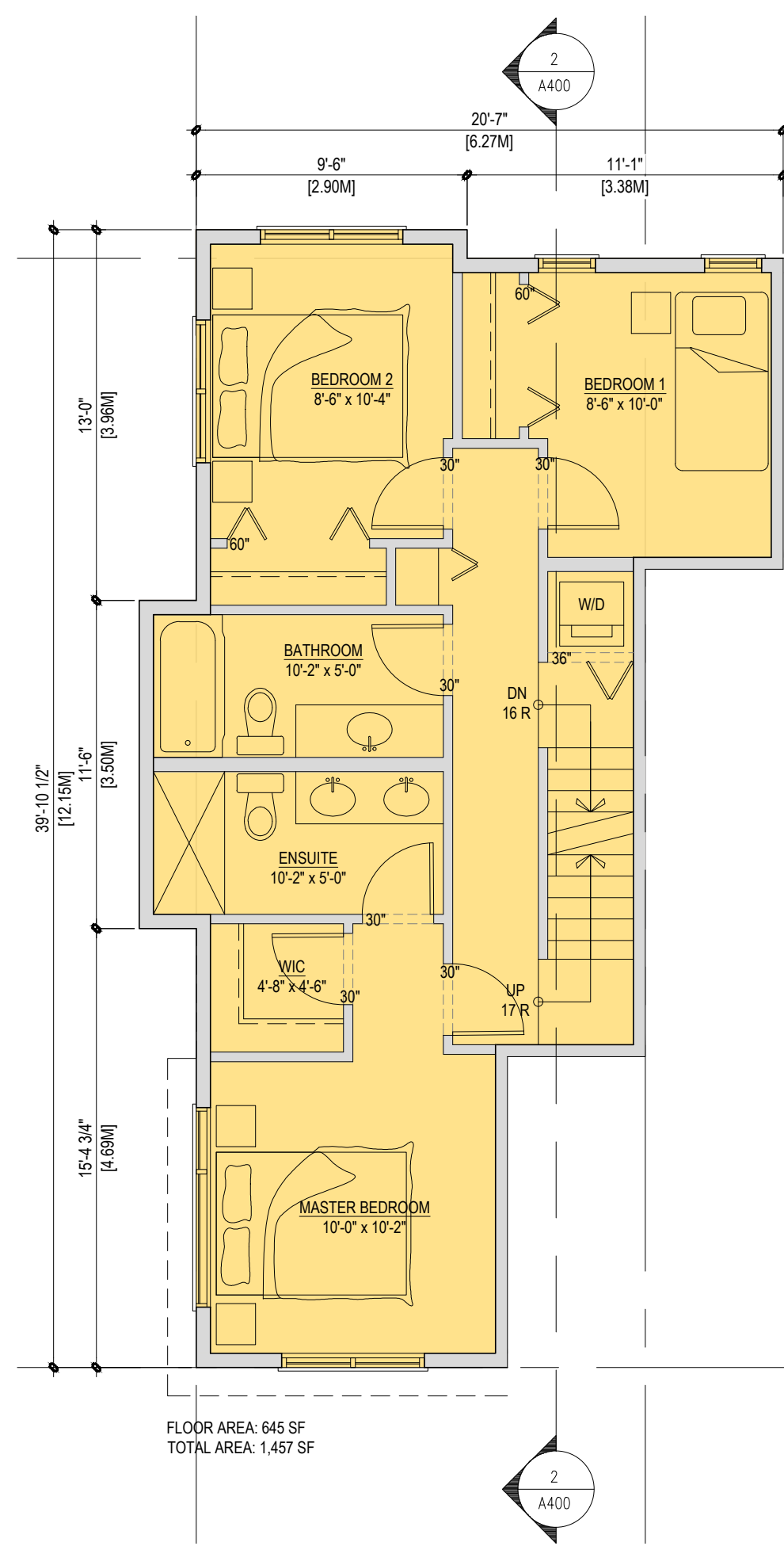
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SCALE:	1/8" = 1'-0"	REVIEW BY:	DEM
DATE:	OCTOBER, 2017	DRAWING NO:	A0212



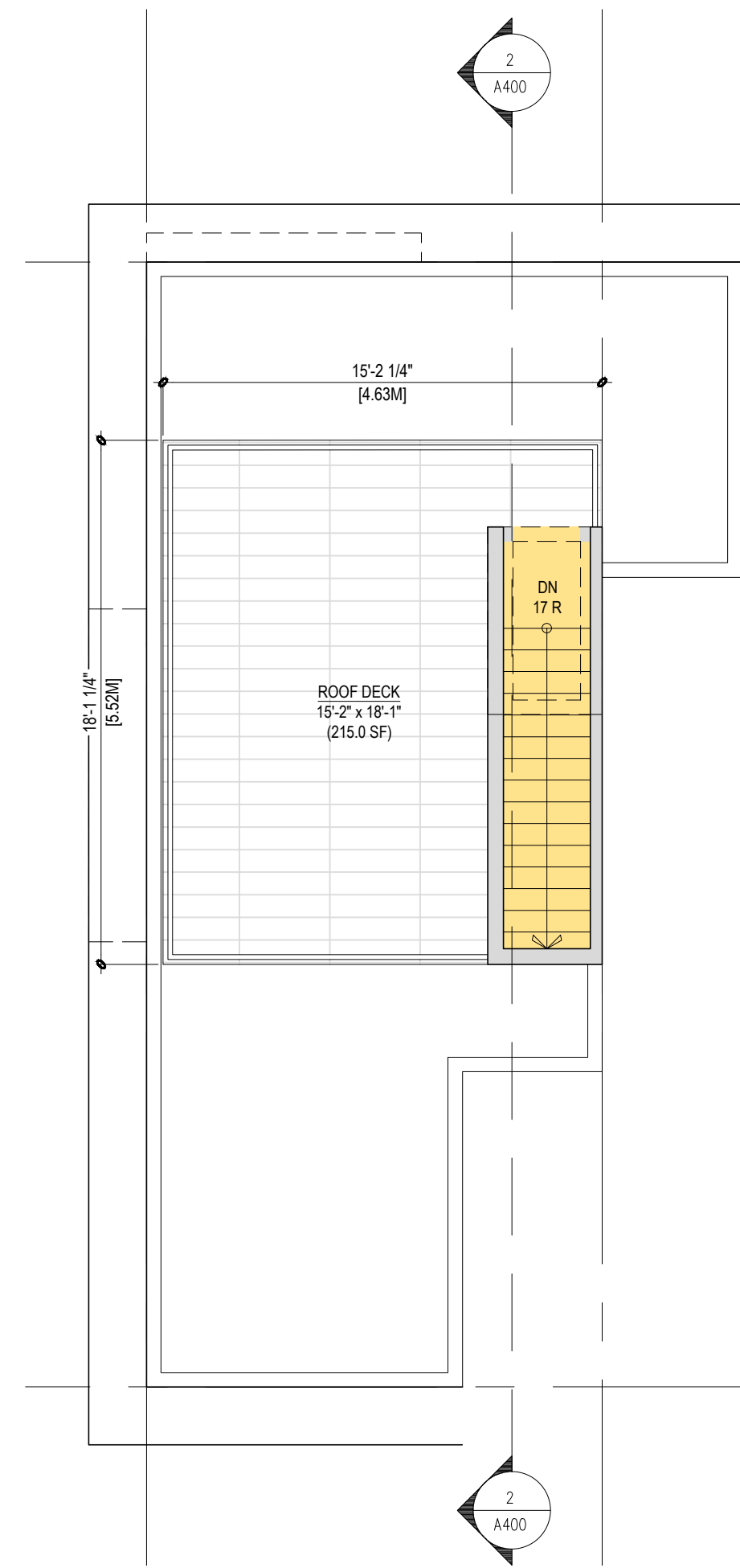
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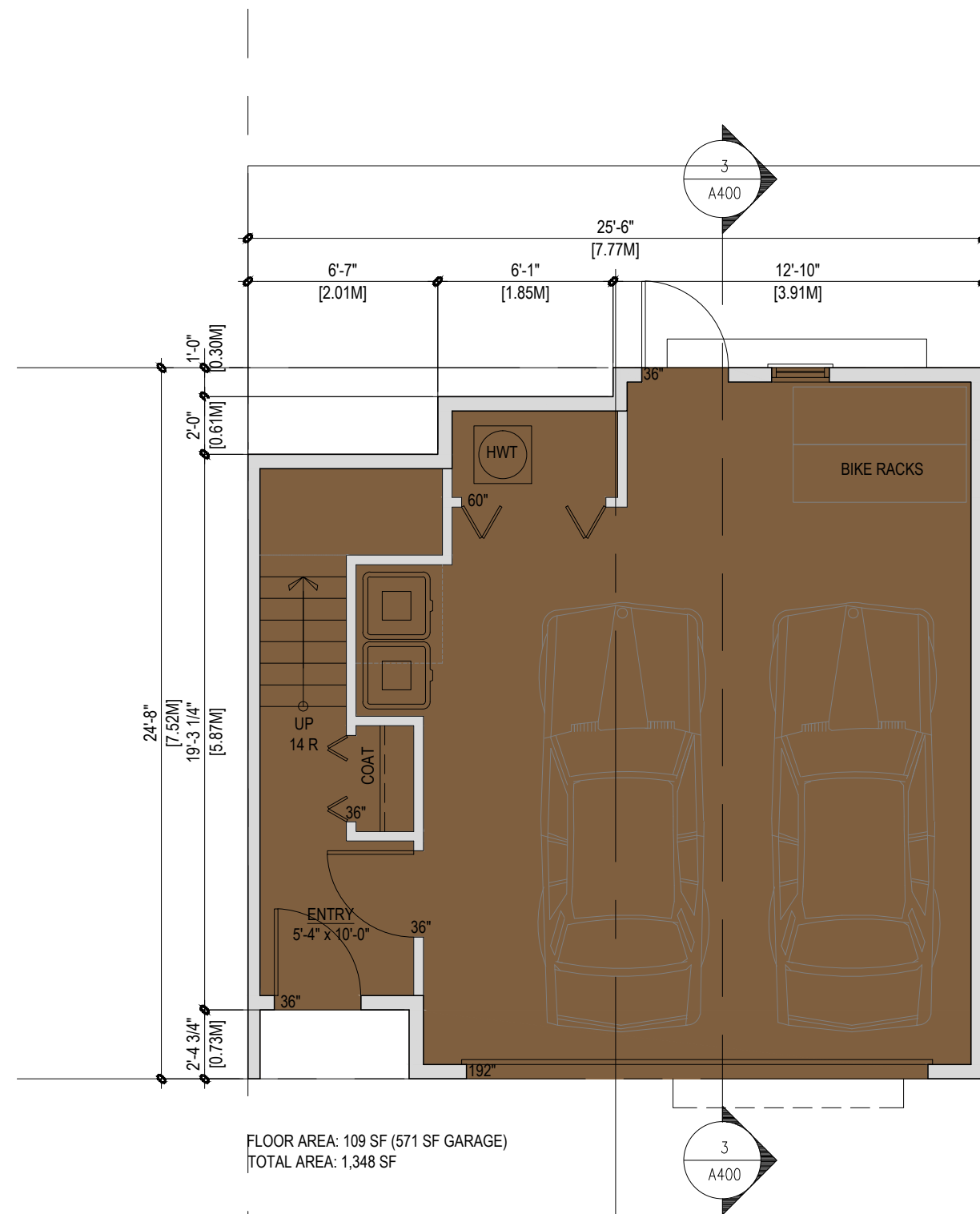
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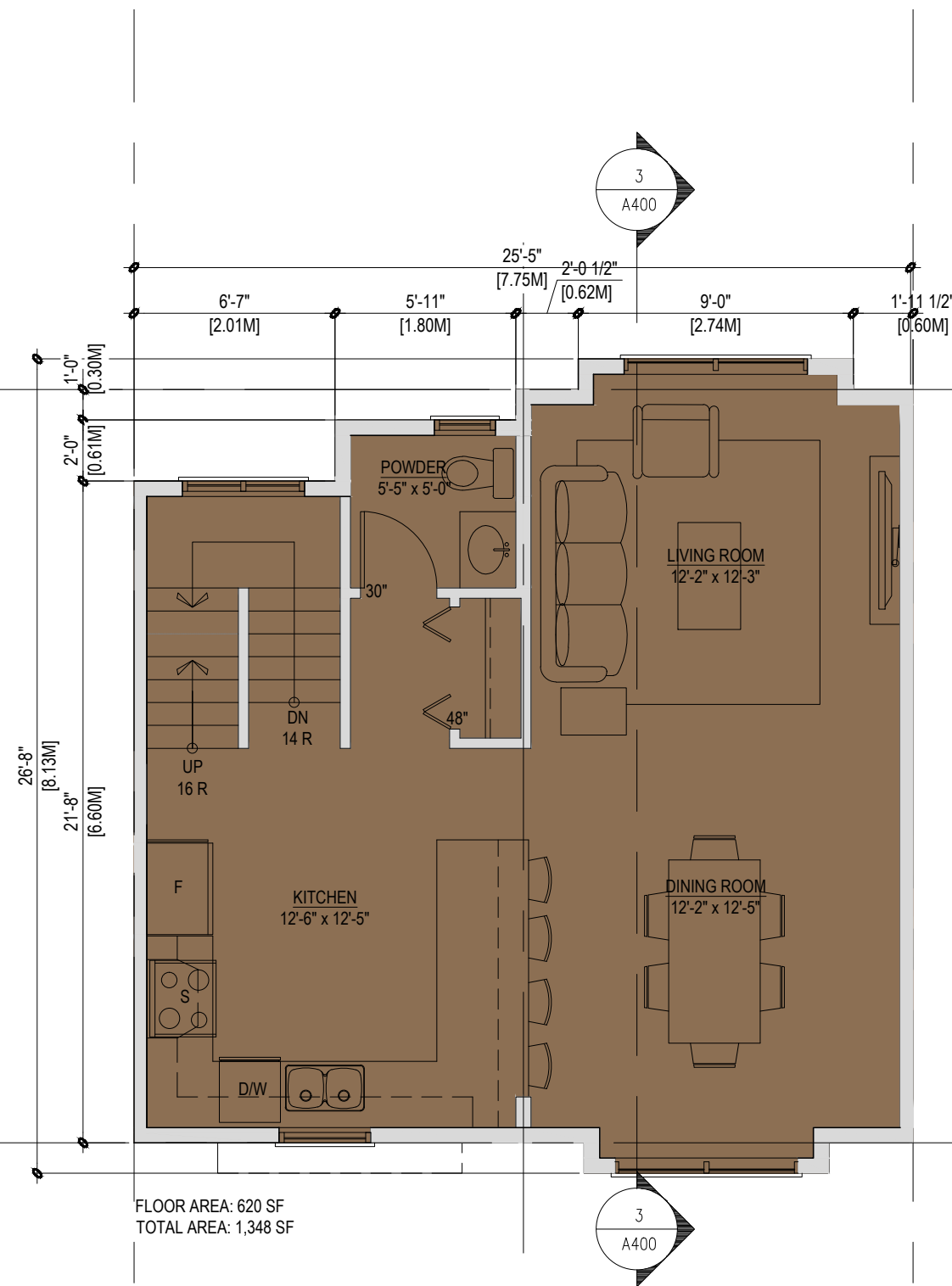
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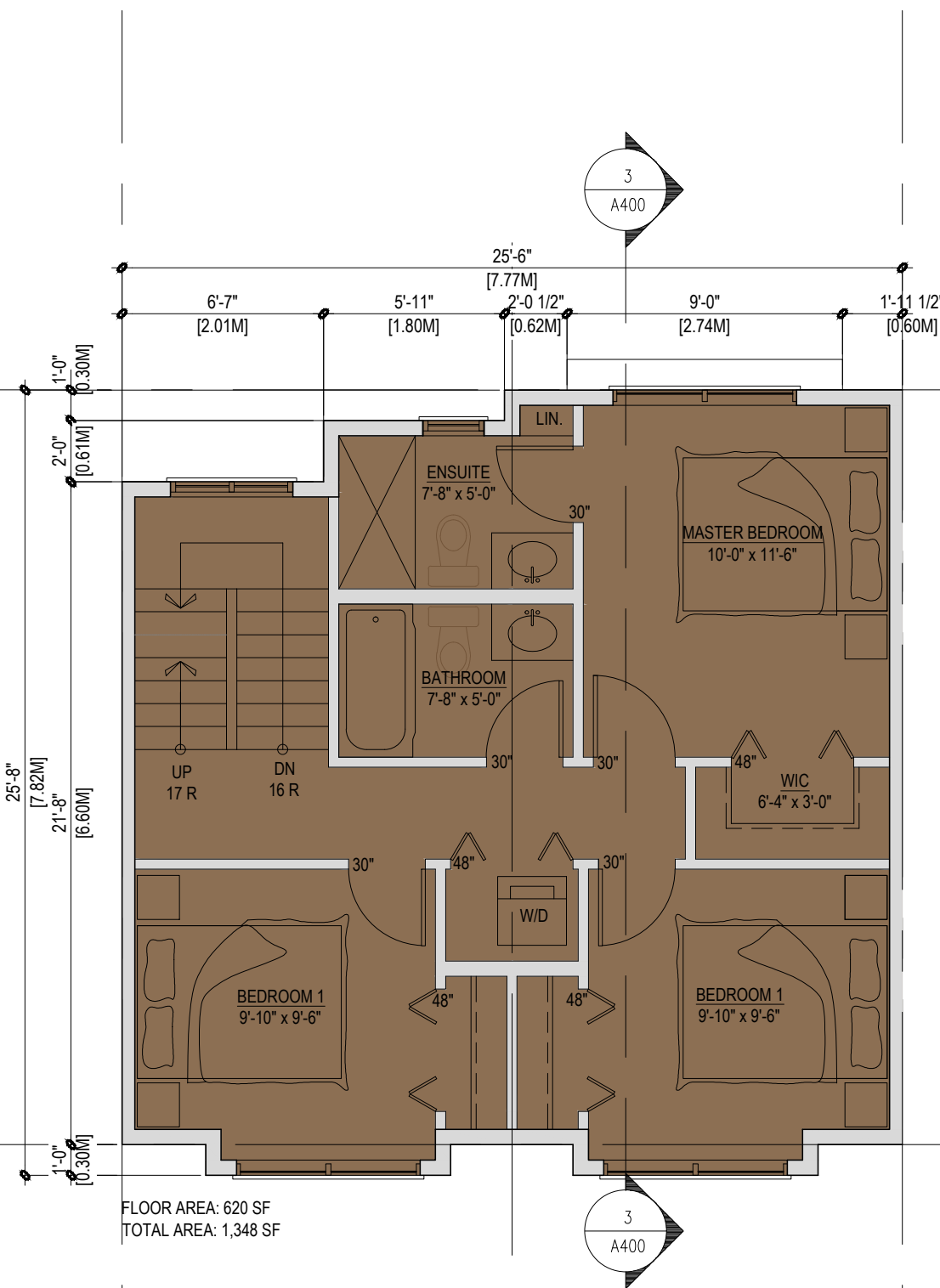
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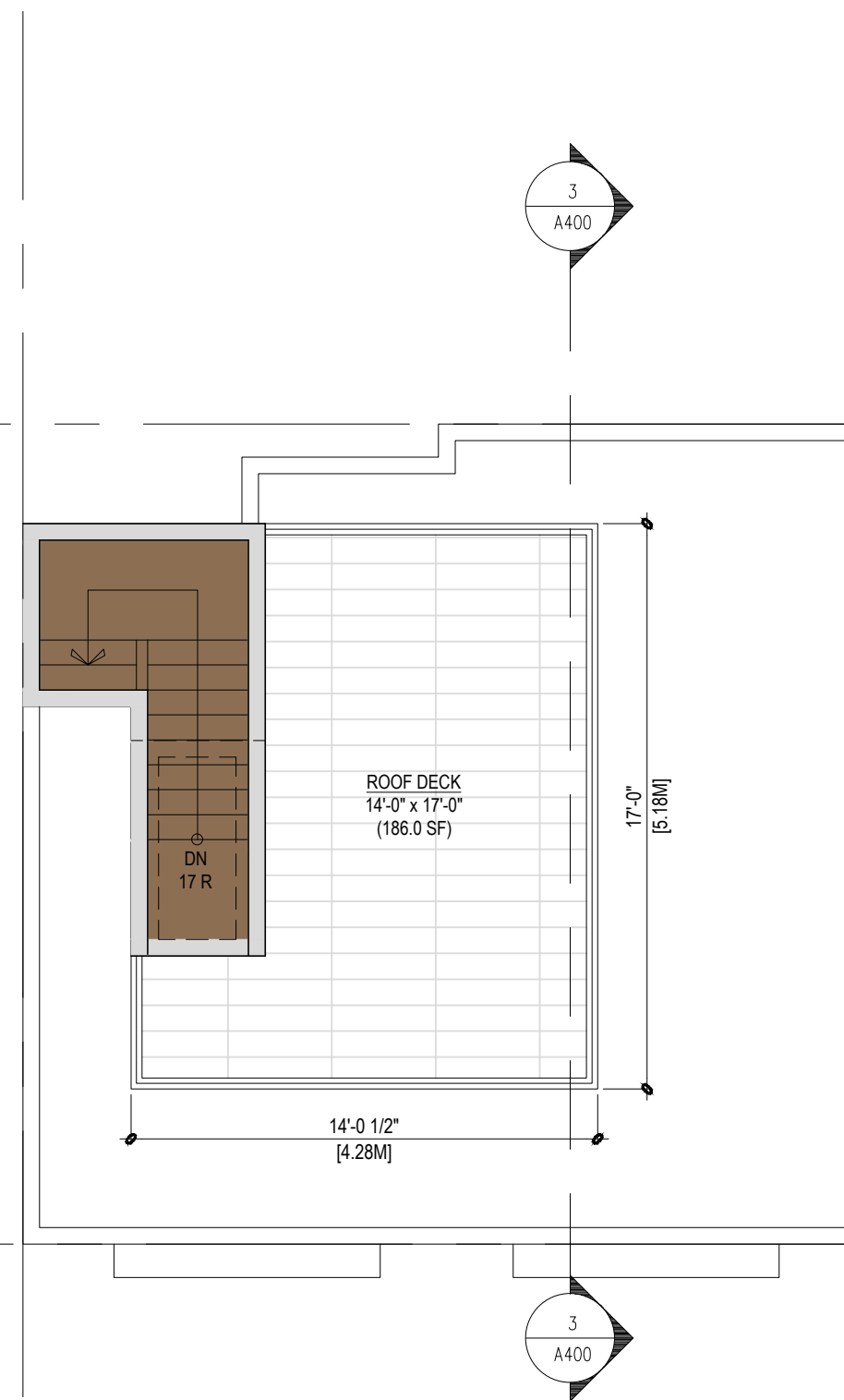
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A100 3/16"=1'-0"



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3 C1 – FLOOR LEVEL 3
A100 3/16"=1'-0"



4 C1 – ROOF PLAN
A100 3/16"=1'-0"

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THE CONCOST GROUP**

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01	DP SUBMISSION	09/15/17
NO.	REVISION	MDY

PROJECT NAME

**199 A
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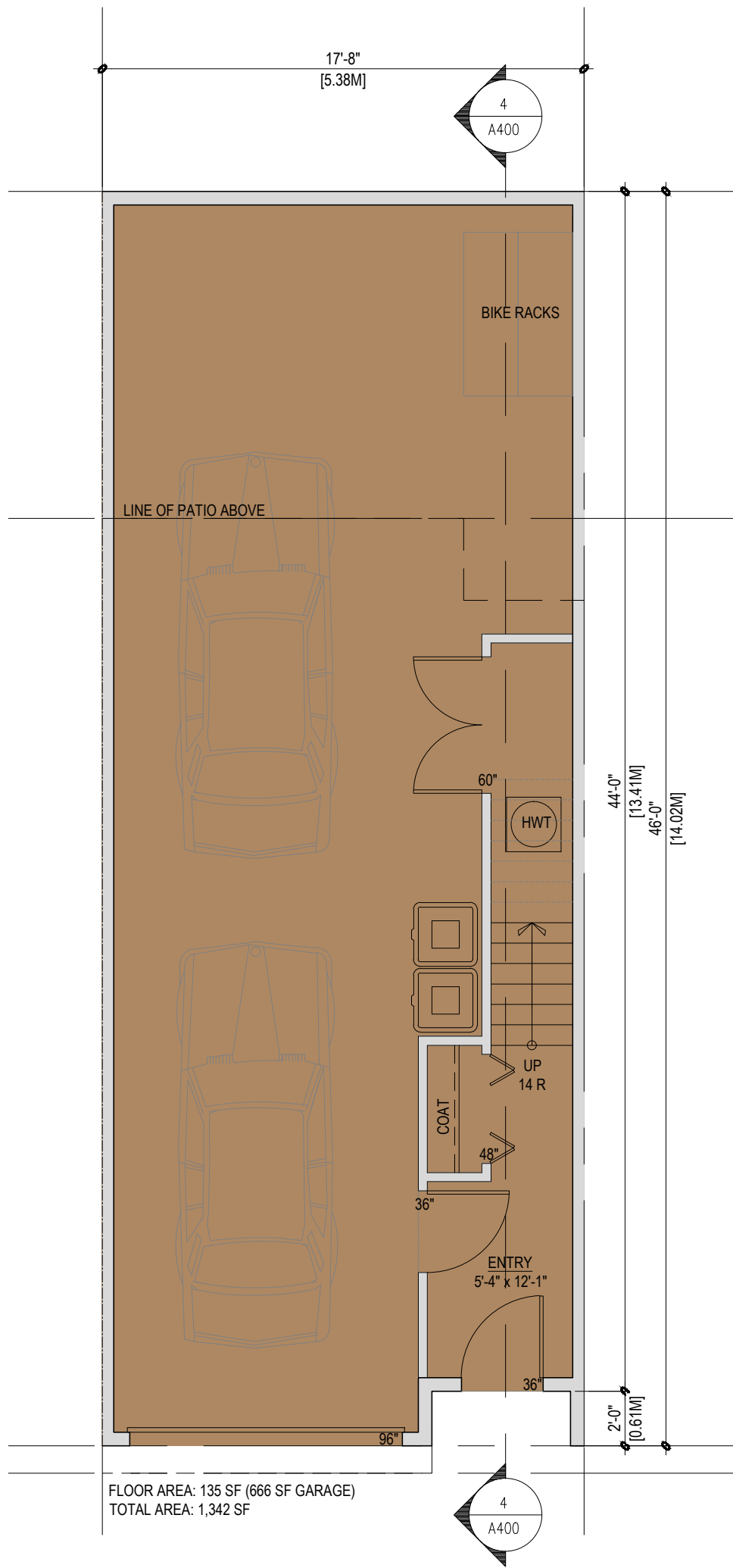
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STRUCTURAL:
MECHANICAL:
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LANDSCAPE:

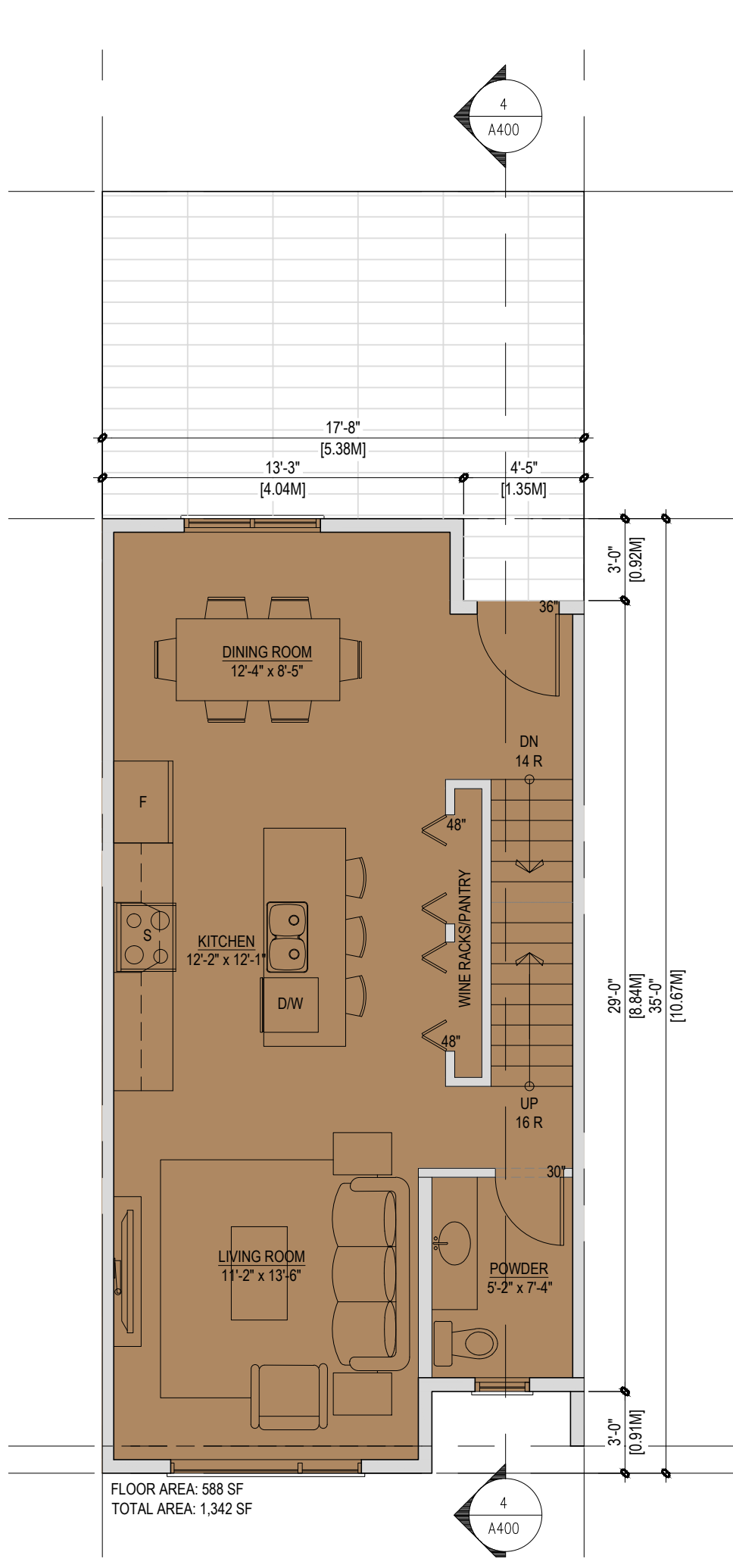
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**TOWNHOUSE
PLANS**

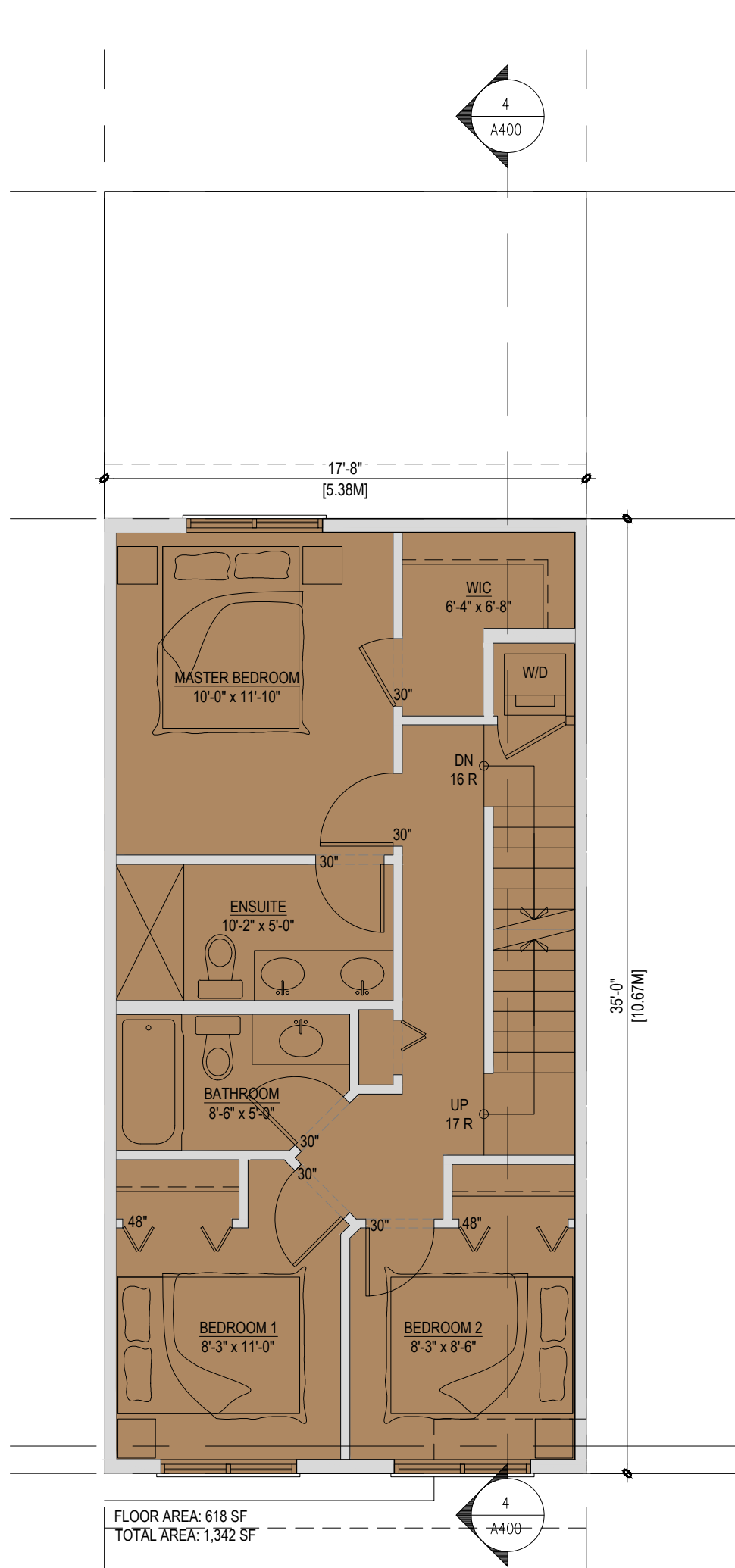
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DATE:	OCTOBER, 2017	DRAWING NO:	A0213



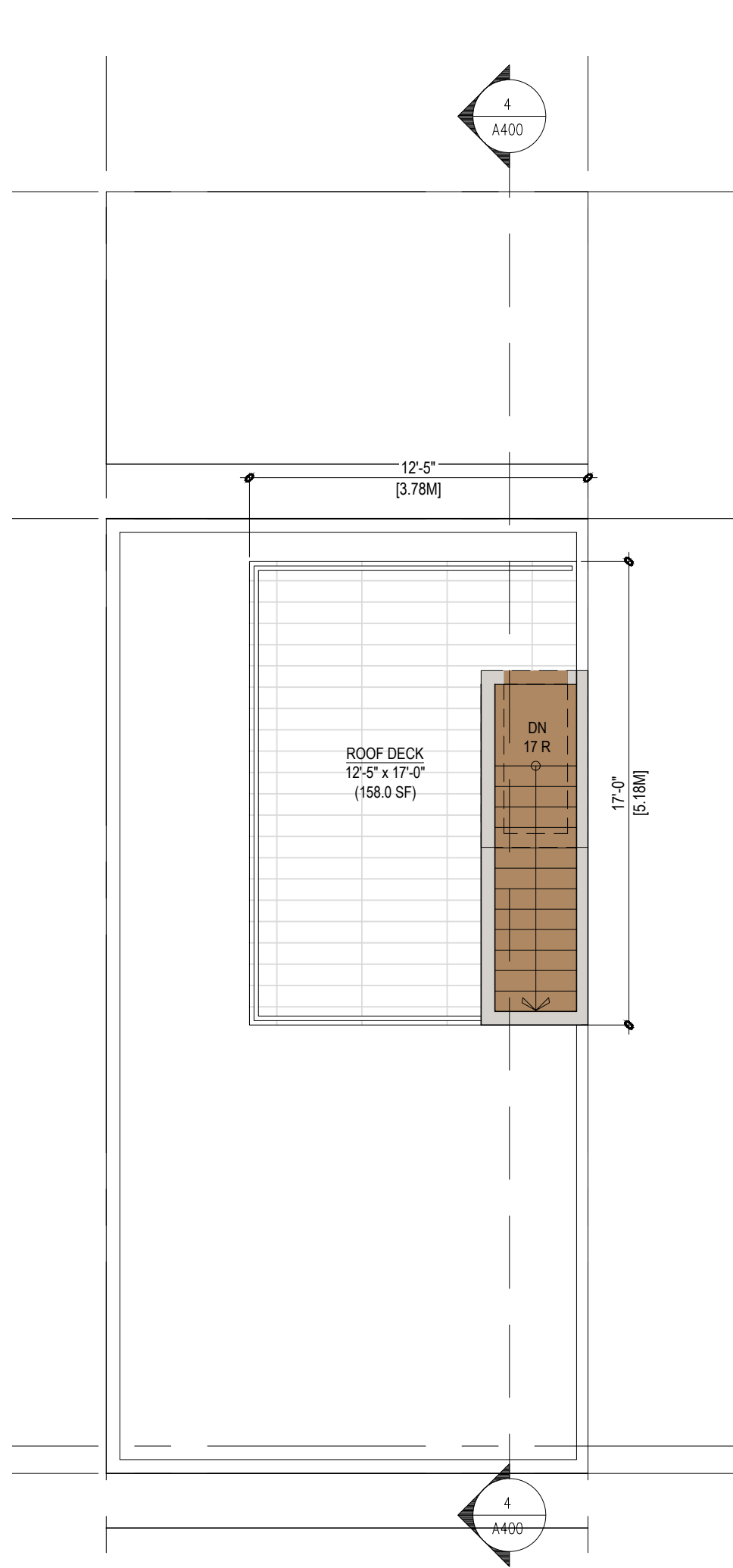
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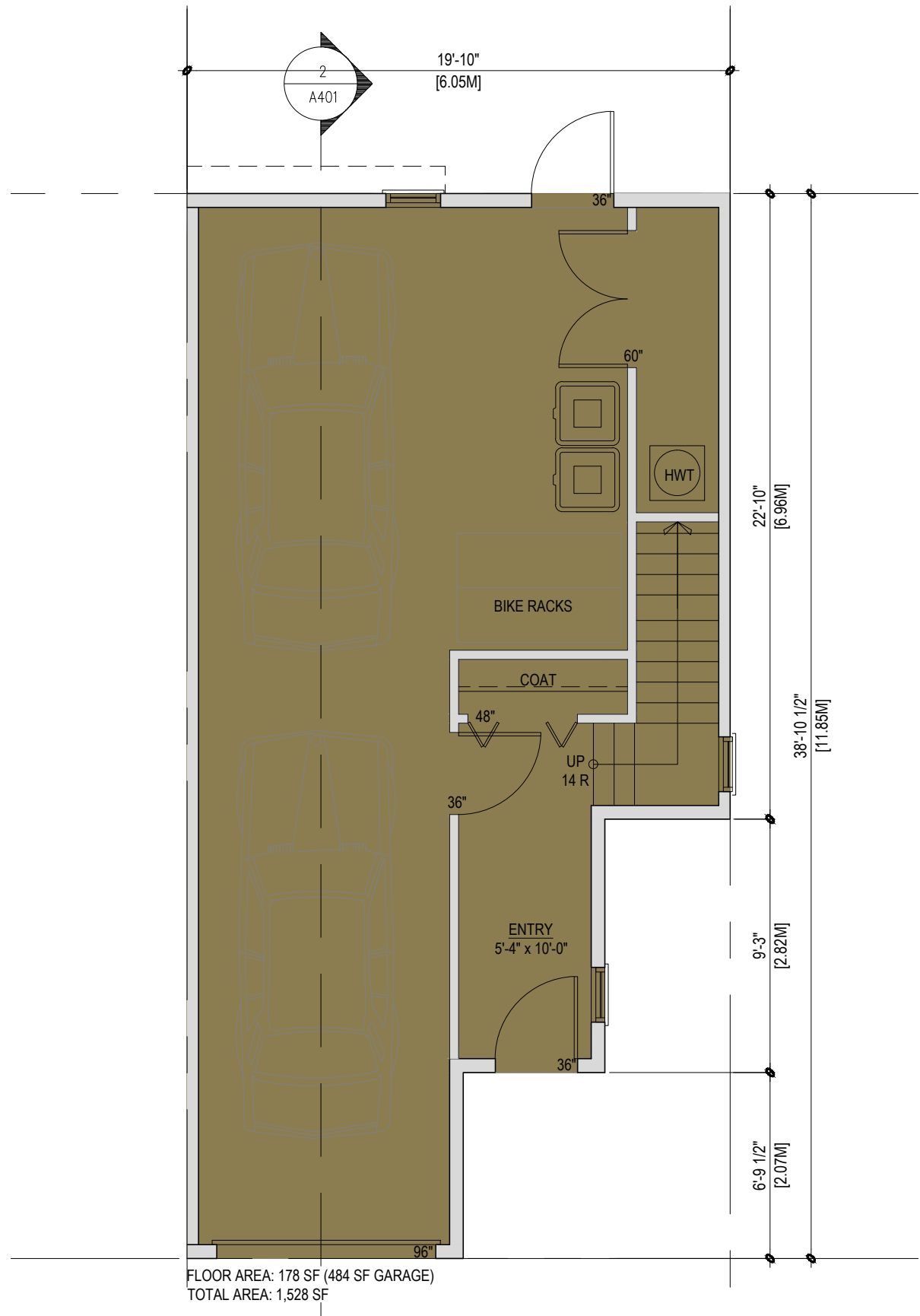
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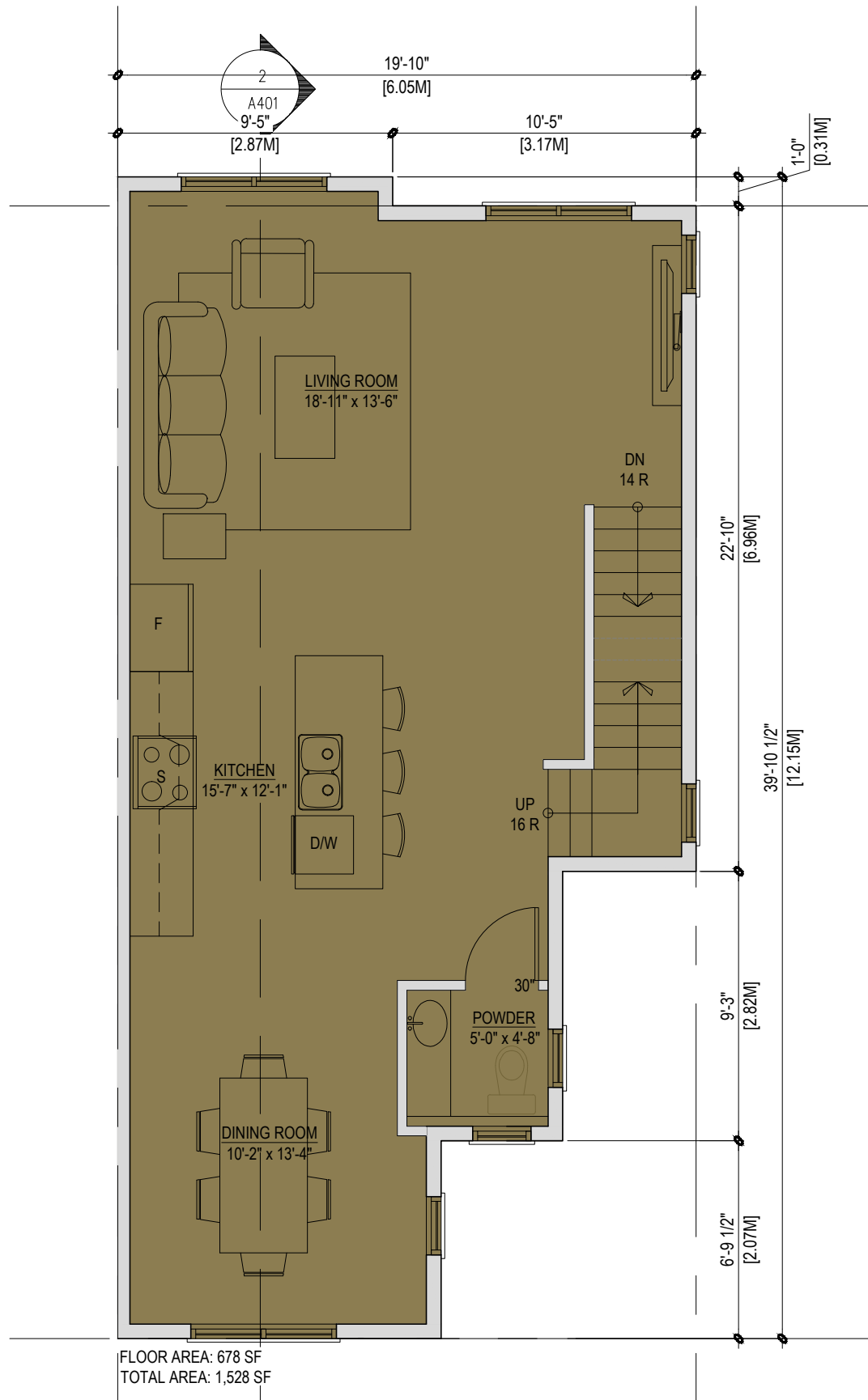
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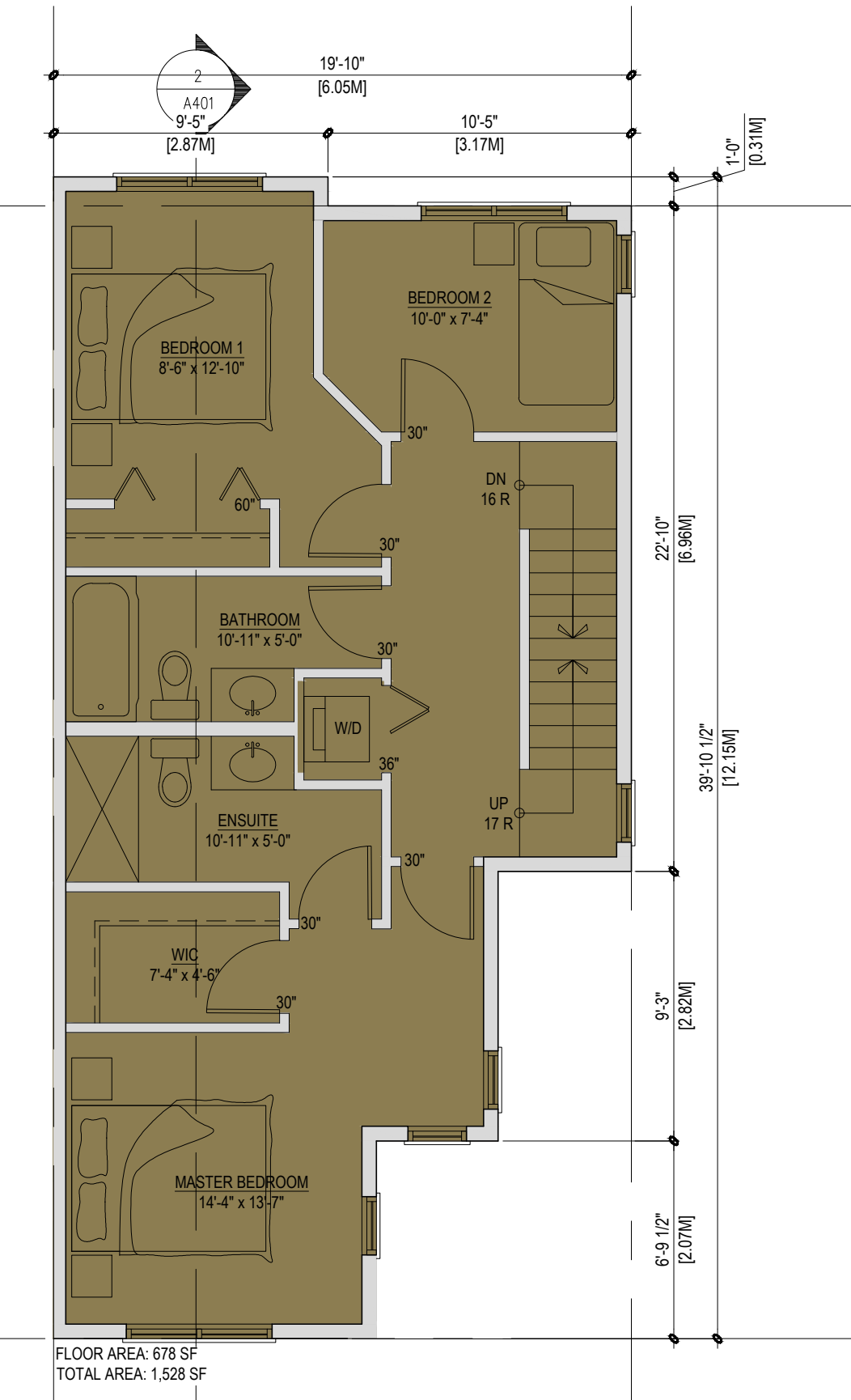
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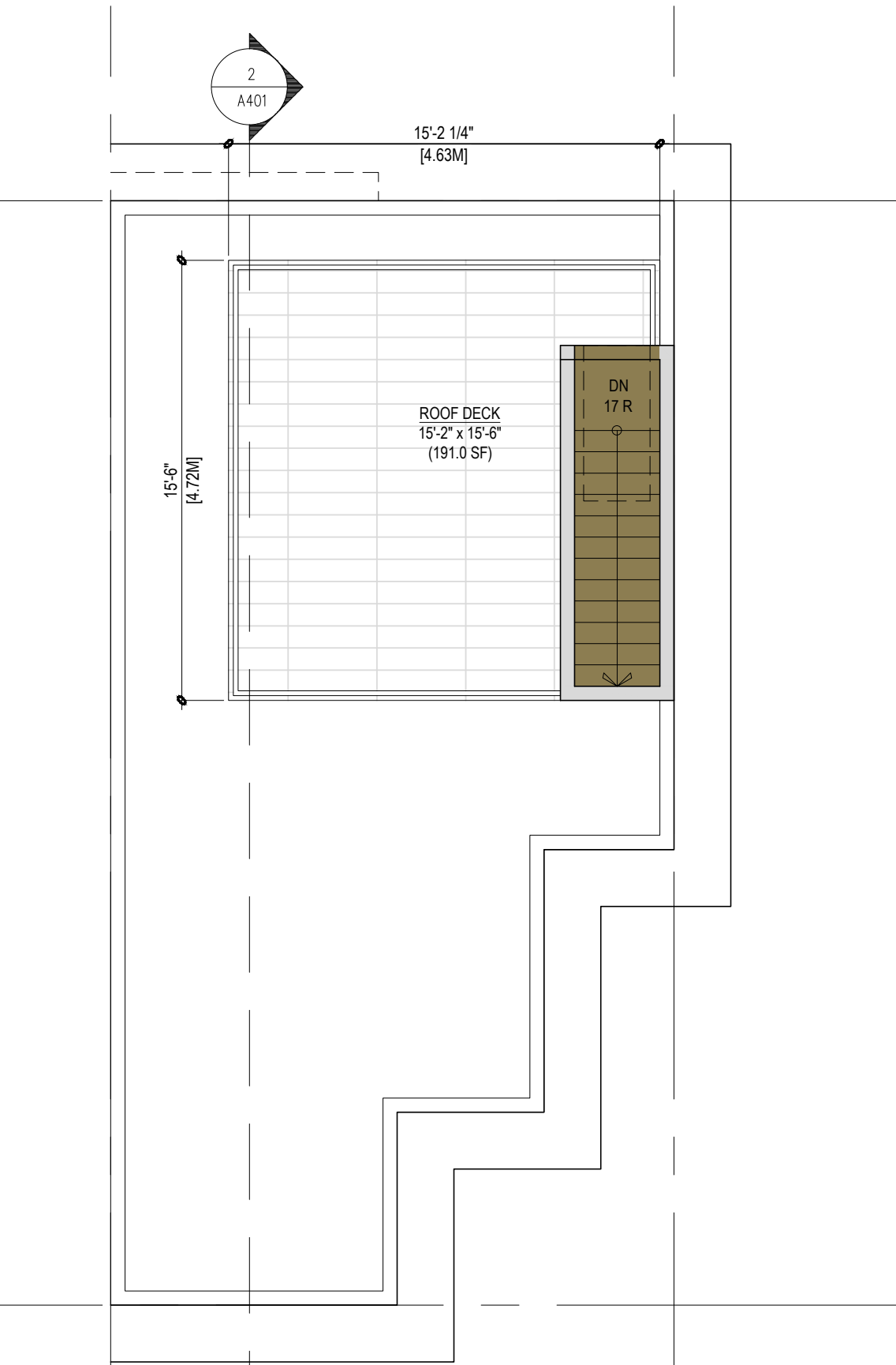
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2 F1 – FLOOR LEVEL 2
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3 F1 – FLOOR LEVEL 3
A100 3/16"=1'-0"



4 F1 – ROOF PLAN
A100 3/16"=1'-0"

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02	DP RE-SUBMISSION	10/25/17
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NO.	REVISION	MIDY

PROJECT NAME

199 A
TOWNHOUSE
RESIDENCES

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MECHANICAL:

ELECTRICAL:

CIVIL:

LANDSCAPE:

DRAWING TITLE:

TOWNHOUSE
PLANS

PROJECT NO:	17087	DRAWN BY:	CSH
SCALE:	1/8" = 1'-0"	REVIEW BY:	DEM
DATE:	OCTOBER, 2017	DRAWING NO:	A0214

SEAL



CONCOSTS
THE CONCOST GROUP

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199 A
TOWNHOUSE
RESIDENCES

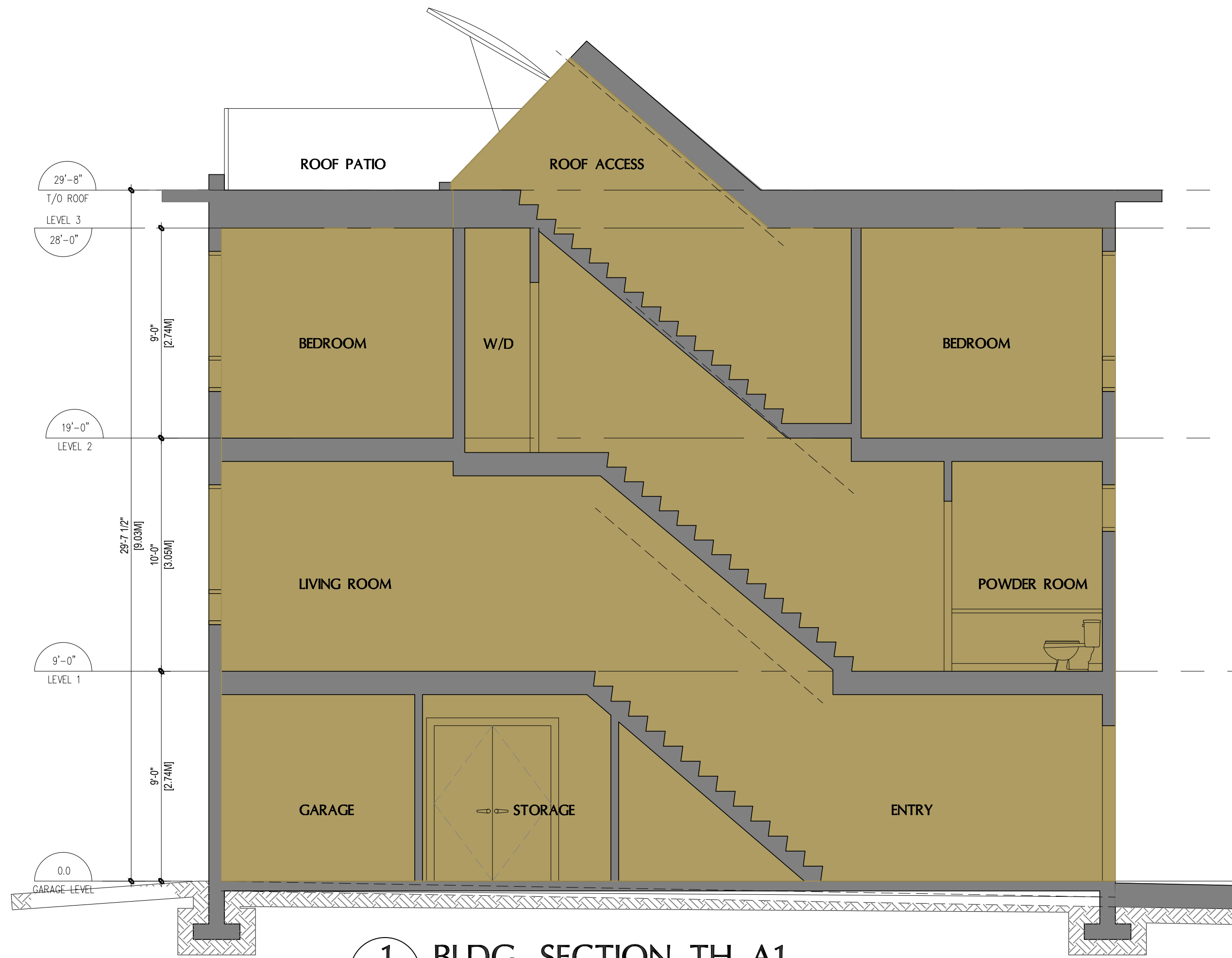
199A STREET
CITY OF LANGLEY, BC

WA

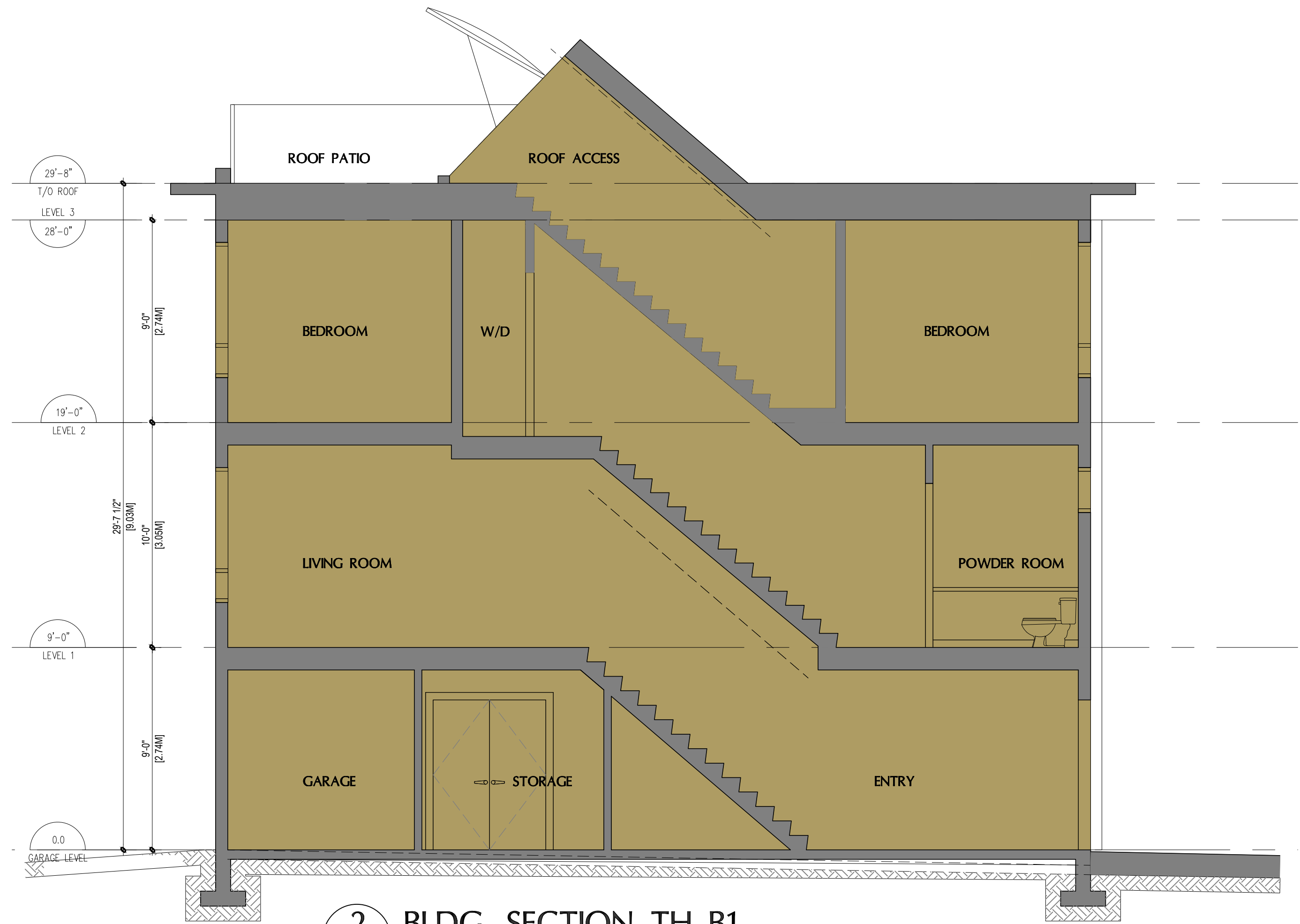
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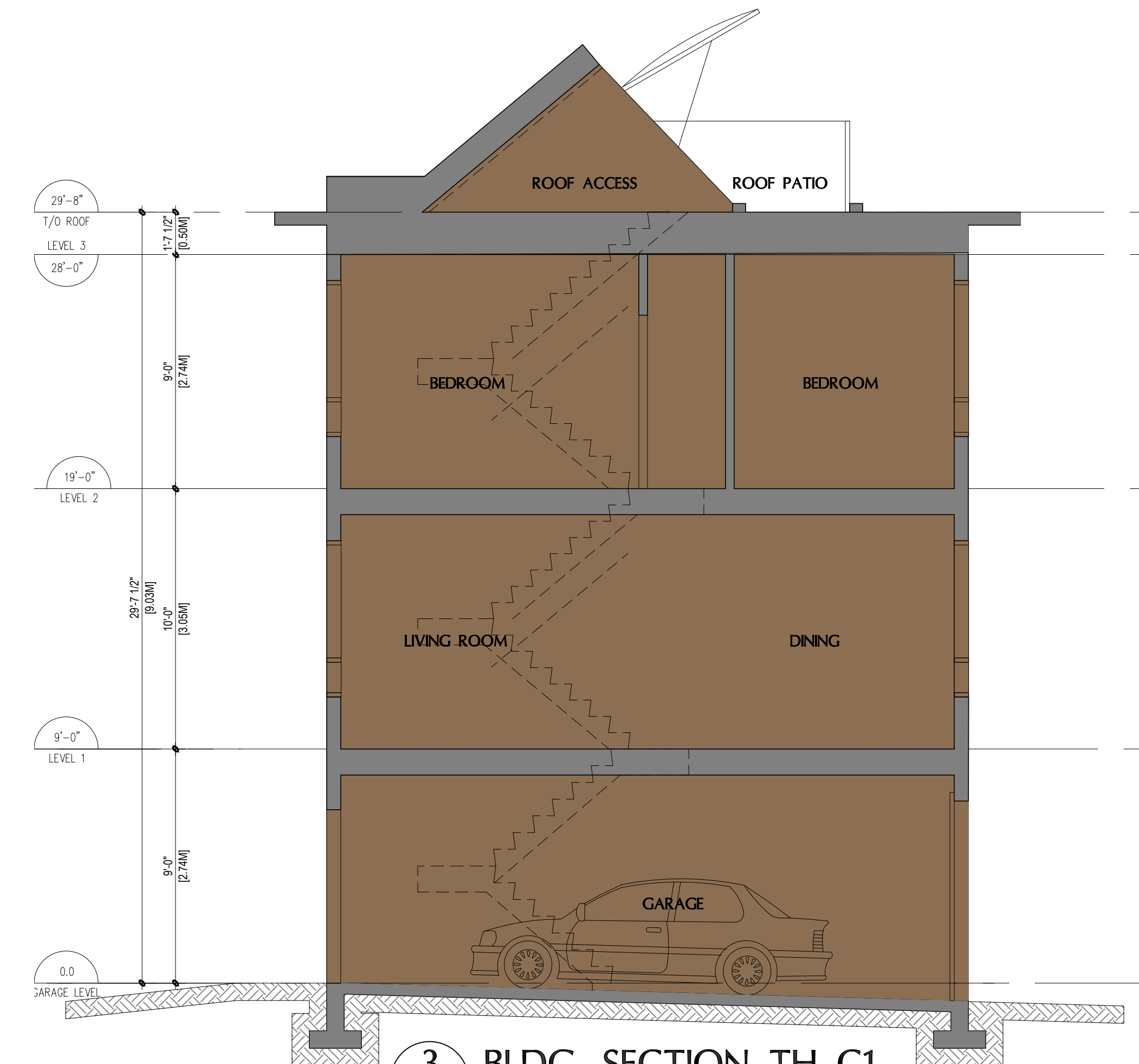
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DATE: OCTOBER, 2017	DRAWING NO: A0215



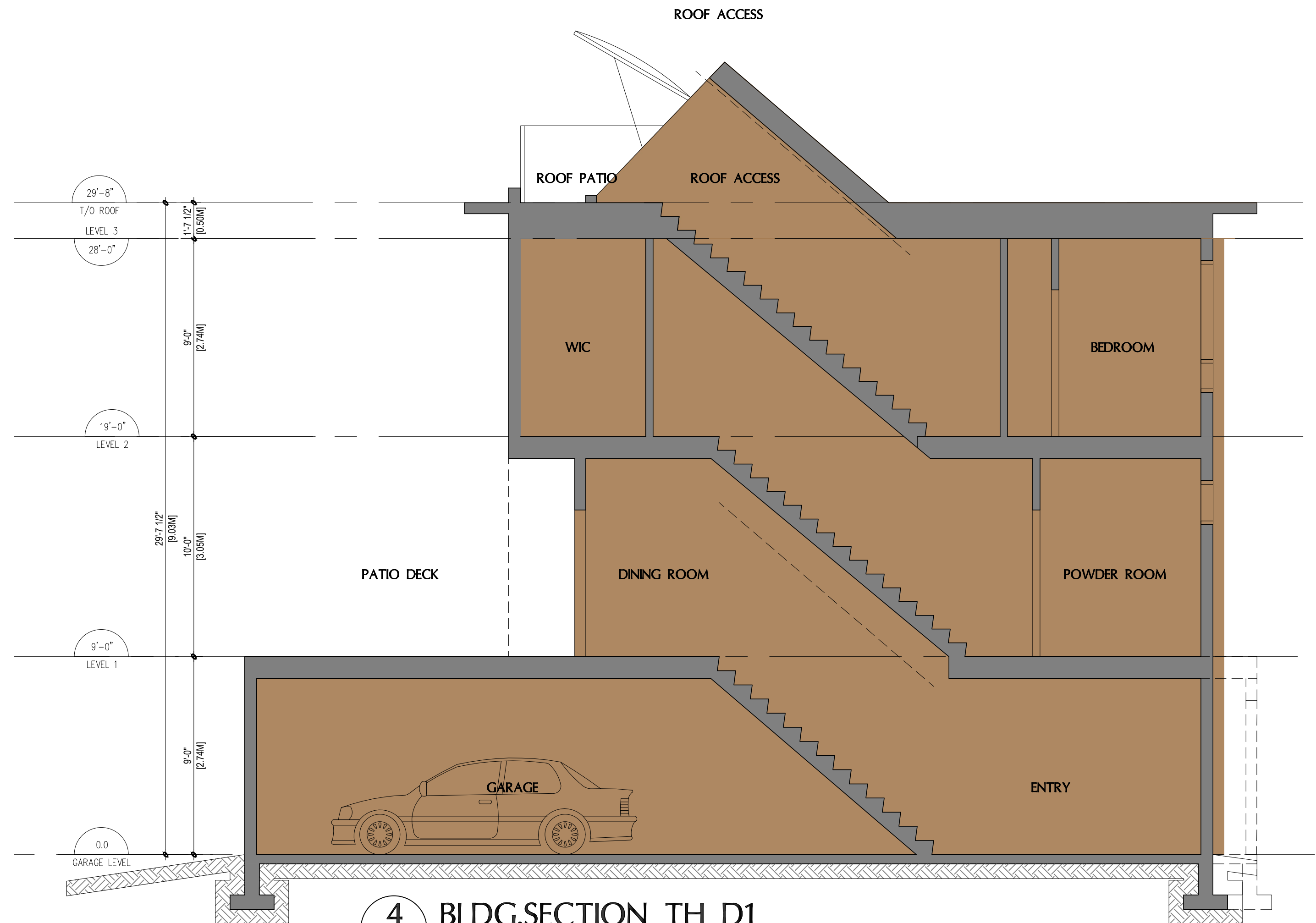
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3 BLDG. SECTION TH C1
A200 1/4"=1'-0"



4 BLDG. SECTION TH D1
A200 1/4"=1'-0"

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THE CONCOST GROUP

02	DP RE-SUBMISSION	10/25/17
01	DP SUBMISSION	09/15/17
NO.	REVISION	MDY

PROJECT NAME

199 A
TOWNHOUSE
RESIDENCES

PROJECT ADDRESS:

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CONSULTANTS:

STRUCTURAL:

MECHANICAL:

ELECTRICAL:

CIVIL:

LANDSCAPE:

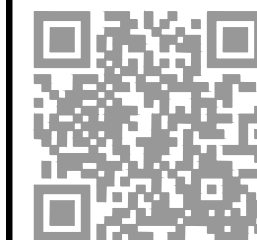
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SECTIONS

PROJECT NO:	17087	DRAWN BY:	CSH
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DATE:	MARCH, 2018	DRAWING NO:	A0400

199A Townhomes

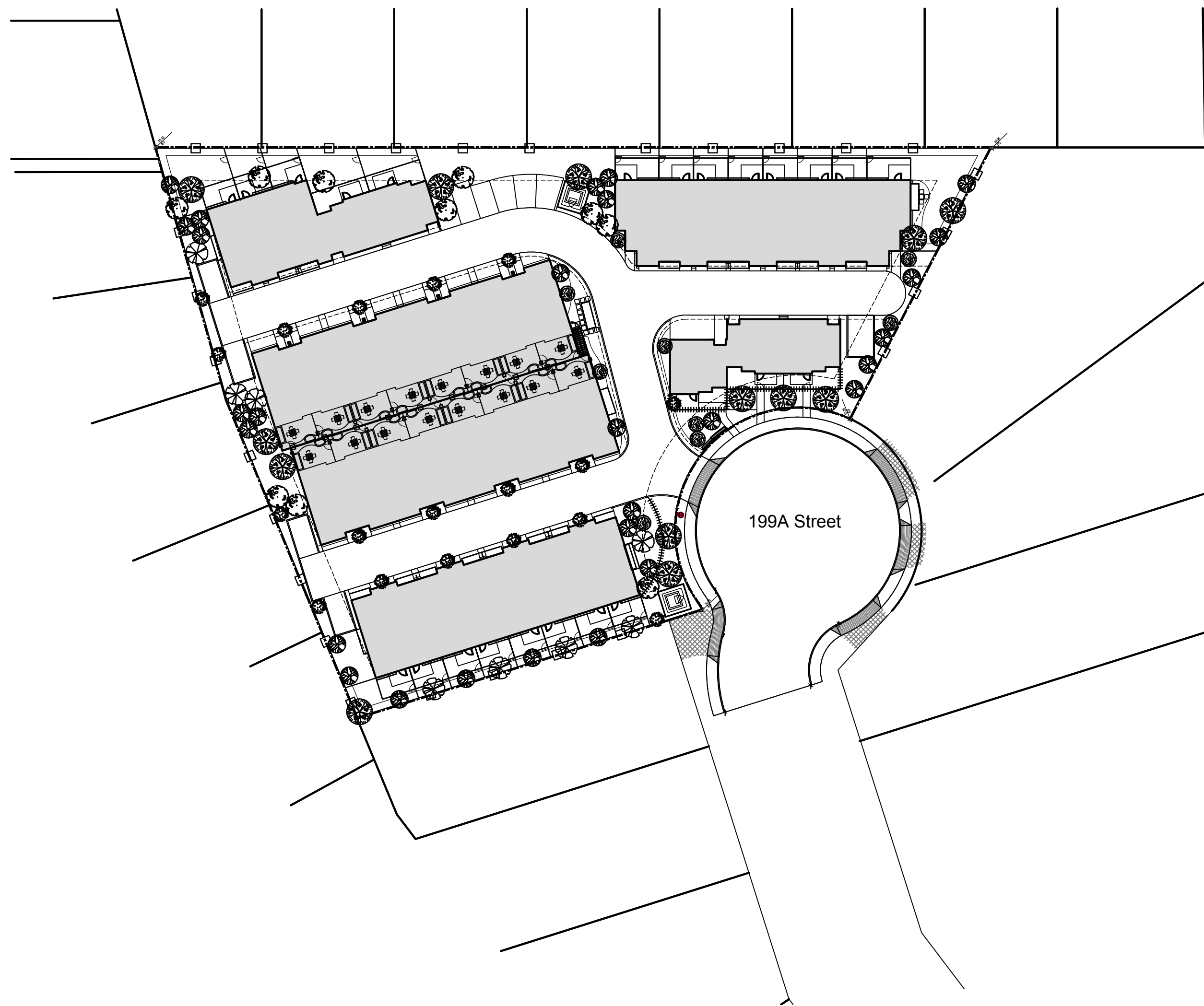
Issued for Development Permit



Contact Information	Other Key Contacts:	
van der Zalm + associates Inc. Project Landscape Architecture Suite 1 - 20177 97th Avenue Langley, British Columbia, V1M 4B9 t. 604 882 0024 f. 604 882 0042 Primary project contact: Dave Jerke david@vd.ca o. 6045460921 Alternate contacts (in case away): Mark van der Zalm Principal Landscape Architect mark@vd.ca o. 604 5460920	Concosts Project Owner 202-5489 Byrne Rd. Burnaby BC V5J 3J1 604-522-9977Phone	Wensley Architecture LTD Project Building Architecture 301-1444 Alberni Street, Vancouver BC V6G 2C4 604-685-3529
Legal Address and Description:		
Address: House 5491, 5501, 5511, 5521, 5520 199A Street, Langley BC Legal Address: Plan NWP33088 Lot 75 Plan NWP33088 Lot 76 Plan NWP33088 Lot 77 Plan NWP33088 Lot 78 Plan NWP33088 Lot 79		

Sheet List Table

Sheet Number	Sheet Title
L-00	COVER PAGE
L-01	LANDSCAPE AND TREE PLAN
L-02	PLANTING PLAN
LD-01	DETAILS
LD-02	DETAILS



1 SITE PLAN OVERVIEW
Scale 1:500



2 LOCATION MAP
Scale: NTS

2	DJ	Re-Issued for DP	Oct 19, 2017
1	DJ	Issued for DP	Sept 19, 2017
No.	By:	Description	Date
REVISIONS TABLE FOR DRAWINGS			
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No.	By:	Description	Date
REVISIONS TABLE FOR SHEET			
Project:			
199A Townhomes			
Location:			
5491 199A St Langley, BC V3A 1J7			
Drawn:	Stamp:		
PC			
Checked:			
DJ			
Approved:	Original Sheet Size:		
DJ	24"x36"		
Scale:	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REZONING/DP/PPA/HA/BBP DRAWINGS MUST NOT BE PRICED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.		
As Shown			

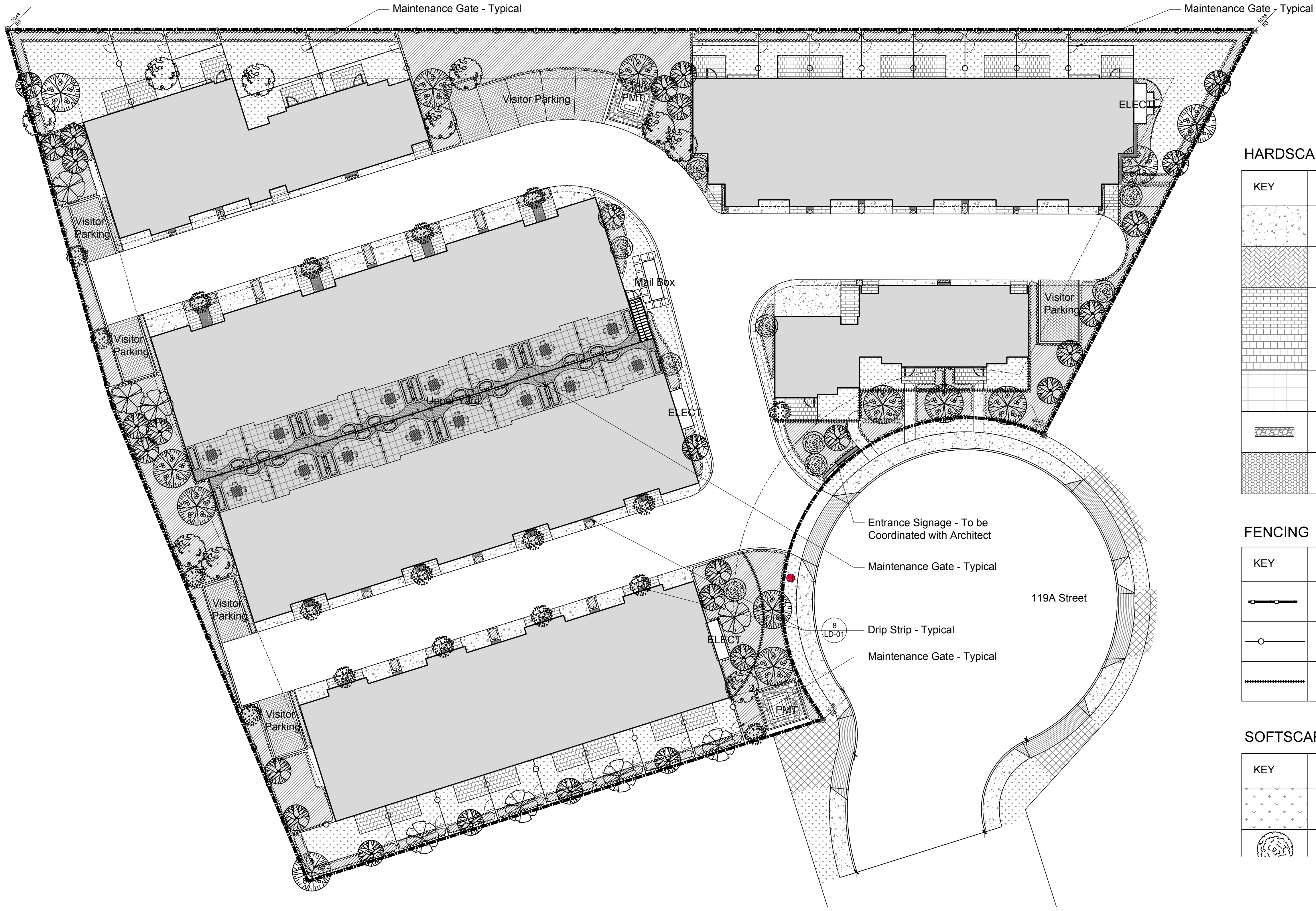
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VD + Project DP2017-50

Drawing L-00

\\server\projects\development\permits\active\DP2017-50\2025 WEST BAL\AC TOWNHOMES DWG SHEETS\L-01 SITE PLAN.DWG



TREE LEGEND

Seiryu Japanese Maple	Sweetgum	Magnolia	Large-Flowered Magnolia	Weeping Higan Cherry	Columnar Blue Spruce

TREES					
UAN	KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
17	see legend	Acer palmatum 'Seiryu'	Seiryu Japanese Maple	B: B: 6cm caliper: 1.2m std	As shown
8	see legend	Liquidambar styraciflua 'Emerald Sentinel'	Emerald Sentinel® Sweetgum	B: B: 6cm caliper: 1.2m std	As shown
10	see legend	Magnolia x 'Elisabeth'	Magnolia	B: B: 6cm caliper: 1.2m std	As shown
13	see legend	Magnolia grandiflora 'Edith Bogue'	Large-Flowered Magnolia	B: B: 6cm caliper: 1.2m std	As shown
9	see legend	Prunus 'Snow Fountains'	Weeping Higan Cherry	B: B: 6cm caliper: 1.2m std	As shown
27	see legend	Picea pungens 'fastigiata'	Columnar Blue Spruce	B: B: 3.0m Ht	As shown

HARDSCAPE MATERIALS

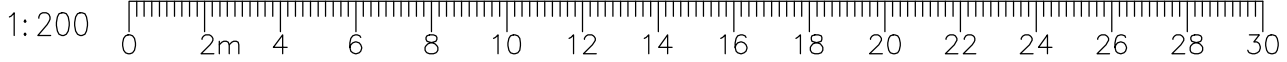
KEY	REF.	DESCRIPTION
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	6 LD-01	HOLLAND ECO PAVERS Pattern: Herringbone Colour: Summit Blend Manufacturer: Mutal Materials
	6 LD-01	CONCRETE PAVERS Model: Classic Standard II Pattern: Running Bond Size: 225 x 112.5 x 60mm Manufacturer: Abbotsford Concrete
	6 LD-01	CONCRETE PAVERS Model: Classic Standard II Pattern: Herringbone Size: 225 x 112.5 x 60mm Manufacturer: Abbotsford Concrete
	7 LD-01	Hydra Pressed Slabs Model: Texas Size: 610 x 610 x 50mm Colour: Natural Manufacturer: Abbotsford Concrete
	8 LD-01	DRIP STRIP
		RIVER ROCKS

FENCING

KEY	REF.	DESCRIPTION
	1 LD-02	WOOD TRELLIS
	2 LD-02	PRIVACY FENCE
	3 LD-02	PICKET FENCE

SOFTSCAPE MATERIALS

KEY	REF.	DESCRIPTION
		SOD See Critical Landscape Notes for Specifications
	1.2 LD-01	TREE PLANTING



van der Zalm + associates inc.

Parks

Recreation

Urban Design

Civil Engineering

Landscape Architecture

Suite 1, 20177 97th Avenue

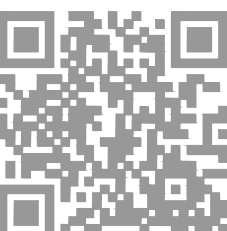
Langley, British Columbia

V1M 4B9

P: 604.882.0034

F: 604.882.0042

info@www.vd.ca



No.	By:	Description	Date
2	DJ	Re-Issued for DP	Oct 19, 2017
1	DJ	Issued for DP	Sept 19, 2017

REVISIONS TABLE FOR DRAWINGS			
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No.	By:	Description	Date
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REVISIONS TABLE FOR SHEET			
Project:			
199A Townhomes			
Location:			
5491 199A St			
Langley, BC V3A 1J7			

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Checked: DJ	
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\\D:\SERVER\PROJECTS\DEVELOPMENT\PERMITS\ACTIVE\DP2017-50\2325 WEST BAY\AC TOWNHOMES\DWG SHEETS\L-02 PLANTING PLAN.DWG

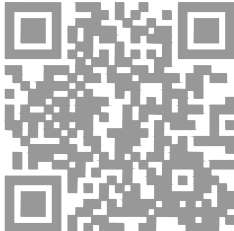


PLANTING SCHEDULE

SYMBOL	TY.	BOTANICAL NAME	COMMON NAME	CONT.	SPACING
SHRUBS					
A-	104	Azalea japonica 'Hino White Dwarf'	Dwarf Hino White Japanese Azalea	2 Pot	900mm O.C.
Cs	193	Cornus sericea 'Kelsey'	Kelsey's Dwarf Dogwood	2 Pot	600mm O.C.
Bs	39	Buxus sempervirens 'Suffruticosa'	Dwarf English Boxwood	2 Pot	450mm O.C.
Ctv	36	Ceanothus thyrsiflorus var repens	California Lilac	3 Pot	1200mm O.C.
Ea	90	Euonymus alatus 'Compacta'	Compact Euonymous	3 Pot	900mm O.C.
Sh	94	Sarcococa hookeriana	Himalayan Sweetbox	2 Pot	600mm O.C.
Vd	191	Viburnum davidii	David Viburnum	2 Pot	750mm O.C.
PERENNIALS GRASSES					
Ag	155	Acorus gramineus 'Ogon'	Golden Variegated Sweet Flag	1 Pot	300mm O.C.
Ep	62	Echinacea purpurea	Purple Coneflower	1 Pot	600mm O.C.
F	147	Festuca glauca	Blue Fescue	1 Pot	450mm O.C.
Haf	13	Hosta Autumn Frost	Medium Hosta	1 Pot	750mm O.C.
Ha	89	Hosta 'Alakaalam'	Groundcover Hosta	1 Pot	300mm O.C.
La	225	Lavandula angustifolia 'Hidcote'	English Lavender	1 Pot	450mm O.C.
Sa	134	Sedum 'Autumn Joy'	Stonecrop	1 Pot	500mm O.C.
Pa	107	Pennisetum alopecuroides hamelin	Fountain Grass	1 Pot	750mm O.C.
St	117	Stipa tenuissima	Mexican Feather Grass	1 Pot	450mm O.C.
GROUND COVER					
	480	Erica carnea 'springwoodwhite'	Winter Heather	1 Pot	5 per m2
	670	Pachysandra terminalis	Japanese Spurge	1 Pot	5 per m2
	235	Arctostaphylos uva-ursi	Common Bearberry	1 Pot	5 per m2

Notes:
1. Assume 150mm growing medium depth (import) for new hydroseed areas, and 450mm growing medium depth (import) for new planting beds (typ)
2. All landscape materials, planting and softscaping shall conform to standards defined under Division 32 and Canadian Landscape Standards, latest edition.

1:200 0 2m 4 6 8 10 12 14 16 18 20 22 24 26 28 30



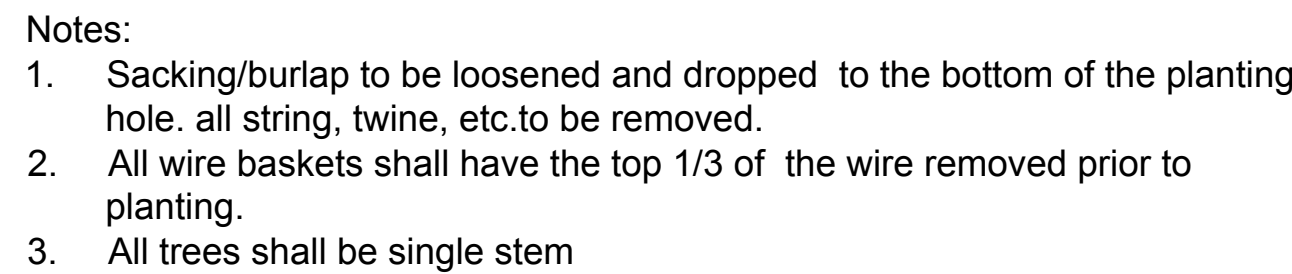
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2	DJ	Re-Issued for DP	Oct 19, 2017
1	DJ	Issued for DP	Sept 19, 2017

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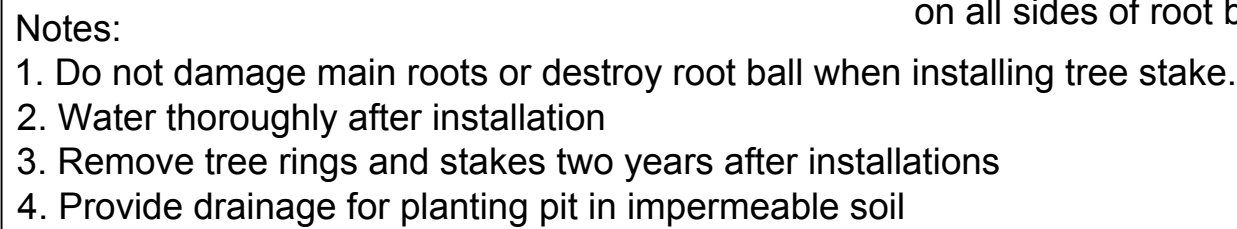
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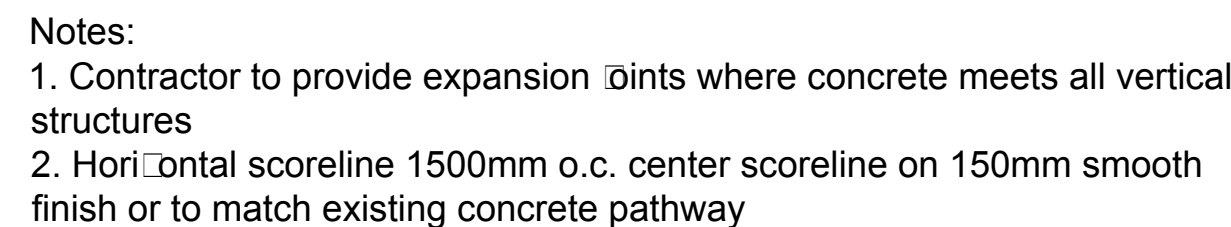
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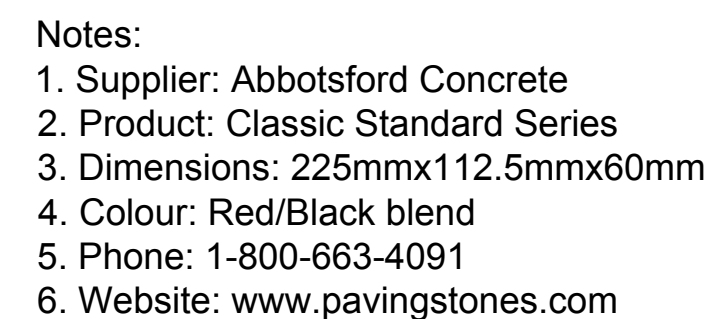
1 DECIDUOUS TREE
Scale 1:25



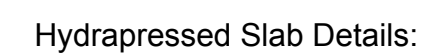
2 CONIFEROUS TREE
Scale 1:25



5 CONCRETE SURFACING



6 UNIT PAVERS



Notes:

1. Contractor to provide shop drawings
2. Install all components as per manufacturer's specifications

7 HYDRAPRESS SLAB ON CONCRETE SLAB
Scale 1:10



REVISIONS TABLE FOR DRAWINGS

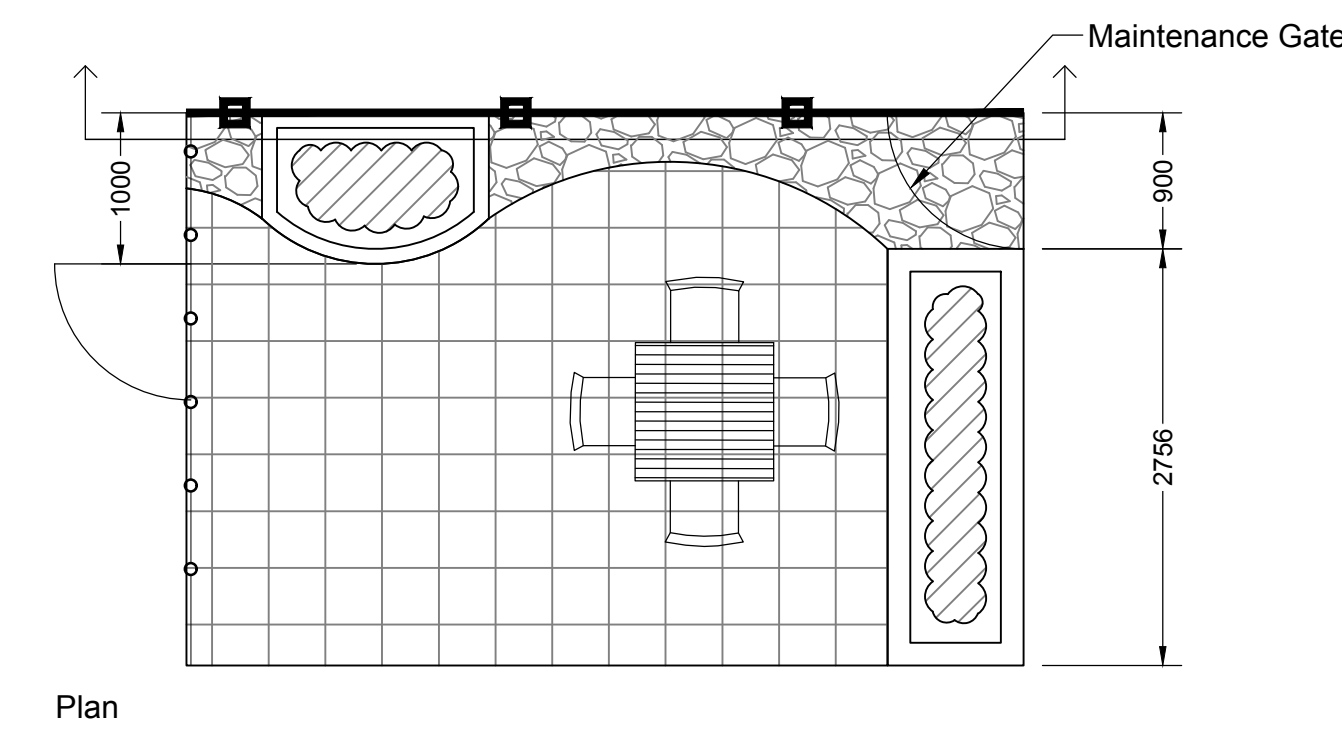
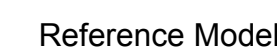
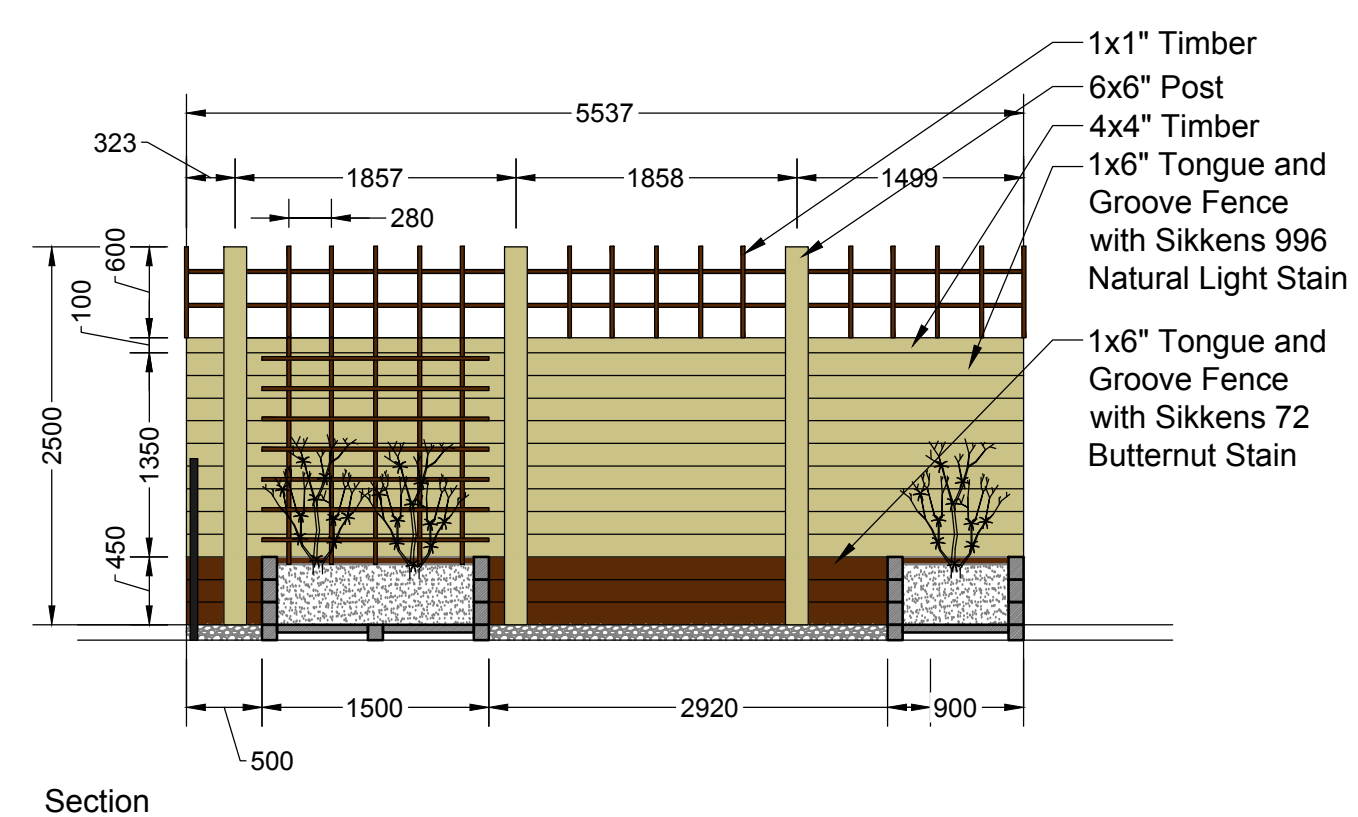
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1 RAISED YARD
Scale: 1:50

2 PRIVACY FENCE

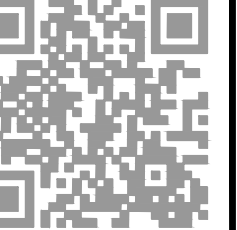
3 PICKET FENCE

Scale NTS

van der Zalm + associates inc.
 Parks ☐ Recreation ☐ Civil Engineering
 Urban Design ☐ Landscape Architecture

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